Sheet Index:

COVER CV LANDSCAPE PLAN LANDSCAPE DETAILS LA-3 LANDSCAPE SPECIFICATIONS

LA-1 and LA-2 LA-4



Landscape Data

Lanuscape Da				Drought		
Required Trees		Native	Species	Flowering	Tolerant	Palm
Perimeter: (2,058' / 30)	69	50%=35				
Parking Lot Terminal/ Islands:	46	75%=35				
Building Perimeter: (687' / 30)	23	50%=12				
Total:	138	82	5	20%=28	50%=69	25%= 35(Max) (Build. Foundation Exempt)

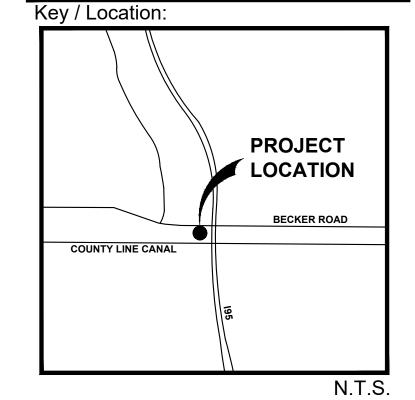
Provided Trees		Native	Species	Flowering	Drought Tolerant	Palm
1	148	88	6	47	132	33*

Required Shrubs		Native	Drought Tolerant
Perimeter: (2,058' / 2)	1,029		
Building Perimeter: (687' / 2)	344		
Total:	1,373	25%=344	50%=687

Provided Shrubs		Native	Drought Tolerant
	9,372	3,088	8,798

^{*}All tree credits are counted 1:1 & 2:1 per Appendix C Table 1 'Approved Trees & Shrubs' in the PSL Landscape Code





Project Team:

Mattamy Homes 1500 Gateway Blvd, Suite 212 Boynton Beach FL, 33426

Tesla Florida, Inc.

Land Planner / Lucido & Associates Landscape Architect: 701 East Ocean Boulevard Stuart, FL 34994

1920 Wekiva Way, Suite 200 West Palm Beach, FL 33411

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	CAL	
TREES										
BAU	8	Bauhinia x blakeana	Hong Kong Orchid Tree	FG	14` HT	5`W	STD, F, SP	Non-native	2.5"	
LN2	39	Lagerstroemia indica `Natchez`	Natchez` Crape Myrtle	FG	14` HT	6` SPR	ML, SP	Non-native	2.5"	
PP	13	Polyalthia longifolia pendula	Indian Mast Tree	FG	14` HT			Non-native		
QV	55	Quercus virginiana	Southern Live Oak	FG	14` HT	16` SPR	F, SP	Native	2.5"	
	115	SUBTOTAL:								
PALMS										
RO2	8	Roystonea regia	Florida/Cuban Royal Palm	FG	10`CT	20` W	F, SP, No Scars	Native		
SP	49	Sabal palmetto	Sabal Palm	FG	14` HT	10` W	HVY CAL, SP	Native		
	57	SUBTOTAL:					- ,			
CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONTAINER	<u>HEIGHT</u>	WIDTH	NOTES	NATIVE	SPACING	
SHRUBS										
AR2	24	Agave americana 'Gainesville Blue'	Gainesville Blue Century Plant	25G	4` HT			Native		
CLU	26	Clusia guttifera	Small-Leaf Clusia	3G	24" HT	2.5`W	FTB	Non-native		
CES	167	Conocarpus erectus `Sericeus`	Silver Buttonwood	3G	24" HT	24"W	F	Native		
HAM	250	Hamelia patens `Compacta`	Dwarf Firebush	3G	24" HT	30"W	FTB	Non-native		
MUH3	208	Muhlenbergia capillaris	Pink Muhly Grass	3G	24" HT	24"W	F	Native		
VO	324	Viburnum odoratissimum	Sweet Viburnum	3G	24" OA			Non-native		
	999	SUBTOTAL:								
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	<u>HEIGHT</u>	WIDTH	NOTES	NATIVE	SPACING	SPACING
GROUND	COVERS									
ILS	2,689	llex vomitoria `Stokes Dwarf`	Dwarf Yaupon	1G	12"HT	12"W	Full	Native		18" o.c.
JUP	311	Juniperus chinensis `Parsonii`	Parsoni Juniper	1G	10" HT	15" SPR	Full	Non-native		24" o.c.
TA	5,373	Trachelospermum asiaticum	Asiatic Jasmine	1G	12" HT	12"W	Full	Non-native		18" o.c.
	8.373	SUBTOTAL:								

Plant Schedule Notes:

Specified height, width, and caliper sizes provided in the plant schedule supersede container sizes of proposed plant material. Plant material must meet minimum specified sizes at time of installation. Container size is provided for reference only.

General Landscape Notes:

- 1. All landscaping at intersection and corners complies with section 158.204 of the port st lucie code of ordinances to provide a clear sight zone between 2' - 6' above the final road crown elevation. all hedges and shrubs with in the 25' sight triangle will be maintained at a height no higher than 2' above the crown elevation of the road. in addition, the foliage line any tree within the 25'
- sight triangle will maintained at a height of no less than 6' above the road crown.
- 2. At least 50% of all required trees shall be of a native species. All planting beds to be covered with Dewitt landscape fabric & receive 4" of mulch
- 4. All plant material to be Florida no. 1 or better.
- All landscape & sod areas to be irrigated by an automated system.
- Street tree locations will occur within 5' Landscape Easement as shown on civil engineering plans and can be adjusted based on final utility, sidewalk, and driveway locations.
- Where applicable, street trees requiring root barriers shall be installed with Biobarrier Root Control Fabric or approved equal. Install
- per manufacture specifications.
- 8. All proposed landscaping meets FDOT specifications.

PSLUSD Notes for Landscape Plans:

- No landscaping shall be planted in a manner that would adversely affect utility easements. Landscaping shall be in compliance with Chapter 154 of the City of Port St. Lucie Code of Ordinances, PSLUSD technical specifications and policies.
- 2. All landscaping within City utility easements shall comply with PSLUSD technical specifications, policies, and codes.
- 3. All landscaping shall meet the latest PSLUSD Landscape Policy and shall not be placed in a manner that would create conflicts with
- the intended operation and maintenance of any existing utility.

 Trees shall not be planted within ten (10) feet of any PSLUSD underground infrastructure.

 No landscaping other than sod grasses shall be located within 5' of a PSLUSD appurtenance such as a water meter assembly,
- backflow device, fire hydrant or sewer cleanout, etc.

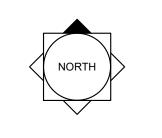
Mattamy SG7 - Parcel D

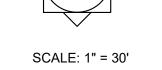
Overall Planting Plan

Project # P24-215 PSLUSD Project # 5438D

Port St Lucie, Florid

	1 01	t Ot Edolo, i londa	
Date	By	Description	
11.20.24	JE	Initial Submittal	
1.31.25	JE	Re-Submittal	
3.05.25	JE	Re-Submittal	
8.12.25	JE	Re-Submittal	
9.3.25	MY	Re-Submittal	
10.6.25	JE	Re-Submittal	





Computer File

REG. # LA6667114

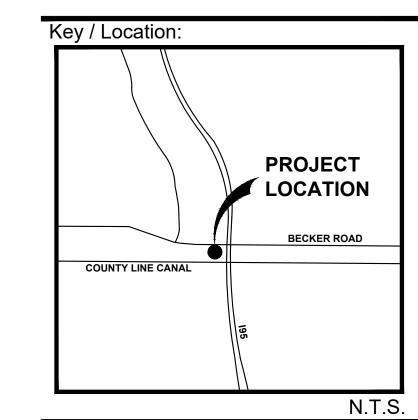
SG7 Parcel D LA - MRY REV.dwg

Sheet Designer Manager Project Number 24-160 Municipal Number P24-215

© Copyright Lucido & Associates. These documents and their contents are the property of

Lucido & Associates. Any reproductions, revisions, modifications or use of these documents without the express written consent of Lucido & Associates is prohibited by law.





Project Team:

Mattamy Homes 1500 Gateway Blvd, Suite 212 Boynton Beach FL, 33426

Lucido & Associates

Landscape Architect: 701 East Ocean Boulevard Stuart, FL 34994

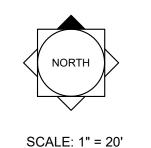
1920 Wekiva Way, Suite 200 West Palm Beach, FL 33411

Mattamy SG7 - Parcel D

Planting Plan

Project # P24-215
PSLUSD Project # 5438D

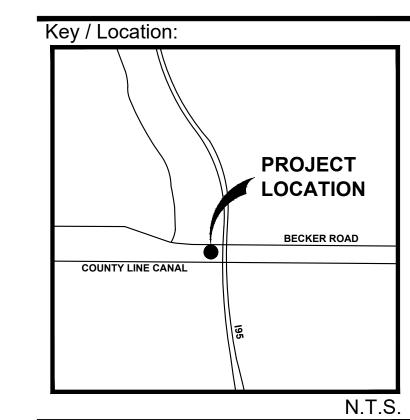
Date	Bv	Description
11.20.24	JE	Initial Submittal
1.31.25	JE	Re-Submittal
3.05.25	JE	Re-Submittal
8.12.25	JE	Re-Submittal
9.3.25	MY	Re-Submittal
10.6.25	JE	Re-Submittal



Project Number SG7 Parcel D LA - MRY REV.dwg

© Copyright Lucido & Associates. These documents and their contents are the property of Lucido & Associates. Any reproductions, revisions, modifications or use of these documents without the express written consent of Lucido & Associates is prohibited by law.





Project Team:

Mattamy Homes
sperty Owner: 1500 Gateway Blvd, Suite 212
Boynton Beach FL, 33426

Land Planner / Lucido & Associates

To 1 East Ocean Boulevard

Stuart, FL 34994

F: Kimley-Horn 1920 Wekiva Way, Suite 200 West Palm Beach, FL 33411

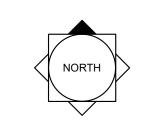
Mattamy SG7 - Parcel D

Planting Plan

Project # P24-215 PSLUSD Project # 5438D

Port St Lucie, Florida

Date	Ву	Description
11.20.24	JE	Initial Submittal
1.31.25	_JE	Re-Submittal
3.05.25	_JE	Re-Submittal
8.12.25	_JE	Re-Submittal
9.3.25	MY	Re-Submittal
10.6.25	JE	Re-Submittal



SCALE: 1" = 20'

SCALE: 1" = 20"

REG. # LA6667114 Steven Garrett

Designer JE Sheet

Manager SG

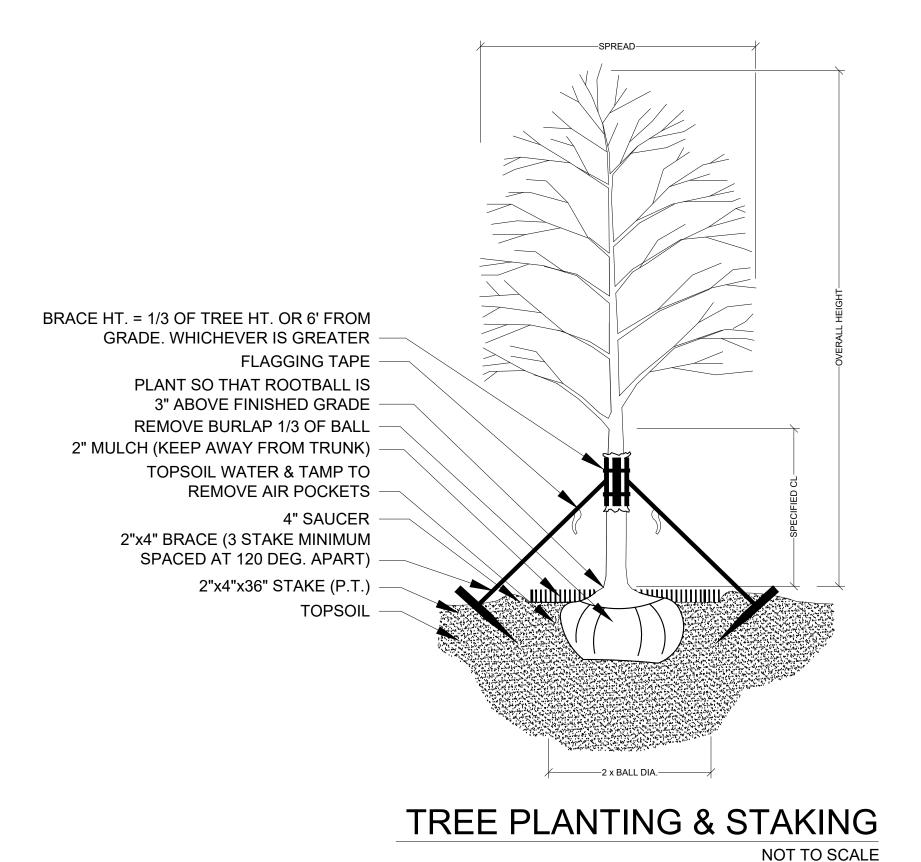
Project Number 24-160

Municipal Number P24-215

Computer File SG7 Parcel D LA - MRY REV.dwg

© Copyright Lucido & Associates. These documents and their contents are the property of Lucido & Associates. Any reproductions, revisions, modifications or use of these documents without the express written consent of Lucido & Associates is prohibited by law.





(5) 2x4x16" WOOD BATTENS SECURE BATTENS W/ (2) 3/4" HIGH CARBON STEEL BANDS TO HOLD BATTENS IN PLACE DURING PLANTING PROJECT. DO NOT NAIL (5) LAYERS OF BURLAP BATTENS TO TRUNK. HEIGHT OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE TREE FOR ADEQUATE BRACING STEEL BANDS **BRACING DETAIL** NOT TO SCALE WRAP TRUNK IN BURLAP & SECURE BATTENS W/ 3/4" HIGH CARBON STEEL BANDS FLAGGING TAPE 2"x4" BRACE (3 STAKE MINIMUM SPACED AT 120 DEG. APART) 2" MULCH (KEEP AWAY FROM TRUNK) FORM SAUCER WITH 4" CONTINUOUS RIM 2x4x36" STAKE (P.T. **TOPSOIL**

THIN BRANCHES BY 1/4 OF TOTAL MASS. RETAIN NAT. SHAPE 1/2" DIA. BLACK RUBBER HOSE TIED W/ DOUBLE STRAND 12 GAUGE GALV. WIRE, 3 GUYS PER TREE MIN. WHITE FILM **FLAGGING** PLANT SO THAT ROOTBALL IS TAPE 3" ABOVE FINISHED GRADE 2" MULCH **REMOVE BURLAP 1/3 OF BALL** FORM SAUCER WITH 3" **CONTINUOUS RIM** 2"x4"x36" STAKE (P.T. FINISHED GRADE

6" DIA. DRAINAGE DETAIL

MULTI-TRUNK PLANTING & GUYING NOT TO SCALE

Key / Location: COUNTY LINE CANAL (KEEP AWAY FROM TRUNK) Project Team:

1500 Gateway Blvd, Suite 212 Boynton Beach FL, 33426

lucido & associates

701 E Ocean Blvd., Stuart, Florida 34994

(772) 220-2100, Fax (772) 223-0220

PROJECT

LOCATION

BECKER ROAD

N.T.S.

Tesla Florida, Ind 701 East Ocean Boulevard Stuart, FL 34994

1920 Wekiva Way, Suite 200

Details

Port St Lucie, Florida

PSLUSD Project # 5438D

By Description

11.20.24 JE Initial Submittal

1.31.25 JE Re-Submittal

3.05.25 JE Re-Submittal

8.12.25 JE Re-Submittal

9.3.25 MY Re-Submittal 10.6.25 JE Re-Submittal

Project # P24-215

West Palm Beach, FL 3341

ROOTBALL Mattamy SG7 - Parcel D Landscape

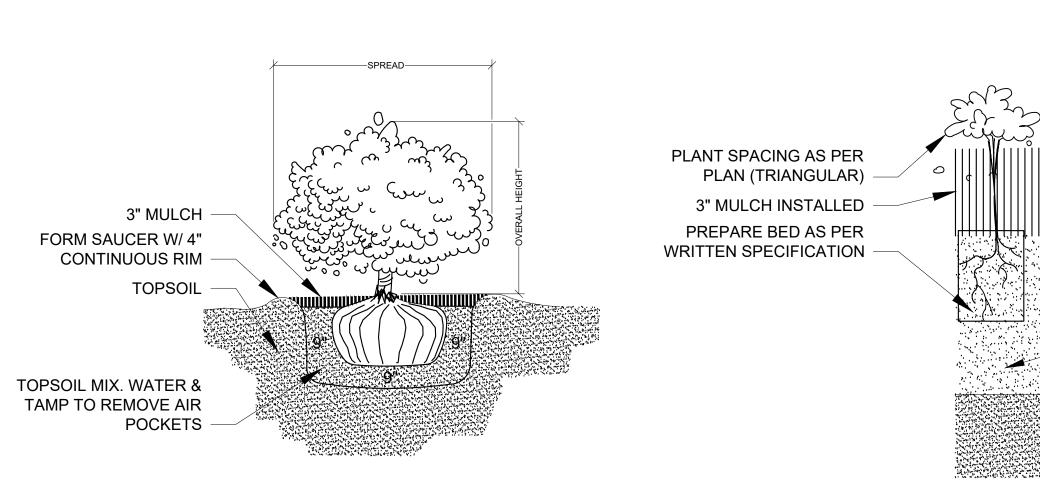
NOT TO SCALE

DRAINAGE TESTING DETAIL

DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS.

PRIOR TO PLANTING, ALL PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER.

- A. DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.
- FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED. IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.
- WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL)
- ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.
- WHEN BACKFILLING PLANTING PITS WITH NATIVE TOPSOIL, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.



SHRUB PLANTING NOT TO SCALE

GROUNDCOVER PLANTING DETAIL

NOT TO SCALE

4"CROWN MIN.

or 2% MIN. SLOPE

PAVEMEN

LANDSCAPE AREA PREPARATION DETAIL

NOT TO SCALE

3" MULCH LAYER

40% ORGANIC MATERIAL)

FINAL GRADE AS SHOWN

EXISTING SUBGRADE

PAVEMENT

36" BELOW TOP OF CURB TO

3" POTTING SOIL (SHALL CONTAIN

 *TOPSOIL SHALL BE NATURAL, FRIABLE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY OF THE PROJECT SITE THAT PRODUCES HEAVY GROWTH.

MEDIAN or LANDSCAPE ISLAND

-CURB BY OTHERS-

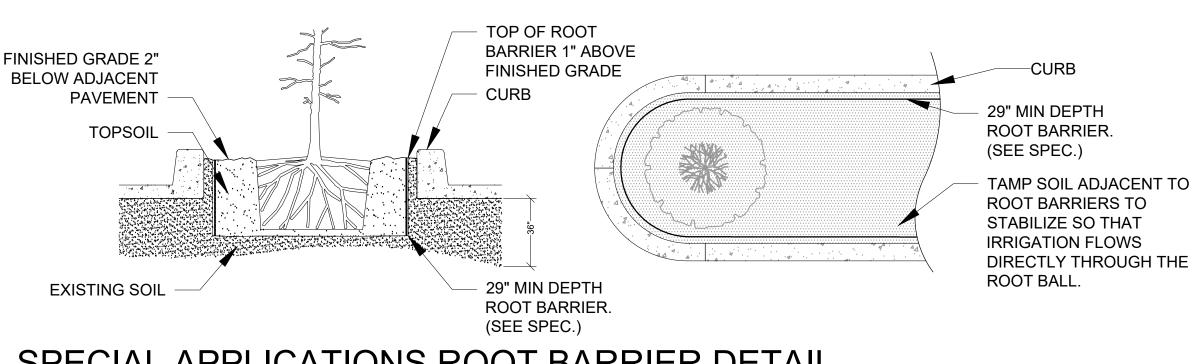
THIS DETAIL SHOWN DEPICTS A MEDIAN AND/OR LANDSCAPE ISLAND AND IS FOR GRAPHIC PURPOSES ONLY; SOIL PREPARATION SHALL APPLY TO ALL

TREE, SHRUB, & GROUND COVER AREAS. THIS DOES NOT INCLUDE SOD AREAS

-----2 x BALL DIA.----

PALM PLANTING - ANGLE STAKE

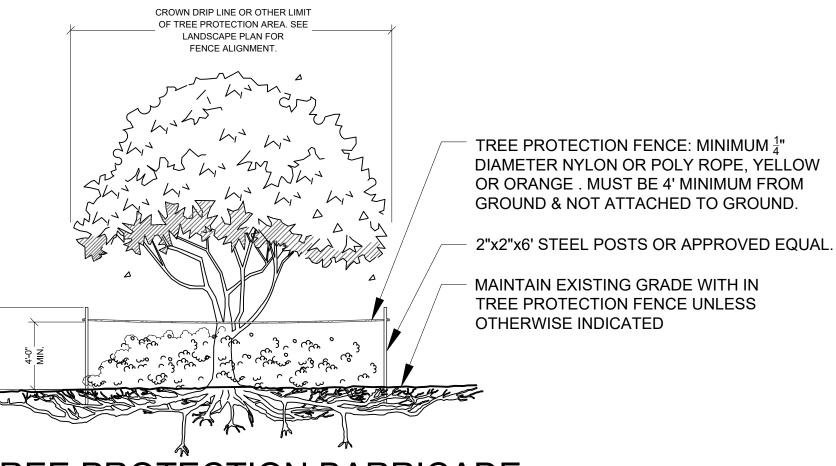
- TOPSOIL SHALL HAVE A PH RANGE OF 5.5-7.4, FREE FROM SUBSOIL, WEEDS, LITTER, SODS, CLAY, STONES, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH, OR HINDER PLANTING OPERATIONS.
- TOPSOIL SHALL CONTAIN A MINIMUM OF 3% ORGANIC MATERIAL • TOPSOIL MUST PERCOLATE WATER AT A RATE OF 1" PER HOUR (SEE ALSO DRAINAGE TESTING DETAIL FOR TREES) LANDSCAPE AREA SOILS SHALL BE APPROVED BY LANDSCAPE ARCHITECT/OWNER PRIOR TO PLANTING



SPECIAL APPLICATIONS ROOT BARRIER DETAIL NOT TO SCALE

1- ROOT BARRIER SHALL BE "BIO-BARRIER 29" DEPTH OR APPROVED EQUAL.

2- ROOT BARRIER SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.



TREE PROTECTION BARRICADE NOT TO SCALE

FENCE INSTALLATION AND REMOVAL.

1- SEE LANDSCAPE PLAN FOR FENCE ALIGNMENT. 3- NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST 4- NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING

© Copyright Lucido & Associates. These documents and their contents are the property of Lucido & Associates. Any reproductions, revisions, modifications or use of these documents without the express written consent of Lucido & Associates is prohibited by law.

SG7 Parcel D LA - MRY REV.dwg

SCALE: 1" = -REG. # LA6667114 Steven Garrett

Designer Project Number Municipal Number

PLANT MATERIALS:

drawings.

LANDSCA	PE SPECIFICATIONS
PART 1:	GENERAL CONDITIONS
1.01 A.	SCOPE: The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.
1.02 A.	AGENCY STANDARDS: Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in: Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.
1.03 A.	SITE EXAMINATION: The Landscape Contractor shall personally examine the site and fully acquaint him/herlself with all of the existing conditions in order that no mis-understanding may afterwards arise as to the character or extent of the work to be performed, and, additionally, in order to acquaint him/herself with all precautions to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unusual difficulties which may be encountered in the execution or maintenance of any portion of the work.
1.04 A.	ERRORS AND OMISSIONS: The plant list is a part of the drawings and is furnished as a convenience. The plant list indicates the name, size and quantities of specific plant materials as called for and is located on the drawings. The Landscape Contractor is responsible for his/her own quantity count, and any discrepancy between drawings and plant list shall be considered as correct on the drawings.
В.	The Landscape Contractor shall not take advantage of errors or omissions in the specifications or contract drawings. Full instruction will be given if such errors are discovered. Upon the discovery of any discrepancies in, or omissions from the drawings or documents, or should the Landscape Contractor be in doubt as to their meaning, the Landscape Architect shall be notified and will determine the actions necessary to each query.
C.	If plans and specifications are found to disagree after the contract is awarded, the Landscape Architect shall be the judge as to which was intended.
1.05 A.	EXECUTION OF THE WORK: The Landscape Contractor shall have his labor crews controlled and directed by a Foreman well versed in plant materials, planting methods, reading plans, and coordination between job and nursery in order to execute installation correctly and in a timely manner.
В.	The Landscape Contractor shall provide a competent English-speaking Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work. The Foreman shall be capable of reading and thoroughly understanding the Plans, Specifications and other Contract Documents. If the Superintendent is deemed incompetent by the Landscape Architect, he (the superintendent) shall be immediately replaced.
C.	The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implementation of the job. Any additional work or changes required as a result of failure to communicate with the Owner or Landscape Architect during implementation will be the responsibility of the Landscape Contractor.
1.06 A.	PROTECTION OF PUBLIC AND PROPERTY: The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public. He shall be held responsible for any damage or injury to persons or property which may occur as a result of his fault or negligence in the execution of the work, i.e. damage to underground pipes or cables.
1.07 A.	CHANGES AND EXTRAS: The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting forth the adjusted prices has been executed by the Owner and the Contractor. Any work performed on changes or "extras" prior to execution of a written agreement may or may not be compensated for by the Owner at his discretion.
1.08	GUARANTEE: The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for period of 18 MONTHS from the time of completion and acceptance by the Landscape Architect and Owner. Sod shall be guaranteed to 90 calendar days after acceptance by the Landscape Architect and Owner. All plant material shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. The guaranteeing of plant material shall be construed to mean complete and immediate replacement with plant material of the same variety, type, size, quality and grade as that of the originally specified material. During the guarantee period it shall be the Landscape Contractor's responsibility to immediately replace any dead or unhealthy material as determined by the Landscape Architect. The guarantee will be null and void if plant material is damaged by lightning, hurricane force winds, or any other acts of God, as well as vandalism or lack of proper maintenance.
В.	At the end of the specified guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Landscape Architect, shall be replaced. The Landscape Contractor shall be responsible for the full replacement cost

A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed

authorization by the Owner or the Landscape Architect. If plant material is not of sufficient size to meet applicable codes, a letter of

variance from the appropriate agency must be obtained by the Contractor prior to issuance of any change order. If material of smaller

All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal to or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with

All plant materials shall be nursery grown, unless otherwise noted, Florida #1 or better and shall comply with all required inspections,

grading standards and plant regulations as set forth by the Florida Department of Agriculture's Grades and Standards for Nursery

The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed

Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.

Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY upon written

size is to be accepted, the quantity of material shall be increased, at no additional cost to the Owner, to meet the intent of the

necessary. In the event discrepancies occur, the specifications on the drawings shall govern.

branches in normal position. Any necessary pruning shall be done at the time of planting.

properly and/or approved by the Landscape Architect at no additional cost to owner.

Plants, most current addition and Grades and Standards for Nursery Plants, most current addition.

will determine the	A.	All p
index of to mkick	B.	No p
judge as to which	C.	The
	D.	All re
terials, planting a timely manner. all be fully	2.05 A.	PRO Tree batte
anding the Plans, nitect, he (the nplementation of e Architect during	2.06 A.	TOP Plant repressubs to pla a rate
maintain all ons or property es or cables.	В.	Lands of "T topso the to
he adjusted prices of a written als, except sod, for a all be guaranteed to atisfactory condition all be construed to		Exist not r to be confi prov Land of th 1.08
that of the originally replace any dead or s damaged by	2.07 A.	FER Com Inorg origin
y condition, as ull replacement cost	В.	Thor
ould the nen applicable until	C.	Table table mid-v
nage. Adequate		Large
e Federal		3 fee
	2.08 A.	MUL Mulc Cypr
y or all of the	В.	All tr

2.02

2.03

	beand man eera, repe, or three meeting man eera plante entail be banea and banappea.
3.	Plants with broken, damaged or insufficient rootballs will be rejected.
) .	All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shal adequately covered to prevent windburn, drying or damage to plants.
) .	Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other protection from drying of wind and sun. All plants shall be watered as necessary by the Landscape Contractor until planted.
2.04 A.	STORAGE All plant materials shall be stored on the site in designated areas, specified by the Landscape Architect or Owner's agent.
3.	No plant material shall be stored longer than seventy-two (72) hours unless approved by Landscape Architect and/or owner.
C .	The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.
) .	All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.
2.05 A.	PROTECTION DURING PLANTING: Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wo battens or other approved methods. Battens shall NOT be attached to the tree with nails
2.06 A.	TOP SOIL: Planting soil for all plantings shall consist of topsoil and be natural, friable, fertile, fine loamy soil possessing characteristics of representative topsoil in the vicinity of the project site that produces heavy growth. Topsoil shall have a PH range of 5.5-7.4, free subsoil, weeds, litter, sods, clay, stones, stumps, roots, trash, herbicides, toxic substances, or any other material which may be to plant growth, or hinder planting operations. Topsoil shall contain a minimum of 3% organic material. Topsoil must percolate was a rate of 1" per hour (See also drainage testing detail for trees)
3.	Landscape Area Preparation. The intent of this section is to ensure a healthy growing environment for all planting material in <u>all</u> landscaped areas. Landscape Contractor to examine existing soils prior to planting to ensure conformance to <u>all</u> definitions of "Topsoil" (seeLandscape Area Preparation Detail); In addition, a 3" layer of high organic (min 40%) potting soil shall be added topsoil and mixed in at time of planting. <i>East Coast Recycling Inc.</i> is a recommended source for imported Topsoil (if needed) as the top 3" layer of potting soil.
	Existing soils must meet <u>all</u> definitions of 'Topsoil' as described above in <u>all</u> planting areas throughout the site. If existing so not meet all definitions of Topsoil, please refer to the 'Landscape Area Preparation' detail. Examination may require existing to be tested by an accredited testing laboratory. Should a soil test be necessary, Contractor shall contact soil testing lab did confirm such lab's soil collection and transmittal protocol; all costs if any shall be borne by the Contractor. Contractor shall provide to Landscape Architect for review the results of the soil test if conducted. Contractor shall schedule an on-site mee Landscape Architect to review existing and/or imported soils prior to planting. The Landscape Area Preparation is the responsibility of planting soils and shall honor all guarantee items in s 1.08.
2.07 A.	FERTILIZER: Commercial fertilizer shall comply with the state and local fertilizer laws. Nitrogen shall not be less than 40% from organic source Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unope original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damageshall be rejected.
3.	Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.
D.	Tabletized fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal. All trees and shrubs shall be fertilized w tabletized fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the bamid-way in depth in accordance with the following rates:
	1 gallon container 1 tablet 3 gallon container 2 tablets 5 gallon container 3 tablets 7 gallon container 5 tablets
	Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (m 3 feet from ground) or for each foot of height or spread of larger shrub material. The Landscape Architect reserves the right to instand review the application of fertilizer.
2.08 A.	MULCH: Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displaced Cypress &/or Red mulch is prohibited.
3.	All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm rootballs, keep 6" away from tree & palm trunks or as required by local jurisdiction.
PART 3 3.01 A.	EXECUTION DIGGING: The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead underground pipes and cables and the pipes and hydrants of watering systems. Should such overhead or underground obstructive encountered which interfere with planting, the Owner shall be consulted and contractor will adjust the location of plants to clear sobstruction. The Contractor shall be responsible for the immediate repair of any damage caused by his work.
3.02 A.	GRADING: Grading for drainage, swales, etc. to within 4 inches of the finished grade to be provided by others.
3.	It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation s to bring sod and planting areas to their proper elevations in relation to walks, paving, drain structures, and other site conditions. site grading plan must be checked prior to installation of sod to insure that drainage and other conditions will NOT be modified.
3.03 A.	PLANTING: Planting shall take place during favorable weather conditions.
3.	The Contractor shall call for utility locates and ascertain the location of all utilities and easements so proper precautions can be to not to damage or encroach on them.

As a management of the combine management of				
Feet Control of the Control of Co				
Set international contracts and production of the state of production of production of the state of the st		INSPECTION		
International of the control international control in the control international control in the control international control inter		The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with	l.	
Advantage of the head of the control to the control		and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective	J.	All flagging ribbon shall be removed from trees and shrubs before planting.
Appear and to be both to 4.2 pt starting on a starting or an anti-control of the company of the		PROTECTION OF DIANT MATERIALS.	K.	Excess excavation (fill) from all holes shall be removed from the site, at no additional expense to Owner.
Higher thousand and approximate and approximate the control of part of the control of par		Balled and burlapped plants (B & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap similar materials and	L.	the soil line for future watering's. Saucer areas shall be top-dressed two (2") inches deep with topsoil raked and left in a neat, clean
Application and the accordance from counting and production and pr		Plants with broken, damaged or insufficient rootballs will be rejected.		
Strate distance of the State Center of the C			, u	
Fig. 19 According to the selection of the selection for sequential services and position and the selection for sequential services and position and the selection of the selection for sequential services and position and the selection of the sel		· · · · · · · · · · · · · · · · · · ·	В.	·
All price presents and the culture of the designation decrees, we after light for the contract of the contract		STORAGE	C.	Trees shall not be poled or topped.
The Cardiacyan Annibut Leavener in fight to reject on the fight to reject on the property section payed with these areas of the control of the Cardian Control o			D.	Remove all trimming from site.
An injection nutrition during contract that the numerical part of injection during the contract of the contrac		No plant material shall be stored longer than seventy-two (72) hours unless approved by Landscape Architect and/or owner.	3.05	GUYING:
PROTECTION THROUGH IS AUTOMATED AND CONTROL OF AND ART AND CONTROL OF AND ART AND CONTROL OF AND ART A			A.	
Tree mode by write to cancer will be intercupilly processed from the Am mode, griding or barn sippage by means of budap, wood budance of the provings and concerned deposit and to enture, should, in the budance of the provings and concerned deposits and to enture, should, in the budance of the provings and concerned deposits and to enture, should, in the budance of the provings and concerned deposits and to enture, should, in the budance of the provings and concerned deposits and to enture, should, and the provings and concerned deposits and to enture a should be provinged and concerned deposits and to enture a should be provinged and the enture and the provings and concerned and the provings and concerned and the provings and concerned and the provings and the provings and concerned and the provings and the provings and concerned and concerned and concerned and concerned and the provings and concerned			B.	
TO SQL Participated for all princings shall be considered of special and be column, feed borry you passessing of bear stringed for all princings shall be considered to a principal shall be an experiment to the special shall be provided for all principal shall be an experiment of the special shall be provided for all principal shall be an experiment of the special shall be principal shall be an experiment of the special shall be principal shall be an experiment of the special shall be principal shall be an experiment of the special shall be principal shall be an experiment of the special shall b		Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood	C.	
sproarither total in the control of the product see hard products have a provided and activate products of the			0.	
The point growth, or intrider planting operations. Topical solitorities were strong desident for the process documents or process or process documents or pr		representative topsoil in the vicinity of the project site that produces heavy growth. Topsoil shall have a PH range of 5.5-7.4, free from	D.	
Isolatopical prices. Lunchasped Contraction to examine existing subligation to joining for ensure conformance that definitions of Topool (join) and contraction to be all planting as and south and the option of including and intend in all time of planting. East Clear Recycling in: is a recumentable source to importe trapped (in reseted) as coded to the topool and nated in all time of planting. East Clear Recycling in: is a recumentable source to importe trapped (in reseted) as coded to the top of planting. East Clear Recycling in: is a recumentable source to import the trapped (in reseted) as coded to the top of planting. East Clear Recycling in: is a recumentable source to import the trapped (in reseted) as coded in such that is soil collections of Topool (in a decision of Topool), planter often to the Lundoscape Area Preparation for the site. If existing soils must need all definitions of Topool (in a decision of the trapped (in the code) and the protection of the Lundoscape Area Preparation for the site. If existing soils confirm such hists soil collection and transmitted protected all cools if any shall be borne by the Continuous collection and transmitted protected all cools in any shall be borne by the Continuous collection and transmitted protected and cools are all any shall be borne by the Continuous collection and transmitted protected and cools are all and coops at large-protection protects to the protection of the cools and shall be continuous collections and transmitted protects and coops		to plant growth, or hinder planting operations. Topsoil shall contain a minimum of 3% organic material. Topsoil must percolate water at		Each plant or tree shall be thoroughly watered in after planting. Watering of all newly installed plant materials shall be the responsibility
not met all definitions of Topoil, please rafer to the Landscape Area Propriation detail. Examination may require existing soils to be tested by an accredited cellar glibboratory. Should soil feet the recognisity of participation of the control o		landscaped areas. Landscape Contractor to examine existing soils prior to planting to ensure conformance to <u>all</u> definitions of "Topsoil" (seeLandscape Area Preparation Detail); In addition, a 3" layer of high organic (min 40%) potting soil shall be added to the topsoil and mixed in at time of planting. <i>East Coast Recycling Inc.</i> is a recommended source for imported Topsoil (if needed) as well as	B.	conduct a particle size and count analysis on the sample using the services of a reputable lab certified in such analysis. Submit the test results to the owner/owner's representative for review and approval. Do not proceed further with system installation until given
confirm such lab's soil collection and transmittal protocol; all codes if any shall bits borne by the Contractor value, sprovide to Landscape Architect for review the results of the soil test in conclusted. Contractor is shall exceeded the soil test in consistent menting with Landscape Architect for review the results of the soil test inconducted. Contractor is shall exceeded the soil of the Landscape Architect for review the results of the soil exceeded and provided to Landscape Architect for review the results of the soil exceeded and provided in the soil of the Landscape Architect for review the results of the soil exceeded and shall horse and shall be firm togethed. For example, and the soil exceeded and soil of the soil of		not meet all definitions of Topsoil, please refer to the 'Landscape Area Preparation' detail. Examination may require existing soils		
of the Landscape Contractor. He/she shall except all responsibility of planting soils and shall honor all guarantee tems in section 1.08. FERTILIZER. Commercial fortilizer shall comply with the state and local fortilizer laws. Nitrogen shall not be less than 40% from organic source, increganic chamical introgen shall not be derived from the addum form of nitrate. Fertilizers shall be delivered to this site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall be rejected. Thoroughly mixed 3 lbs. of commercial fertilizer to each outic yard of planting soil. Tabilized fertilizer shall be Agriform planting labeles 20-10.5 formula, 21 graem or equal. All trees and shrubs shall be fertilized with a labeler and fertilizer as follows. White backfilling plant holes, fertilizer shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates: Linge tubs, wire baskets, grow bags, and balled and buringped material shall have 1 tablets 2 fertilizer. States 5 galkion container 3 tablets Spallon container 2 tablets Spallon container 3 tablets Spallon container 3 tablets Spallon container 4 trouble spall responsibility of planting soils and placed adjacent to the ball material shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates: H. If in the opinion of the Landscape Architect, lop dressing is necessary after rolling, clean yallow sand will be evenly applied over the earlier surface and thoroughly weahed in. SEEDING: The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre. The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, and thoroughly weahed in. The Landscape Contractor shall remove all vegetation and		confirm such lab's soil collection and transmittal protocol; all costs if any shall be borne by the Contractor. Contractor shall provide to Landscape Architect for review the results of the soil test if conducted. Contractor shall schedule an on-site meeting with Landscape Architect to review existing and/or imported soils prior to planting. The Landscape Area Preparation is the responsibility of the Landscape Contractor. He/she shall except all responsibility of planting soils and shall honor all guarantee items in section	B.	
Commercial fertilizer shall comply with the state and fooal fertilizer laws. Nirogen shall not be leave from the sold mit morpland containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer shall be delivered to the still respect to the careful production from the sold mit morpland containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall be rejected. Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil. Tabletized fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal. All trees and shrubs shall be fertilized with tabletized fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates: 1 gallon container 1 tablet 3 galton container 3 tablets 7 galton container 3 tablets 7 galton container 3 tablets 8 7 galton container 3 tablets 9 grow baskets, grow bags, and bailed and buriapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured and review the application of fertilizer. Large tubs. wire baskets, grow bags, and bailed and buriapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured and review the application of fertilizer. MULCH MULCH All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & paim rootballs, keep 6" away from tree & palm trunks or as required by local jurisdiction. EXECUTION 2. Before being cut and lifed, the sod shall lake beds been moved at least fire carefully cut into midmental enables and peaks and plant analysis. Any fertilizer as the late of 40 lbs. gerfelly cut inform dimensions. 6. G-6-6 retrilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying sod. 7. If the finished level of all sod shall be add shall be laid with closely abutting, staggered joints w			C.	weeds, or any other objectionable vegetation, fungus, insects, or disease. The soil embedded in the sod shall be good clean earth,
shall be rejected. Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil. Tobletzed fertilizer as follows. While backfilling plant holes, fertilizer abeliates and shrubs shall be fertilized with tabletzed fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates: 1 gallon container 1 tablet 3 gallon container 2 tablets 5 gallon container 3 tablets 5 gallon container 5 tablets 5 gallon container 5 tablets 4 large tubs, wire baskets, grow bags, and balled and burdapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) of or each foot of height or spread of larger shrub material. The Landscape Architect reserves the right to inspect and roview the application of fertilizer. MULCH: Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Red mulch is prohibited. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm trunks or as required by local jurisdiction. E-6-6-6 tertilizer with all trace elements is to be applied at the rate of 40 tosely abutting, staggered joints with a tamped or rolled, even surface. G-7 The fundscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly washed in. SEEDING: The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre mixed with common hulled Bermuda seed-30 lbs. per acre. All other seed mixtures shall be applied per the manufacturers instructions. MULCH: Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Re		Commercial fertilizer shall comply with the state and local fertilizer laws. Nitrogen shall not be less than 40% from organic source.	D.	
Tabletized fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal. All trees and shrubs shall be fertilized with tabletized fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates: 1 gallon container 1 tablet 3 gallon container 2 tablets 5 gallon container 2 tablets 5 gallon container 3 tablets 7 gallon container 3 tablets 8 gallon container 5 tablets 8 gallon container 5 tablets 8 gallon container 5 tablets 9 gallon container 6 gallon container 6 gallon container 7 tablets 9 gallon container 7 tablets 9 gallon container 8 gallon container 8 gallon container 8 tablets 9 gallon container 8 gallon container 8 gallon container 8 tablets 9 gallon container 8 gal			E.	6-6-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying sod.
tabletized fertilizer as follows. While backfliling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates: 1 gallon container 1 tablet 3 gallon container 2 tablets 5 gallon container 3 tablets 7 gallon container 3 tablets 5 gallon container 5 tablets 5 gallon container 5 tablets 5 gallon container 5 tablets 6 gallon container 6 tablets 6 gallon container 7 tablets 7 gallon container 5 tablets 8 SEEDING: 7 gallon container 5 tablets 8 SEEDING: 8 SEEDING: 8 SEEDING: 8 SEEDING: 8 SEEDING: 9 The Landscape Contractor shall remove all vegetation and rocks larger than (1°) in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre. 8 Application: Argentino Bahia Grass seed- 200 Pounds per acre mixed with common hulled Bermuda seed- 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions. MULCH: Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Red mulch is prohibited. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm rootballs, keep 6" away from tree & palm trunks or as required by local jurisdiction. EXECUTION 8 AINTENANCE: MAINTENANCE:		Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.	F.	Solid sod shall be laid with closely abutting, staggered joints with a tamped or rolled, even surface.
I gallon container 1 tablet 3 gallon container 2 tablets 5 gallon container 3 tablets 7 gallon container 3 tablets 7 gallon container 5 tablets 8 gallon container 3 tablets 9 gallon container 5 tablets 1 gallon container 5 tablets 1 gallon container 6 tablets 1 gallon container 6 tablets 1 gallon container 7 tablets 2 gallon container 6 tablets 3 gallon container 7 tablets 3 gallon container 6 tablets 4 gallon container 7 tablets 5 gallon container 7 tablets 5 gallon container 6 tablets 6 gallon container 7 tablets 8 gallon container 8 tablets 7 gallon container 8 tablets 9 gallon container 9 tablets 1 tablet 1 gallon container 8 tablets 1 tablet 1 gallon container 9 tablets 1 tablet 2 gallon container 9 tablets 1 tablet 3 gallon container 9 tablets 1 tablet 4 gallon container 9 tablets 1 tablet 5 gallon container 9 tablets 1 tablet 5 gallon container 9 tablets 1 tablet 6 gallon container 9 tablets 2 tablets		tabletized fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball	G.	
3 gallon container 2 tablets 5 gallon container 3 tablets 7 gallon container 5 tablets Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of larger shrub material. The Landscape Architect reserves the right to inspect and review the application of fertilizer. MULCH: Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Red mulch is prohibited. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm rootballs, keep 6" away from tree & palm trunks or as required by local jurisdiction. SEEDING: The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at rate of 500 lbs. per acre. All then apply fertilizer at a rate of 500 lbs. per acre. All immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre. D. Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm rootballs, keep 6" away from tree & palm trunks or as required by local jurisdiction. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm trunks or as required by local jurisdiction. All the contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work.			H.	
The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre. Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of larger shrub material. The Landscape Architect reserves the right to inspect and review the application of fertilizer. MULCH: MULCH: Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Red mulch is prohibited. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm rootballs, keep 6" away from tree & palm trunks or as required by local jurisdiction. All the shall leave all paved areas "broom clean" when completed with his work. EXECUTION All MAINTENANCE: The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at rate of 500 lbs. per acre. All then apply fertilizer at a rate of 500 lbs. per acre wixed with common hulled Bermuda seed-30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions. C. Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre. Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding. CLEANING UP: The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work.		3 gallon container 2 tablets	3 በይ	SEEDING:
Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of larger shrub material. The Landscape Architect reserves the right to inspect and review the application of fertilizer. MULCH: MULCH: Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Red mulch is prohibited. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm rootballs, keep 6" away from tree & palm trunks or as required by local jurisdiction. B. Application: Argentine Bahia Grass seed- 200 Pounds per acre mixed with common hulled Bermuda seed- 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions. C. Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre. D. Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding. CLEANING UP: The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work.		v		The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area,
Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Red mulch is prohibited. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm rootballs, keep 6" away from tree & palm trunks or as required by local jurisdiction. 3.09 A. CLEANING UP: The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work. EXECUTION MAINTENANCE:		3 feet from ground) or for each foot of height or spread of larger shrub material. The Landscape Architect reserves the right to inspect	В.	Application: Argentine Bahia Grass seed- 200 Pounds per acre mixed with common hulled Bermuda seed- 30 lbs. per acre. All other
Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Red mulch is prohibited. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm rootballs, keep 6" away from tree & palm trunks or as required by local jurisdiction. EXECUTION Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding. CLEANING UP: The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work. BY ADIA TO STATE OF THE CONTROLL OF THE CONTR		MULCH:	C.	Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre.
rootballs, keep 6" away from tree & palm trunks or as required by local jurisdiction. A. The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work. EXECUTION 3.10 MAINTENANCE:		Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement.	D.	Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.
				The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or
n management and the state of t			3.10	

Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead materials, resetting plants to proper grades or

Replacement of plants during the maintenance period shall be the responsibility of the Contractor, excluding vandalism or damage on

In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them.

Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the

Drawings and in the Specifications, including the complete removal of all trash, debris, soil or other waste created by the Landscape

Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner

each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these

After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship,

All trees & shrubs shall be straight and in correct position per the landscape plans, details and specifications. All nursery,

and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.

shipping and identification tags & ribbons shall be removed from trees & shrubs immediately after planting.

Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional

Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.

upright positions, spraying, restoration of planting saucer and/or any other necessary operations.

the part of others, lighting, or hurricane force winds, until final acceptance.

expense to the Owner, the only exception being hurricane force winds.

COMPLETION, INSPECTION AND ACCEPTANCE:

Specifications at the time of final inspection and acceptance.

exclusive of the possible replacement of plants subject to guarantee.



and left in a neat, clean Key / Location: plants with as much height **PROJECT** LOCATION **BECKER ROAD** COUNTY LINE CANAL at all contact points. Wires tisfactorily support each

Project Team:

Mattamy Homes 1500 Gateway Blvd. Suite 212 Boynton Beach FL, 33426

Tesla Florida, Inc.

N.T.S.

Land Planner / Lucido & Associates

Landscape Architect: 701 East Ocean Boulevard Stuart, FL 34994

1920 Wekiva Way, Suite 200 West Palm Beach, FL 33411

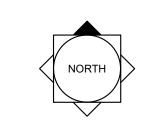
SG7 - Parcel D

Specifications

Project # P24-215 PSLUSD Project # 5438D

Port St Lucie, Florida

Ву	Description
JE	Initial Submittal
JE	Re-Submittal
JE	Re-Submittal
JE	Re-Submittal
MY	Re-Submittal
JE	Re-Submittal
	JE JE JE MY



All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance. The rating of

REG. # LA6667114 Steven Garrett

Designer Sheet SG Manager Project Number Municipal Number SG7 Parcel D LA - MRY REV.dwg Computer File

© Copyright Lucido & Associates. These documents and their contents are the property of Lucido & Associates. Any reproductions, revisions, modifications or use of these documents without the express written consent of Lucido & Associates is prohibited by law.

rhead wires, ostructions be clear such

an be taken not to damage or encroach on them. Tree Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor.

Excavation of holes shall extend to the required subgrades as specified on the planting diagrams located in the landscape plans. Plant pits shall be circular in outline and shall have a profile which conforms to the aforementioned "Tree and Shrub Planting Diagrams". A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper

Planting pits shall be excavated to the following dimensions and backfilled with Topsoil- see Landscape Area Preparation Detail; 1 Gallon material (1 gal.): 12" x 12" x 12" min. 3 Gallon material (3 gal.): 20" x 20" x 18" min. Lerio material (7 gal.): 30" x 30" x 24" min. Field grown material and trees: 1-1/2 times width of ball and depth of ball plus 12" min.

No planting or laying of sod shall be initiated until the area has been cleaned of existing sod or other plant materials, rough grass, weeds, debris, stones etc. and the ground has been brought to an even grade, with positive drainage away from buildings and towards drain inlets and swales and approved by Landscape Architect or owner's rep.

Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.

drainage. See Landscape Details for complete testing methods and requirements.