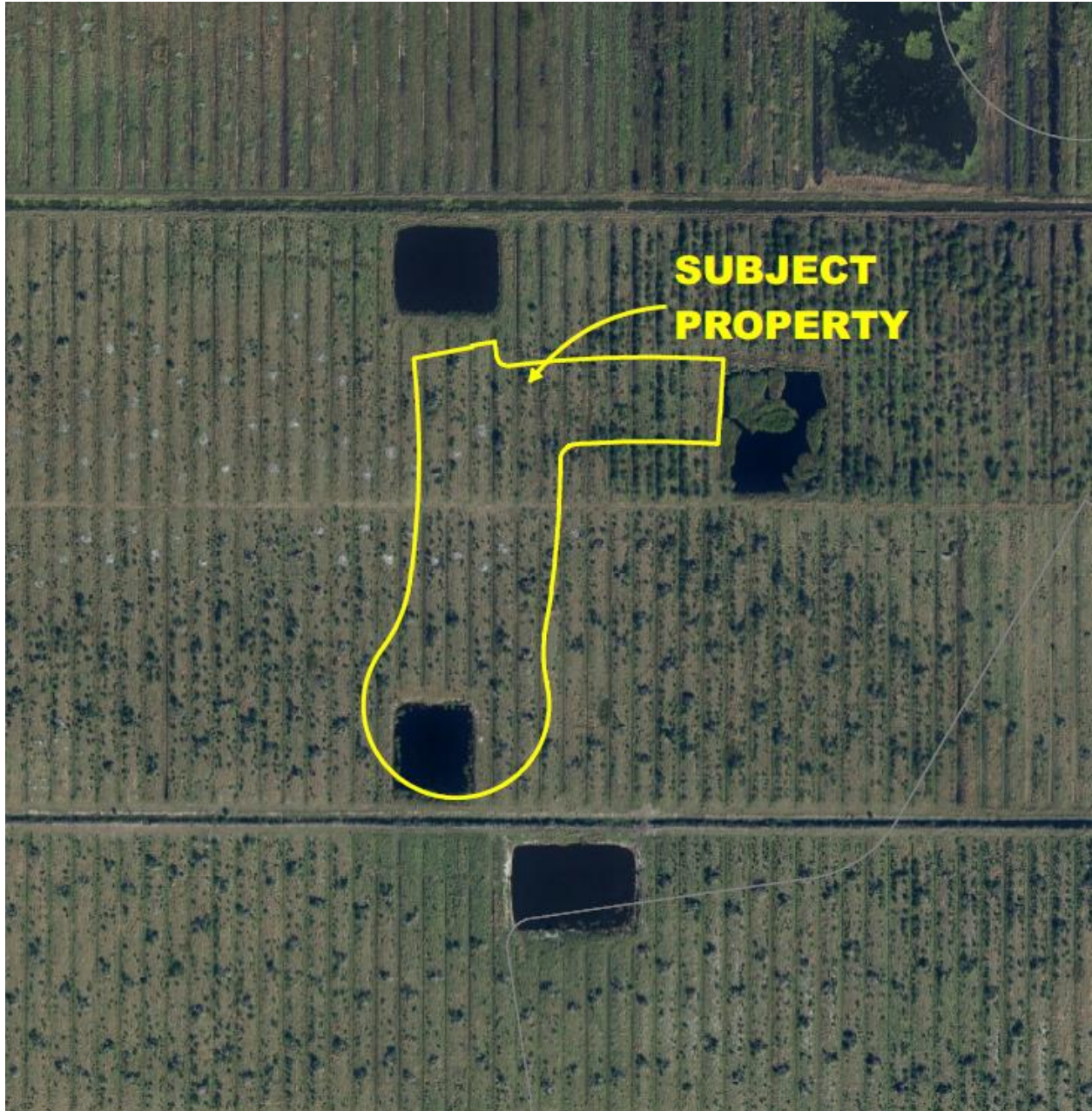




**Riverland Parcel B Model Row & Sales Center  
Minor Site Plan  
P21-120**



**Project Location Map**

**SUMMARY**

Applicant's Request:	A model center consisting of 21 model homes; a 9,687 square foot office building; two parking lots and golf cart parking.
Applicant:	Mike Fogarty, P.E.
Property Owner:	Riverland Associates II, LLLP
Location:	South of Riverland Parcel A, west of Community Boulevard, and north of Marshall Parkway.
Address:	N/A
Project Planner:	Daniel Robinson, Planner II

**Project Description**

The proposed site plan consists of 21 model homes; a 9,687 square foot office building; two parking lots and golf cart parking.

**Previous Actions and Prior Reviews**

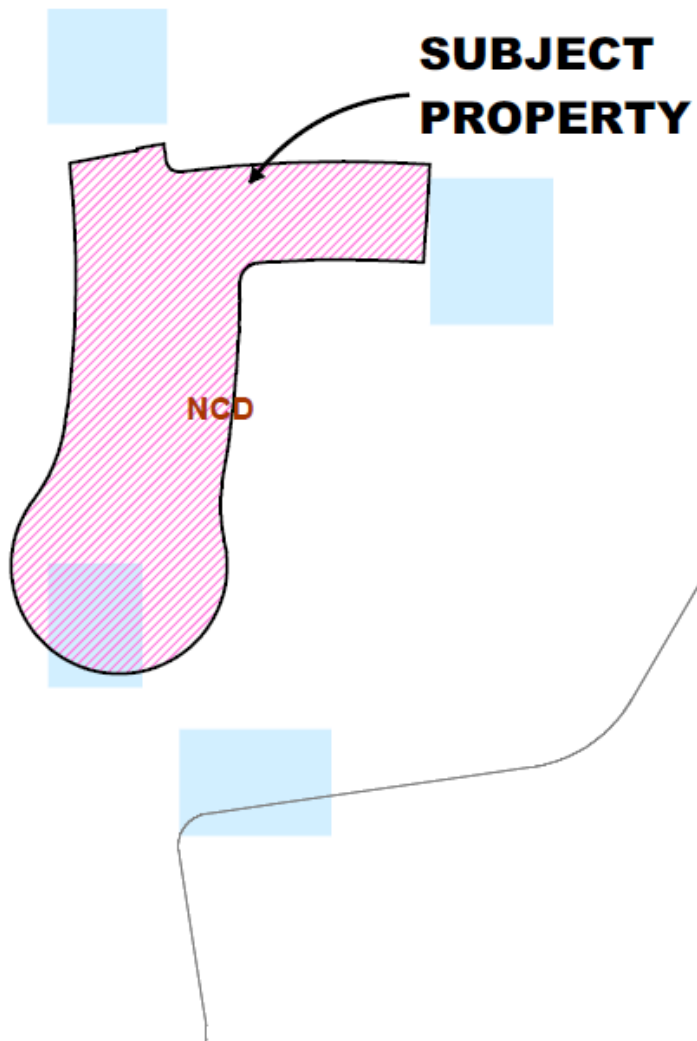
The Site Plan Review Committee recommended approval of the site plan at their meeting of June 9, 2021.

**Location and Site Information**

Parcel Number:	4321-131-0001-000-8
Property Size:	5.76 acres/ 250,828 sq. ft.
Legal Description:	RIVERLAND PARCEL B-PLAT ONE, LOTS 1-36, ACCORDING TO THE PLAT THEREOF, RECORDED PLAT BOOK 97, PAGE 1-19, ST. LUCIE COUNTY, FLORIDA.
Future Land Use:	NCD
Existing Zoning:	MPUD
Existing Use:	Vacant land

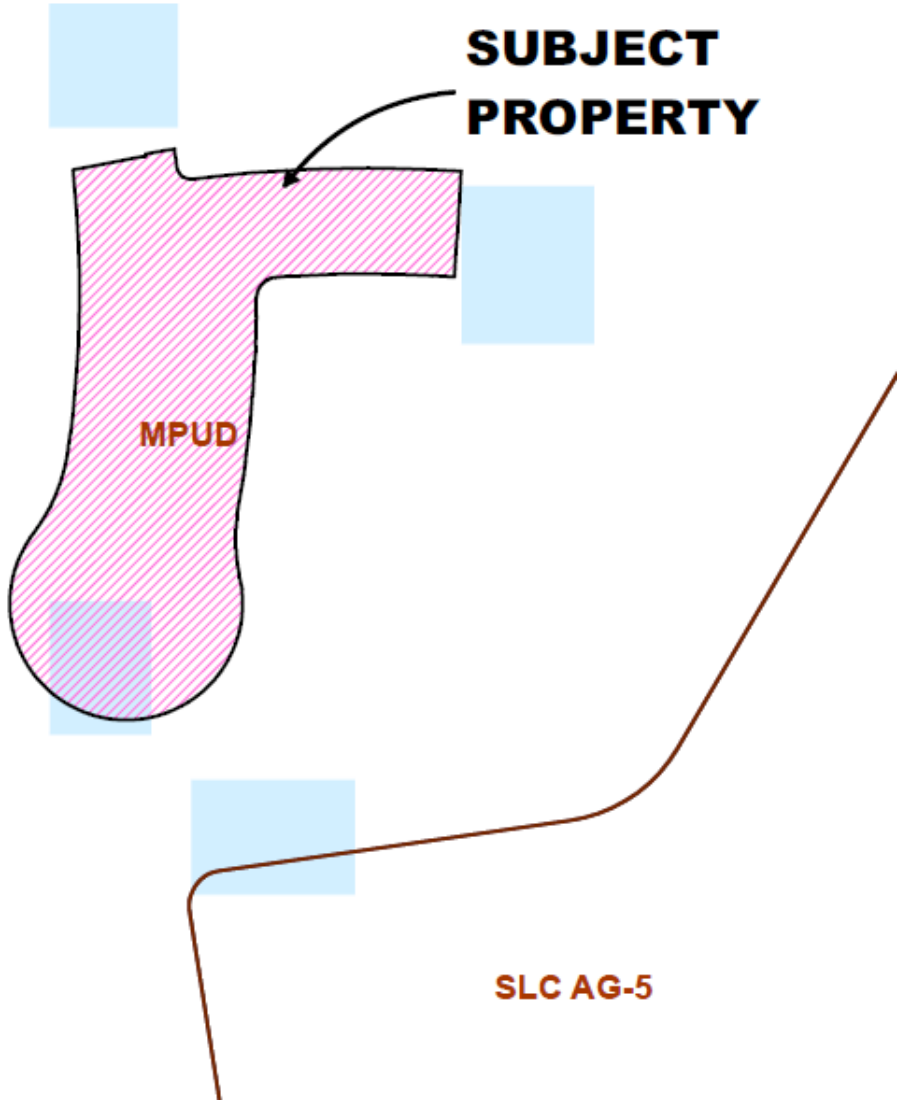
**Surrounding Uses**

Direction	Future Land Use	Zoning	Existing Use
North	NCD	MPUD	Riverland Community Parcel B
South	NCD	MPUD	Riverland Community Parcel B
East	NCD	MPUD	Riverland Community Parcel B
West	NCD	MPUD	Riverland Community Parcel B



**Future Land Use Map**

GU



Zoning Map

## IMPACTS AND FINDINGS

**ZONING REVIEW:** The project has been reviewed for compliance with the requirements of Chapter 158, Zoning Code and documented as follows:

<b><i>CRITERIA</i></b>	<b><i>FINDINGS</i></b>
<b>USE</b>	The proposed use of a model row and sales center.
<b>DUMPSTER ENCLOSURE</b>	N/A
<b>ARCHITECTURAL DESIGN STANDARDS</b>	N/A
<b>STACKING:</b>	N/A
<b>PARKING REQUIREMENTS</b>	There are 48 parking spaces required and 97 spaces are being provided including 85 standard parking spaces, 4 handicapped spaces, and 8 golf cart spaces.
<b>BUILDING HEIGHT</b>	The maximum building height permitted is 35 feet and the proposed height of the sales center is 30.65 feet.
<b>SETBACKS</b>	The proposed setbacks shown on the site plan are in accordance with the required setbacks of the Riverland Parcel B MPUD zoning district.

**CONCURRENCY REVIEW:** The project has been reviewed for compliance with Chapter 160, City Code, regarding provision of adequate public facilities and documented as follows:

<b><i>CRITERIA</i></b>	<b><i>FINDINGS</i></b>
<b>SEWER/WATER SERVICES</b>	Port St. Lucie will be the provider of utilities for the proposed project. A developer's agreement with the City Utility Systems Department, that is consistent with the adopted level of service, is required prior to the issuance of building permits.
<b>TRANSPORTATION</b>	This application and Traffic Report prepared by PTC Transportation Consultants dated September 8, 2020 has been reviewed by the Public Works Department and the transportation elements of the project were found to be in compliance with the adopted level of service and requirements of Chapter 156 of City Code, and Public Works Policy 19-01pwd.
<b>PARKS AND OPEN SPACE</b>	N/A
<b>STORMWATER</b>	The project includes a paving and drainage plan that is in compliance with the adopted level of service standard.
<b>SOLID WASTE</b>	Solid waste impacts are measured and planned based on population projections on an annual basis. There is adequate capacity available.

<b>PUBLIC SCHOOL CONCURRENCY</b>	Per Policy 2.4.2 of the City’s Comprehensive Plan, this development will be exempt from public school concurrency since it is proposed to be an age restricted community
----------------------------------	--

**NATURAL RESOURCE PROTECTION (Chapter 157)**

The project has been reviewed for compliance with the requirements of Chapter 157, Natural Resource Protection Code, and documented as follows:

**Native Habitat/Tree Protection:** Upland preservation/mitigation requirements for the Riverland/Kennedy DRI are addressed in the Development Order. All upland mitigation requirements have been met. The site has been previously cleared.

**Wildlife Protection:** N/A

**OTHER**

**Fire District:** The access location (external and internal) has been reviewed by the Fire District for safety purposes.

**Public Art (Chapter 162):** To meet the public art requirement, the Developer will provide a choice within 90 days of the first residential permits being pulled for all of Riverland Parcel B MPUD.

**Related Projects**

P21-094 Riverland Parcel B Plat One

<b>STAFF RECOMMENDATION</b>
-----------------------------

The Planning and Zoning Department staff finds the request to be consistent with the direction and intent of the City’s Land Development Regulations and policies of the Comprehensive Plan.

Staff recommends approval of the minor site plan as recommended by the Site Plan Review Committee at their meeting on June 9, 2021.