

OWNER'S AGENT
 NARR CONSTRUCTION
 1916 ELOISE COVE DRIVE
 WINTER HAVEN, FL 33884
 (863) 412-2045
 NARRCONSTRUCTIONSERVICES@GMAIL.COM

ARCHITECT
 CUHACI & PETERSON
 1925 PROSPECT AVE.
 ORLANDO, FL 32814
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 MIKEL@C-P.COM

SURVEYOR
 EDC, INC.
 10250 SW VILLAGE PARKWAY, SUITE 201
 PORT ST. LUCIE, FL 34987
 (772) 462-2455
 MIKEOWEN@EDC-INC.COM

LANDSCAPE ARCHITECT
 KPM FRANLIN
 6300 HAZLETINE NATIONAL DRIVE
 ORLANDO, FL 32822
 (407) 410-8624
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OWNER
 CHRIST FELLOWSHIP CHURCH, INC
 5343 NORTHLAKE BOULEVARD
 PALM BEACH GARDENS, FLORIDA 33418

DEVELOPER
 CERTUS TRD OWNER, LLC
 1400 POINSETTIA AVENUE
 ORLANDO, FL 32804
 (863) 412-2045
 NARRCONSTRUCTIONSERVICES@GMAIL.COM

ENGINEER
 BURKETT ENGINEERING INC.
 105 E. ROBINSON STREET, SUITE 501
 ORLANDO, FL 32801
 (407) 246-1260
 CALEJOS@BURKETTENGINEERING.COM

TRADITION ASSISTED LIVING FACILITY

SITE PLAN

FOR

CERTUS TRD OWNER, LLC

SHEET INDEX

- 1 COVER
- 2 SYMBOLS & ABBREVIATIONS
- 3 - 3-A SITE PLAN
- 4 SIGNAGE AND MARKING PLAN

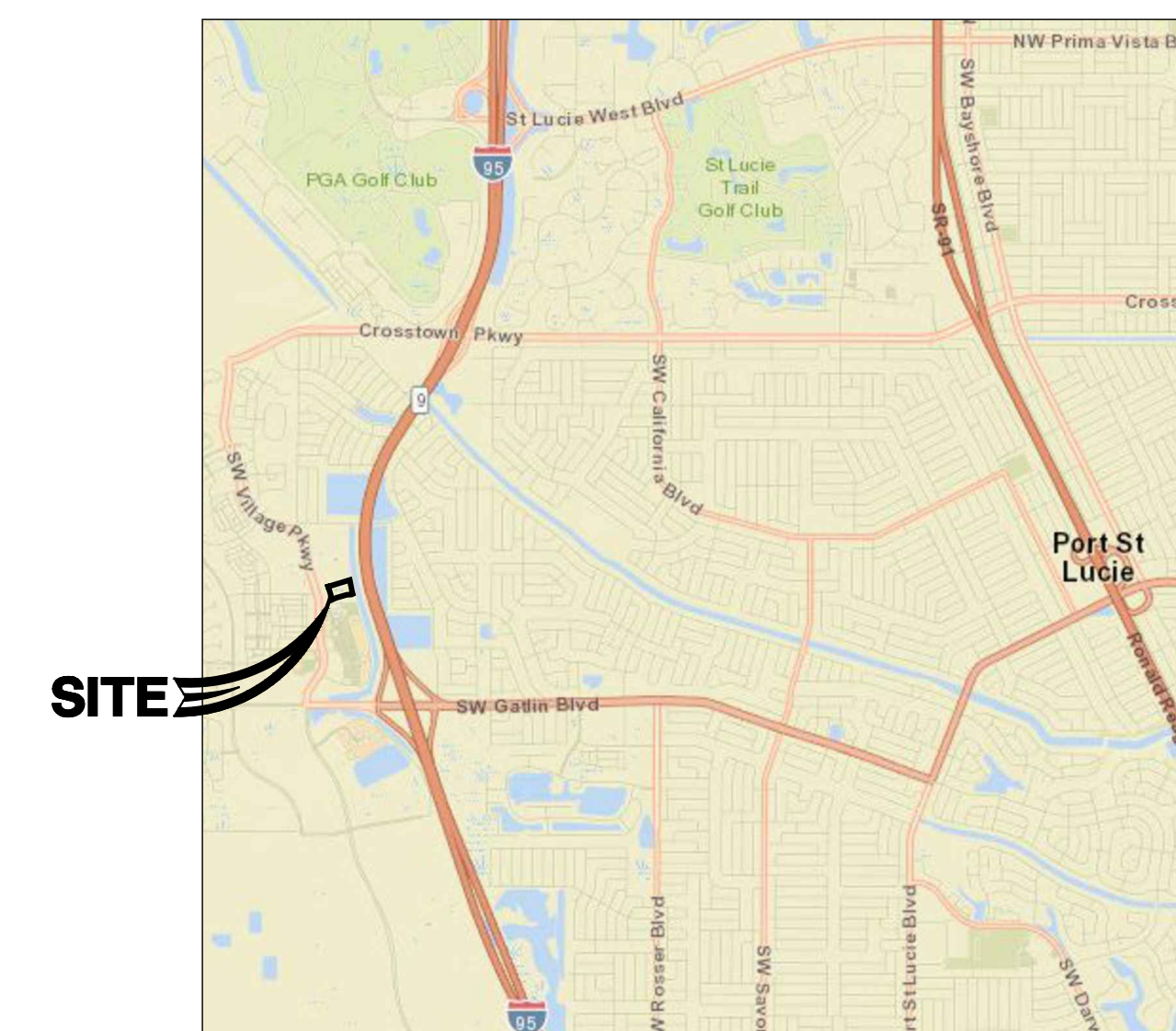
TAX PARCEL ID NUMBER:
 4310-606-0003-000-5

LEGAL DESCRIPTION:

TRADITION PLAT NO. 81 (PB 85-37) TRACT 3
 (5.521 AC - 205,995 SF)

LOCATION MAP

SW VILLAGE PARKWAY, PORT SAINT LUCIE, FL 34987
 SCALE 1:5000



Burkett | CIVIL ENGINEERING
 engineering | CONSULTANTS

105 E. Robinson Street, Suite 501 Orlando, Florida 32801
 (407) 246-1260 Fax (407) 246-0423
 www.burkettengineering.com

Port Saint Lucie, Florida
July 2023

PSL PROJECT NUMBER
 P22-281

PSL USD PROJECT NUMBER
 5134

ENGINEER IN CHARGE:
 CLIFFORD ALEJOS, P.E.

REG. # 88523
 BURKETT ENGINEERING, INC.
 CERT. OF AUTH. NO. 7105

ABBREVIATIONS

A A AREA AB ANCHOR BOLT ABD ABANDON(ED) AC ACRE(S) AC-FT ACRE FOOT/FEET ACP ASBESTOS CEMENT PIPE ADDL ADDITIONAL ADT AVERAGE DAILY TRAFFIC AL ALUMINUM ALT ALTERNATE AM BEFORE NOON AMP AMPERE(S) APPROX APPROXIMATE ARV AIR RELEASE VALVE ARVV AIR RELEASE VACUUM VALVE ASPH ASPHALT ASSY ASSEMBLY AVE AVENUE AVG AVERAGE AZ AZIMUTH	F FG FINISHED GRADE FH FIRE HYDRANT F&I FURNISH AND INSTALL FIG FIGURE FIN FINISHED FIT FITTING FL FENCE LINE FLR FLOOR FLEX FLEXIBLE FLG FLANGE FM FORCE MAIN FND FOUND FPH FEET PER HOUR FPM FEET PER MINUTE FPS FEET PER SECOND FT FEET/FOOT FTG FOOTING	P PP POWER POLE PR PHONE RISER PRC POINT OF REVERSE CURVATURE PRESS PRESSURE PROJ PROJECT PROP PROPOSED PRV PRESSURE REDUCING VALV PRVC POINT OF REVERSE VERTICAL CURVE PS PUMPING STATION PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PT POINT OF TANGENCY PV PLUG VALVE PVC POLYVINYL CHLORIDE PVMT PAVEMENT PWR POWER
B BFP BACKFLOW PREVENTER BL BASELINE BLDG BUILDING BLVD BOULEVARD BM BENCHMARK BND BOUNDARY BO BLOWOFF BOC BACK OF CURB BOT BOTTOM BOW BOTTOM OF WALL BRG BEARING BS BOTTOM OF SLOPE BV BUTTERFLY VALVE BVC BEGIN VERTICAL CURVE	G GA GAUGE GAL GALLON GALV GALVANIZED GI GREASE INTERCEPTOR GM GAS MAIN GPD GALLONS PER DAY GPH GALLONS PER HOUR GPM GALLONS PER MINUTE GPS GALLONS PER SECOND GR GUARD RAIL GRD GROUND/GRADE GSP GALVANIZED STEEL PIPE GV GATE VALVE GV&B GATE VALVE AND BOX GW GUY WIRE GWT GROUND WATER TABLE	Q Q FLOW RATE
C CAP CAPACITY CB CATCH BASIN CC CENTER TO CENTER CEM CEMENT CF CUBIC FEET CFM CUBIC FEET PER MINUTE CFS CUBIC FEET PER SECOND C&G CURB AND GUTTER CI CAST IRON CIP CAST IRON PIPE CJ CONSTRUCTION JOINT C/L CENTER LINE CLP CONCRETE LIGHT POLE CLR CLEAR/CLEARANCE CLS CLASS CM CONCRETE MONUMENT CMP CORRUGATED METAL PIPE CMPA CORRUGATED METAL PIPE ARCH CND CONDUIT CO COUNTY CO CLEANOUT COL COLUMN C&M COMPLETE CONC CONCRETE CONN CONNECTION CONST CONSTRUCT(ION) CONT CONTINUOUS COORD COORDINATE(S) COR CORNER CPLG COUPLING CPP CONCRETE POWER POLE CS CONTROL STRUCTURE C&STOP CORPORATION STOP CTG COATING CTR CENTER CTV CABLE TELEVISION CULV CULVERT CV CHECK VALVE CY CUBIC YARD CYL CYLINDER	H HB HOSE BIBB HDW HARDWARE HDP HIGH DENSITY POLYETHYLENE PIPE HOA HOME OWNERS ASSOCIATION HORIZ HORIZONTAL HP HORSEPOWER HR HOUR HT HEIGHT HW HEADWALL HWL HIGH WATER LEVEL HWY HIGHWAY HYD HYDRANT	R R RADIUS RCP REINFORCED CONCRETE PIPE RCPA REINFORCED CONCRETE PIPE ARCH RD ROAD RDY ROADWAY RED REDUCER REF REFERENCE REINF REINFORCE(D) REQD REQUIRED REV REWSE/REVISION RP RADIAL POINT RPBP REDUCED PRESSURE BACKFLOW PREVENTER RPM REVOLUTIONS PER MINUTE RR RAILROAD RT RIGHT RV RELIEF VALVE R/W RIGHT-OF-WAY RWM REUSE WATER MAIN
D DBL DOUBLE DBH DIAMETER AT BREAST HEIGHT DEG DEGREE DEFL DEFLECT(ION) DEPT DEPARTMENT DET DETAIL DHWL DESIGN HIGH WATER LEVEL DI DIAMETER DIA DIAGONAL DIM DIMENSION DIP DUCTILE IRON PIPE DISCH DISCHARGE DIST DISTANCE DMH DROP MANHOLE DN DOWN DRN DRAIN DWG DRAWING DWT DRIVEWAY	I I-4 INTERSTATE HIGHWAY IA INTERSECTION ANGLE ID INSIDE DIAMETER IF INSIDE FACE IN INCHES INS INSERT INST INSTALL IP IRON PIPE IR IRON ROD INT INTERSECT/INTERSECTION INV INVERT	S S SOUTH SAN SANITARY SEWER SB SPLASH BLOCK SCH SCHEDULE SD SIDE DRAIN SDN SHED DRAIN SE SECONDS SECT SECTION SF SQUARE FEET SH SHEET SHTG SHEETING SHWL SEASONAL HIGH WATER LINE SIM SIMILAR S/L SLOPE SL SLOPE SM SHEET METAL SPEC SPECIFICATIONS SQ SQUARE SQ IN SQUARE INCHES SQ YD SQUARE YARDS SR STATE ROAD SS STAINLESS STEEL ST STREET STA STATION STD STANDARD STL STEEL STR STRUCTURE STS STORM SEWER SUP SUPPORT SUSP SUSPEND/SUSPENSION SVC SERVICE SW SWATHWEST SWK SIDEWALK SYM SYMBOL(S) SYMM SYMMETRICAL SYS SYSTEM
E E EAST EA EACH EC EDGE OF CONCRETE ED ENERGY DISSIPATOR EF EACH FACE EFF EFFLUENT EG EXISTING GRADE E/L EASEMENT LINE ELB ELBOW ELEC ELECTRIC ELEV ELEVATION ELLIP ELLIPSE/ELLIPTICAL ENC ENCASUREMENT ENG ENGINEER(ING) EXP EDGE OF PAVEMENT EQ EQUAL/EQUATION EQUIP EQUIPMENT EQUIV EQUIVALENT ESMT EASEMENT EST ESTIMATE EVC END VERTICAL CURVE EW EACH WAY EWL ENDWALL EXC EXCAVATE EXIST EXISTING EXP EXPAND/EXPANSION EXT EXTEND/EXTENSION	J JB JUNCTION BOX JCT JUNCTION JST JOIST JT JOINT	T T TANGENT TB TURFBLOCK T&B TOP AND BOTTOM TBM TEMPORARY BENCH MARK TC TIME OF CONCENTRATION TD TRENCH DRAIN TDH TOTAL DYNAMIC HEAD TE TOP ELEVATION TECH TECHNICIAN/TECHNICAL TEMP TEMPORARY TL TERMINAL LAMPHOLE TOB TOP OF BANK TOC TOP OF CURB TOS TOE OF SLOPE TOT TOTAL TOW TOP OF WALL TSS TOP OF SLOPE TS&V TAPPING SLEEVE & VALVE TWP TOWNSHIP TYP TYPICAL
F F&C FRAME AND COVER FD FLOOR DRAIN FDC FIRE DEPARTMENT CONNECTION FDN FOUNDATION FDOT FLORIDA DEPARTMENT OF TRANSPORTATION FF FINISHED FLOOR	L L-4 INTERSTATE HIGHWAY LAT LATITUDE LATER LATERAL LB POUND LF LINEAR FEET/FOOT LG LONGITUDE LIM LIMIT(S) LP LIGHT POLE LST LIFT STATION LWL LOW WATER LEVEL	U UD UNDERDRAIN UG UNDERGROUND UTC UNDERGROUND TELEPHONE CABLE
F F&C FRAME AND COVER FD FLOOR DRAIN FDC FIRE DEPARTMENT CONNECTION FDN FOUNDATION FDOT FLORIDA DEPARTMENT OF TRANSPORTATION FF FINISHED FLOOR	M MAINT MAINTENANCE MATL MATERIAL MAX MAXIMUM MECH MECHANICAL MES MITERED END SECTION MFG MANUFACTURER MGD MILLION GALLONS PER DAY MH MANHOLE MHC MANHOLE COVER MHWL MEAN HIGH WATER LEVEL MIN MINIMUM MISC MISCELLANEOUS MJ MECHANICAL JOINT MLP METAL LIGHT POLE MLWL MEAN LOW WATER LEVEL MON MONUMENT MOT MAINTENANCE OF TRAFFIC MPH MILES PER HOUR MSL MEAN SEA LEVEL MTG MOUNTING	V VB VALVE BOX VC VERTICAL CURVE VCP VERIFIED CLAY PIPE VERT VERTICAL VPC VERTICAL POINT OF CURVE VPI VERTICAL POINT OF INTERSECTION VPT VERTICAL POINT OF TANGENCY VOLTS

EXISTING SYMBOLS

LINES	
BARBED WIRE FENCE	
CENTER LINE	
CHAIN LINK FENCE	
CONTOURS	
EASEMENT LINE	
LOT LINES	
PROPERTY LINE	
RIGHT-OF-WAY	
RETAINING WALL	
SHORELINE	
WETLAND LIMITS	
FENCE OR WALL	

SANITARY SEWER	
100 LINEAR FEET SANITARY 8" PVC PIPE @ 0.30% SLOPE	
CLEANOUT	
DBL SEWER LATERAL	
SINGLE SEWER LATERAL	
4" PVC PIPE FORCE MAIN	
MANHOLE	

STORM DRAIN	
100 LINEAR FEET STORM 24" RCP @ 0.21% SLOPE	
6" PVC UNDERDRAIN	
DRAINAGE FLOW ARROW	
CURB INLET	
MANHOLE	
MITERED END SECTION	
SLOPE DIRECTIONAL FOR PONDS	
SPOT GRADE	
STORM INLET	

WATER	
6" PVC WATER MAIN	
11 1/4" BEND	
22 1/2" BEND	
45" BEND	
90" BEND	
TEE	
CROSS	
FIRE DEPT. CONNECTION	
BACKFLOW PREVENTER	
DOUBLE WATER SERVICE	
SINGLE WATER SERVICE	
GATE VALVE	
FIRE HYDRANT	
METER	
REDUCER	
BLOWOFF	

HIGHWAY & UTILITIES	
BENCH MARK	
BOUNDARY CORNER	
CONCRETE	
COUNTY ROADS	
INTERSTATE ROADS	
LIGHT POLE	
MISC ROAD SIGN	
SECTION CORNER	
EDGE OF PAVEMENT W/O CURB	
STATE ROADS	
GUY POLE	
UTILITY POLE	
GAS MAIN	
CABLE TV	
ELECT. BURIED CABLE	
TELEPHONE CABLE	
CURB & PAVEMENT	
OVERHEAD WIRE	

PROPOSED SYMBOLS

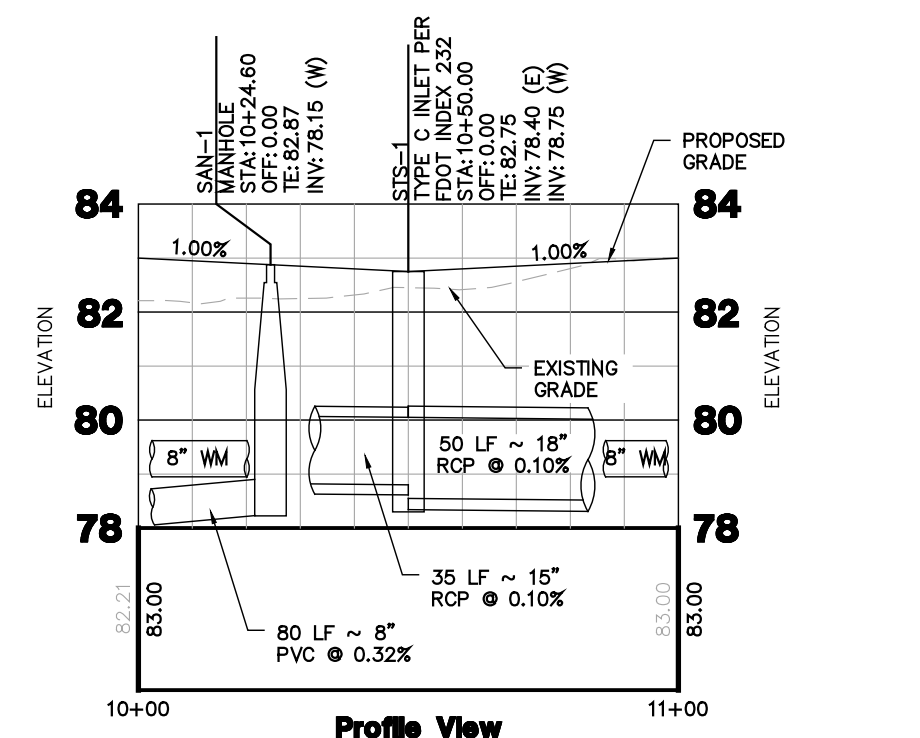
LINES	
BARBED WIRE FENCE	
CENTER LINE	
CHAIN LINK FENCE	
CONTOURS	
EASEMENT LINE	
EROSION CONTROL	
LOT LINES	
PROPERTY LINE	
RIGHT-OF-WAY	
BUFFER/SETBACK	
RETAINING WALL	
SHORELINE	
WETLAND LIMITS	
FENCE OR WALL	
FLOW PATH	

SANITARY SEWER	
100 LINEAR FEET SANITARY 8" PVC PIPE @ 0.30% SLOPE	
CLEANOUT	
DBL SEWER LATERAL	
SINGLE SEWER LATERAL	
4" PVC PIPE FORCE MAIN	
MANHOLE	

STORM DRAIN	
100 LINEAR FEET STORM 24" RCP @ 0.21% SLOPE	
6" PVC UNDERDRAIN	
DRAINAGE FLOW ARROW	
CURB INLET	
MANHOLE	
MITERED END SECTION	
SLOPE DIRECTIONAL FOR PONDS	
SPOT GRADE	
STORM INLET	
STRUCTURE NUMBER	

WATER	
6" PVC WATER MAIN	
11 1/4" BEND	
22 1/2" BEND	
45" BEND	
90" BEND	
TEE	
CROSS	
FIRE DEPT. CONNECTION	
BACKFLOW PREVENTER	
DOUBLE WATER SERVICE	
SINGLE WATER SERVICE	
GATE VALVE	
FIRE HYDRANT	
METER	
REDUCER	
BLOWOFF	

HIGHWAY, UTILITIES & PROFILES	
BOUNDARY CORNER	
CONCRETE	
INTEGRAL CURB w/SWK	
LIGHT POLE	
MISC ROAD SIGN	
EDGE OF PAVEMENT W/O CURB	
CURB & PAVEMENT	
DETAIL REFERENCE	
FF ELEVATION & FHA LOT GRADING TYPE	
HANDICAP PARKING	
PAVEMENT MARKINGS	

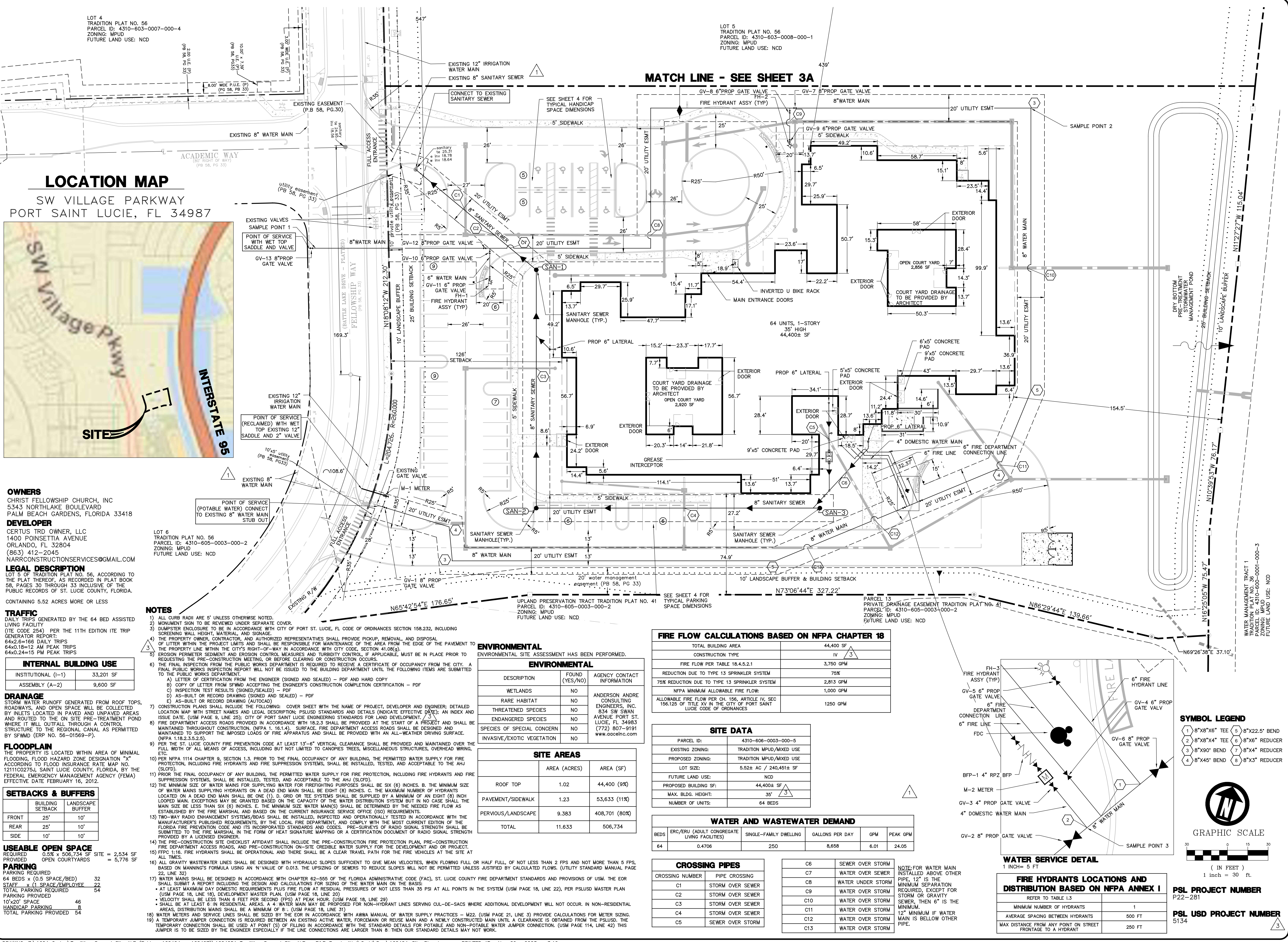


DATE	DESCRIPTION
08/29/2023	PORT ST. LUCIE COMMENTS
10/27/2023	SRR COMMENTS
	DATE

DATE: 1/4/23
PROJECT NO.: 1624.251
DRAWN BY: KG
DESIGNED BY: KG
CHECKED BY: CA
ENGINEER IN CHARGE: CLIFFORD ALEJOS, P.E.

DATE	DESCRIPTION	BY	CA
08/09/2024	PORT ST. LUCIE COMMENTS	JW	JW
02/14/2024	PORT ST. LUCIE COMMENTS	JW	JW
10/27/2023	SPRC COMMENTS	PM/JW	CA
		REG'D	REG'D

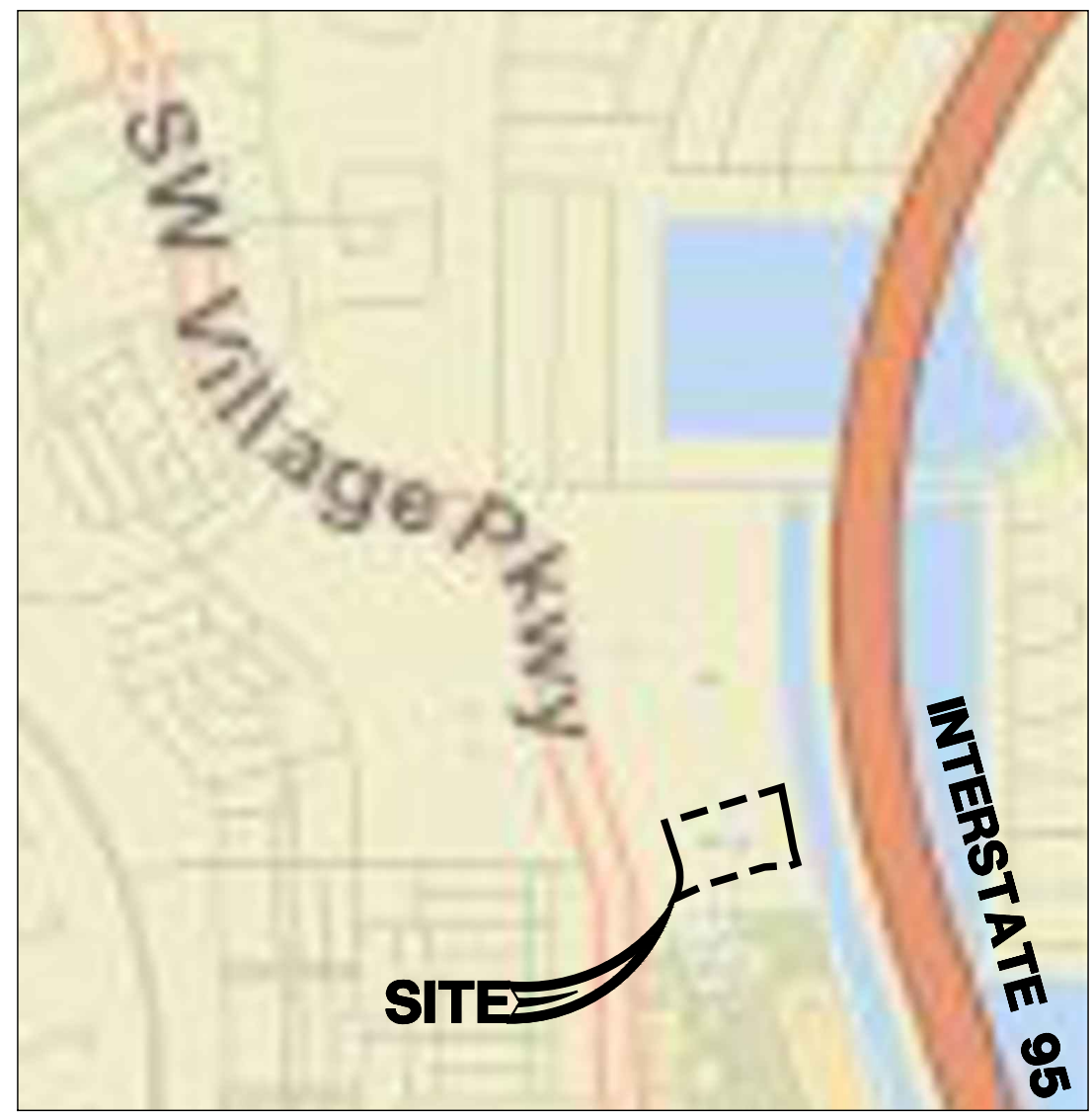
DATE:	1/4/23
PROJECT NO.:	1624.251
DRAWN BY:	KG
DESIGNED BY:	KG
CHECKED BY:	CA
ENGINEER IN CHARGE:	CLIFFORD ALEJOS, P.E.
REG. #88523	BURKETT ENGINEERING, INC.
	CERT. OF AUTH. NO. 7105



LOT 4
TRADITION PLAT NO. 56
PARCEL ID: 4310-603-0007-000-4
ZONING: MPUD
FUTURE LAND USE: NCD

LOT 5
TRADITION PLAT NO. 56
PARCEL ID: 4310-603-0008-000-1
ZONING: MPUD
FUTURE LAND USE: NCD

LOCATION MAP
SW VILLAGE PARKWAY
PORT SAINT LUCIE, FL 34987



OWNERS
CHRIST FELLOWSHIP CHURCH, INC
5343 NORTHLAKE BOULEVARD
ORLANDO, FL 32804

DEVELOPER
CERTUS TRD OWNER, LLC
1400 POINSETTIA AVENUE
ORLANDO, FL 32804
(863) 412-2045
NARRCONSTRUCTIONSERVICES@GMAIL.COM

LEGAL DESCRIPTION
LOT 5 OF TRADITION PLAT NO. 56, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 58, PAGES 30 THROUGH 33 INCLUSIVE OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, CONTAINING 5.52 ACRES MORE OR LESS

TRAFFIC
DAILY TRIPS GENERATED BY THE 64 BED ASSISTED LIVING FACILITY
GENERATOR REPORT:
64x2.6=166 DAILY TRIPS
64x0.18=12 AM PEAK TRIPS
64x0.24=15 PM PEAK TRIPS

INTERNAL BUILDING USE

INSTITUTIONAL (I-1)	33,201 SF
ASSEMBLY (A-2)	9,600 SF

DRAINAGE
STORM WATER RUNOFF GENERATED FROM ROOF TOPS, ROADWAYS, AND OPEN SPACE WILL BE COLLECTED BY INLETS LOCATED IN PAVED AND UNPAVED AREAS AND ROUTED TO THE ON SITE PRE-TREATMENT POND WHERE IT WILL OUTFALL THROUGH A CONTROL STRUCTURE TO THE REGIONAL CANAL AS PERMITTED BY SPWMD (ERP NO. 56-01569-P).

FLOODPLAIN
THE PROPERTY IS LOCATED WITHIN AREA OF MINIMAL FLOODING, FLOOD HAZARD ZONE DESIGNATION "X" ACCORDING TO FLOOD INSURANCE RATE MAP NO. 12111C02754, SAINT LUCIE COUNTY, FLORIDA, BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) EFFECTIVE DATE FEBRUARY 16, 2012.

SETBACKS & BUFFERS

	BUILDING SETBACK	LANDSCAPE BUFFER
FRONT	25'	10'
REAR	25'	10'
SIDE	10'	10'

USEABLE OPEN SPACE
REQUIRED 0.5% x 506,734 SF SITE = 2,534 SF
OPEN COURTYARDS = 5,776 SF

PARKING
PARKING REQUIRED 64 BEDS x (0.5 SPACE/BED) 32
STAFF x (1 SPACE/EMPLOYEE) 22
TOTAL PARKING REQUIRED 54
PARKING PROVIDED 54
10'x20' SPACE 46
HANDICAP PARKING 8
TOTAL PARKING PROVIDED 54

- NOTES**
- ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
 - MONUMENT SIGN TO BE REVIEWED UNDER SEPARATE COVER.
 - DUMPSTER ENCLOSURE TO BE IN ACCORDANCE WITH CITY OF PORT ST. LUCIE, FL CODE OF ORDINANCES SECTION 158.232, INCLUDING SCREENING WALL HEIGHT, MATERIAL, AND SIGNAGE.
 - THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF THE PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE SECTION 41.08(g).
 - EROSION PERIMETER SEDIMENT AND EROSION CONTROL MEASURES AND TURBIDITY CONTROL, IF APPLICABLE, MUST BE IN PLACE PRIOR TO REQUESTING THE PRE-CONSTRUCTION MEETING OR BEFORE CLEARING OR CONSTRUCTION OCCURS.
 - THE FINAL INSPECTION FROM THE PUBLIC WORKS DEPARTMENT IS REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE CITY. A FINAL PUBLIC WORKS INSPECTION REPORT WILL NOT BE ISSUED TO THE BUILDING DEPARTMENT UNTIL THE FOLLOWING ITEMS ARE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT:
 - LETTER OF CERTIFICATION FROM THE ENGINEER (SIGNED AND SEALED) - PDF AND HARD COPY
 - COPY OF LETTER FROM SPWMD ACCEPTING THE ENGINEER'S CONSTRUCTION COMPLETION CERTIFICATION - PDF
 - INSPECTION TEST RESULTS (SIGNED/SEALED) - PDF
 - AS-BUILT OR RECORD DRAWING (SIGNED AND SEALED) - PDF
 - AS-BUILT OR RECORD DRAWING (AUTOCAD)
 - CONSTRUCTION PLANS SHALL INCLUDE THE FOLLOWING: COVER SHEET WITH THE NAME OF PROJECT, DEVELOPER AND ENGINEER; DETAILED LOCATION MAP WITH STREET NAMES AND LEGAL DESCRIPTION; PLSUSD STANDARDS AND DETAILS (INDICATE EFFECTIVE DATE); AN INDEX AND ISSUE DATE. (USM PAGE 9, LINE 25); CITY OF PORT SAINT LUCIE ENGINEERING STANDARDS FOR LAND DEVELOPMENT. (3)
 - FIRE DEPARTMENT ACCESS ROADS PROVIDED IN ACCORDANCE WITH 18.2.3 SHALL BE PROVIDED AT THE START OF A PROJECT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. (NFPA 1, 16.1.4). SURFACE FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND CONSTRUCTED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE.
 - (NFPA 118.2.3.5.2.5).
 - PER THE ST. LUCIE COUNTY FIRE PREVENTION CODE AT LEAST 13'-6" VERTICAL CLEARANCE SHALL BE PROVIDED AND MAINTAINED OVER THE FULL WIDTH OF ALL MEANS OF ACCESS, INCLUDING BUT NOT LIMITED TO CANOPIES TREES, MISCELLANEOUS STRUCTURES, OVERHEAD WIRING, ETC.
 - PER NFPA 1114 CHAPTER 9, SECTION 1.3. PRIOR TO THE FINAL OCCUPANCY OF ANY BUILDING, THE PERMITTED WATER SUPPLY FOR FIRE PROTECTION, INCLUDING FIRE HYDRANTS AND FIRE SUPPRESSION SYSTEMS, SHALL BE INSTALLED, TESTED, AND ACCEPTABLE TO THE AHJ (SLCFD).
 - PRIOR TO THE FINAL OCCUPANCY OF ANY BUILDING, THE PERMITTED WATER SUPPLY FOR FIRE PROTECTION, INCLUDING FIRE HYDRANTS AND FIRE SUPPRESSION SYSTEMS, SHALL BE INSTALLED, TESTED, AND ACCEPTABLE TO THE AHJ (SLCFD).
 - THE MINIMUM SIZE OF WATER MAINS FOR SUPPLYING WATER FOR FIRE FIGHTING PURPOSES SHALL BE SIX (6) INCHES. B. THE MINIMUM SIZE OF WATER MAINS SUPPLYING HYDRANTS ON A DEAD END MAIN SHALL BE EIGHT (8) INCHES. C. THE MAXIMUM NUMBER OF HYDRANTS LOCATED ON A DEAD END MAIN SHALL BE ONE (1). D. GRID OR TREE SYSTEMS SHALL BE SUPPLIED BY A MINIMUM OF AN EIGHT (8) INCH LOOPED MAIN. EXCEPTIONS MAY BE GRANTED BASED ON THE CAPACITY OF THE WATER DISTRIBUTION SYSTEM BUT IN NO CASE SHALL THE MAIN SIZE BE LESS THAN SIX (6) INCHES. E. THE MINIMUM SIZE WATER MAIN(S) SHALL BE DETERMINED BY THE NEEDED FIRE FLOW AS ESTABLISHED BY THE FIRE MARSHAL AND BASED ON THE CURRENT INSURANCE SERVICE OFFICE (ISO) REQUIREMENTS.
 - TWO-WAY RADIO ENHANCEMENT SYSTEMS/BOAS SHALL BE INSTALLED, INSPECTED AND OPERATIONALLY TESTED IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED REQUIREMENTS, BY THE LOCAL FIRE DEPARTMENT, AND COMPLY WITH THE MOST CURRENT EDITION OF THE FLORIDA FIRE PREVENTION CODE AND ITS INCORPORATED STANDARDS AND CODES. PRE-SURVEY OF RADIO SIGNAL STRENGTH SHALL BE SUBMITTED TO THE FIRE MARSHAL IN THE FORM OF HEAT SIGNATURE MAPPING OR A CERTIFICATION DOCUMENT OF RADIO SIGNAL STRENGTH PROVIDED BY A LICENSED ENGINEER.
 - THE PRE-CONSTRUCTION SITE CHECKLIST AFFIDAVIT SHALL INCLUDE THE PRE-CONSTRUCTION FIRE PROTECTION PLAN, PRE-CONSTRUCTION FIRE DEPARTMENT ACCESS ROADS, AND PRE-CONSTRUCTION ON-SITE CREDIBLE WATER SUPPLY FOR THE DEVELOPMENT AND OR PROJECT.
 - FFPC 11.6. FIRE HYDRANTS SHALL BE OPERATIONAL AND THERE SHALL BE A CLEAR TRAVEL PATH FOR THE FIRE VEHICLES AT THE SITE AT ALL TIMES.
 - ALL GRAVITY WASTEWATER LINES SHALL BE DESIGNED WITH HYDRAULIC SLOPES SUFFICIENT TO GIVE MEAN VELOCITIES, WHEN FLOWING FULL OR HALF FULL OF NOT LESS THAN 2 FPS AND NOT MORE THAN 5 FPS, BASED ON MANNING'S FORMULA USING AN 'N' VALUE OF 0.013. THE UPSIZING OF SEWERS TO REDUCE SLOPES WILL NOT BE PERMITTED UNLESS JUSTIFIED BY CALCULATED FLOWS. (UTILITY STANDARD MANUAL PAGE 22, LINE 32)
 - WATER MAINS SHALL BE DESIGNED IN ACCORDANCE WITH CHAPTER 62-555 OF THE FLORIDA ADMINISTRATIVE CODE (FAC), ST. LUCIE COUNTY FIRE DEPARTMENT STANDARDS AND PROVISIONS OF USM. THE EOR SHALL SUBMIT A REPORT INCLUDING THE DESIGN AND CALCULATIONS FOR SIZING OF THE WATER MAIN ON THE BASIS:
 - AT LEAST MAXIMUM DAILY DOMESTIC REQUIREMENTS PLUS FIRE FLOW AT RESIDUAL PRESSURES OF NOT LESS THAN 35 PSI AT ALL POINTS IN THE SYSTEM (USM PAGE 18, LINE 22), PER PLSUSD MASTER PLAN (USM PAGE 18, LINE 18), DEVELOPMENT MASTER PLAN (USM PAGE 18, LINE 20)
 - VELOCITY SHALL BE LESS THAN 8 FEET PER SECOND (FPS) AT PEAK HOUR. (USM PAGE 18, LINE 29)
 - SHALL BE AT LEAST 8" IN RESIDENTIAL AREAS. A 4" WATER MAIN MAY BE PROPOSED FOR NON-HYDRANT LINES SERVING CUL-DE-SACS WHERE ADDITIONAL DEVELOPMENT WILL NOT OCCUR. IN NON-RESIDENTIAL AREAS, DISTRIBUTION MAINS SHALL BE A MINIMUM OF 8" (USM PAGE 18, LINE 31)
 - WATER METERS AND SERVICE LINES SHALL BE SIZED BY THE EOR IN ACCORDANCE WITH ANWA MANUAL OF WATER SUPPLY PRACTICES - M22. (USM PAGE 21, LINE 3) PROVIDE CALCULATIONS FOR METER SIZING.
 - A TEMPORARY JUMPER CONNECTION IS REQUIRED BETWEEN AN EXISTING ACTIVE WATER, FORCEMAIN OR REUSE MAIN AND A NEWLY CONSTRUCTED MAIN UNTIL A CLEARANCE IS OBTAINED FROM THE PLSUSD. THE TEMPORARY CONNECTION SHALL BE USED AT POINT (S) OF FILLING IN ACCORDANCE WITH THE STANDARD DETAILS FOR POTABLE AND NON-POTABLE WATER JUMPER CONNECTION. (USM PAGE 114, LINE 42) THIS JUMPER IS TO BE SIZED BY THE ENGINEER ESPECIALLY IF THE LINE CONNECTIONS ARE LARGER THAN 8" THEN OUR STANDARD DETAILS MAY NOT WORK.

ENVIRONMENTAL
ENVIRONMENTAL SITE ASSESSMENT HAS BEEN PERFORMED.

DESCRIPTION	FOUND (YES/NO)	AGENCY CONTACT INFORMATION
WETLANDS	NO	ANDERSON ANDRE CONSULTING ENGINEERS, INC. 834 SW SWAN AVENUE PORT ST. LUCIE, FL 34983 (772) 807-9191 www.oceinc.com
RARE HABITAT	NO	
THREATENED SPECIES	NO	
ENDANGERED SPECIES	NO	
SPECIES OF SPECIAL CONCERN	NO	
INVASIVE/EXOTIC VEGETATION	NO	

SITE AREAS

	AREA (ACRES)	AREA (SF)
ROOF TOP	1.02	44,400 (9%)
PAVEMENT/SIDEWALK	1.23	53,633 (11%)
PERVIOUS/LANDSCAPE	9.385	408,701 (80%)
TOTAL	11.633	506,734

FIRE FLOW CALCULATIONS BASED ON NFPA CHAPTER 18

TOTAL BUILDING AREA	44,400 SF
CONSTRUCTION TYPE	IV 3
FIRE FLOW PER TABLE 18.4.5.2.1	3,750 GPM
REDUCTION DUE TO TYPE 13 SPRINKLER SYSTEM	75%
75% REDUCTION DUE TO TYPE 13 SPRINKLER SYSTEM	2,813 GPM
NFPA MINIMUM ALLOWABLE FIRE FLOW	1,000 GPM
ALLOWABLE FIRE FLOW PER CH. 156, ARTICLE IV, SEC 156.125 OF TITLE XVI IN THE CITY OF PORT SAINT LUCIE CODE OF ORDINANCES	1250 GPM

SITE DATA

PARCEL ID:	4310-6003-0003-000-5
EXISTING ZONING:	TRADITION MPUD/MIXED USE
PROPOSED ZONING:	TRADITION MPUD/MIXED USE
LOT SIZE:	5.52± AC / 240,451± SF
FUTURE LAND USE:	NCD
PROPOSED BUILDING SF:	44,400± SF
MAX. BLDG. HEIGHT:	35' 3
NUMBER OF UNITS:	64 BEDS

WATER AND WASTEWATER DEMAND

BEDS	ERC/ERU (ADULT CONGREGATE LIVING FACILITIES)	SINGLE-FAMILY DWELLING	GALLONS PER DAY	GPM	PEAK GPM
64	0.4706	250	8,658	6.01	24.05

CROSSING PIPES

CROSSING NUMBER	PIPE CROSSING	C6	SEWER OVER STORM
C1	STORM OVER SEWER	C7	WATER OVER SEWER
C2	STORM OVER SEWER	C8	WATER UNDER STORM
C3	STORM OVER SEWER	C9	WATER OVER STORM
C4	STORM OVER SEWER	C10	WATER OVER STORM
C5	SEWER OVER STORM	C11	WATER OVER STORM
		C12	WATER OVER STORM
		C13	WATER OVER STORM

NOTE: FOR WATER MAIN INSTALLED ABOVE OTHER PIPE, 12" IS THE MINIMUM SEPARATION REQUIRED, EXCEPT FOR STORM OR GRAVITY SEWER, THEN 6" IS THE MINIMUM. 12" MINIMUM IF WATER MAIN IS BELOW OTHER PIPE.

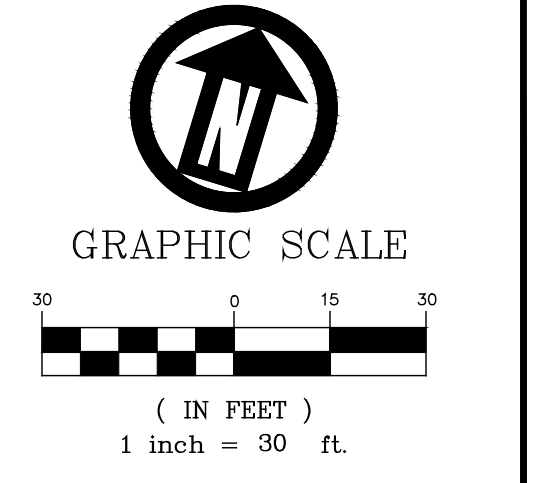
WATER SERVICE DETAIL
1 INCH = 5 FT

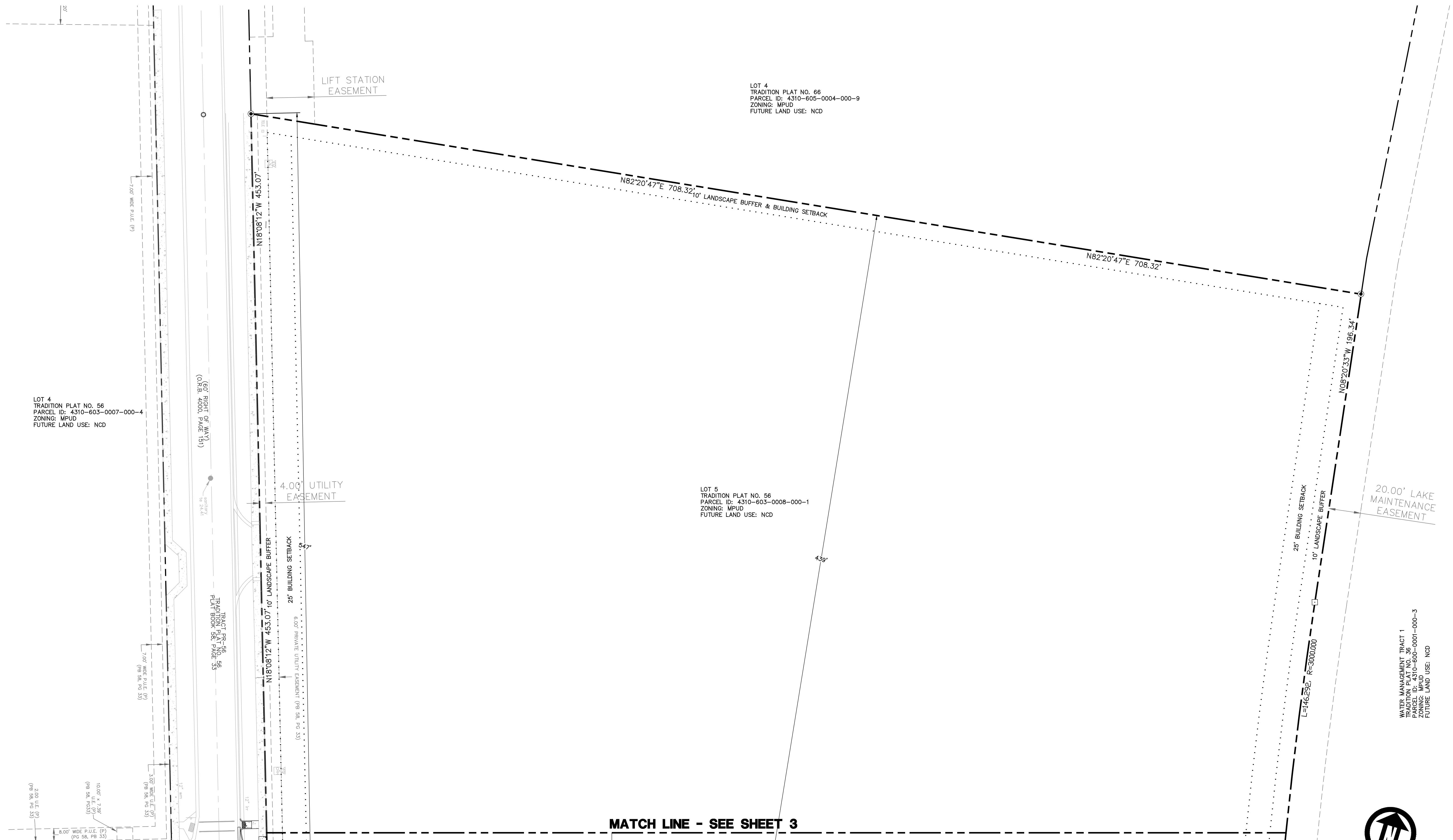
SYMBOL LEGEND

1 8"x8"x6" TEE	5 8"x22.5" BEND
2 8"x8"x4" TEE	6 8"x6" REDUCER
3 8"x90" BEND	7 8"x4" REDUCER
4 8"x45" BEND	8 8"x3" REDUCER

FIRE HYDRANTS LOCATIONS AND DISTRIBUTION BASED ON NFPA ANNEX I
REFER TO TABLE I.3

MINIMUM NUMBER OF HYDRANTS	1
AVERAGE SPACING BETWEEN HYDRANTS	500 FT
MAX DISTANCE FROM ANY POINT ON STREET FRONTAGE TO A HYDRANT	250 FT





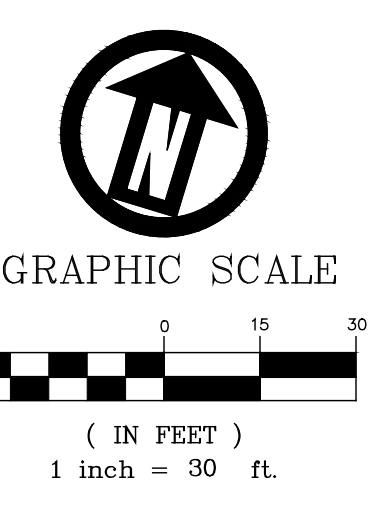
LOT 4
TRADITION PLAT NO. 56
PARCEL ID: 4310-603-0007-000-4
ZONING: MPUD
FUTURE LAND USE: NCD

LOT 5
TRADITION PLAT NO. 56
PARCEL ID: 4310-603-0008-000-1
ZONING: MPUD
FUTURE LAND USE: NCD

LOT 4
TRADITION PLAT NO. 66
PARCEL ID: 4310-605-0004-000-9
ZONING: MPUD
FUTURE LAND USE: NCD

WATER MANAGEMENT TRACT 1
TRADITION PLAT NO. 35
PARCEL ID: 4310-600-0001-000-3
ZONING: MPUD
FUTURE LAND USE: NCD

MATCH LINE - SEE SHEET 3



PSL PROJECT NUMBER
P22-281
PSL USD PROJECT NUMBER
5134

DATE	DESCRIPTION	BY	CA
08/29/2023	PORT ST. LUCIE COMMENTS	JW	CA
10/27/2023	SPRL COMMENTS	PM/JW	CA
		REG'D	ENG'N

TRADITION ASSISTED LIVING FACILITY
SITE PLAN
FOR CERTUS TRD OWNER, LLC
SITE PLAN

DATE:
1/4/23
PROJECT NO.:
1624.251
DRAWN BY:
KG
DESIGNED BY:
KG
CHECKED BY:
CA
ENGINEER IN CHARGE:
CLIFFORD ALEJOS, P.E.

REG. # 88523
BURKETT ENGINEERING, INC.
CERT. OF AUTH. NO. 7105

SHEET NO.
3-A
OF 11

DATE	BY	DESCRIPTION
08/29/2023	JW	PORT ST. LUCIE COMMENTS
10/27/2023	PM/JW	SPRLL COMMENTS
	CA	REG'D OFFICIAL

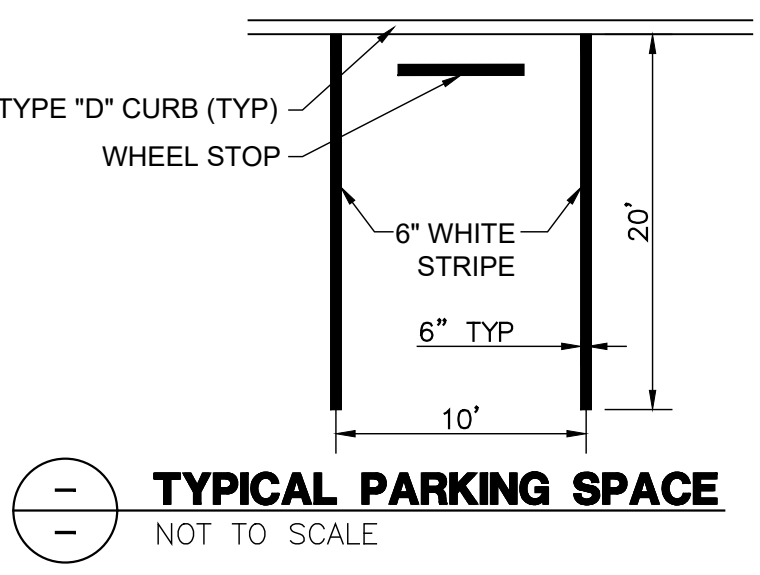
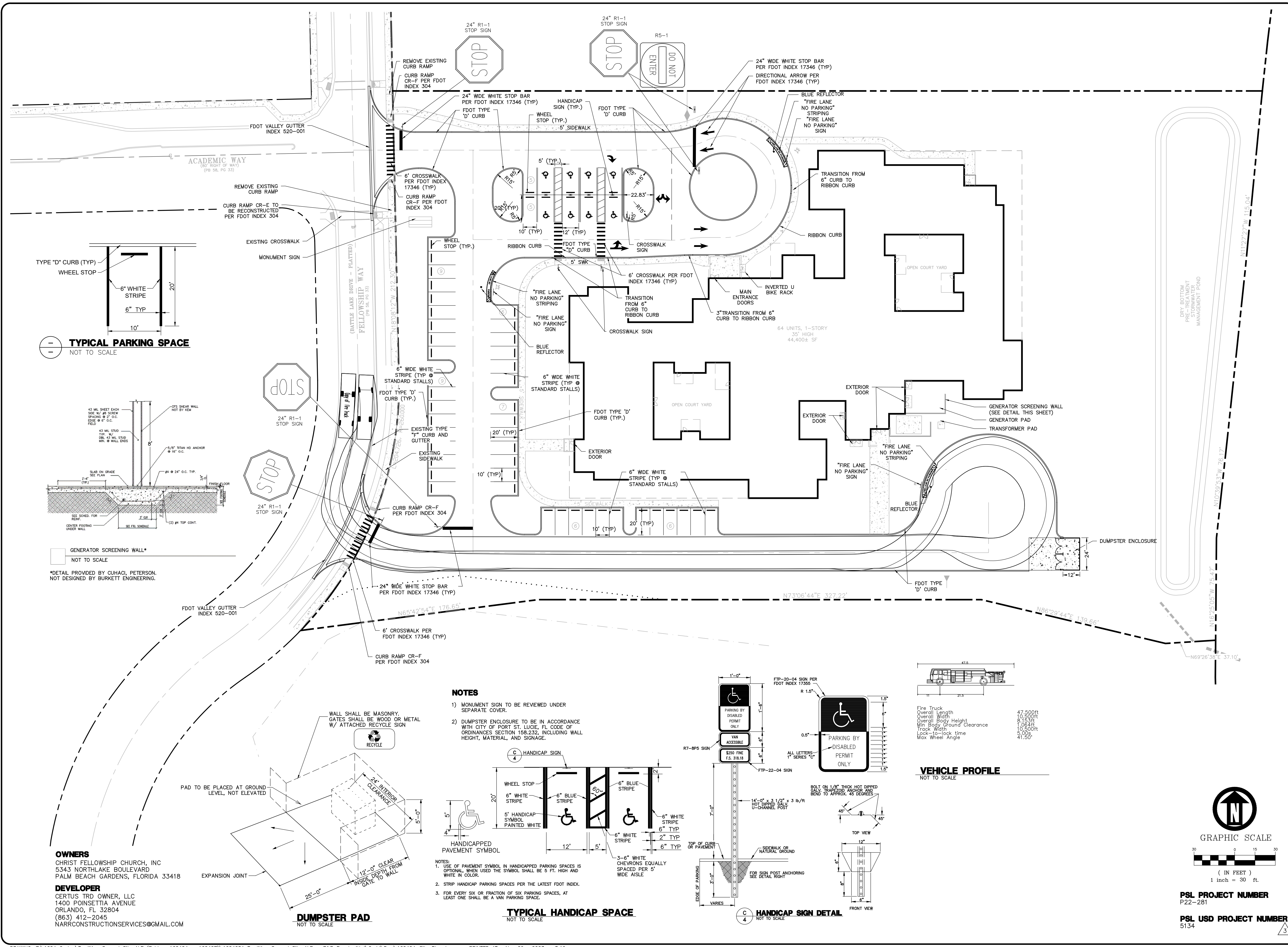
TRADITION ASSISTED LIVING FACILITY
SITE PLAN
FOR CERTUS TRD OWNER, LLC
SIGNAGE AND MARKING PLAN

DATE:	1/4/23
PROJECT NO.:	1624.251
DRAWN BY:	KG
DESIGNED BY:	KG
CHECKED BY:	CA
ENGINEER IN CHARGE:	CLIFFORD ALEJOS, P.E.

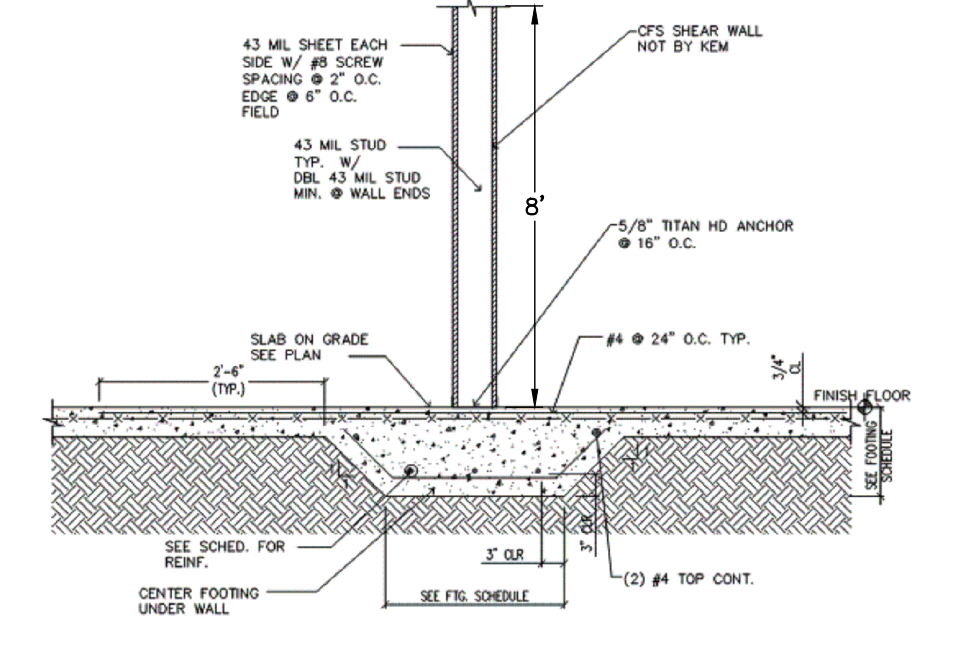
REG. # 88523
 BURKETT ENGINEERING, INC.
 CERT. OF AUTH. NO. 7105

SHEET NO.

4
 OF 11



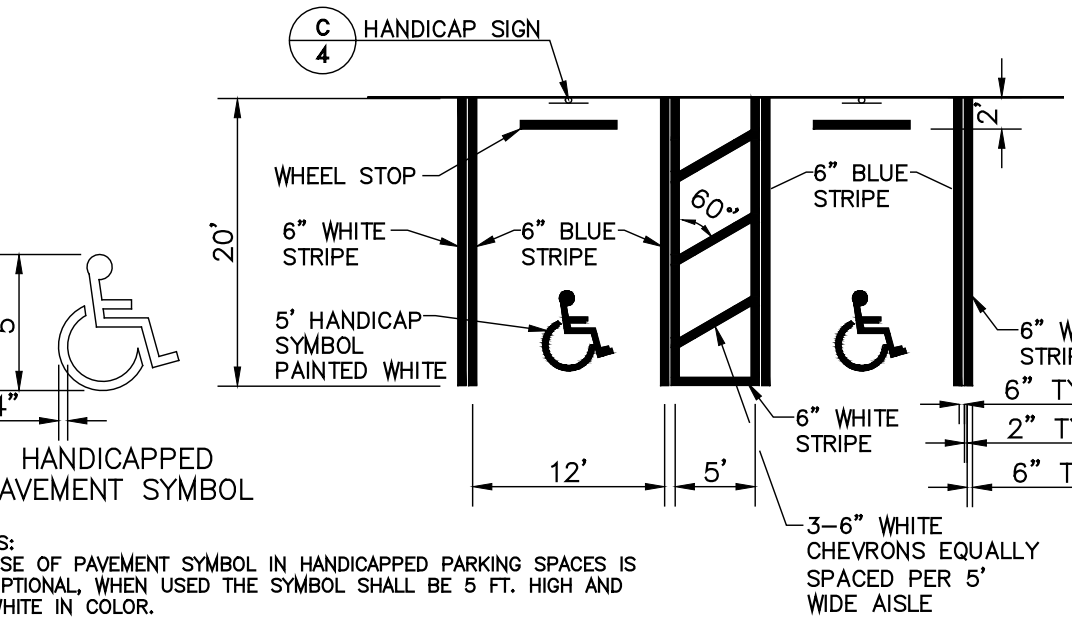
TYPICAL PARKING SPACE
 NOT TO SCALE



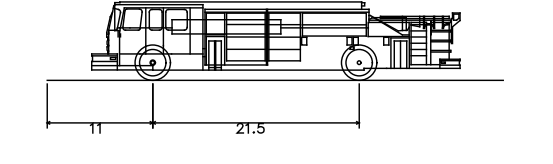
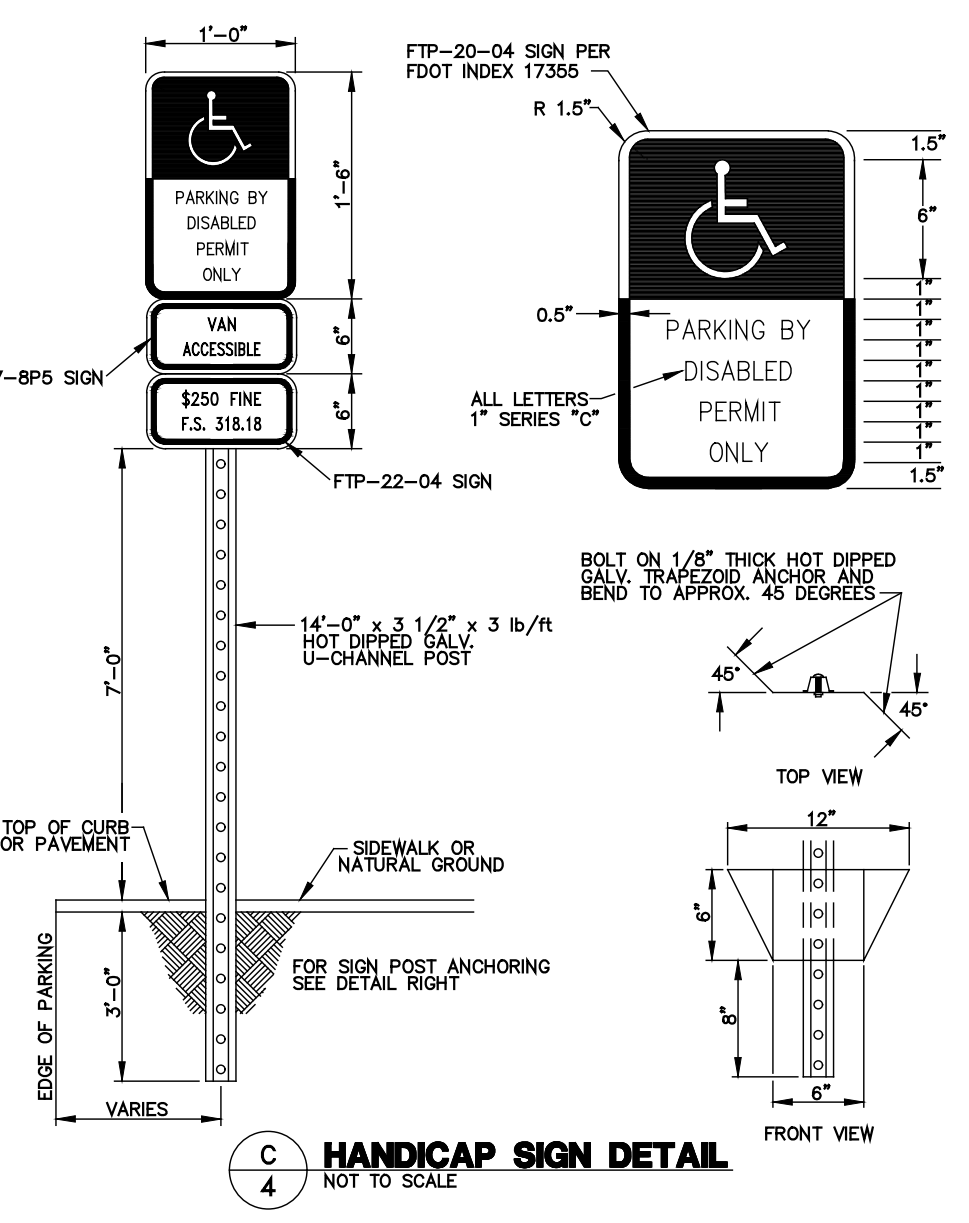
GENERATOR SCREENING WALL*
 NOT TO SCALE
 *DETAIL PROVIDED BY CUHACI, PETERSON.
 NOT DESIGNED BY BURKETT ENGINEERING.

NOTES

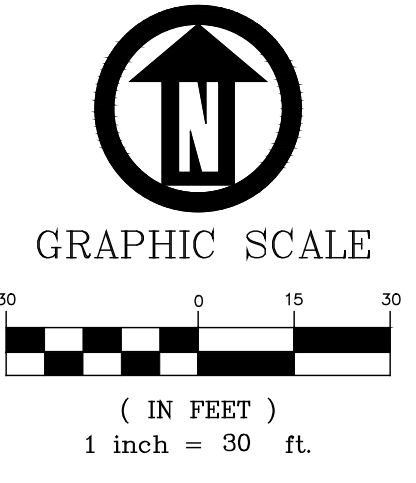
- MONUMENT SIGN TO BE REVIEWED UNDER SEPARATE COVER.
- DUMPSTER ENCLOSURE TO BE IN ACCORDANCE WITH CITY OF PORT ST. LUCIE, FL CODE OF ORDINANCES SECTION 158.232, INCLUDING WALL HEIGHT, MATERIAL, AND SIGNAGE.



TYPICAL HANDICAP SPACE
 NOT TO SCALE



VEHICLE PROFILE
 NOT TO SCALE



PSL PROJECT NUMBER
 P22-281

PSL USD PROJECT NUMBER
 5134

OWNERS
 CHRIST FELLOWSHIP CHURCH, INC
 5343 NORTHLAKE BOULEVARD
 PALM BEACH GARDENS, FLORIDA 33418

DEVELOPER
 CERTUS TRD OWNER, LLC
 1400 POINSETTIA AVENUE
 ORLANDO, FL 32804
 (863) 412-2045
 NARRCONSTRUCTIONSERVICES@GMAIL.COM