City Hall Municipal Complex

Major Site Plan (P22-339)

City Council Meeting January 23, 2023





Requested Application:

Applicant and Owner: City of Port St. Lucie

Agent: Octavio Reis, P.E., Bowman Consulting Group, INC.

Request: Approval of a site plan for the exiting City Hall Municipal Complex, allowing for the construction of a new 39,030 sq. ft. Police Training Facility and expansion of 1,550 square feet of the Employee Health Center. The site plan also reconfigures the circulation to limit the access to the complex from Thanksgiving Street and provide additional landscaping along Thanksgiving Street and to the adjacent to the Employee Health Center, among other minor changes.

Location & Aerial



Future Land Use and Zoning

	Future Land Use	Zoning	Existing Use
Subject Property	I		Existing City Hall
Surrounding Uses			
	RL	RS-2	Residential Single Family
North			
	CG and CL	P and CN	Commercial Retail and Office
South			
	CG and I	CG and I	Commercial Plaza and Community Center
East			
	CG and RL	CG, P and	Residential Single Family, and Commercial
West		RS-2	retail and office

Proposed Project:

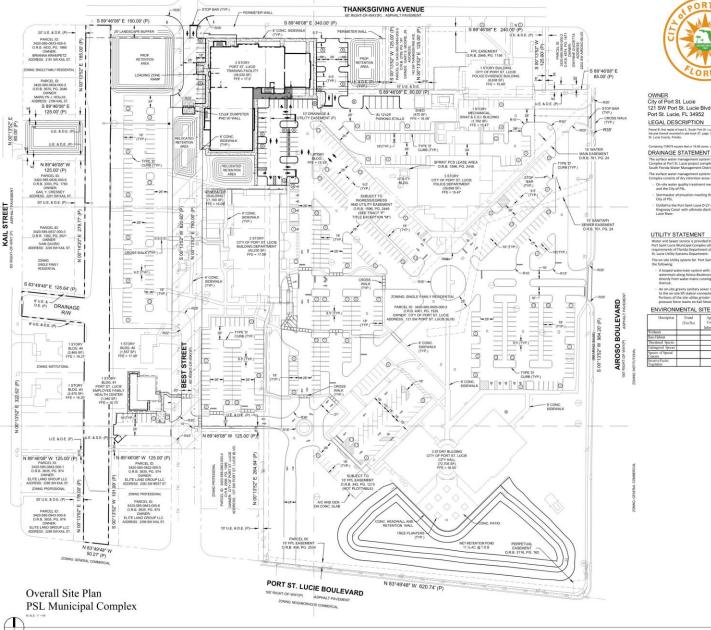
- The site currently contains: 72,705 square foot City Hall (Building A); 40,230 square foot Building Department Building (Building B); 39,898 square foot Police Department building; 9,638 square foot Police Evidence Building; 1,940 square foot Employee Health Center; and a 1,557 square foot building.
- Addition of a new 39,030 square foot Police Training Facility
- Expand of the existing Health Center by 1,550 square feet to 3,412 square feet
- Reconfigure the circulation to limit the access to the complex from Thanksgiving Street, and
- Provide additional landscaping along Thanksgiving Street and to the adjacent to the Employee Health Center. Enhanced landscaping along the northern boundary line abutting Thanksgiving Street approved in lieu of an architectural wall.

Zoning Review

- Uses are located within the Institutional zoning district, which allows public use facilities.
- Environmental assessment report is not required for a developed property.
- Access location (external and internal) has been reviewed by the Fire District for safety purposes. The site plan proposes to limit existing access from Thanksgiving Street to the City Hall Complex to the new Police Training Facility only.
- As conditions of approval, staff recommends prior to issuance of a building permits, a recorded unity of title for the property and a reservation of drainage easement be recorded for Lot 14.

Traffic Impact Analysis

- Traffic Impact was reviewed by staff and found to be little to no impact on the existing traffic surrounding the properties.
- Staff found the project to be in compliance with Public Works Policy #19-01



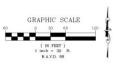


City of Port St. Lucie 121 SW Port St. Lucie Blvd. Port St. Lucie, FL 34952

UTILITY STATEMENT

ENVIRONMENTAL SITE ASSESSMENT				
Description	Found (Yes/No)	Agency Contact Information	Managemen t Plan (Yes/No)	Relocation Plan (Yes/No)
Wetlands				
Rare Habitat			- 3	
Threatened Species				
Enlargered Species				
Species of Special Concern				
Invasive Exotic				





BUILDING DATA				
	Footprint SF	Stories	Gross SF	
City Half	24,560	3	73.680	
Building Department	18,664	2	37,328	
Police Department Building	14,673	3	44,018	
Police Training Building	25,853	2	39,030	
Police Evidence Building	9,638	1	9,638	
Mechanical SWAT & CSI Building	1,782	1	1,782	
Building #1 Medical Clinic	1,957	1	1,957	
Building #2	1,608	1	1,608	
Building #3	2,512	1	2,512	
Building #4	2,512	1	2,512	
Generator Building	1,100	1	1,100	
Covered Pavillons x3	2,101	1	2,101	

Total 107,106				
SITE AREAS		ACRES	SF	PERCENTAGE %
Gross Site Area		22.39	975,263	100%
Impervious Area		13.13	571,943	59%
Building, Pavement, Sidewalk		11.95	520,542	54%
Lake		1.18	51,401	5%
Pervious Area		9.26	403,366	41%
Open Space		8.58	373,766	38%
Dry Retention		0.68	29,600	3%

PARKING CALCULATIO	NS
Required Parking Spaces	

PARKING CALCULA	TIONS
Provided Parking Spaces	777
Standard (9.5' x 18')	613
EV Parking (9.5' x 18')	4
Van Parking (12' x 25')	6
Accessible Parking (12" v 18")	26

LEGEND		
EXISTING	PROPOSED	PROPERTY BOUNDARY PHASE BOUNDARY EASEMENT
	0	= PARCEL LINE = NUMBER OF PARKING SPACES
•=	0	* LIGHT POLE
	-	= SIGN = FDC W/ SIGN
	_	= 6' DECORATIVE FENCE = 6' BUFFER WALL
		= RETAINING WALL = UNDERGROUND FPL (BY OTHERS = SECONDARY ELCTRIC LINE = FIBER OPTIC CABLE (BY OTHERS)
	(1)	- TRANSFORMER
		= WATER LINE = SANITARY SEWER = DRAINAGE PIPE
0	40	- FIRE HYDRANT
н	н	= WATER VALVE
0	(5)	* SANITARY SEWER MANHOLE



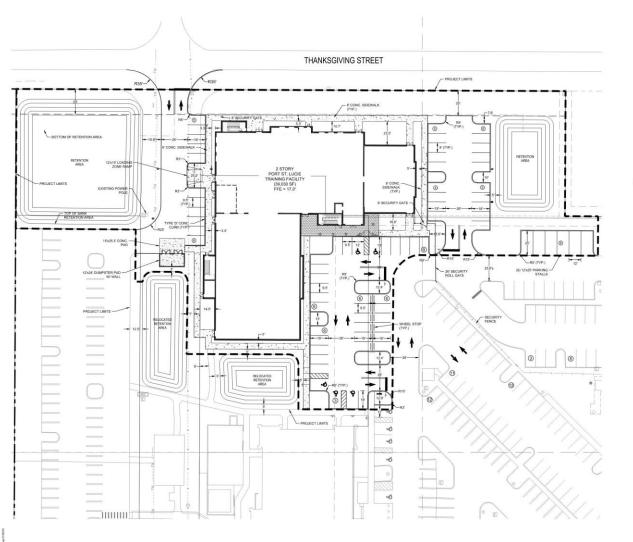
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DATE: 08.0	9.22
SCALE: 1"	= 60'
PROJECT N	0. 2167
SHEET:	



OCTAVIO "OATS" REIS, P.E.



Site Plan

PSL Municipal Complex



PROJECT LOCATION

OWNER City of Port St. Lucie 121 SW Port St. Lucie Blvd. Port St. Lucie, FL 34952 LEGAL DESCRIPTION

DRAINAGE STATEMENT

- On-site water quality for commercial uses.

- Direct storm water runoff from the proposed project to be routed through the proposed on-site lake.
- Connection of the proposed on-site lake to the Port Saint Lucie D-27 drainage ditch which flows to the Kingsway Canal via an outfall system

UTILITY STATEMENT

A Sanitary sewer lift station will connect to an existing forcer of the project unless a more feasible connection point is dete

PROJECT AREAS	ACRES	SF	PERCENTAGE %
Pross Project Area	2.91	126,758	100%
Impervious Area	1.54	66,938	53%
Building, Pavement, Sidewalk	1.54	66.936	53%
Pervious Area	1.37	59,820	47%
Open Space	0.67	29.471	23%
Dry Retention	0.70	30.349	24%

EXISTING	PROPOSED	
EXISTING	PROPOSED	= PROPERTY BOUNDARY
		= PHOPER 11 BOOKEARY
		* EASEMENT
		= PARCEL LINE
	(*)	- NUMBER OF PARKING SPACES
		= LIGHT POLE
		= SIGN
		= FDC W/ SIGN
	_	= 5' DECORATIVE FENCE
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		- FIBER OPTIC CABLE (BY OTHERS)
		= TRANSFORMER
		= WATER LINE
m	-	= SANITARY SEWER
		= DRAINAGE PIPE
	4	= FIRE HYDRANT
н	н	= WATER VALVE
0	(5)	= SANITARY SEWER MANHOLE
123		= DRAINAGE STRUCTURE
	n	= CONDENSER UNITS





OCTAVIO "OATS" REIS, P.E. FLORIDA LICENSE NO. 65661

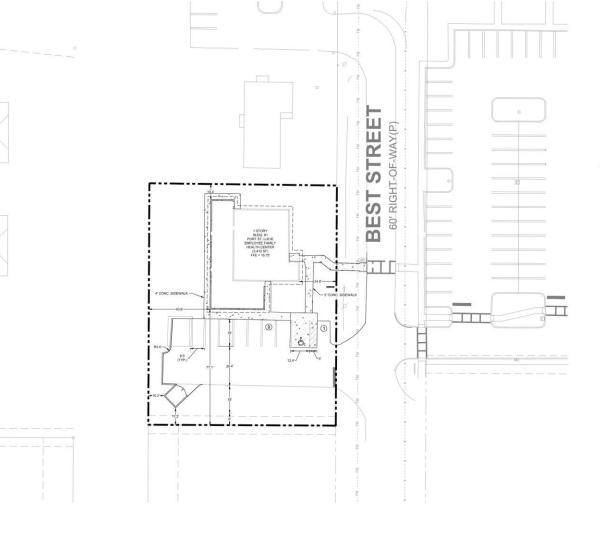
CPZ A RCHITECTS, INC.

PORT ST.LUCIE POLICE TRAINING
FACILITY
121 SW PORT STLUCEBLYD
PORT ST.LUCIE, FL. 4994

Site Plan Police Training Facility

DRAWN: RHO CHECKED: OR DATE: 08.09.22 SCALE: 1" = 20" PROJECT NO. 2167

C-4



Site Plan

PSL Municipal Complex



PROJECT LOCATION

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DRAINAGE STATEMENT

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LEGEND EXISTING PROPOSED = PROPERTY BOUNDARY - NUMBER OF PARKING SPACES = LIGHT POLE = SIGN = FDC W/ SIGN = 5' DECORATIVE FENCE - 6' BUFFER WALL = RETAINING WALL = UNDERGROUND FPL (BY OTHERS) SECONDARY ELCTRIC LINE
 FIBER OPTIC CABLE (BY OTHERS) * TRANSFORMER - WATER LINE - SANITARY SEWER = DRAINAGE PIPE = FIRE HYDRANT = SANITARY SEWER MANHOLE = DRAINAGE STRUCTURE





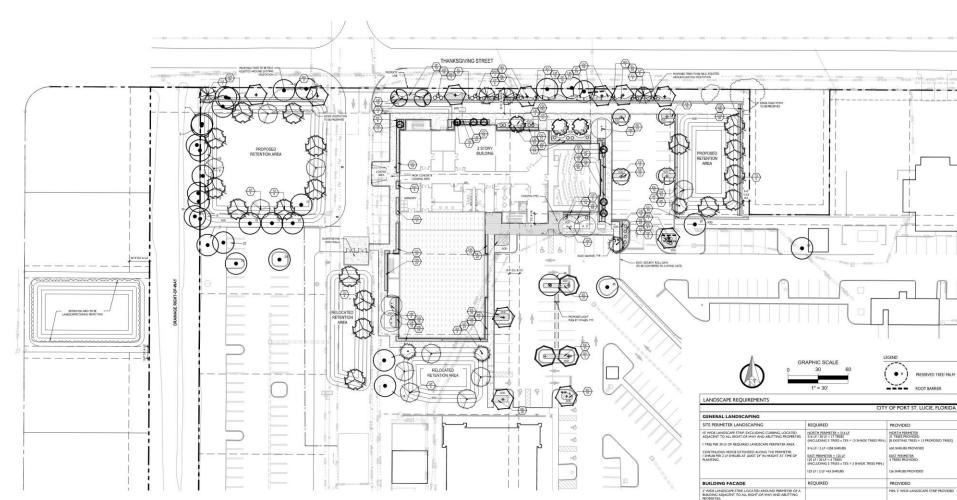
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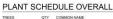
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PORT ST.LUCIE POLICE TRAINING
FACILITY
121 SW PORT STLUCEBLYD
PORT ST.LUCIE, FL. 4994

Site Plan Police Training Facility

DRAWN: RHO CHECKED: OR DATE: 08.09.22 SCALE: 1" = 20" PROJECT NO. 2167







Digitally signed

	LA5667375	Date: 2023.01.06 14:11:43 -05'00'	PAI SS TR VM SH BG CP
PSLUSD LANDSCAPE NOTES:	- Charles	14.11.45 05 00	CP SR
NO LANDSCAPING SHALL BE PLANTED IN A MANNER THAT WOULD ADVERSELY AFFECT UTILITY EASEMENTS. LANDSCAPING SHALL BE IN COMPLIANCE WITH CHAPTER 154 OF THE CITY OF PORT ST. LUCIE CODE OF ORDINANCES, BYLLIOT ECHENICAL SPECIFICATIONS AND POLICIES. 2. ALL LANDSCAPING WITHOUT UTILITY EASEMENTS SHALL COMPLY WITH PSILISD TECHNICAL PROPERTY OF THE PROPERT			SH CC CR

	AF BS	10	Southern Sugar Maple	Acer floridanum	YES	NO	16" HT X 6" SPRD; 3" CALIPER
	BS	11	Gumbo Limbo	Bursera simaruba	YES	YES	14" HT, X 5" SPRD. MIN., 2.5" CAL
	СВ	3	Pink Shower Tree	Cassia bakeriana	NO	YES	14" HT, X 5" SPRD. MIN., 2.5" CAL
	CJ	4	Rainbow Shower Tree	Cassia javanica	NO	YES	14" HT, X 5" SPRD. MIN., 2.5" CAL
	CD	2	Pigeon Plum	Coccoloba diversifolia	YES	YES	14" HT, X 5" SPRD. MIN., 2.5" CAL
	CE	4	Buttonwood	Conocarpus erectus	YES	YES	14" HT, X 5" SPRD. MIN., 2.5" CAL
1	QV	3	Southern Live Oak	Quercus virginiana	YES	YES	14" HT MIN., 5" SPRD MIN., 3" CAL.
	TD	18	Bald Cypress	Taxodium distichum	YES	NO	14" HT, X 5" SPRD, MIN., 3" CAL
	PALMS SS	QTY 4	COMMON NAME Cabbage Palmetto	BOTANICAL NAME Sabal palmetto	NATIVE YES	DROUGHT TOLERANCE YES	REMARKS 14° CT
	TR	7	Florida Thatch Palm	Thrinax radiata	YES	YES	8° C.T.
	VM	5	Montgomery Palm	Veitchia montgomeryana	NO	YES	DOUBLE TRUNK; 20' OA HT
	SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	DROUGHT TOLERANCE	REMARKS
	BG	2	Yesterday, Today, and Tomorrow	Brunfelsia grandiflora	NO	YES	4" HT X 3" SPRD
	CP	33	Petra Croton	Codiaeum variegatum 'Petra'	NO	YES	48" HT X 36" SPRD, FULL, LOW BRANCHED
	SR3	6	Saw Palmetto	Serenoa repens	Yes	YES	18" HT, X 18" SPRD., FULL TO BASE
	SHRUB AREAS	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	DROUGHT TOLERANCE	REMARKS
	CC CR	237 416	Jamaica Caper Red Tip Cocoplum	Capparis cynophallophora Chrysobalanus icaco 'Red Tip'	YES YES	YES YES	36" HT X 24" SPRD @24" O.C. 72" HT x 24" SPRD @ 24" O.C TO BE MAINTAINED AT 6" HT MIN.
	EE	282	Elliof's Love Grass	Eragrostis elliottii	YES	YES	24" HT x 24" SPRD @ 24" O.C.
	HN	114	Dwarf Firebush	Hamelia nodosa	NO.	YES	24" HT. X 24" SPRD. @ 24" O.C.
	MC	45	Pink Muhiv Grass	Muhlenbergia capillaris	YES	YES	24" HT X 24" SPRD 49 24" O.C.
	TD2	58	Dwarf Fakahatchee	Tripsacum floridana	YES	YES	36" HT x 24" SPRD @ 24" O.C
	ZP	57	Coontie Cycad	Zamia pumila	YES	YES	24" HT X 24" SPRD.; @24" O.C.
	GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	DROUGHT TOLERANCE	REMARKS
	EL	191	Golden Creeper	Ernodea littoralis	YES	YES	18" HT x 18" SPRD @ 18" O.C
	GP	131	Annual Gaillardia	Gaillardia pulchella	YES	YES	12" HT X 12" SPRD @12" O.C.
	LM	366	Lilyturf	Liriope muscari	NO	YES	18" HT X 18" SPRD @ 18" O.C.

BOTANICAL NAME

NATIVE DROUGHT TOLERANCE REMARKS

TREE / PALM PER 30 LF OF BUILDING FACADE

PLANT MATERIAL STANDARDS PLANT SPECIES

MAX 25% OF SHALL BE PALMS

TREE MITIGATION

MIN 5 TRUE SPECIES

MIN 20% MUST BE FLOWERING TREES MIN 75% SHALL BE EVERGREEN TREES

MIN 25% OF TOTAL SHRUBS MUST BE NATIVE

MIN 10% OF GROUNDCOVERS SHALL BE FLOWERING

MIN. 50% OF PLANT MATERIAL SHALL BE DROUGHT TOLERANT

MIN 50% OF TOTAL TRUE MATERIAL MUST BE NATIV

VEHICULAR USE AREAS PARKING LOT INTERIOR LANDSCAPE

CONTINUOUS HEDGE EXTENDED ALONG THE PERIMETER.
I SHRUB PER 2 LF SHRUBS AT LEAST 24" IN HEIGHT AT TIME OF PLANTING.

I PARKING ISLAND AT EACH END OF A PARKING BAY WITH I SHADE TREE AND THE REMAINDER OF THE ISLAND LANDSCAP WITH A GROUNDCOVER, MULCH, SHRUBS OR OTHER TREATHENT EXCLUDING PAYING.

420 LF / 30 LF = 14 TREES / PALMS

379 SHRUBS PROVIDED

IS TRIES PROVIDED
[3 EXISTING TREES + I PROPOSED TREES + I
PROPOSED PALM]
(1 ISLAND HAS UNDERGROUND UTILITIES
PRESENT.)

83% OF TREES PROVIDED ARE NATIV

20% OF TREES PROVIDED ARE PALMS

IN TRUE SPECIES PROVIDED

MES OF SHRUBS ARE NATIVE

75% OF TREES PROVIDED ARE EVERGREEN TREES

19% OF GROUNDCOVERS ARE FLOWERING

\$66.5" DBH PROVIDED [411" DBH PRESERVED + 155.5" DBH PROPOSED (25 TREES @ 2.5" DBH + 31 TREES @ 3" DBH)]

100% OF SHRUBS AND GROUND CO ARE DROUGHT TOLERANT

PROVIDED

PROVIDED

PROVIDED

420 LF 2 LF = 210 SHRUBS

REQUIRED

REQUIRED

I BALMS REMOVED - 11 BALMS RECURRED

A RCHITECTS, INC CPZ

West Pale Book, P. 3347- Willocan 55/807200 - Registry No. 335N

FACILITY

FACILITY

121 SW PORT ST. LUCEBLYD

PORT ST. LUCE, FL. 34984

ST.LUCIE

PORT



Landscape Plan

DRAWN: VQ/BJ CHECKED: KS DATE: 01.04.23 SCALE: 1" = 20'-0" PROJECT NO. 2167 SHEET:

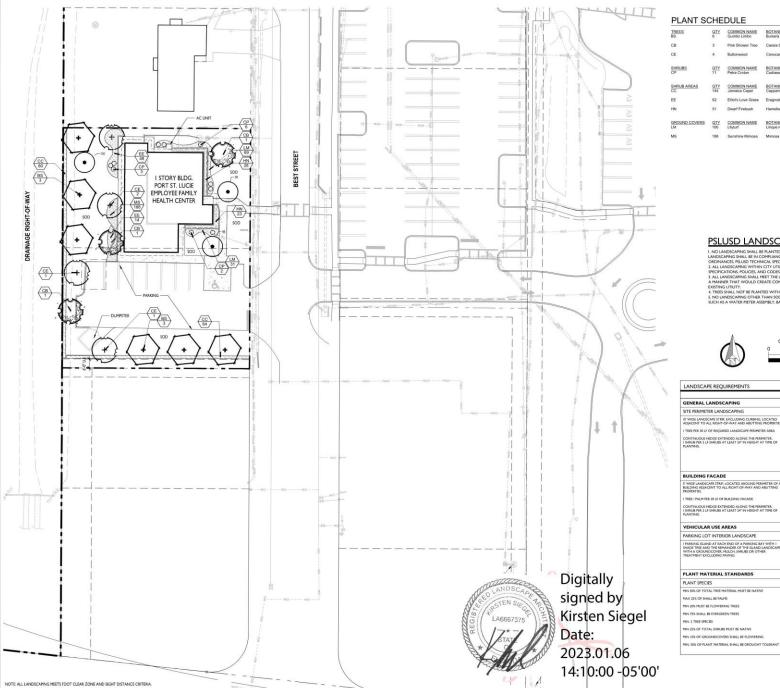
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NOTE: ALL LANDSCAPING MEETS FDOT CLEAR ZONE AND SIGHT DISTANCE CRITERIA.



PLANT SCHEDULE

TREES BS	QTY	COMMON NAME Gumbo Limbo	BOTANICAL NAME	NATIVE	DROUGHT TOLERANCE YES	REMARKS 14' HT. X 5' SPRD. MIN.
-	200	Common and the				2.5" CAL
CB	3	Pink Shower Tree	Cassia bakeriana	NO	YES	14" HT. X 5" SPRD. MIN.
						2.5° CAL
CE	4	Buttonwood	Conocarpus erectus	YES	YES	14" HT. X 5" SPRD. MIN.
						2.5" CAL
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	DROUGHT TOLERANCE	REMARKS
CP	11	Petra Croton	Codiseum variegatum 'Petra'	NO	YES	48" HT X 36" SPRD, FUL
						LOW BRANCHED
SHRUB AREAS	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	DROUGHT TOLERANCE	REMARKS
CC	144	Jamaica Caper	Capparis cynophaliophora	YES	YES	36" HT X 24" SPRD @24
						O.C.
EE	62	Elliot's Love Grass	Eragrostis elliottii	YES	YES	24" HT x 24" SPRD @ 24
						O.C.
HN	51	Dwarf Firebush	Hamelia nodosa	NO	YES	24" HT. X 24" SPRD. @ :
						O.C.
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	DROUGHT TOLERANCE	REMARKS
LM	100	Lilyturf	Liriope muscari	NO	YES	18" HT X 18" SPRD @ 10
						O.C.
MS	188	Sunshine Mimosa	Mimosa strigillosa	YES	YES	6" HT, 8" SPRD, FULL,
						LOW

PSLUSD LANDSCAPE NOTES:

- INCL MODICIANIC SHILL BE ANTED BY A MANRE THAT MODIC DOPINED WHERE A THE CHILD THAT BE AND THAT MODICIANS OF THE CHILD THAT BY A SHIP C

- A Review Inch.

 SERSING UTILLY

 4. TREES SHALL NOT BE PLANTED WITHIN TEN (16) PET OF ANY PILLISD UNDERGROUND INFRASTRUCTURE.

 5. NO LANDSCAPING OTHER THAN SOD GRASSES SHALL BE LOCATED WITHIN S' OF A PILLISD APPLICTEDING.

 SUCH AS A WATER METER ASSEMBLY, BACKFLOW DEVICE, PIRE HYDRANT OR SEWER CLEANOUT, ETC.







75% OF TREES PROVIDED ARE EVERGREEN TREES

100% OF SHRUBS AND GROUND COVER PROVIDED ARE DROUGHT TOLIRANT

4 TREE SPECIES PROVIDED

95% OF SHRUBS ARE NATIVE

LANDSCAPE REQUIREMENTS

GENERAL LANDSCAPING		
SITE PERIMETER LANDSCAPING	REQUIRED	PROVIDED
19 YOUR LANGSCAPE STEP DECLEMENT CURRING, LOCATED AGAPCENT TO ALL REPORT CHANN AND AUTHOR PROPERTY. ITHER PER 30 LL OF REQUIRED LANDSCAPE FRIMETER AREA CONTINUOUS HIDDER EXTENDED A LONG THE PRIMETER. 19 HEIGHT AT THE OF RURING AT LEAST 24" IN HEIGHT AT THE OF RURING.	DRAINER ROOT, ON-WAY IN UP 179 IF 75 FRES (INCLUDING 5 TREES x 755 = 3 SHADE TREES HIN) SOUTH HEMPER SOUTH HEM	DRAINAGE RIGHT-OF-WAY 5 TRES PROVIDED 5 TRES PROVIDED 4 SHADE TRESS PROVIDED 65 SHAUES PROVIDED 50 SHAUES PROVIDED 64 SHADE TRES PROVIDED 64 SHADE TRES PROVIDED 64 SHAUES PROVIDED 64 SHAUES PROVIDED 65 SHAUES PROVIDED 65 SHAUES PROVIDED 65 SHAUES PROVIDED
BUILDING FACADE	REQUIRED	PROVIDED
SYMDE JANDICARE STRE, LOCATED ADQUIND PRIVETER OF A BUILDING ADJACHT TO ALE RIGHT-OWAY AND ABUTTING PROPERTIES. THEE! FALLY FIRE IS UP OF BUILDING FACADE! CONTINUOUS HEDGE EXTENDED ALONG THE PRIVETER. I SHALE REAL LE SHRUBS AT LEAST 24" IN HIGHT AT TIME OF LAWATING.	180 LF / 30 LF = 4 TREES / PALMS 180 LF / 2 LF = 90 SHRUMS	MIN. 5" WIDE LANDSCAPE STRIP PROVIDED 6 TREES PROVIDED 12 EXISTING TREES + 4 PROPOSED TREES 130 SHRUBS PROVIDED
VEHICULAR USE AREAS		
PARKING LOT INTERIOR LANDSCAPE	REQUIRED	PROVIDED
I PARKING ISLAND AT EACH END OF A PARKING BAY WITH I SHADE TREE AND THE REMAINDER OF THE SLAND LANDSCAPED WITH A GROUNDCOVER, MULCH, SHRUES OR OTHER TREATMENT EXCLUDING PAVING.	2 PARKING ISLANDS = 2 SHADE TREES	I TREE PROVIDED (I ISLAND HAS CONFLICT WITH EXISTING UTILITIES)
PLANT MATERIAL STANDARDS		1
PLANT SPECIES		PROVIDED
MIN 50% OF TOTAL TREE MATERIAL MUST BE NATIVE		70% OF TREES PROVIDED ARE NATIVE
MAX 25% OF SHALL BE PALMS		10% OF TREES PROVIDED ARE PALMS
MIN 20% MUST BE FLOWERING TREES		30% OF TREES PROVIDED ARE FLOWERING



DMG NO. DATE DESCRIPTION REVISIONS NO. DATE DESCRIPTION REVISIONS NO. IN
DATE DESCRIPTION REVISIONS
DESCRIPTION REVISIONS

LANDSCAPE ARCHITECT OF RECORD KIRSTEN SIEGEL, PLA LA 6667375

NOT FOR CONSTRUCTION

PORT ST. LUCIE EMPLOYEE FAMILY HEALTH CENTER

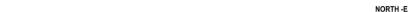
SHEET: LP-100





EAST VIEW







NORTH -EAST VIEW



CHRIS P. ZIMMERMAN, A.I.A. REGISTERED ARCHITECT NO. 10,995 STATE OF FLORIDA

A-4.0.0

PORT ST.LUCIE POLICE TRAINING FACILITY

CPZ ARCHITECTS,INC.

DATE: 08.24.22 SCALE:
PROJECT NO. 2167
SHEET:

SOUTH -EAST VIEW

Recommendation

Site Plan Review Committee recommended approval at their meeting on December 14, 2022.

