

City Hall Municipal Complex

Major Site Plan
(P22-339)

City Council Meeting January 23, 2023



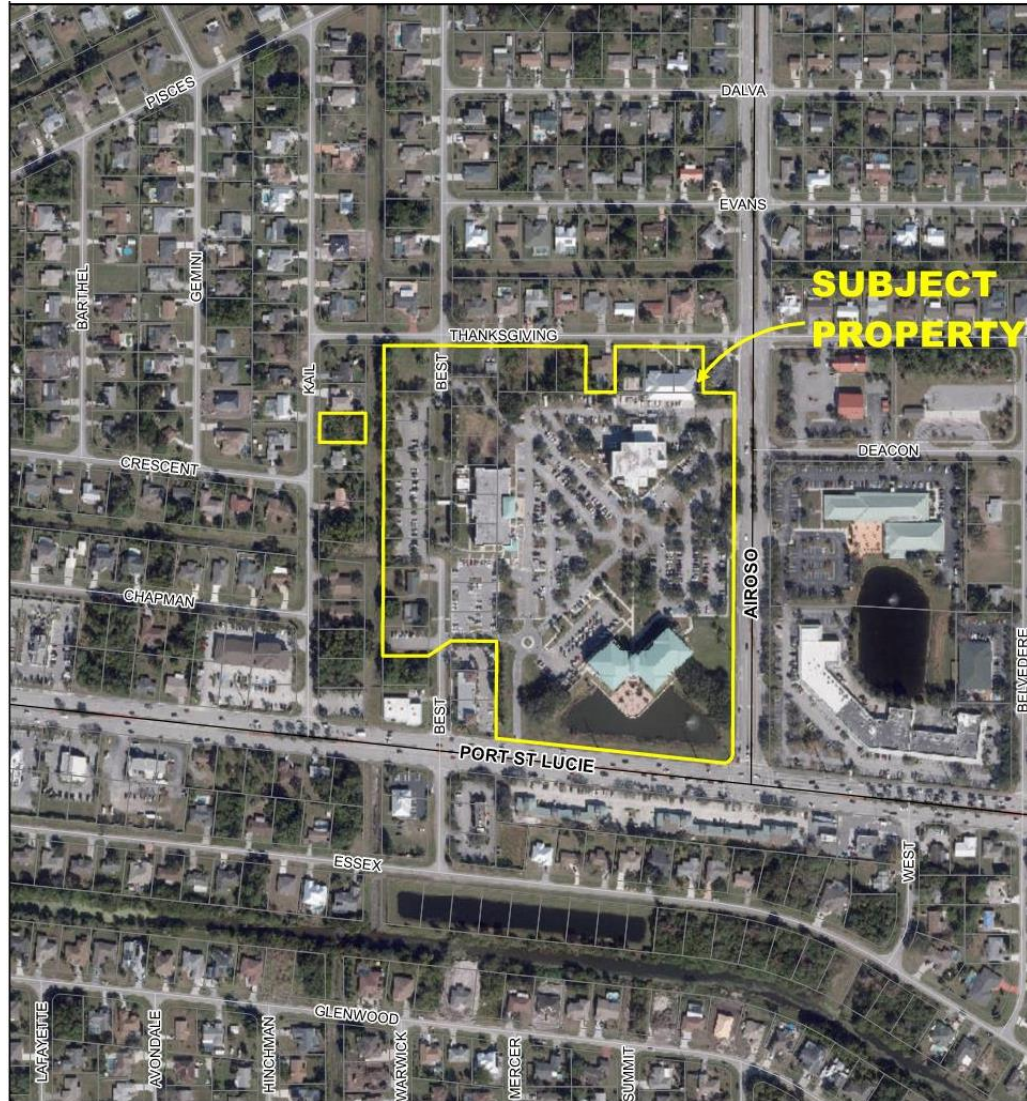
Requested Application:

Applicant and Owner: City of Port St. Lucie

Agent: Octavio Reis, P.E., Bowman Consulting Group, INC.

Request: Approval of a site plan for the exiting City Hall Municipal Complex, allowing for the construction of a new 39,030 sq. ft. Police Training Facility and expansion of 1,550 square feet of the Employee Health Center. The site plan also reconfigures the circulation to limit the access to the complex from Thanksgiving Street and provide additional landscaping along Thanksgiving Street and to the adjacent to the Employee Health Center, among other minor changes.

Location & Aerial



Future Land Use and Zoning

	Future Land Use	Zoning	Existing Use
Subject Property	I	I	Existing City Hall
Surrounding Uses			
North	RL	RS-2	Residential Single Family
South	CG and CL	P and CN	Commercial Retail and Office
East	CG and I	CG and I	Commercial Plaza and Community Center
West	CG and RL	CG, P and RS-2	Residential Single Family, and Commercial retail and office



Proposed Project:

- The site currently contains: 72,705 square foot City Hall (Building A); 40,230 square foot Building Department Building (Building B); 39,898 square foot Police Department building; 9,638 square foot Police Evidence Building; 1,940 square foot Employee Health Center; and a 1,557 square foot building.
- Addition of a new 39,030 square foot Police Training Facility
- Expand of the existing Health Center by 1,550 square feet to 3,412 square feet
- Reconfigure the circulation to limit the access to the complex from Thanksgiving Street, and
- Provide additional landscaping along Thanksgiving Street and to the adjacent to the Employee Health Center. Enhanced landscaping along the northern boundary line abutting Thanksgiving Street approved in lieu of an architectural wall.

Zoning Review

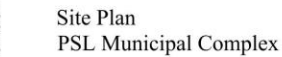
- Uses are located within the Institutional zoning district, which allows public use facilities.
- Environmental assessment report is not required for a developed property.
- Access location (external and internal) has been reviewed by the Fire District for safety purposes. The site plan proposes to limit existing access from Thanksgiving Street to the City Hall Complex to the new Police Training Facility only.
- As conditions of approval, staff recommends prior to issuance of a building permits, a recorded unity of title for the property and a reservation of drainage easement be recorded for Lot 14.



Traffic Impact Analysis

- Traffic Impact was reviewed by staff and found to be little to no impact on the existing traffic surrounding the properties.
- Staff found the project to be in compliance with Public Works Policy #19-01



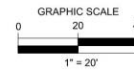






PLANT SCHEDULE						
TREES	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	DROUGHT TOLERANCE	REMARKS
BS	3	Gumbo Limbo	Bursera simaruba	YES	YES	14" HT. X 3" SPRL. MIN., 2.5" CAL.
CB	3	Pink Shower Tree	Cassia balamita	NO	YES	14" HT. X 3" SPRL. MIN., 2.5" CAL.
CE	4	Buttonwood	Conocarpus erectus	YES	YES	14" HT. X 3" SPRL. MIN., 2.5" CAL.
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	DROUGHT TOLERANCE	REMARKS
SP	11	Petra Croton	Codiaeum variegatum 'Petra'	NO	YES	48" HT. X 36" SPRL. FULL. LOW BRANCHED
SHRUB AREAS	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	DROUGHT TOLERANCE	REMARKS
CC	144	Jamaica Caper	Capparis cynophallophora	YES	YES	36" HT. X 24" SPRL. @24" O.C.
EE	62	Elliot's Love Grass	Eragrostis eliottii	YES	YES	24" HT. X 24" SPRL. @ 24" O.C.
HN	51	Dwarf Firebush	Hamelia nodosa	NO	YES	24" HT. X 24" SPRL. @ 24" O.C.
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	DROUGHT TOLERANCE	REMARKS
LM	100	Lilyturf	Liriope muscari	NO	YES	18" HT. X 18" SPRL. @ 18" O.C.
MS	188	Sunshine Mimosa	Mimosa stipulosa	YES	YES	6" HT. 8" SPRL. FULL. LOW BRANCHED, BLOOMING @ 12" O.C.

1. NO LANDSCAPING SHALL BE PLANTED IN A MANNER THAT WOULD ADVERSELY AFFECT UTILITY EASEMENTS. LANDSCAPING SHALL BE IN COMPLIANCE WITH CHAPTER 15.04 OF THE CITY OF PORT ST. LUCIE CODE OF ORDINANCES, PLUSLD TECHNICAL SPECIFICATIONS AND POLICIES.
2. ALL LANDSCAPING WITHIN CITY UTILITY EASEMENTS SHALL COMPLY WITH PLUSLD TECHNICAL SPECIFICATIONS, POLICIES, AND CODES.
3. LANDSCAPING SHALL MEET THE LATEST PLUSLD LANDSCAPE POLICY AND SHALL NOT BE PLACED IN A MANNER THAT WOULD CONFLICT WITH THE INTENDED OPERATION AND MAINTENANCE OF ANY EXISTING UTILITY.
4. TREES SHALL NOT BE PLANTED WITHIN TEN (10) FEET OF ANY PLUSLD UNDERGROUND INFRASTRUCTURE.
5. NO LANDSCAPING OTHER THAN SO GRASSES SHALL BE LOCATED WITHIN 5' OF A PLUSLD APERTURE SUCH AS A WATER METER ASSEMBLY, BACKFLOW DEVICE, FIRE HYDRANT OR SEWER CLEANOUT.



PRESERVED TREE/ PALM

WGL

	REVISIONS			
	NO.	DATE	DESCRIPTION	BY
HCDWG				
	7686.00			
	VQ / RJ			
	KS			
01/04/2023				

CAD 768	JOB NO.	DRAWN	CHECK	DATE
LANDSCAPE ARCHITECT OF RECORD KIRSTEN SIEGEL, PLA LA 6667375				

NOT FOR
CONSTRUCTION

PORT ST. LUCIE EMPLOYEE
FAMILY HEALTH CENTER

LANDSCAPE PLAN

SHEET:
LP-100
P22-339



SOUTH -EAST VIEW



EAST VIEW



SOUTH -EAST VIEW



NORTH -EAST VIEW

NO.	REVISION	DATE
1	Design Criteria	08.24.22
2	Final Design	08.24.22
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CONSULTANT:

PORT ST. LUCIE POLICE TRAINING FACILITY

CPZ ARCHITECTS, INC.



DRAWING TITLE:

Renderings

DRAWN: TJ
CHECKED: CPZ
DATE: 08.24.22
SCALE:
PROJECT NO. 2167
SHEET:

A-4.0.0

121 W. PORT ST. LUCIE BLVD.
PORT ST. LUCIE, FL 34954

414 EAST BROWARD BLVD.
PLANTATION, FLORIDA 33317
PH: 904.355.1111
WWW.CPZARCHITECTS.COM



CHRIS P. ZIMMERMAN, A.A.
REGISTERED ARCHITECT NO.
10,995
STATE OF FLORIDA
DATE:

Recommendation

Site Plan Review Committee recommended approval at their meeting on December 14, 2022.

