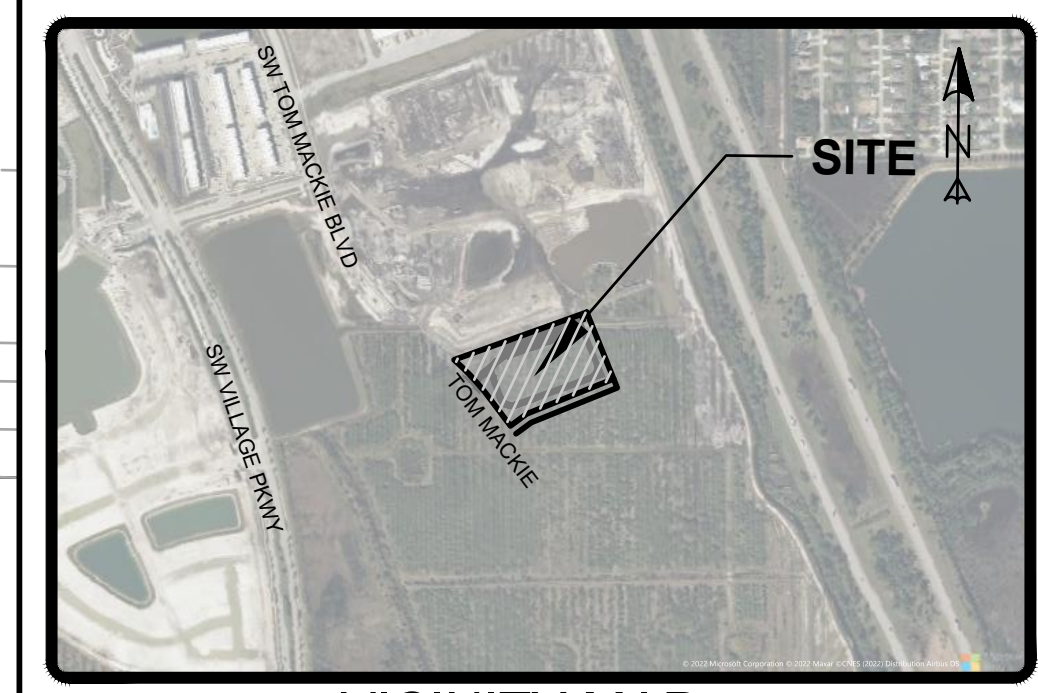
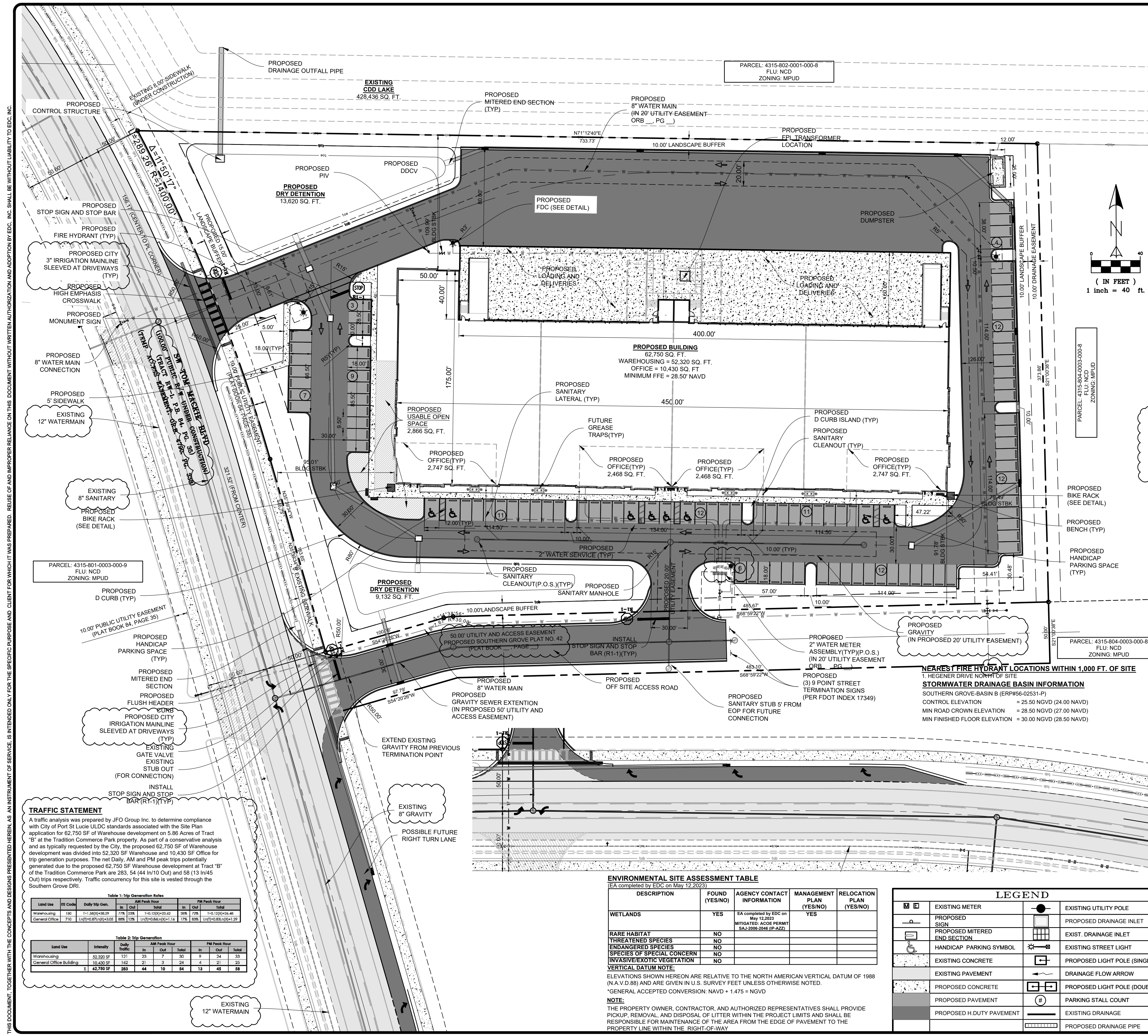


Z:\EDC-2022\22-398 - Tambone - TCC Parcel B\ENGINEERING\AutoCAD\DWG\22-398 Tambone Parcel B SP7.dwg, SP, 11/20/2023 9:30:01 AM, James, EDC, Inc.



**SITE DATA**  
 LEGAL DESCRIPTION: TRACT B, Southern Grove Plat No 42 as Recorded in Plat Book 119, Page 37 of the Public Records of St. Lucie County Florida.  
 SCALE: 1:1,000

**PARCEL ID #:** 4315-804-0003-010-1  
**PROJECT NAME:** TCC TRACT B  
**OWNERSHIP:** PSL 1850 LLC  
 3710 BUCKEYE ST. SUITE 100  
 PALM BEACH GARDENS, FL 33410

**FUTURE LAND USE:** (NCD) NEW COMMUNITY DEVELOPMENT  
**ZONING:** (MPUD) MASTER PLANNED UNIT DEVELOPMENT  
**LAND SIZE:** 255,145 S.F. (5.857 AC)

**BUILDING DATA**  
**GROSS SQUARE FOOTAGE:** 62,750 S.F. (24.99 AC)  
**PROPOSED BUILDING:** 62,750 S.F. (1.44 AC)  
**OFFICE:** 10,430 S.F. (0.24 AC)  
**WAREHOUSING:** 52,320 S.F. (1.20 AC)

**ZONING CODE FOR: (MPUD) MASTER PLANNED UNIT DEVELOPMENT**

	YARD SETBACKS	BUILDING	BUILDING	OPEN SPACE	USABLE		
PER CODE	FRONT	REAR	SIDE	COVERAGE	HEIGHT	(LANDSCAPING)	5% (MIN)
PROPOSED	95'	79'	90'	24.59%	43'	21.34%	5.26%

**SITE AREA DATA**

	255,145 S.F.	5.86 AC	100.00%
<b>IMPERVIOUS DATA</b>	<b>177,942 S.F.</b>	<b>4.08 AC</b>	<b>69.74%</b>
PROPOSED BUILDINGS	62,750 S.F.	1.44 AC	24.59%
PROPOSED PAVEMENT	89,030 S.F.	2.04 AC	34.89%
PROPOSED CONCRETE	26,162 S.F.	0.60 AC	10.25%
<b>PERVIOUS DATA</b>	<b>77,203 S.F.</b>	<b>1.77 AC</b>	<b>30.26%</b>
OPEN SPACE	54,451 S.F.	1.25 AC	21.34%
PROPOSED DETENTION	22,752 S.F.	0.52 AC	8.92%

**PARKING DATA**

WAREHOUSING REQUIRED (52,320 @ 1 SPACE/ 1,000 SQ. FT.)	53 SPACES
OFFICE (10,430 @ 4 SPACES/ 1,000 SQ. FT.)	42 SPACES
<b>TOTAL REQUIRED PARKING SPACES</b>	<b>95 SPACES (6 HC)</b>
PARKING PROVIDED	100 SPACES (8 HC)

**DRAINAGE STATEMENT**  
 THE SITE IS REQUIRED TO PROVIDE 1/2" OF DRY PRE-TREATMENT PRIOR TO DISCHARGE TO THE SOUTHERN GROVE MASTER DRAINAGE SYSTEM. ONSITE STORMWATER WILL BE COLLECTED VIA A SERIES OF INLETS AND DIRECTED TO A DRY DETENTION SYSTEM WHERE THE REQUIRED 1/2" VOLUME OF WATER QUALITY TREATMENT WILL BE ATTAINED PRIOR TO DISCHARGING INTO THE MASTER SYSTEM. FULL WATER QUALITY TREATMENT AND FLOOD PROTECTION ATTENUATION WILL BE PROVIDED BY THE SOUTHERN GROVE MASTER DRAINAGE SYSTEM.

**SOLID WASTE:**  
 BASED ON THE INTENDED USE OF THE BUILDING, THIS PROJECT WILL UTILIZE A DUMPSTER AREA FOR SOLID WASTE AND RECYCLABLE ITEMS.

**HAZARDOUS WASTE:**  
 ANY AND ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

**LANDSCAPE:**  
 REFER TO LANDSCAPE PLAN BY OTHERS.

**ACCESSIBILITY AND ADA COMPLIANCE:**  
 ALL SIDEWALKS AND RAMPS WILL MEET FDOT AND ADA REQUIREMENTS.

**TRAFFIC STATEMENT**  
 A traffic analysis was prepared by JFO Group Inc. to determine compliance with City of Port St Lucie ULDC standards associated with the Site Plan application for 62,750 SF of Warehouse development on 5.86 Acres of Tract "B" at the Tradition Commerce Park property. As part of a conservative analysis and as typically requested by the City, the proposed 62,750 SF of Warehouse development was divided into 52,320 SF Warehouse and 10,430 SF Office for trip generation purposes. The net Daily AM and PM peak trips potentially generated due to the proposed 62,750 SF Warehouse development at Tract "B" of the Tradition Commerce Park are 283, 54 (44 In/10 Out) and 58 (13 In/45 Out) trips respectively. Traffic concurrency for this site is vested through the Southern Grove DRI.

**Table 1: Trip Generation Index**

Land Use	TR Code	Daily Trip Gen.	AM Peak Hour	PM Peak Hour
Warehousing	150	11,800/48.29	178	178
General Office	710	117/0.87/0.04/0.16	186	176

**Table 2: Trip Generation**

Land Use	Intensity	Daily Traffic	AM Peak Hour	PM Peak Hour
Warehousing	52,320 SF	121	23	30
General Office Building	10,430 SF	142	21	21
<b>Total</b>	<b>62,750 SF</b>	<b>263</b>	<b>44</b>	<b>51</b>

**ENVIRONMENTAL SITE ASSESSMENT TABLE**  
 (EA completed by EDC on May 12, 2023)

DESCRIPTION	FOUND (YES/NO)	AGENCY CONTACT INFORMATION	MANAGEMENT PLAN (YES/NO)	RELOCATION PLAN (YES/NO)
<b>WETLANDS</b>	YES	EA completed by EDC on May 12, 2023	YES	
<b>RARE HABITAT</b>	NO	MITIGATED ACRES PERMIT (BAJ-2006-2946 (P-422))		
<b>THREATENED SPECIES</b>	NO			
<b>ENDANGERED SPECIES</b>	NO			
<b>SPECIES OF SPECIAL CONCERN</b>	NO			
<b>INVASIVE/EXOTIC VEGETATION</b>	NO			

**VERTICAL DATUM NOTE:**  
 ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) AND ARE GIVEN IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.  
 \*GENERAL ACCEPTED CONVERSION: NAVD + 1.475 = NGVD

**NOTE:**  
 THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE RIGHT-OF-WAY.

**LEGEND**

	EXISTING METER		EXISTING UTILITY POLE
	PROPOSED SIGN		PROPOSED DRAINAGE INLET
	PROPOSED MITERED END SECTION		EXIST. DRAINAGE INLET
	HANDICAP PARKING SYMBOL		EXISTING STREET LIGHT
	EXISTING CONCRETE		PROPOSED LIGHT POLE (SINGLE)
	EXISTING PAVEMENT		DRAINAGE FLOW ARROW
	PROPOSED CONCRETE		PROPOSED LIGHT POLE (DOUBLE)
	PROPOSED PAVEMENT		PARKING STALL COUNT
	PROPOSED H.DUTY PAVEMENT		EXISTING DRAINAGE
	PROPOSED DRAINAGE PIPE		

**ENGINEERS SURVEYORS ENVIRONMENTAL LAND PLANNERS INTERIOR DESIGNERS**

10250 VILLAGE PARKWAY  
 SUITE 201  
 PORT ST. LUCIE, FL 34987  
 772-462-2455  
 www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935  
 L.B. CERTIFICATE OF AUTHORIZATION 8988

**DESIGNED BY:** EDC  
**DRAWN BY:** JAL  
**CHECKED BY:** JAL  
**FILE NAME:** 22-398 Tambone Parcel B.dwg  
**SP:** LAYOUT  
**AS SHOWN:** SCALE  
**DATE:** 3/30/2023

**RESPONSE TO COMMENTS FROM B. KEAN CITY PSL**

DATE	REVISION COMMENTS
11/20/2023	RESPONSE TO COMMENTS FROM B. KEAN CITY PSL
11/27/2023	RESPONSE TO COMMENTS FROM B. KEAN CITY PSL

**TAMBONE - TCC TRACT B  
 SOUTHERN GROVE PLAT 42 TRACT B  
 TRADITION COMMERCIAL CHARTER**

**SITE PLAN**

FLORIDA  
 PORT ST. LUCIE

**ENGINEERS SURVEYORS ENVIRONMENTAL LAND PLANNERS INTERIOR DESIGNERS**

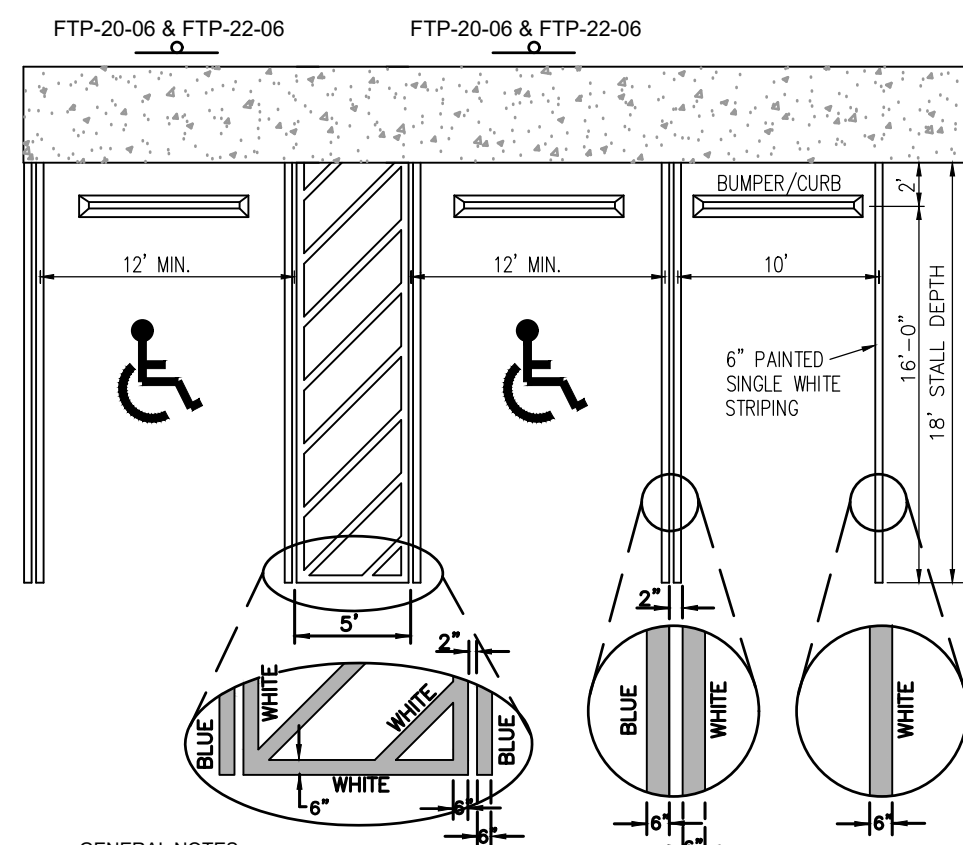
10250 SW VILLAGE PKWY - SUITE 201  
 PORT SAINT LUCIE, FL  
 772-462-2455

22-398

1 OF 2

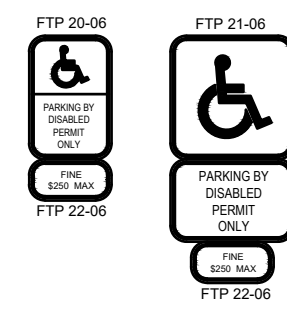
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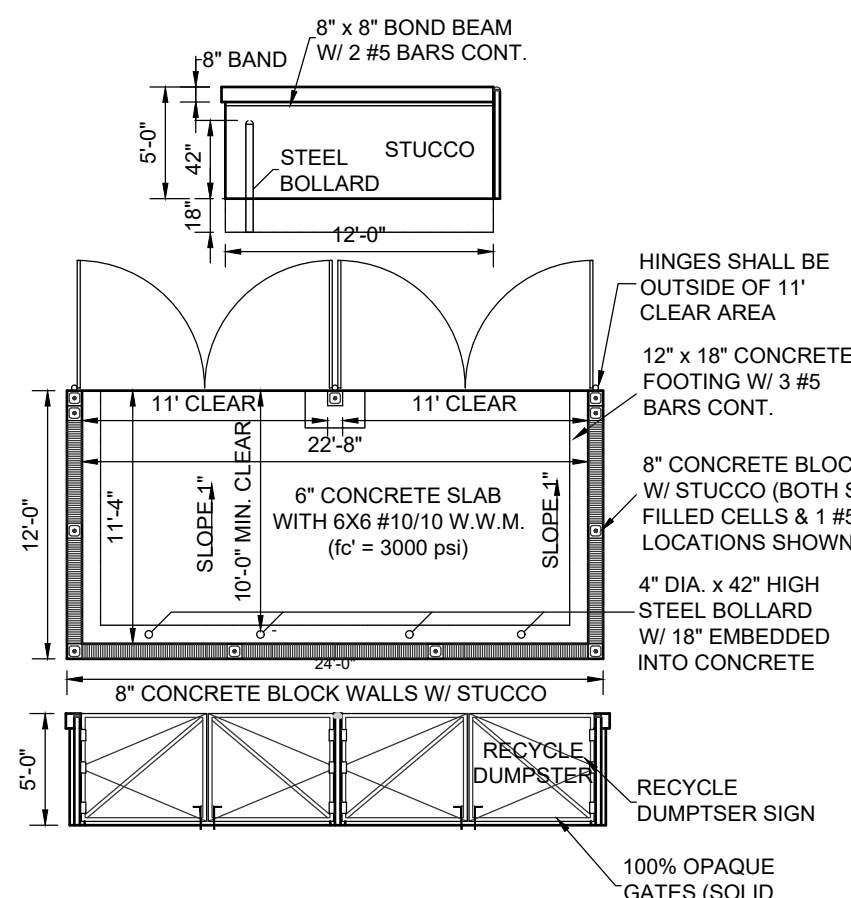


GENERAL NOTES:  
 A) ALL PARKING SPACES WITH EXCEPTION OF HANDICAPPED PARKING SPACES SHALL BE MARKED IN WHITE, RETRO-REFLECTIVE TRAFFIC PAINT AND BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2010 SECTION 716.  
 B) ALL HANDICAPPED PARKING SPACES SHALL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH THE FDOT STANDARD INDEX 17346, FY 2017-18.  
 C) ALL COMPACT SPACES SHALL BE MARKED "COMPACT" ON THE STALL OR TIRE STOP.

**HANDICAPPED SPACE DETAIL 18' PARKING STALL DETAIL**

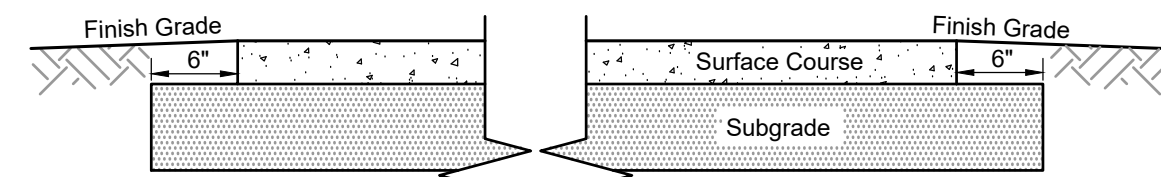


NOTES:  
 1. FTP 20-06: TOP PORTION SHALL HAVE REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.  
 2. FTP 21-06: TOP PORTION SHALL HAVE REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.  
 3. FTP 20-06 IS FOR USE IN AREAS WHERE SPACE IS LIMITED.  
 4. FTP 22-06 IS SUPPLEMENTAL PANEL FOR THE FTP 20-06 & FTP 21-06 SIGNS.  
 5. HEIGHT SHALL BE 7 FEET MEASURED FROM THE GROUND OR SIDEWALK TO THE BOTTOM OF "PERMIT ONLY" SIGN OR 8 FEET TO THE BOTTOM OF "NO STOPPING" SIGN.  
 6. REFER TO FDOT INDEX NO. 711-031 FOR PAVEMENT MARKING DETAILS & FDOT INDEX NO. 700-102 SIGN DETAILS PER THE LATEST FDOT DESIGN STANDARDS.



**24' x 12' DUMPSTER DETAIL**

NOTE:  
 OPENING MUST BE PERPENDICULAR TO LINE OF FLIGHT OF SERVICE VEHICLE.

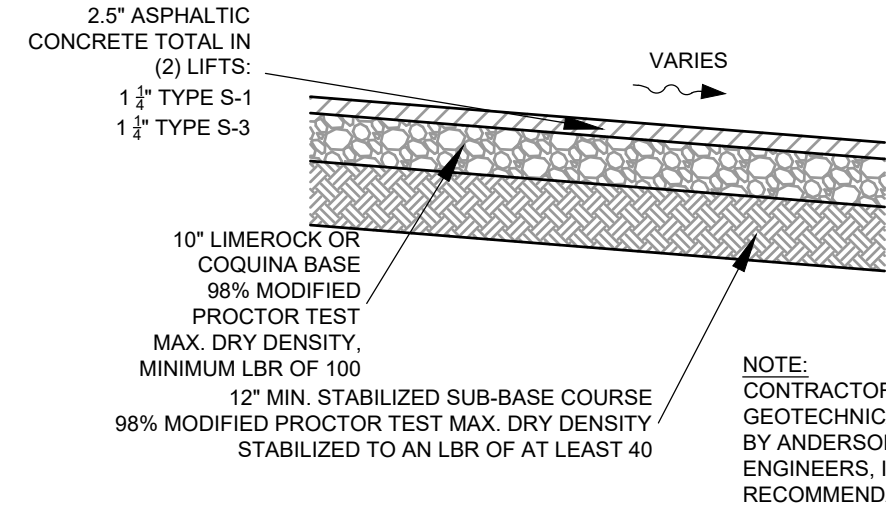


**SURFACE COURSE:** 8" CONCRETE PAVEMENT. CONCRETE SURFACE COURSE SHOULD BE COMPACTED TO AT LEAST 98% OF ITS MODIFIED PROCTOR (AASHTO T-180) AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI.

**SUBGRADE:** THE SUBBASE MATERIAL TO A DEPTH OF 12" SHOULD HAVE A MINIMUM LIMEROCK BEARING RATIO (LBR) VALUE (FDOT FM 5-515) OF 40 AND IT SHOULD BE COMPACTED TO AT LEAST 98% OF ITS MODIFIED PROCTOR (ASTM D 1557 OR AASHTO-180) MAXIMUM DRY DENSITY. THE SURFICIAL FINE SAND (SP) ON THIS SITE DOES NOT APPEAR TO HAVE THE REQUIRED LBR VALUE AND MAY REQUIRE MIXING. THE SUBGRADE SURFACE SHOULD BE SATURATED IMMEDIATELY PRIOR TO CONCRETE.

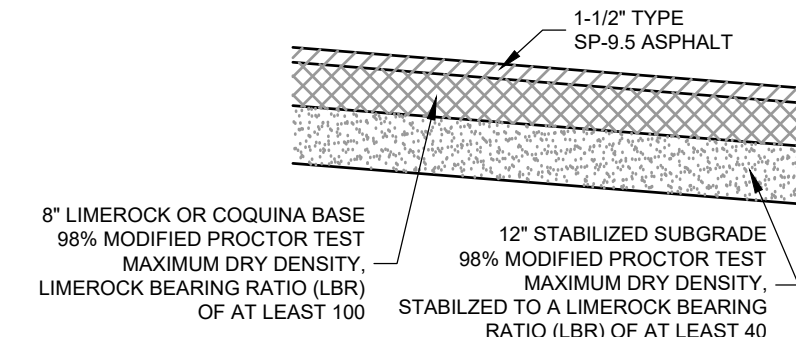
NOTE: PLACEMENT TO PROVIDE ADEQUATE MOISTURE FOR CURING THE CONCRETE. SURFACE COURSE AND SUBGRADE CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL BE ACCORDING TO FDOT INDEX NO. 000-515 AND SECTIONS 520 AND 522 OF THE FDOT STANDARD SPECIFICATIONS.

**TYPICAL 8" CONCRETE SECTION**



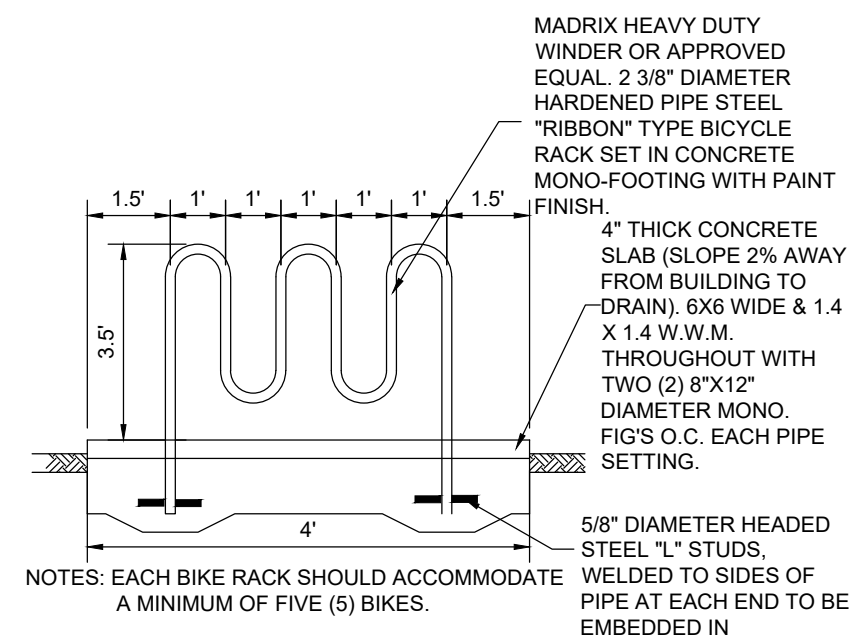
**TYPICAL ON-SITE PAVEMENT SECTION (HEAVY DUTY)**

NOT TO SCALE



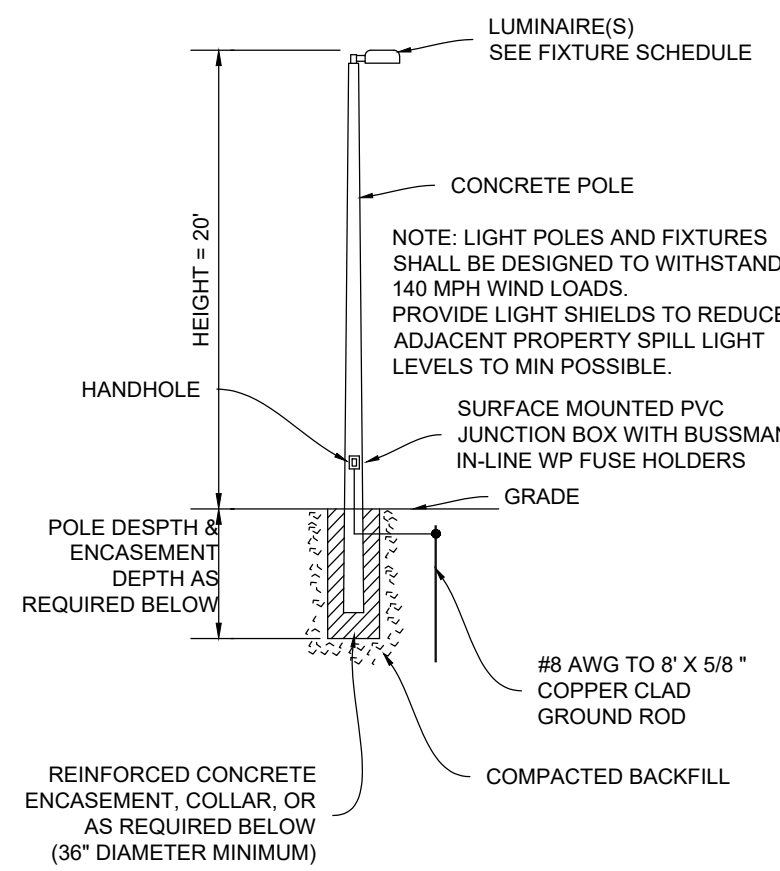
**TYPICAL PAVEMENT SECTION**

N.T.S.



**TYPICAL BIKE RACK DETAIL**

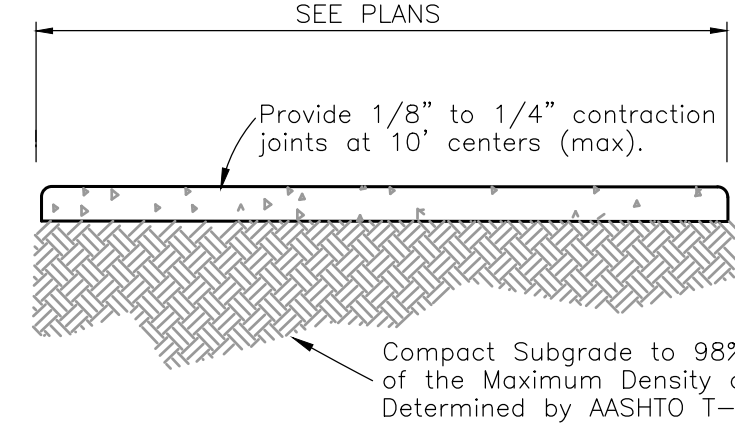
N.T.S.



**POLE MOUNTING DETAIL**

N.T.S.

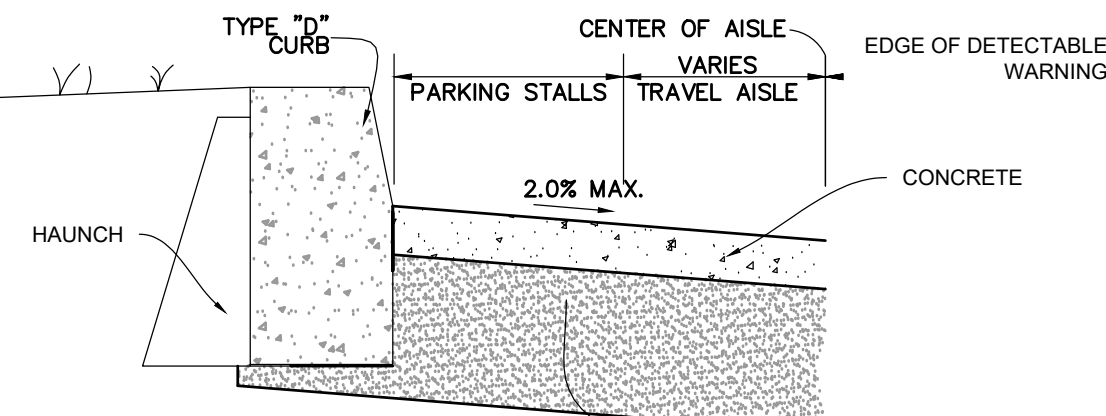
NOTE: PROVIDE SHOP DRAWINGS SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER. SHOP DRAWINGS SHALL INCLUDE THE POLE, LUMINAIR, AND REINFORCED CONCRETE ENCASUREMENT CALCULATIONS TO SHOW COMPLIANCE WITH FLORIDA BUILDING CODE. FOR WIND LOADINGS. SHOP DRAWINGS MAY BE FOR WORSE CASE SOIL CONDITIONS OR MAY BE BASED ON ACTUAL SITE SOIL BORINGS AND ANALYSIS FOR EACH POLE LOCATION AS VERIFIED BY THE FLORIDA REGISTERED PROFESSIONAL ENGINEER AND DOCUMENTED IN THE SHOP DRAWINGS. ALL ASSOCIATED COSTS FOR THE TOTAL INSTALLATION INCLUDING SHOP DRAWINGS, SOIL TESTING AND DESIGN FEES SHALL BE INCLUDED IN THE CONTRACT.



**4" THICK SIDEWALK DETAIL**

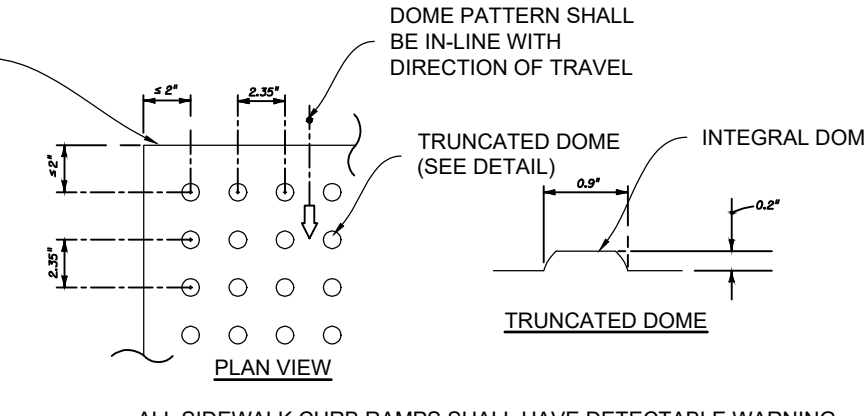
NOT TO SCALE

NOTE: LIGHT POLES AND FIXTURES SHALL BE DESIGNED TO WITHSTAND 140 MPH WIND LOADS. PROVIDE LIGHT SHIELDS TO REDUCE ADJACENT PROPERTY SPILL LIGHT LEVELS TO MIN POSSIBLE.  
 NOTES:  
 1. USE 3,000 P.S.I. CONCRETE AT 28 DAYS FOR SIDEWALK CONSTRUCTION.  
 2. SIDEWALK THICKNESS TO BE INCREASED TO 6" THICK AT DRIVEWAY LOCATIONS.  
 3. ALL REPAIRS REQUIRED DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED 10' MINIMUM TO NEXT FULL JOINT.  
 4. ALL SIDEWALK WITHIN FDOT RIGHT-OF-WAY TO BE CONSTRUCTED PER STANDARD PLANS 522-001.



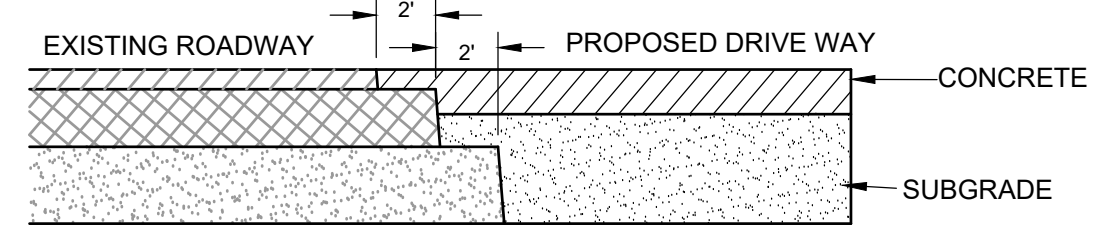
**PARKING LOT SECTION W/ TYPE "D" CURB**

NOTE: 12" MIN. STABILIZED SUB-BASE COURSE 98% MODIFIED PROCTOR TEST MAX. DRY DENSITY STABILIZED TO AN LBR OF AT LEAST 40.  
 NOTES:  
 1. TYPICAL PAVEMENT TO BE APPLIED TO ENTIRE PARKING LOT AND ENTRANCE DRIVEWAY.  
 2. USE 3,000 P.S.I. CONCRETE AT 28 DAYS FOR CONSTRUCTION.  
 3. SUBGRADE TO EXTEND BEYOND THE TYPE "D" CURB AS SHOWN ON DETAIL.  
 4. TYPE "D" CURB TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT.  
 5. TYPE "D" CURB SHOWN OVERSIZED IN DETAIL FOR CLARITY.

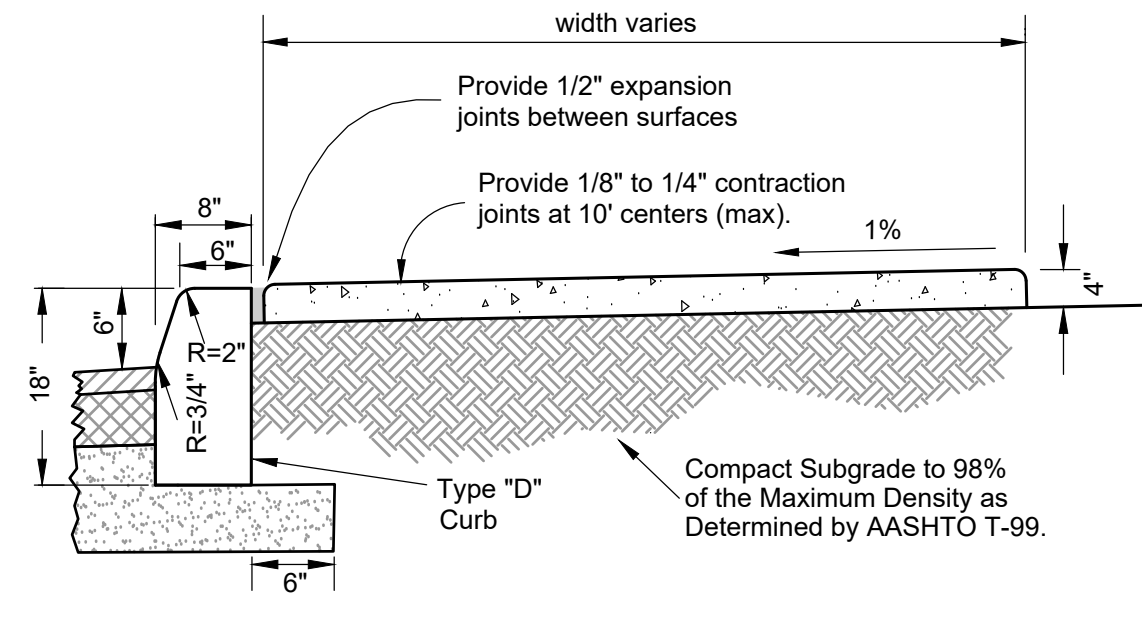


**DETECTABLE WARNING**

ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24 INCHES (610 MM) FROM THE BACK OF CURB.  
 NOTES:  
 REFER TO FDOT INDEX 304 FOR FURTHER DETAILS CAST IN PLACE.



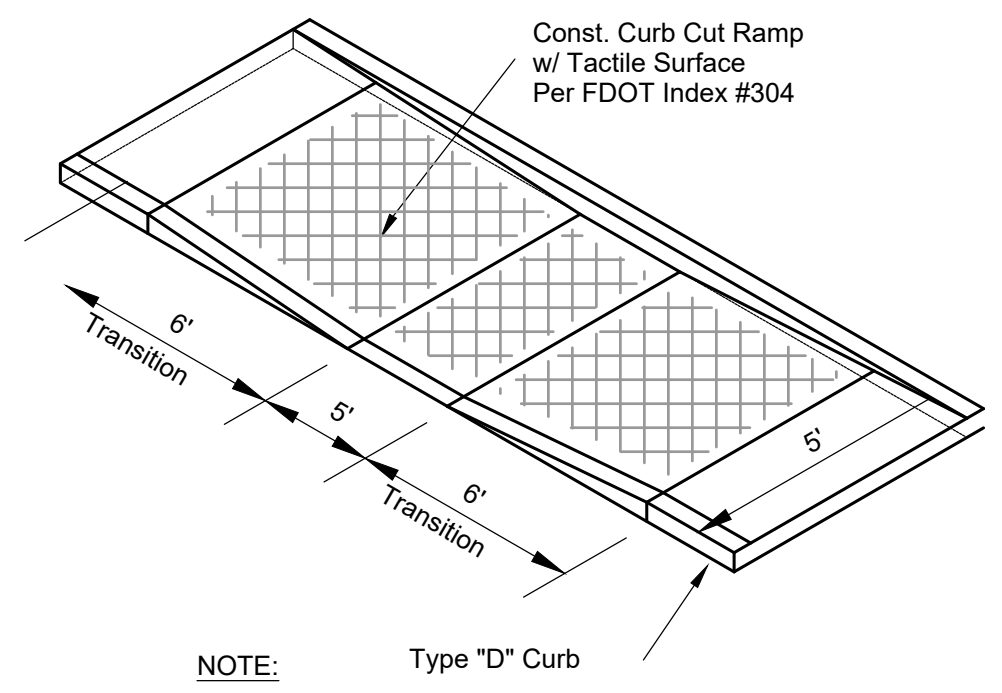
**MATERIAL BENCHING DETAIL (FOR ATTACHING TO EXISTING ROADWAY)**



**TYPE "D" CURB & SIDEWALK COMBINATION**

NOT TO SCALE

NOTE: 1. USE 3,000 P.S.I. CONCRETE AT 28 DAYS FOR CONSTRUCTION.  
 2. SUBGRADE TO EXTEND AN ADDITIONAL 6" BEYOND TYPE "D" CURB.



**HANDICAP CURB CUT RAMP**

NOTE: 1. SIDEWALK IS PARALLEL TO CURB.



10250 VILLAGE PARKWAY  
 SUITE 201  
 PORT ST. LUCIE, FL 34987  
 772-462-2455  
 www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935  
 L.B. CERTIFICATE OF AUTHORIZATION 8098

DESIGNED BY	JUL
DRAWN BY	JUL
FILE NAME	22-398 Tambores Detail 12.9.2023.dwg
DETAILS	LAYOUT
SCALE	AS SHOWN
DATE	30NOVEMBER2023

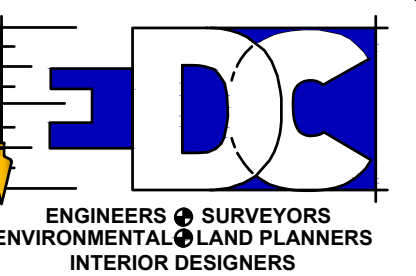
REVISION COMMENTS	DATE

**TAMBONE - TCC TRACT B  
 SOUTHERN GROVE PLAT 42 TRACT B  
 TRADITION COMMERCIAL CHARTER**

**DETAILS**

FLORIDA

PORT ST. LUCIE



10250 SW VILLAGE PKWY - SUITE 201  
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22-398

2 OF 2



PSL PROJECT # P23-145 PLSUID PROJECT #5339B-1