

SITE DATA

EXISTING ZONING:
EXISTING LAND USE:

MPUD
NCD

AC SF
20.63 898,739.22

TOTAL SITE AREA

MAXIMUM BUILDING HEIGHT

DENSITY

BUILDING COVERAGE

2 - UNIT TOWNHOME BUILDING (4 BUILDINGS, 8 UNITS, 1 STORY, 19'-9 3/4")
4 - UNIT TOWNHOME BUILDING (33 BUILDINGS, 132 UNITS, 1 STORY, 19'-6 1/8")
TOTAL

REQUIRED	PROVIDED		
35'-0"	19'-9 3/4"		
REQUIRED	PROVIDED		
N/A	6.8 Unit/AC		
BUILDING SF	BUILDING AC SF	PERCENT	
4,599	4180	54.1%	
8,282	7427.94	57.5%	
12,881	11607.94		

LOT SIZE PER PUD

MINIMUM LOT SIZE PER APPROVED PARCEL A MPUD IS 90' X 16'

REQUIRED	PROVIDED
1,440 SF	4,200 SF (100' X 42' TYPICAL)

PERVIOUS/IMPERVIOUS CALCULATIONS

PERVIOUS

OPEN GREEN SPACE
MEDIAN
LAKE MAINTENANCE EASEMENT
SUB-TOTAL

ACRES	SQUARE FEET	PERCENT
6.13	266,877.1	29.69%
1.07	46,706.0	5.20%
0.66	28,800.6	3.20%
7.86	342,383.7	38.10%

IMPERVIOUS

SIDEWALKS
DRIVEWAYS
VEHICULAR USE AREA
BUILDING COVERAGE
LAKE COVERAGE
SUB-TOTAL

0.83	35,954.3	4.00%
1.69	73,407.6	8.17%
1.85	80,752.9	8.99%
6.59	286,939.2	31.93%
1.82	79,301.5	8.82%
12.77	556,355.54	61.90%

TOTAL

20.63	898,739.22	100%
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PARKING CALCULATIONS

TOWNHOME PARKING (2 PER 1 UNIT REQUIRED: 2X140=280)
TOTAL

REQUIRED	PROVIDED
280	280
	280

RECREATION OPEN SPACE

500 SF OF RECREATION OPEN SPACE PER DWELLING UNIT (140 UNITS)
*PARCEL A AMENITY COUNTED AS REC SPACE AS PART OF APPROVED MPUD *

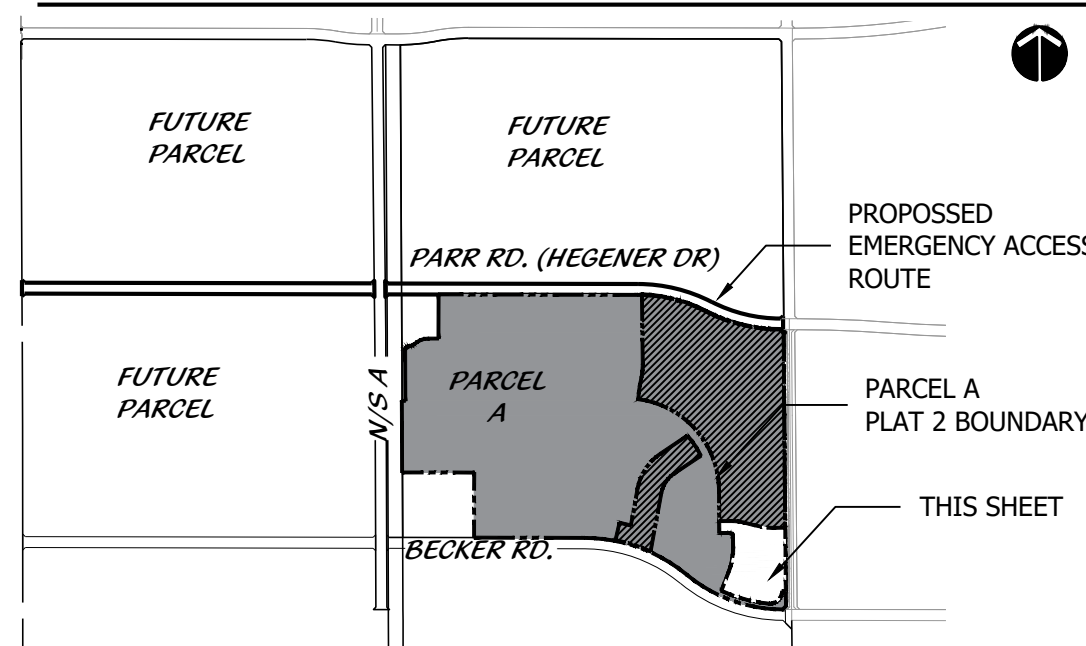
REQUIRED	PROVIDED
1.6 AC	6.9 AC

BUILDING SETBACKS

FRONT SETBACK (FRONT LOADED)
REAR SETBACK (CORNER LOT)
REAR SETBACK (INTERNAL LOT)
MINIMUM BUILDING-TO-BUILDING SETBACK
SIDE SETBACK
SIDE SETBACK (CORNER LOT)
ACCESSORY STRUCTURE SIDE SETBACK (INTERNAL LOT)
ACCESSORY STRUCTURE REAR SETBACK
ACCESSORY STRUCTURE SIDE SETBACK (CORNER LOT)

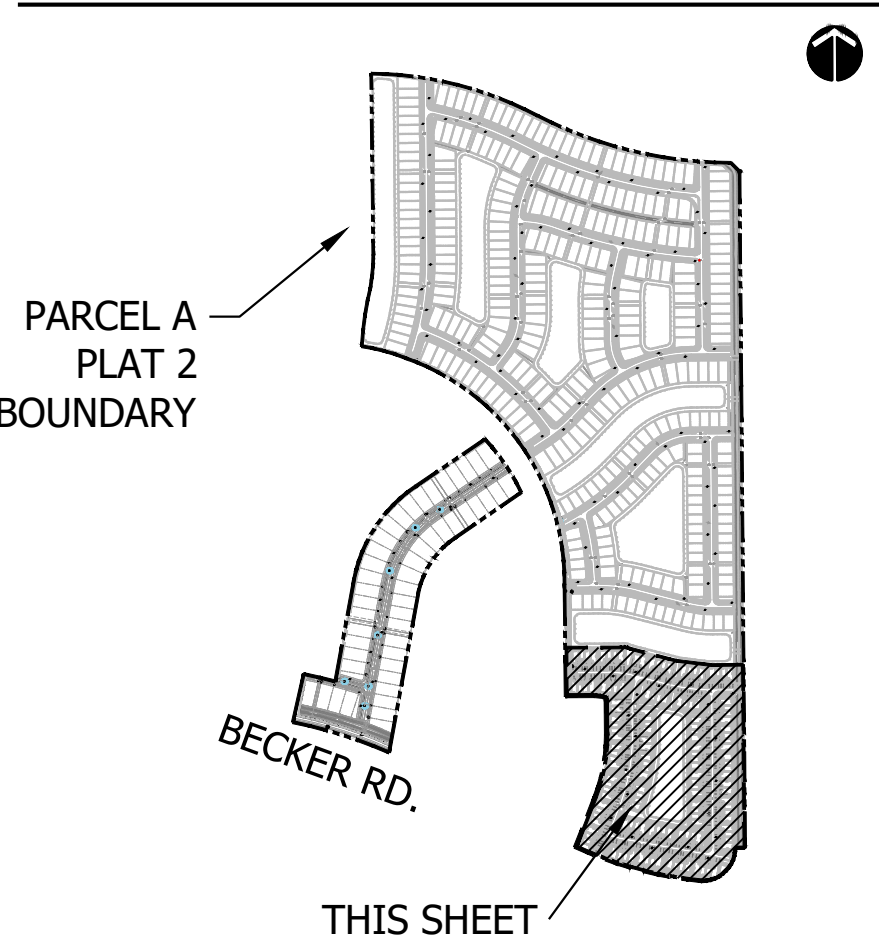
REQUIRED PER MPUD	PROVIDED PER MPUD
18'	18'
10'	10'
10'	10'
15'	15'
5'	5'
15'	15'
2'	2'
2'	2'
10'	10'

VICINITY MAP



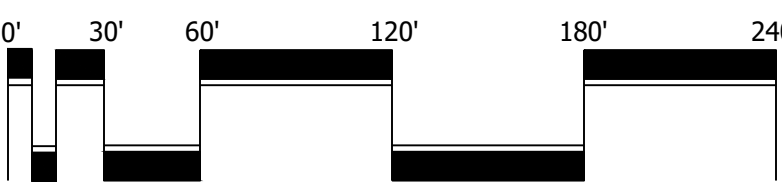
*NOTE:
HARDSCAPE MATERIALS, DRIVEWAYS, ROADS, AND SIDEWALKS MAY
CONSIST OF PAVERS, CONCRETE, OR ASPHALT.

KEY MAP

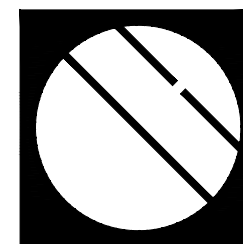


PSLUSD # 11-681-A4
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PLAT 2
TOWNHOME EXHIBIT



Scale: 1" = 60'-0"



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MPUD PARCEL A
CATALINA PALMS
Port St. Lucie, Florida

DESIGNED _____ PRP
DRAWN _____ PRP
APPROVED _____ LAH
JOB NUMBER _____ 20-0518
DATE _____ 04-16-25
REVISIONS _____

SHEET 1 of 2

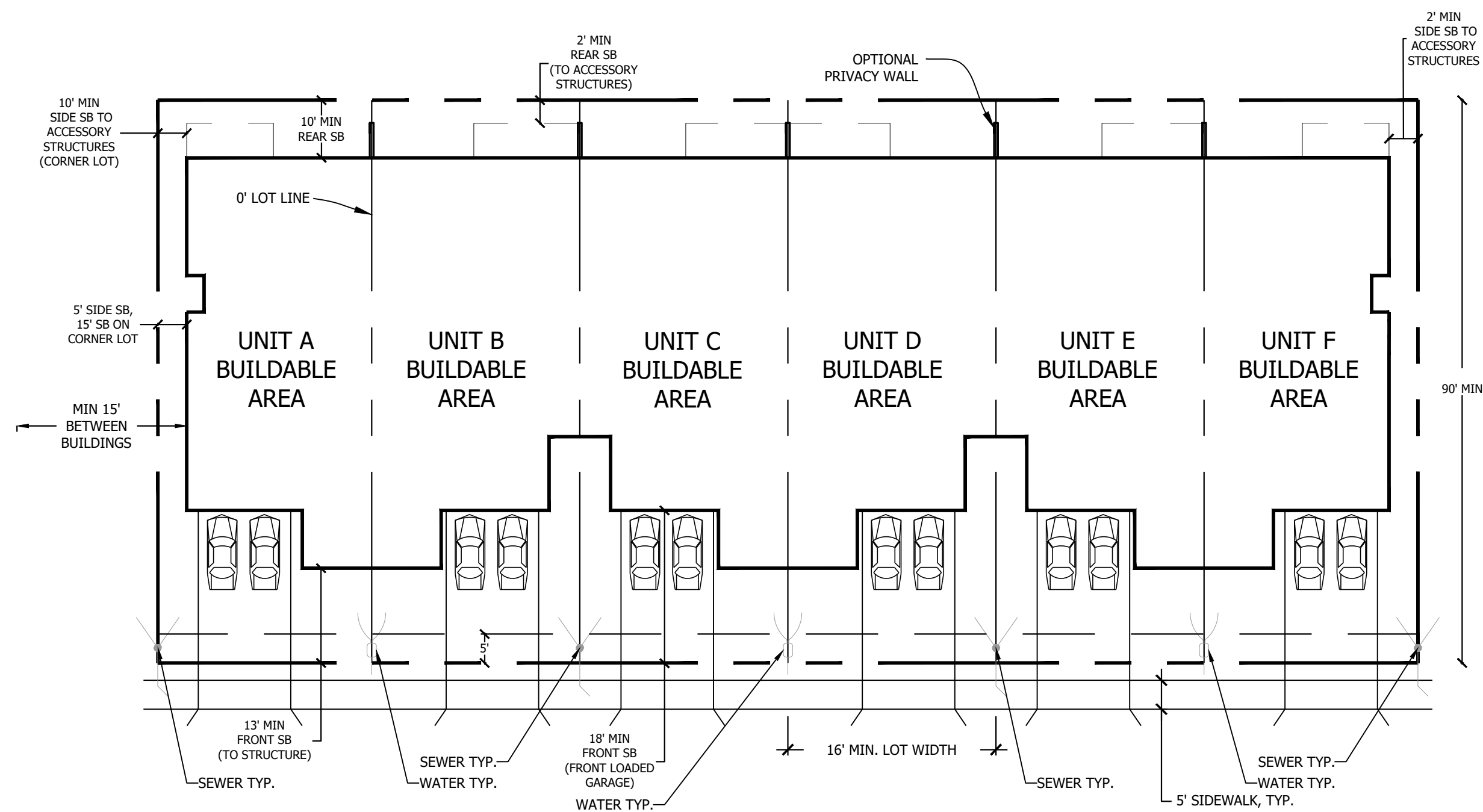
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TYPICAL TOWNHOME LAYOUT

(PER APPROVED PUD STANDARDS)

SCALE 1' = 40'-0"

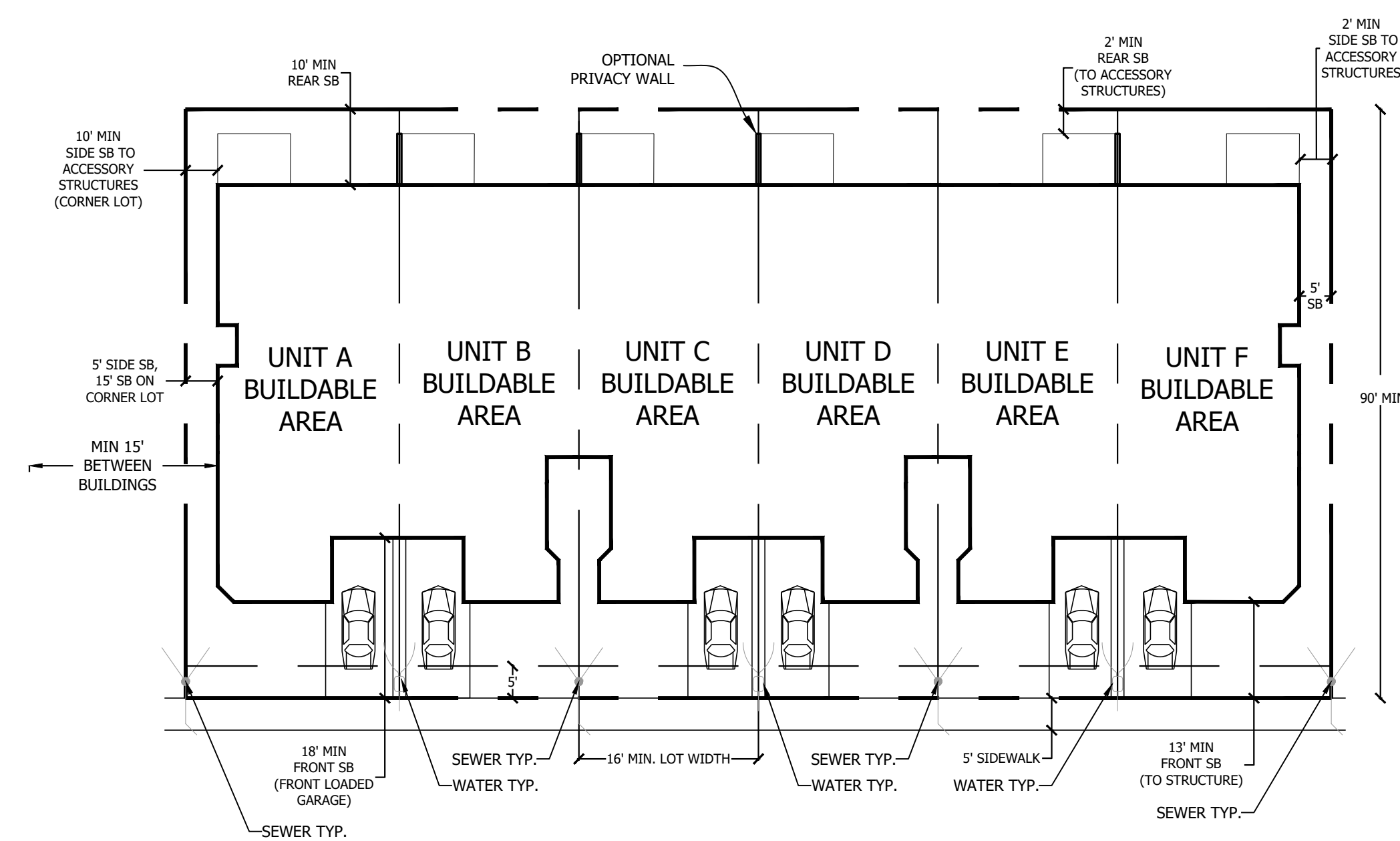
TYPICAL 2-CAR TOWNHOME LOT



NOTES:

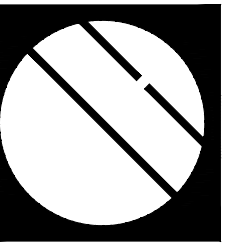
1. BUILDING AREA SHALL BE A MAXIMUM OF 60% OF LOT AND MAXIMUM IMPERVIOUS LOT COVERAGE SHALL BE 80%.
2. MINIMUM OPEN SPACE SHALL BE 30%
3. NON ALLEY LOTS WITHOUT DETACHED GARAGES.
4. SIDE SETBACKS FOR CORNER LOTS ADJACENT TO A STREET IS 15'.
5. THE MINIMUM DRIVEWAY WIDTH FROM THE STREET TO THE ONE REQUIRED ENCLOSED GARAGE SPACE SHALL BE A MINIMUM OF TEN (10) FEET, AND THE MAXIMUM DRIVEWAY WIDTH FROM THE STREET TO THE GARAGE ENCLOSURES SHALL BE THIRTY (30) FEET.
6. THE SEPARATION FROM EDGE OF DRIVEWAYS TO THE SANITARY/WATER SERVICES SHALL BE IN CONFORMANCE WITH UTILITY SYSTEMS DEPARTMENT STANDARDS.
7. THE MINIMUM FRONT LOT WIDTH AT THE R-O-W LINE SHALL BE 16 FEET.
8. PLACEMENT OF DOORS/ENTRANCES AND GARAGES CAN VARY, PROVIDED ALL THE CRITERIA LISTED IN EXHIBIT 13 (DEVELOPMENT STANDARDS) ARE ADHERED TO.

TYPICAL 1-CAR TOWNHOME LOT



NOTES:

1. BUILDING AREA SHALL BE A MAXIMUM OF 60% OF LOT AND MAXIMUM IMPERVIOUS LOT COVERAGE SHALL BE 80%.
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SHEET 2 OF 2

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