

**SITE DATA**

EXISTING ZONING: MPUD  
 EXISTING LAND USE: NCD

**TOTAL SITE AREA**  
 20.63 AC 898,739.22 SF

**MAXIMUM BUILDING HEIGHT**  
 35'-0"

**DENSITY**  
 REQUIRED 19'-9 3/4"  
 PROVIDED 6.8 Unit/AC

**BUILDING COVERAGE**  
 2- UNIT TOWNHOME BUILDING (4 BUILDINGS, 8 UNITS, 1 STORY, 19'-9 3/4")  
 4- UNIT TOWNHOME BUILDING (33 BUILDINGS, 132 UNITS, 1 STORY, 19'-6 1/8")  
**TOTAL** 4,599 4180 54.1%  
 8,282 7427.94 57.5%  
**12,881 11607.94**

REQUIRED	PROVIDED	PERCENT
35'-0"	19'-9 3/4"	54.1%
N/A	6.8 Unit/AC	57.5%
<b>BUILDING SF</b>	<b>BUILDING AC SF</b>	<b>PERCENT</b>
4,599	4180	54.1%
8,282	7427.94	57.5%
<b>12,881</b>	<b>11607.94</b>	

**LOT SIZE PER PUD**  
 MINIMUM LOT SIZE PER APPROVED PARCEL A MPUD IS 90' X 16'

REQUIRED 1,440 SF  
 PROVIDED 4,200 SF (100' X 42' TYPICAL)

**PERVIOUS/IMPERVIOUS CALCULATIONS**

PERVIOUS	ACRES	SQUARE FEET	PERCENT
OPEN GREEN SPACE	6.13	266,877.1	29.69%
MEDIAN	1.07	46,706.0	5.20%
LAKE MAINTENANCE EASEMENT	0.66	28,800.6	3.20%
<b>SUB-TOTAL</b>	<b>7.86</b>	<b>342,383.7</b>	<b>38.10%</b>

IMPERVIOUS	ACRES	SQUARE FEET	PERCENT
SIDEWALKS	0.83	35,954.3	4.00%
DRIVEWAYS	1.69	73,407.6	8.17%
VEHICULAR USE AREA	1.85	80,752.9	8.99%
BUILDING COVERAGE	6.59	286,939.2	31.93%
LAKE COVERAGE	1.82	79,301.5	8.82%
<b>SUB-TOTAL</b>	<b>12.77</b>	<b>556,355.54</b>	<b>61.90%</b>

**TOTAL** 20.63 898,739.22 100%

**PARKING CALCULATIONS**

REQUIRED	PROVIDED
TOWNHOME PARKING (2 PER 1 UNIT REQUIRED: 2X140=280)	280
<b>TOTAL</b>	<b>280</b>

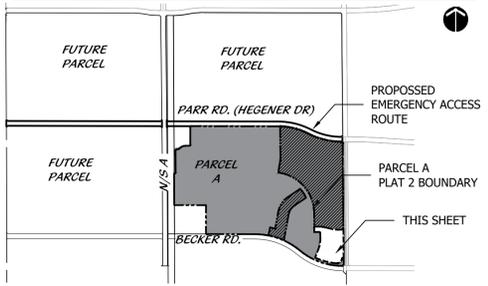
**RECREATION OPEN SPACE**  
 500 SF OF RECREATION OPEN SPACE PER DWELLING UNIT (140 UNITS)  
 \*PARCEL A AMENITY COUNTED AS REC SPACE AS PART OF APPROVED MPUD\*

REQUIRED 1.6 AC  
 PROVIDED 6.9 AC

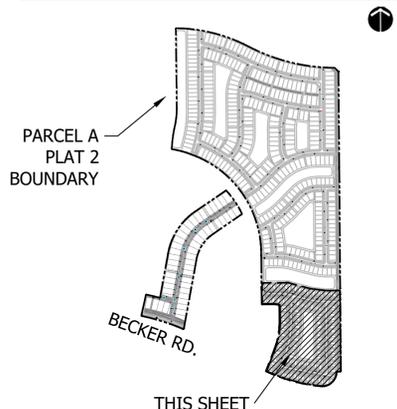
**BUILDING SETBACKS**

REQUIRED PER MPUD	PROVIDED PER MPUD
FRONT SETBACK (FRONT LOADED)	18'
REAR SETBACK (CORNER LOT)	10'
REAR SETBACK (INTERNAL LOT)	10'
MINIMUM BUILDING-TO-BUILDING SETBACK	15'
SIDE SETBACK	5'
SIDE SETBACK (CORNER LOT)	15'
ACCESSORY STRUCTURE SIDE SETBACK (INTERNAL LOT)	2'
ACCESSORY STRUCTURE REAR SETBACK	2'
ACCESSORY STRUCTURE SIDE SETBACK (CORNER LOT)	10'

**VICINITY MAP**

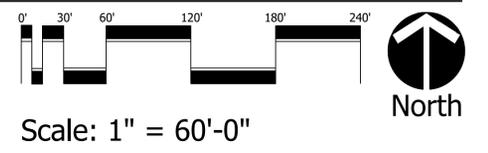


**KEY MAP**



\*NOTE:  
 HARDSCAPE MATERIALS, DRIVEWAYS, ROADS, AND SIDEWALKS MAY CONSIST OF PAVERS, CONCRETE, OR ASPHALT.

PSLUSD # 11-681-A4  
 PSL# P24-195  
**PLAT 2**  
**TOWNHOME EXHIBIT**



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**MPUD PARCEL A**  
**CATALINA PALMS**  
 Port St. Lucie, Florida

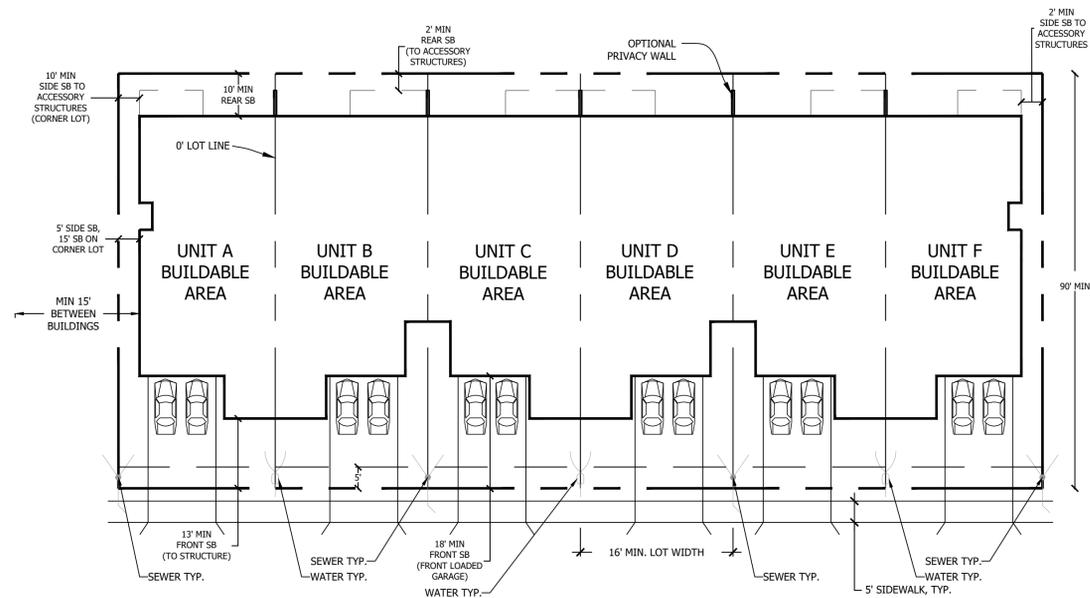
DESIGNED	PRP
DRAWN	PRP
APPROVED	LAH
JOB NUMBER	20-0518
DATE	04-16-25
REVISIONS	

# TYPICAL TOWNHOME LAYOUT

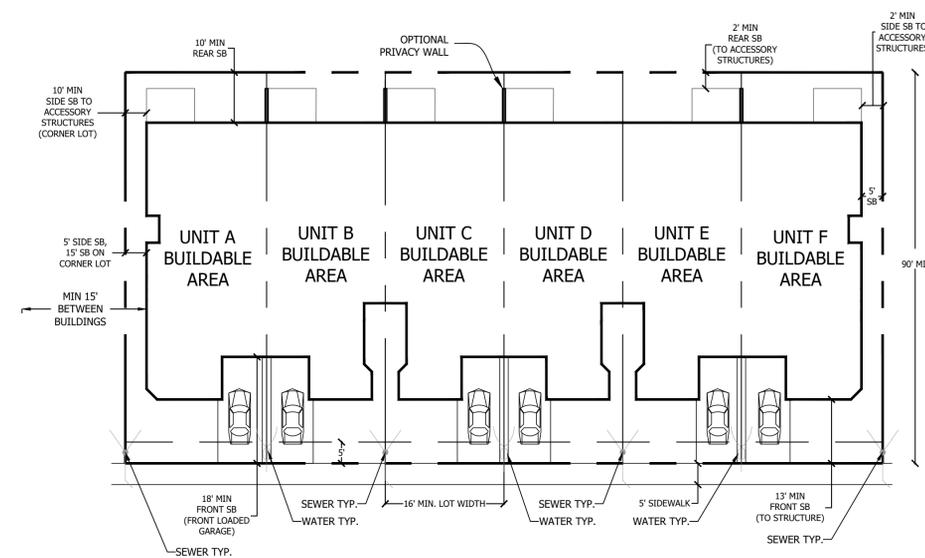
(PER APPROVED PUD STANDARDS)

SCALE 1" = 40'-0"

## TYPICAL 2-CAR TOWNHOME LOT



## TYPICAL 1-CAR TOWNHOME LOT



### NOTES:

1. BUILDING AREA SHALL BE A MAXIMUM OF 60% OF LOT AND MAXIMUM IMPERVIOUS LOT COVERAGE SHALL BE 80%.
2. MINIMUM OPEN SPACE SHALL BE 30%
3. NON ALLEY LOTS WITHOUT DETACHED GARAGES.
4. SIDE SETBACKS FOR CORNER LOTS ADJACENT TO A STREET IS 15'.
5. THE MINIMUM DRIVEWAY WIDTH FROM THE STREET TO THE ONE REQUIRED ENCLOSED GARAGE SPACE SHALL BE A MINIMUM OF TEN (10) FEET, AND THE MAXIMUM DRIVEWAY WIDTH FROM THE STREET TO THE GARAGE ENCLOSURES SHALL BE THIRTY (30) FEET.
6. THE SEPARATION FROM EDGE OF DRIVEWAYS TO THE SANITARY/WATER SERVICES SHALL BE IN CONFORMANCE WITH UTILITY SYSTEMS DEPARTMENT STANDARDS.
7. THE MINIMUM FRONT LOT WIDTH AT THE R-O-W LINE SHALL BE 16 FEET.
8. PLACEMENT OF DOORS/ENTRANCES AND GARAGES CAN VARY, PROVIDED ALL THE CRITERIA LISTED IN EXHIBIT 13 (DEVELOPMENT STANDARDS) ARE ADHERED TO.

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