

City of Port St. Lucie

121 SW Port St. Lucie Blvd.
Port St. Lucie, Florida 34984



"A City for All Ages"

Meeting Agenda

Tuesday, March 7, 2023

6:00 PM

Council Chambers, City Hall

Planning and Zoning Board

Deborah Beutel, Chair, Term 2 Expires 6/21/25

Alfreda Wooten, Vice Chair, Term 1 Expires 5/28/23

Carol Taylor-Moore, Secretary, Term 1 Expires 9/27/25

Peter Previte, At-Large, Term 1 Expires 7/12/25

Joseph Piechocki, At-Large, Term 1 Expires 7/12/25

Roberta Briney, At-Large, Term 1 Expires 7/12/25

Eric Reikenis, At-Large, Term 1 Expires 11/1/26

Melody Creese, Alternate, Term 1 Expires 11/1/26

Please visit www.cityofpsl.com/tv for new public comment options.

1. Meeting Called to Order**2. Roll Call****3. Determination of a Quorum****4. Pledge of Allegiance****5. Approval of Minutes**

- 5.a** Approval of Minutes - February 7, 2023 and February 21, 2023

[2023-236](#)

6. Consent Agenda

- 6.a** P22-232 Verano South Pod G - Plat No. 2 - POD No. 2 - Replat No. 1

[2023-225](#)

Location: The property is west of Interstate 95, north of Crosstown Parkway, east of Glades Cut-off Road.

Legal Description: Being A Replat of all of POD 2, Verano South PUD 1 - POD G - Plat No. 2.

The application is for a Preliminary Plat with Construction Plans that is 18.5 acres in area. The project proposes a total of 220 multi-family lots.

7. Public Hearings - Non Quasi-Judicial

- 7.a** P22-336 Lulfs Grove - Comprehensive Plan Amendment - Large Scale

[2023-232](#)

Location: Generally bordered by Glades Road Cut Off to the south, Interstate I-95 to the east, and Midway Road to the north.

Legal Description: A portion of Sections 20 & 21, Township 36 South, Range 39 East.

This is a request to change the Future Land Use of 464.5 acres known as Lulfs Grove Business Park, to Low Density Residential (RL), Medium Density Residential (RM) and Recreation Open Space (OSR).

7.b P22-356 St. Lucie Lands/Veranda - Comprehensive Plan Amendment - Large Scale [2023-233](#)

Location: The properties are generally located south of Becker Road, North of the St. Lucie County line, east of the Florida Turnpike, and west of Veranda Preserve.

Legal Description: Portions of Veranda Plat No. 3, Veranda Gardens West Phase 1; Portions of Veranda Plat No. 4, Veranda Gardens West Phase 2; Portions of Veranda Plat No. 5, Veranda Gardens West Phase 3; and Veranda Plat No. 2, Parcel 7.

This is a request to approve a large-scale future land use map amendment for approximately 84 acres in size acres from Residential, Office and Institutional (ROI) and Commercial General/Residential, Office, Institutional (CG/ROI) to Residential Golf Course (RGC).

7.c P22-357 St. Lucie Lands (VF II, LLC) - Comprehensive Plan Amendment - Small Scale [2023-234](#)

Location: South of Becker Road, north of the St. Lucie County line, east of the Florida Turnpike, and west of Veranda Landings.

Legal Description: Veranda Plat No. 8, Tract 2

This request is to approve a small-scale Future Land Use Map amendment for 12.4 acres from Residential Office and Institutional (ROI) to (RGC) Residential Golf Course.

7.d P22-364 Brizon Investments, LLC - Comprehensive Plan Amendment - Small Scale [2023-231](#)

Location: Northeast corner of SW Aviation Avenue and SW Port St. Lucie Boulevard.

Legal Description: Port St. Lucie Section 41, Block 2894, Lots 10, 11, 12 and 13

This is a request to change the Future Land Use designation from Residential, Office, Institutional (ROI) to General Commercial (CG).

8. Public Hearing - Quasi-Judicial

8.a P22-155 Gatlin Boulevard Car Wash - Special Exception Use [2023-241](#)

Location: 1837 SW Gatlin Boulevard

Legal Description: Port St. Lucie Section 31, Tract P, Lots 9 and 10

This is a request for a special exception to allow a car wash in the General Commercial (CG) zoning district per Section 158.124(C)(4) of the Code of Ordinances.

- 8.b** P22-269 Jared & Emily Greenberg - Variance [2023-240](#)
Location: 702 SW Abode Avenue
Legal Description: Port St. Lucie - Section 33, Block 2326, Lot 21
This is a request to grant a variance of 9.51 feet to allow a 0.49-foot setback from the rear property line for an existing 21.50-foot by 24-foot (516 sf2) covered playhouse.
- 8.c** P22-327 Bayshore Boulevard Plaza - Special Exception Use (Fitness Center) [2023-237](#)
Location: East side of Bayshore Blvd. and north of SW Thornhill Dr.
Legal Description: Port St. Lucie Section 13, Block 628, Lots 25-29
This is a request for a Special Exception Use to allow on enclosed assembly area over 3,000 square feet for a recreational use totaling 3,187 square feet.
- 8.d** P22-328 Bayshore Boulevard Plaza - Special Exception Use (Vehicle Repair & Maintenance) [2023-239](#)
Location: East side of Bayshore Blvd. and north of SW Thornhill Dr.
Legal Description: Port St. Lucie Section 13, Block 628, Lots 25-29
This is a request for a Special Exception Use to allow a repair and maintenance of vehicles use within the General Commercial zoning district.
- 8.e** P22-365 Brizon Investments, LLC - Rezoning [2023-230](#)
Location: Generally, on the northeast corner of SW Aviation Avenue and SW Port St. Lucie Boulevard
Legal Description: Port St. Lucie Section 41, Block 2894, Lots 10, 11, 12, and 13
This is a request to rezone a 1.06-acre property from Professional Office (P) to General Commercial (CG).
- 8.f** P23-005 Crb of Florida - Caribbean American Club - Special Exception Use [2023-243](#)
Location: 3771 SE Jennings Road
Legal Description: A portion of Lot 2, Block 1, of St. Lucie Gardens Plat 1
The request is for the approval of a Special Exception Use (SEU) to allow an enclosed assembly area over 3,000 square feet in the Service Commercial (CS) Zoning District as per Section 158.126(D)(2) for the Zoning Code for a 5,022 square foot cultural club.

- 8.g** P23-015 Weun Geem, Kim - Emerald Plaza at Darwin, LLC - [2023-242](#)
Landscape Modification
Location: 3201 SW Yale Street
Legal Description: Darwin Plaza Lot 1
This is a request to substitute landscaping in lieu of an architectural buffer wall per Section 154.12 of the City of Port St. Lucie Code of Ordinances.

9. New Business

10. Old Business

11. Public to be Heard

12. Adjourn

Notice: No stenographic record by a certified court reporter will be made of the foregoing meeting. Accordingly, any person who may seek to appeal a decision involving the matters noticed herein will be responsible for making a verbatim record of the testimony and evidence at said meeting upon which any appeal is to be based.

Notice: In accordance with the Americans with Disabilities Act of 1990, persons needing special accommodation to participate in this proceeding should contact the City Clerk's office at (772) 871-5157 for assistance.

As a courtesy to the people recording the meeting, please put your cell phone on silent.



Agenda Summary

2023-236

Agenda Date: 3/7/2023

Agenda Item No.: 5.a

Placement: Minutes

Action Requested: Motion / Vote

Approval of Minutes - February 7, 2023 and February 21, 2023

Submitted By: Pat Shutt, Administrative Assistant, Planning & Zoning Department

Executive Summary: February 7, 2023 and February 21, 2023 minutes attached.

Presentation Information: N/A

Staff Recommendation: Move that the Board approve the minutes.

Alternate Recommendations:

1. Move that the Board amend the recommendation and approve the minutes with changes.
2. Move that the Board not approve the minutes and provide staff direction.

Background: N/A

Issues/Analysis: N/A

Special Consideration: N/A

Location of Project: N/A

Attachments: February 7, 2023 minutes, February 21, 2023 minutes

City of Port St. Lucie
Planning and Zoning Board
Meeting Minutes

121 SW Port St. Lucie
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34984

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Tuesday, February 7, 2023

6:00 PM

Council Chambers, City Hall

1. Meeting Called to Order

A Regular (Virtual) Meeting of the PLANNING AND ZONING BOARD of the City of Port St. Lucie was called to order by Chair Beutel at 6:03 p.m., on February 7, 2023, at Port St. Lucie City Hall, 121 SW Port St. Lucie Boulevard, Council Chambers, Port St. Lucie, Florida.

2. Roll Call

Members Present:

Deborah Beutel, Chair
Alfreda Wooten, Vice Chair
Carol Taylor-Moore, Secretary
Peter Previte
Joseph Piechocki
Eric Reikenis
Roberta Briney (via Zoom)

Others Present:

Mary Savage-Dunham, Planning & Zoning Director
Elizabeth Hertz, Deputy City Attorney
Jasmin De Freese, Deputy City Clerk

3. Determination of a Quorum

Chair Beutel determined there was a quorum.

4. Pledge of Allegiance

Chair Beutel led the assembly in the Pledge of Allegiance.

5. Approval of Minutes

5.a Approval of Minutes - January 3, 2023 [2023-114](#)

There being no corrections, Vice Chair Wooten moved to approve the minutes. Secretary Taylor-Moore seconded the motion, which passed unanimously by roll call vote.

6. Consent Agenda

There was nothing to be heard under this item.

7. Public Hearings - Non Quasi-Judicial

7.a P22-298 Midway Glades Developers, LLC - Comprehensive [2023-119](#)

Plan Amendment/Large Scale

Location: The property is located northwest of Glades Cut off Road and south of Midway Road.

Legal Description: A portion of Tract A, LTC Ranch West Phase 1.

This is a request to change the future land use designation for 140 acres from Residential, Office, Institutional (ROI) to High Density Residential (RH).

(Clerk's Note: A PowerPoint presentation was shown at this time.) Anne Cox, Planning & Zoning Assistor Director, presented to the Board and stated that the proposed amendment was to change 140 acres from Residential Office/Institutional (ROI) to High Density Residential (RH) and to realign the adjacent segment of the proposed E/W #5 roadway to flatten out the curve. Matthew Yates, Lucido & Associates, appeared on behalf of the applicant.

Chair Beutel opened the Public Hearing and asked if there was any Public to speak on the item. There being none, Chair Beutel closed the Public Hearing. There being no discussion, Mr. Piechocki moved to recommend approval of P22-298, Midway Glades Developers, LLC – Comprehensive Plan Amendment/Large Scale to the City Council. Mr. Previte seconded the motion which passed unanimously by roll call vote.

7.b P22-307 City-Initiated Text Amendment to Chapters 153 - [2022-1024](#)
Definitions and 158 - Zoning Code (Cat Cafes).

This is a request to allow cat cafes as a permitted use within the CG (General Commercial) and CS (Service Commercial) zoning districts and as a special exception use within the IN (Industrial) zoning district.

(Clerk's Note: A PowerPoint presentation was shown at this time.)

Bethany Grubbs, Planner, presented to the Board and stated that the amendment was to change the text of the zoning code to allow this type of business, and she discussed proposed supplementary use regulations. Chair Beutel recommended the addition of the term 'domestic'.

Chair Beutel opened the Public Hearing and asked if there was any Public to speak on the item. There being none, Chair Beutel closed the Public Hearing. There being no discussion, Mr. Piechocki moved to recommend approval of P22-307, City-Initiated Text Amendment to Chapters 153 – Definitions and 158 – Zoning Code (Cat Cafes) to the City Council. Vice Chair Wooten seconded the motion which passed unanimously by roll call vote.

7.c P22-356 St. Lucie Lands/Veranda - Comprehensive Plan [2023-117](#)

Amendment/Large Scale

Location: Generally located south of Becker Road, North of the St. Lucie County line, east of the Florida Turnpike, and west of Veranda Gardens.

Legal Description: Parcel 7, Veranda Plat No. 2; all of Veranda Plat No. 9; portions of Veranda Plat No. 4 - Veranda Gardens West Phase 2; and portions of Veranda Plat No. 5 - Veranda Gardens West Phase 3. This request is to change the future land use designation from Residential, Office and Institutional (ROI) to Residential Golf Course (RGC)

There being no discussion, Mr. Previte moved to table P22-356, St. Lucie Lands/Veranda - Comprehensive Plan Amendment/Large Scale to an unknown date. Secretary Taylor-Moore seconded the motion which passed unanimously by roll call vote.

7.d P22-357 St. Lucie Lands (VF II, LLC)- Comprehensive Plan [2023-118](#)

Amendment/Small Scale

Location: Generally located south of Becker Road, North of the St. Lucie County line, east of the Florida Turnpike, and west of Veranda Gardens.

Legal Description: Veranda Plat No. 8, Tract 2
This request is to change the Future Land Use designation for 12.4 acres from Residential, Office, Institutional (ROI) to Residential Golf Course (RCG).

There being no discussion, Mr. Previte moved to table P22-357, St. Lucie Lands (VF II, LLC) – Comprehensive Plan Amendment/Small Scale to an unknown date. Secretary Taylor-Moore seconded the motion which passed unanimously by roll call vote.

7.e P23-003 City of Port St. Lucie - Comprehensive Plan [2023-115](#)

Amendment/Small Scale

Location: Southeast of SW Abraham Avenue and SW Port St. Lucie Boulevard.

Legal Description: Port St. Lucie Section 33, Block 2325, Lots 2,3 and 4

This request is to change the Future Land Use designation of Residential, Office and Institutional (ROI) to Low Density Residential (RL) for a 0.69-acre parcel.

(Clerk's Note: A PowerPoint presentation was shown at this time.)
 Stephen Mayer, Planner, presented to the Board and stated that this project was to amend the Future Land Use designation for 0.69 acres from Residential/Office/Institutional (ROI) to Residential, Low Density (RL). He informed the Board that the proposal was concurrent to another rezoning request and that the purpose of the request was to allow for the property (3 platted lots) to be developed with 3 single-family residences.

Chair Beutel opened the Public Hearing and asked if there was any Public to speak on the item. There being none, Chair Beutel closed the Public Hearing. There being no discussion, Vice Chair Wooten moved to recommend approval of P23-003, City of Port St. Lucie – Comprehensive Plan Amendment/Small Scale to the City Council. Secretary Taylor-Moore seconded the motion which passed unanimously by roll call vote.

8. Public Hearing - Quasi-Judicial

The Senior Deputy City Attorney read the Quasi-Judicial Rules into the record for Items 8 a.) through 8 g.) and the Deputy City Clerk swore in staff and applicants.

8.a P22-006 Wawa - Special Exception Use [2023-112](#)

Location: Southwest corner of SW Port St. Lucie Boulevard and SW Becker Road

Legal Description: Port St. Lucie Section 33, Tract L, Less S 262.18 ft

This is a request for a Special Exception Use (SEU) to allow a convenience store and gas station to be located in a General Commercial (CG) zoning district and to allow a gas station to be located in the Activity Center Subdistrict of the Becker Road Overlay District.

Chair Beutel inquired if there was any ex-parte communication, to which Chair Beutel, Vice Chair Wooten, Secretary Taylor-Moore, Mr. Previte, Mr. Reikenis, and Ms. Briney responded in the negative, and Mr. Piechocki responded in the affirmative.

(Clerk's Note: A PowerPoint presentation was shown at this time.) Holly Price, Planner, stated that she was sworn in and that the file was submitted to the City Clerk's Office 5 days prior to the meeting and requested that it be entered into the record. She presented to the Board and stated that the project was being heard due to Section 158.124(C) (11) of the Zoning Code requiring a Special Exception Use (SEU) approval for a convenience store with a fuel station to be located in a General Commercial (CG) Zoning District. She also informed that per Section 2.3.3.1.a of the Becker Road Overlay District (BROD) Design Standard, an SEU approval was required for a fuel station located in the Activity Center Subdistrict, as well as Section 2.3.3.1.c requiring an SEU approval if the side street access to a property located in the Activity Center was proposed.

Ms. Price further discussed land use, zoning, general site context, previous actions, a concept plan, a preliminary landscape plan, and conceptual elevations. Diana Spriggs, Public Works, then presented to the Board and discussed a traffic analysis, City Code non-compliance, and an alternative driveway location option. Ms. Price then presented an evaluation of SEU criteria and findings.

The Board, Ms. Price, and Ms. Spriggs held a discussion on various topics and issues relating to the project including the dead-end road concept, access points, and turning lanes. (Clerk's Note: A PowerPoint presentation was included, but not able to be shown due to technical issues.) Brad Curry, Engineering, Design, and Construction (EDC), presented to the Board and discussed topics including the potential land use, access, variances, neighborhood meetings, addressing comments, engineering design standards & requirements, and buffering. The Board, Mr. Curry, Ms. Savage-Dunham, and Ms. Spriggs then held an extensive conversation on Becker Road access and turning lanes, as well as the ability to come to an agreement.

Chair Beutel opened the Public Hearing. Residents Cody Streveler and Amanda Minnich both spoke on topics relating to their opposition for the traffic plan, their concern for safety and having only one way in and out of the neighborhood, and buffering.

There being no further public to be heard, Chair Beutel closed the Public Hearing. Mr. Curry advised that if the project was tabled, they would lose the property, and the Board held further discussions.

Mr. Previte moved to approve P22-006, Wawa Special Exception Use with the provisions that there would be an additional landscape buffer on the southern portion of the property with an opaque fence, and an additional 50ft would be added to the right-hand turn lane. Motion failed for lack of a second.

Mr. Reikenis moved to table P22-006, Wawa – Special Exception Use to the March 7, 2023 Planning & Zoning meeting. Vice Chair Wooten seconded the motion which passed by roll call vote with Chair Beutel, Vice Chair Wooten, Secretary Taylor-Moore, Mr. Reikenis, and Ms. Briney in favor, and Mr. Previte & Mr. Piechocki opposed.

(Clerk's Note: A break was called at 8:12 p.m. and the meeting resumed at 8:20 p.m.)

8.b P22-097 Tradition MPUD (Master Planned Unit Development) 14th Amendment

[2023-122](#)

Location: The property is located on the north side of Tradition Parkway between SW Fernlake Drive and future N/S A roadway.

Legal Description: A parcel of land located in Sections 5, 6, 7, and 6, Township 37 South, Range 39 East, St. Lucie County, Florida

This is a request to amend the Tradition MPUD zoning regulation book and concept plan for property identified as parcels 17, 17 A, and 18 on the Tradition MPUD concept plan.

Chair Beutel inquired if there was any ex-parte communication, to which Mr. Reikenis, Mr. Previte, and Mr. Piechocki responded in the affirmative, and Chair Beutel, Vice Chair Wooten, Secretary Taylor-Moore, and Ms. Briney responded in the negative.

(Clerk's Note: A PowerPoint presentation was shown at this time.)
 Bridget Kean, Planner, stated that she was sworn in and that the file was submitted to the City Clerk's Office 5 days prior to the meeting and requested that it be entered into the record. She presented to the Board and stated that the amendment was due to the proposed development standards not being consistent with the currently approved Tradition MPUD and advised that no changes were proposed to the residential sub-district that would impact the development standard and zoning regulations for the existing residential Tradition communities. She further discussed the proposed amendment, Tradition MPUD concept plan, and impacts and findings.

(Clerk's Note: A PowerPoint presentation was shown at this time.)
 Steve Garrett, Lucido & Associates, presented to the Board, on their

request, the City of Port St. Lucie Comprehensive Plan, parcel locations, surrounding development, roadway network, active site plan applications, and new schools for Tradition.

Chair Beutel opened the Public Hearing. Residents Joel Parker, Justine Kennedy, Jacier Aluart, Ria Muriello, Cathy Powers, Linda Conte-Giannone, Drew Daniels, Jennifer McDonald, Christina King, Johnny Cheung, Paul Meyers, Gerard Muriello, and Kathleen Hawks spoke in opposition of the project due to various topics such as the height of the buildings, increase in traffic, decrease in local resources, and creating a rental community.

There being no further public to be heard, Chair Beutel closed the Public Hearing. Mr. Garrett addressed questions and provided further information on the height, neighborhood density, and site plans. The Board further discussed the project with Mr. Garrett and Ms. Savage-Dunham.

There being no further discussion, Mr. Piechocki moved to recommend approval of P22-097, Tradition MPUD (Master Planned Unit Development) 14th Amendment to the City Council with the staff recommendation that development on Parcels 17, 17A, and Parcel 18 be designed with a school bus turnaround, stops, and shelter internal to the site on all road frontages, and that the development of Parcels 17, 17A, and Parcel 18 include the platting and construction of SW Westcliffe Lane to N/S A including the intersection of SW Westcliffe Lane and N/S A, and that the plat for the portion of Westcliffe Lane adjacent to N/S A must be platted prior to construction of Westcliffe Lane and must include the intersection of Westcliffe N/S A, and that Westcliffe Lane must be constructed concurrent with the Slopeside site development, as well as the condition that the MPUD remain at 35ft, no exceptions. Secretary Taylor-Moore seconded the motion which passed unanimously by roll call vote.

(Clerk's Note: A break was called at 10:13 p.m. and the meeting resumed at 10:17 p.m.)

8.c P22-321 Leonard W. Laforte - Variance

[2023-129](#)

Location: 1556 SW Abacus Avenue

Legal Description: Port St. Lucie Section 33, Blk 2202, Lot 19

This is a request for a variance of 4.82 feet to allow a 5.18-foot setback from the side property line for an existing shed.

Chair Beutel inquired if there was any ex-parte communication, to

which the Board responded in the negative.

(Clerk's Note: A PowerPoint presentation was shown at this time.) Francis Forman, Planner, stated that he was sworn in and that the file was submitted to the City Clerk's Office 5 days prior to the meeting and requested that it be entered into the record. He presented to the Board and stated that the variance was to allow a 5.18ft setback from the side property line for an existing shed. He informed the Board that the existing shed encroached into the existing Utility Easement. Applicant Mr. Laforte briefly spoke the Board, stating that it was located on a double-lot and there was nowhere else to put the shed.

Chair Beutel opened the Public Hearing. There being no public to be heard, she closed the Public Hearing. There being no discussion, Mr. Previte moved to deny P22-321, Leonard W. Laforte – Variance. Mr. Reikenis seconded the motion which passed unanimously by roll call vote.

8.d P22-325 St. Lucie Doctors, LLC - Variance

[2022-1021](#)

Location: Northwest corner of Becker Road and Darwin Boulevard
Legal Description: Lots 1-3 and 22-24, Block 2358, Port St. Lucie
Section 34

A request to grant a variance to Section 4.4.3 and Section 4.6.2.1 of the Becker Road Overlay District Design Standards to allow for 52% vertical windows and a flat roof with no peaked or pitched roof elements.

Chair Beutel inquired if there was any ex-parte communication, to which the Board responded in the negative.

(Clerk's Note: A PowerPoint presentation was shown at this time.) Francis Forman, Planner, stated that he was sworn in and that the file was submitted to the City Clerk's Office 5 days prior to the meeting and requested that it be entered into the record. He presented to the Board and stated that the variance was to allow for a decreased percentage of vertical windows to 52% and a reduction in roof elements for a flat roof with no peaked or pitched elements. Raul Ocampo, ADC Architects, spoke to the Board and stated that they could achieve the desired look without needing a pitched roof. (Clerk's Note: Mr. Ocampo shared his screen at this time.) He showcased a 3D rendering of the project.

Chair Beutel opened the Public Hearing. There being no public to be heard, she closed the Public Hearing. Mr. Forman advised that all commercial development on the Becker Road overlay required a

pitched roof. Mr. Ocampo informed that all findings were in relation to the roof with the exception of the windows. Chair Beutel suggested for staff and the applicant to continue working together for a solution. Discussion was then held on tabling and denying the project.

There being no further discussion, Mr. Reikenis moved to deny P22-325, St. Lucie Doctors, LLC – Variance. Mr. Previte seconded the motion which passed by roll call vote with Chair Beutel, Vice Chair Wooten, Secretary Taylor-Moore, Mr. Previte, Mr. Rekenis, and Ms. Briney in favor, and Mr. Piechocki opposed.

8.e P22-332 Set'em Up, LLC - Children's Volleyball - Special [2023-130](#)
Exception Use

Location: Northwest of the intersection of SE Jennings Rd. and S US Highway 1

Legal Description: Town Centre Parcel D

This is a request for a Special Exception Use to allow an enclosed assembly area over 3,000 square feet for recreational use totaling 14,326 square feet.

Chair Beutel inquired if there was any ex-parte communication, to which the Board responded in the negative.

(Clerk's Note: A PowerPoint presentation was shown at this time.) Francis Forman, Planner, stated that he was sworn in and that the file was submitted to the City Clerk's Office 5 days prior to the meeting and requested that it be entered into the record. He presented to the Board and stated that the project was to review a Special Exception Use to allow an enclosed assembly area over 3,000 square feet in a General Commercial (CG) Zoning District for a recreational facility for children's volleyball, travel leagues, and open gym activities in the community. He reported on the evaluation of SEU criteria and the findings. Applicants William and Patricia Sandoval announced that they were present for any questions.

Chair Beutel opened the Public Hearing. There being no public to be heard, she closed the Public Hearing. There being no discussion, Mr. Previte moved to recommend approval of P22-332, Set'em Up, LLC – Children's Volleyball – Special Exception Use to the City Council. Mr. Reikenis seconded the motion which passed unanimously by roll call vote.

8.f P22-366 Defenthaler and City of Port St. Lucie Rezoning [2023-116](#)
Location: Southeast of SW Abraham Avenue and SW Port St. Lucie Boulevard

Legal Description: Port St. Lucie Section 33, Block 2325, Lots 1, 2,3 and 4

This request is to rezone two adjacent parcels, owned by Donald F. Defenthaler and the City of Port St. Lucie, from Limited Mixed Use District (LMD) to Single Family Residential (RS-2).

Chair Beutel inquired if there was any ex-parte communication, to which the Board responded in the negative.

(Clerk's Note: A PowerPoint presentation was shown at this time.)
 Stephen Mayer, Planner, stated that he was sworn in and that the file was submitted to the City Clerk's Office 5 days prior to the meeting and requested that it be entered into the record. He presented to the Board and stated that the project was concurrent to P23-003 and that it was a request to rezone the 0.69 acres owned by Donald F. Defenthaler and 0.29 acres owned by the City of Port St. Lucie, with the purpose of the request being for the Defenthaler property to be developed with 3 single-family residences and to apply a compatible zoning designation for the City of Port St. Lucie lot.

Chair Beutel opened the Public Hearing. There being no public to be heard, she closed the Public Hearing. There being no discussion, Mr. Previte moved to recommend approval of P22-366, Defenthaler and City of Port St. Lucie Rezoning to the City Council. Vice Chair Wooten seconded the motion which passed unanimously by roll call vote.

8.g P23-001 Southern Grove - Capstone Cottages - Landscape Modification

[2023-121](#)

Location: The property is located at the southwest corner of the intersection of SW Village Parkway and Paar Drive.

Legal Description: Southern Grove Parcel 28 Replat Tract B

This is a request to provide landscaping in lieu of an architectural buffer wall in a landscape buffer strip pursuant to Section 154.12 of the Landscape and Land Clearing Code.

Chair Beutel inquired if there was any ex-parte communication, to which the Board responded in the negative.

(Clerk's Note: A PowerPoint presentation was shown at this time.)
 Bridget Kean, Planner, stated that she was sworn in and that the file was submitted to the City Clerk's Office 5 days prior to the meeting and requested that it be entered into the record. She presented to the Board and stated that the modification was due to previous approval of a subdivision plat that allowed for over 200 single-family residential lots.

She discussed the various code requirements and further discussed the modification request which included topics of easements, open space tracts, and enhanced landscaping. (Clerk's Note: A PowerPoint presentation was shown at this time.) Matthew Yates, Lucido & Associates, represented the applicant and discussed the buffer plan.

Chair Beutel opened the Public Hearing. There being no public to be heard, she closed the Public Hearing. There being no discussion, Vice Chair Wooten moved to recommend approval of P23-001, Southern Grove – Capstone Cottages – Landscape Modification to the City Council. Secretary Taylor-Moore seconded the motion which passed unanimously by roll call vote.

9. New Business

Chair Beutel inquired if they could streamline the projects for the Board to be able to see everything so that applicants were not waiting, only to find out there were issues later down the road. Director Savage-Dunham stated that they would look into this.

10. Old Business

There was nothing to be heard under this item.

11. Public to be Heard

There was nothing heard under this item.

12. Adjourn

There being no further business, the meeting adjourned at 11:05 p.m.

Carol Taylor-Moore, Secretary

Jasmin De Freese, Deputy City Clerk

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Eric Reikenis, At-Large, Term 1 Expires 11/1/26
Melody Creese, Alternate, Term 1 Expires 11/1/26

Please visit www.cityofpsl.com/tv for new public comment options.

Tuesday, February 21, 2023

6:00 PM

Council Chambers, City Hall

Special

1. Meeting Called to Order

A Special Meeting of the PLANNING AND ZONING BOARD of the City of Port St. Lucie was called to order by Chair Beutel at 6:01 p.m., on February 21, 2023, at Port St. Lucie City Hall, 121 SW Port St. Lucie Boulevard, Council Chambers, Port St. Lucie, Florida.

2. Roll Call

Members Present:

Deborah Beutel, Chair
Alfreda Wooten, Vice Chair
Carol Taylor-Moore, Secretary
Peter Previte
Eric Reikenis
Joseph Piechocki

Members Not Present:

Roberta Briney

Others Present:

Teresa Lamar-Sarno, Deputy City Manager
Mary Savage-Dunham, Planning & Zoning Director
Elizabeth Hertz, Deputy City Attorney
Jasmin De Freese, Deputy City Clerk

3. Determination of a Quorum

Chair Beutel determined there was a quorum.

4. Pledge of Allegiance

Chair Beutel led the assembly in the Pledge of Allegiance.

5. Approval of Minutes

There was nothing to be heard under this item.

6. Consent Agenda

There was nothing to be heard under this item.

7. Public Hearings - Non Quasi-Judicial

There was nothing to be heard under this item.

8. Public Hearing - Quasi-Judicial

The Senior Deputy City Attorney read the Quasi-Judicial Rules into the record for Item 8.a and the Deputy City Clerk swore in staff and applicants.

8.a P22-006 Wawa - Special Exception Use[2023-206](#)

Location: Southwest corner of SW Port St. Lucie Boulevard and SW Becker Road

Legal Description: Port St. Lucie Section 33, Tract L, Less S 262.18 ft
This is a request for a Special Exception Use (SEU) to allow a convenience store and gas station to be located in a General Commercial (CG) zoning district and to allow a gas station to be located in the Activity Center Subdistrict of the Becker Road Overlay District.

Chair Beutel inquired if there was any ex-parte communication, to which the Board responded in the affirmative.

(Clerk's Note: A PowerPoint presentation was shown at this time.) Brad Curry, Engineering, Design, & Construction (EDC), provided a brief presentation to the Board highlighting the proposed buffering with an opaque fence and a proposed extension of the turning lane.

Chair Beutel opened the Public Hearing. There being no public to be heard, she closed the Public Hearing. There being no discussion, Mr. Previte moved to recommend approval of P22-006 Wawa – Special Exception Use to the City Council with the condition of 50 additional feet for the turn lane and the addition of a privacy fence on the southern portion. Mr. Piechocki seconded the motion which passed by roll call vote with Chair Beutel, Vice Chair Wooten, Mr. Previte, and Mr. Piechocki in favor, and Mr. Reikenis and Secretary Taylor-Moore

opposed.

9. New Business

Chair Beutel reminded the Board to fill out the forms required by the Ethics Department and Mary Savage-Dunham, Planning & Zoning Director, informed the Board of the City Council workshop taking place that week. Mr. Piechocki inquired about the status of a past project and about staffing for the Planning & Zoning department. He also provided data for the January Site Plan Review Committee.

Secretary Taylor-Moore voiced concerns over the processes of the Board and obtaining proper information for them to make informed decisions, and she asked how they would handle situations such as this project moving forward. Ms. Savage-Dunham and Attorney Hertz advised that this project was still being heard so they could not comment on this specifically, but they would provide a response to the Board at a later time. Deputy City Manager Teresa Lamar-Sarno advised that this was the first time they have had this situation and they would be looking at process improvement and feedback.

10. Old Business

There was nothing to be heard under this item.

11. Public to be Heard

There was nothing heard under this item.

12. Adjourn

There being no further business, the meeting adjourned at 6:20 p.m.

Carol Taylor-Moore, Secretary

Jasmin De Freese, Deputy City Clerk



Agenda Summary
2023-225

Agenda Date: 3/7/2023

Agenda Item No.: 6.a

Placement: Consent Agenda

Action Requested: Motion / Vote

P22-232 Verano South Pod G - Plat No. 2 - POD No. 2 - Replat No. 1

Location: The property is west of Interstate 95, north of Crosstown Parkway, east of Glades Cut-off Road.

Legal Description: Being A Replat of all of POD 2, Verano South PUD 1 - POD G - Plat No. 2.

The application is for a Preliminary Plat with Construction Plans that is 18.5 acres in area. The project proposes a total of 220 multi-family lots.

Submitted By: Daniel Robinson, Planner III/Code Compliance Liaison

Executive Summary: Request for approval of a Preliminary Plat with Construction Plans that is 18.5 acres in area and includes 220 multi-family lots for 220 units for a project known as Verano South Pod G -Plat No. 2- POD No. 2- Replat No. 1.

Presentation Information: Staff may provide a presentation.

Staff Recommendation: Move that the Board recommend approval of the application.

Alternate Recommendations:

1. Move that the Board amend the recommendation to City Council with explanation of recommendation.
2. Move that the Board recommend denial of application with explanation.

Background: The Site Plan Review Committee unanimously recommended approval of this preliminary subdivision plat with construction plans on January 11, 2023.

Issues/Analysis: See attached staff report.

Special Consideration: N/A

Location of Project: The property is west of Interstate 95, north of Crosstown Parkway, east of Glades Cut-off Road.

Attachments:

- Staff report
- Subdivision Plat
- Landscape plan

- Construction plan
- Conceptual Site Plan
- Building Elevations
- Public Works Traffic Memo
- Application
- Staff Presentation



**Verano South Pod G - Plat No. 2 - POD No. 2 - Replat No. 1
Preliminary Subdivision Plat with Construction Plans
P22-232**



Aerial Map

SUMMARY

Applicant's Request:	Request for approval of a Preliminary Plat with Construction Plans that is 18.5 acres in area and includes 220 multi-family lots for 220 units for a project known as Verano South Pod G - Plat No. 2 - POD No. 2 - Replat No. 1.
Applicant:	Daniel Sorrow of Coteleur-Hearing
Property Owner:	DK Central Park, LLC
Location:	West of Interstate 95, north of Crosstown Parkway, east of Glades Cut-off Road
Project Planner:	Daniel Robinson, Planner III/Code Compliance Liaison

Project Description

The application is for a Preliminary Plat with Construction Plans that is 18.5 acres in area. The project proposes a total of 220 multi-family lots.

Previous Actions and Prior Reviews

The Site Plan Review Committee unanimously recommended approval of this preliminary subdivision plat with construction plans on January 11, 2023.

Related Projects

P21-071 – Verano South Pod G PUD amendment #2 – The Planned Unit Development (PUD) Planned Unit Development zoning document was approved by the City Council on November 8, 2021.

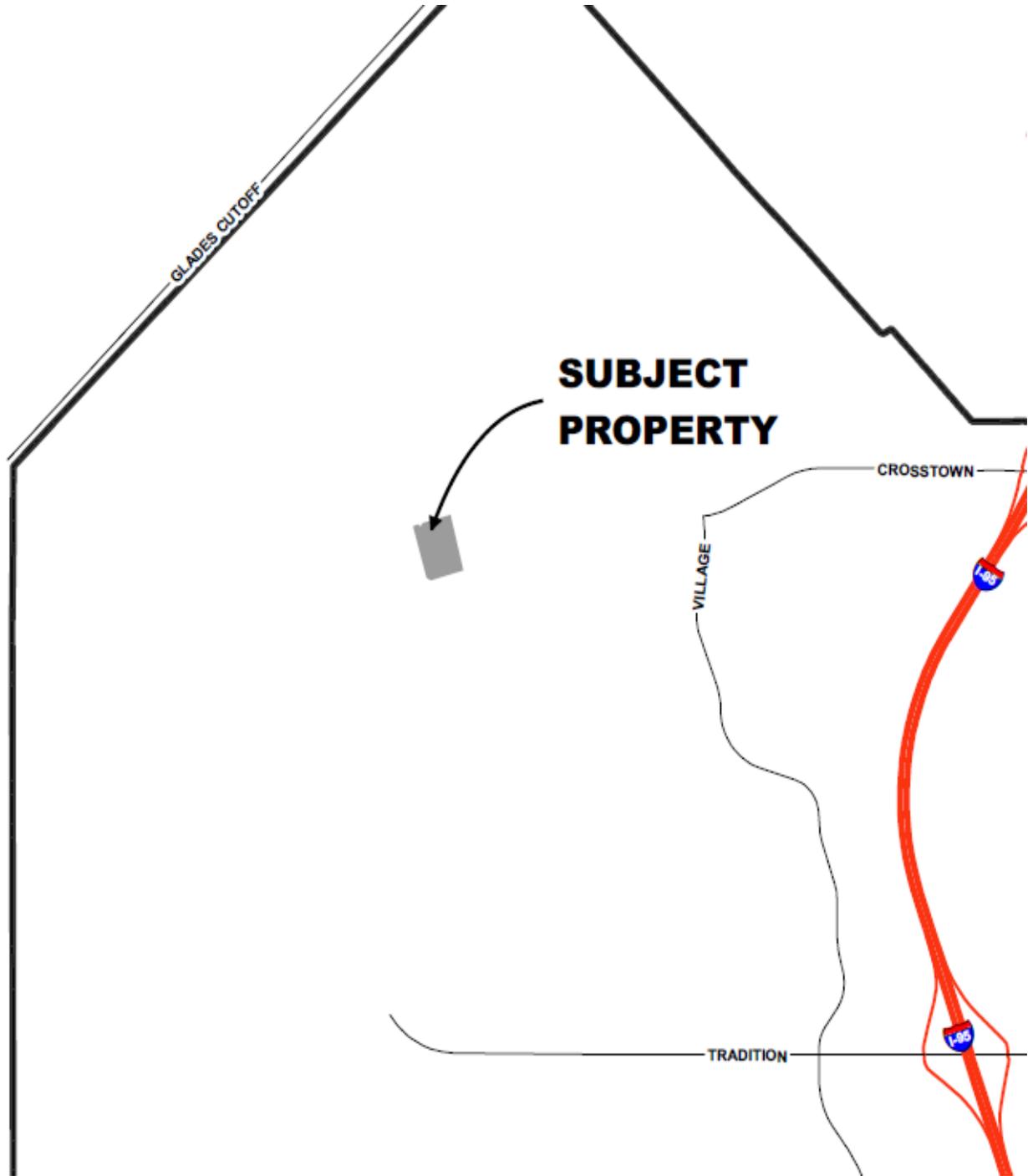
Location and Site Information

Property Size:	18.5 acres
Legal Description:	Being A Replat of all of POD 2, Verano South PUD 1 POD G Plat No. 2, according to the Plat Thereof as Recorded in Plat Book 109, Pages 1 – 19, Inclusive of the Public Records of St. Lucie County, Florida and being a Portion of Section 5, Township 37 South, Range 39 East, St. Lucie County, Florida, in The City of Port St. Lucie, Florida.
Future Land Use:	Residential Golf Course (RGC)
Existing Zoning:	PUD (Planned Unit Development)
Existing Use:	Vacant land

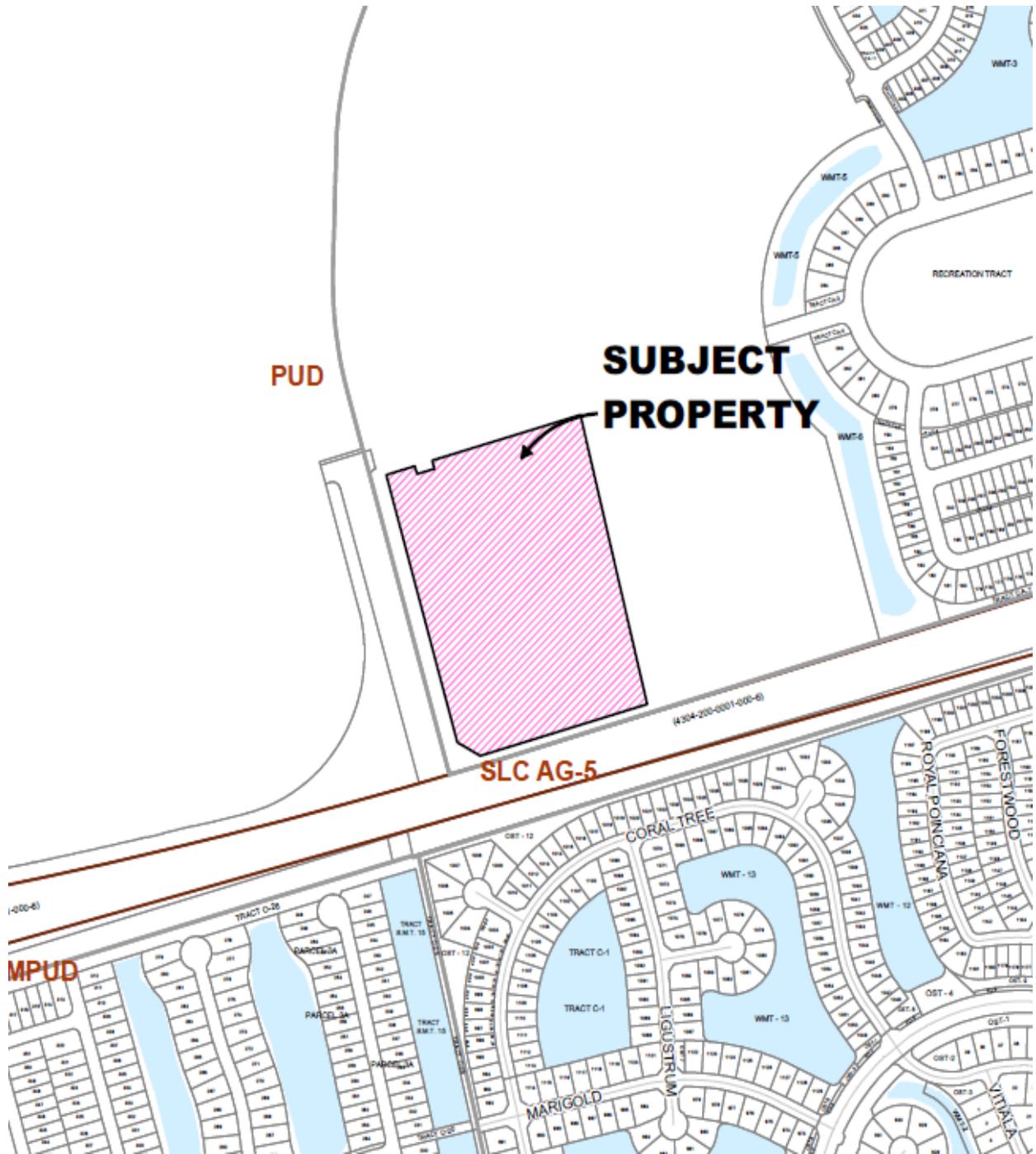
Surrounding Uses

Direction	Future Land Use	Zoning	Existing Use
North	RGC	PUD	Vacant
South	NCD	MPUD	Westchester Residential Development
East	RGC	PUD	Vacant
West	RGC	PUD	Vacant

RGC (Residential Golf Club) – PUD (Planned Unit Development) – NCD (New Community Development)



Location Map



Zoning Map

IMPACTS AND FINDINGS

CONCURRENCY REVIEW (CHAPTER 160)

The project has been reviewed for compliance with Chapter 160, City Code, and the Verano Development of Regional Impact (DRI) Development Order, regarding provision of adequate public facilities and documented as follows:

<i>Sanitary Sewer and Potable Water Facilities</i>	Sewer/water will be provided by Port St. Lucie Utility Systems Department. A developer's agreement with the City Utility Systems Department, that is consistent with the adopted level of service, is required prior to issuance of building permits.
<i>Traffic Circulation</i>	<p>This application has been reviewed by the Public Works Department and the transportation elements of the project were found to be in compliance with the adopted level of service and requirements of Chapter 156 of City Code, and Public Works Policy 19-01pwd.</p> <p>No additional roadway commitments within the DRI are currently triggered.</p> <p>The estimated PM Peak Trip count for the Verano development is over 3,000 as of July 2022. According to the DRI, this 2- lane roadway of North-South A from Crosstown north to the southern- most residential access is required prior to the first Certificate of Occupancy being issued on the west side of North-South A. Also, the 2- lane extension of Crosstown Parkway to North-South A is required at 5,023 PM Peak hour trips. Plans are already under design for the Crosstown Parkway extension though. The total proposed dwelling units for the entire Verano DRI is now 7,046 dwelling units resulting in a potential of 8,230 PM Peak hour trips at buildout.</p>
<i>Parks and Recreation Facilities</i>	In future phases, as indicated by the DRI Development Order, the applicant will need to provide a 50-acre park site for recreational uses.
<i>Stormwater Management Facilities</i>	Project will include paving and drainage plans that are in compliance with the adopted level of service
<i>Solid Waste</i>	Adequate capacity is available for future development.
<i>Public School Concurrency Analysis</i>	Per Policy 2.4.2 (8): Exemptions of the City of Port St. Lucie Comprehensive Plan, developments of regional impact, as defined in Section 380.06, Florida Statutes, that received development orders prior to July 1, 2005 or had filed application for development approval prior to May 1, 2005, are exempt from school concurrency. As this DRI received development orders prior to July 1, 2005, it is exempt from school concurrency.

Native Habitat/Tree Protection: Upland preservation/mitigation requirements for the Verano DRI are addressed in the Development Order. There are no preservation/mitigation requirements for this property.

OTHER

Fire District: The access location (external and internal) has been reviewed by the Fire District for safety purposes.

Public Art (Chapter 162): To meet the public art requirement, the Developer has agreed to provide a major piece, or pieces, of art to be installed in a prominent or public place. A bond has been submitted by the applicant to ensure that funds are available for this art piece(s).

Traffic Impact Analysis (by Public Works):

No additional roadway requirements are triggered at this time. The two-lane extension of Crosstown to North-South A will be triggered when there are 5,023 total PM peak hour trips.

STAFF RECOMMENDATION

The Site Plan Review Committee recommended approval of Verano South Pod G - Plat No. 2 - POD No. 2 - Replat No. 1 Preliminary Plat and Construction Plans on January 11, 2023.

VERANO SOUTH POD G - PLAT NO. 2 - POD NO. 2 - REPLAT NO. 1

BEING A REPLAT OF ALL OF POD 2, VERANO SOUTH P.U.D. 1 - POD G - PLAT NO. 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 109, PAGES 1 THROUGH 19, INCLUSIVE OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA AND BEING A PORTION OF SECTION 5, TOWNSHIP 37 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA, IN THE CITY OF PORT ST. LUCIE, FLORIDA.

PLAT BOOK
PAGE
FILE NO.
DATE
TIME

DESCRIPTION:

BEING A REPLAT OF ALL OF POD 2, VERANO SOUTH P.U.D. 1 - POD G - PLAT NO. 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 109, PAGES 1 THROUGH 19, INCLUSIVE OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA AND BEING A PORTION OF SECTION 5, TOWNSHIP 37 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA, IN THE CITY OF PORT ST. LUCIE, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT NORTHWEST CORNER OF POD 2, VERANO SOUTH P.U.D. 1 - POD G - PLAT NO. 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 109, PAGES 1 THROUGH 19, INCLUSIVE, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA: THENCE BY THE FOLLOWING NINE (9) COURSES BEING ALONG THE SAID BOUNDARY LIMITS OF POD 2: 1) THENCE N.74°00'26"E., A DISTANCE OF 114.66 FEET; 2) THENCE S.15°59'34"E., A DISTANCE OF 30.00 FEET; 3) THENCE N.74°00'26"E., A DISTANCE OF 70.00 FEET; 4) THENCE N.15°59'34"W., A DISTANCE OF 30.00 FEET; 5) THENCE N.74°00'26"E., A DISTANCE OF 592.77 FEET; 6) THENCE S.13°55'14"E., A DISTANCE OF 1067.15 FEET; 7) THENCE S.74°00'26"W., A DISTANCE OF 668.58 FEET; 8) THENCE N.60°59'34"W., A DISTANCE OF 99.37 FEET; 9) THENCE N.15°59'34"W., A DISTANCE OF 996.19 FEET TO THE **POINT OF BEGINNING**.

CONTAINING: 803,950 SQUARE FEET OR 18.456 ACRES, MORE OR LESS.

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF FLORIDA
COUNTY _____

KNOW ALL MEN BY THESE PRESENTS THAT DK CENTRAL PARK, LLC., A FLORIDA LIMITED LIABILITY COMPANY ("OWNER"), OWNER OF THE LAND DESCRIBED AND PLATTED HEREIN AS VERANO SOUTH POD G - PLAT NO. 2 - POD NO. 2 - REPLAT NO. 1, HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DO HEREBY DEDICATE AS FOLLOWS:

1. OWNER HEREBY DEDICATES TO VERANO # 5 COMMUNITY DEVELOPMENT DISTRICT, A COMMUNITY DEVELOPMENT DISTRICT ESTABLISHED IN ACCORDANCE WITH CHAPTER 190, FLORIDA STATUTES (DISTRICT # 5), ACTING BY AND UNDER DELEGATED AUTHORITY FROM, AND RECEIVING SUCH DEDICATION FOR THE USE AND BENEFICIAL OWNERSHIP OF, THE DISTRICT (AS DEFINED IN THE BELOW-DESCRIBED DISTRICT INTERLOCAL AGREEMENT) IN WHICH THE PLATTED LANDS LIE, IN ACCORDANCE WITH THE AMENDED AND RESTATED DISTRICT INTERLOCAL AGREEMENT DATED APRIL 9, 2015, AND RECORDED AT OFFICIAL RECORDS BOOK 3733, PAGES 2535 THROUGH 2556, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, AS SUPPLEMENTED (DISTRICT INTERLOCAL AGREEMENT) AND THE PUBLIC IN GENERAL, FOR PUBLIC USE ALL STREETS, ROADS, AND RIGHT OF WAYS.

2. THE UTILITY EASEMENTS (U.E.), AS SHOWN HEREON, ARE HEREBY DEDICATED ON A NON-EXCLUSIVE BASIS TO FLORIDA POWER AND LIGHT COMPANY, ITS SUCCESSORS AND ASSIGNS, AS PRIVATE UTILITY EASEMENTS FOR THE PURPOSE OF INSTALLATION AND MAINTENANCE OF UNDERGROUND ELECTRIC UTILITIES ONLY, AND NOT FOR VIDEO COMMUNICATION OR OTHER PURPOSES.

3. THE UTILITY EASEMENTS (U.E.), AS SHOWN HEREON, ARE HEREBY DEDICATED ON A NON-EXCLUSIVE BASIS TO HOME TOWN CABLE TV, LLC, ITS SUCCESSORS AND ASSIGNS, FOR THE PURPOSE OF INSTALLATION AND MAINTENANCE OF UNDERGROUND TELEPHONE CABLE, INTERNET, SECURITY LINES AND OTHER TELECOMMUNICATION SERVICES.

4. THE UTILITY EASEMENTS (U.E.), AS SHOWN HEREON, ARE HEREBY DEDICATED ON A NON-EXCLUSIVE BASIS TO THE CENTRAL PARK ST. LUCIE HOMEOWNERS ASSOCIATION, INC., ITS SUCCESSORS AND ASSIGNS, FOR THE PURPOSE OF INSTALLATION AND MAINTENANCE OF UNDERGROUND TELEPHONE CABLE, INTERNET, SECURITY LINES AND OTHER TELECOMMUNICATION SERVICES.

5. THE UTILITY EASEMENTS (U.E.), AS SHOWN HEREON, ARE HEREBY DEDICATED IN FAVOR OF THE CITY OF PORT ST. LUCIE, FLORIDA, ITS SUCCESSORS AND/OR ASSIGNS, FOR ACCESS TO, AND INSTALLATION AND MAINTENANCE OF PUBLIC UTILITY FACILITIES, INCLUDING BUT NOT LIMITED TO, WATER AND WASTEWATER LINES AND APPURTENANT FACILITIES, THE CITY OF PORT ST. LUCIE SHALL NOT BE RESPONSIBLE FOR ANY MAINTENANCE OBLIGATIONS FOR SAID EASEMENT EXCEPT AS SHALL RELATE TO THE SERVICING OF SUCH PUBLIC UTILITIES BY THE CITY OF PORT ST. LUCIE.

6. THE CITY UTILITY EASEMENTS (C.U.E.), AS SHOWN HEREON, ARE HEREBY DEDICATED TO THE CITY OF PORT ST. LUCIE, ITS SUCCESSORS AND/OR ASSIGNS, FOR ACCESS TO, AND THE INSTALLATION AND MAINTENANCE OF, PUBLIC UTILITIES FACILITIES, INCLUDING BUT NOT LIMITED TO, WATER AND WASTEWATER LINES AND APPURTENANT FACILITIES. THERE SHALL BE NO OTHER PUBLIC OR PRIVATE UTILITY FACILITIES INSTALLED IN, ON, OVER, UNDER, OR ACROSS THE EASEMENT AREA WITHOUT THE CITY'S WRITTEN PERMISSION. THERE SHALL BE NO IMPROVEMENTS OF ANY KIND INCLUDING, BUT NOT LIMITED TO, LANDSCAPING CONSTRUCTED WITHIN THE BOUNDARIES OF THE EASEMENT AREA WHICH WOULD RESTRICT THE OPERATION AND MAINTENANCE OF, OR WHICH MAY IN ANY MANNER RESULT IN HARM TO, THE CITY'S FACILITIES. THE CITY OF PORT ST. LUCIE, ITS SUCCESSORS OR ASSIGNS, SHALL HAVE THE RIGHT TO REQUIRE THE REMOVAL OF ANY IMPROVEMENTS WHICH ARE CONSTRUCTED IN VIOLATION OF THE CONDITIONS SET FORTH ABOVE. IN THE EVENT, SUCH VIOLATING IMPROVEMENTS ARE NOT REMOVED UPON REQUEST, THEY SHALL BE SUBJECT TO REMOVAL BY THE CITY OF PORT ST. LUCIE, ITS SUCCESSORS AND/OR ASSIGNS, DESIGNEES OR CONTRACTORS WITHOUT LIABILITY OR RESPONSIBILITY THEREFORE. THE CITY OF PORT ST. LUCIE SHALL NOT BE RESPONSIBLE FOR ANY MAINTENANCE OBLIGATIONS FOR SAID EASEMENT EXCEPT AS SHALL RELATE TO THE SERVICING OF SUCH PUBLIC UTILITIES BY THE CITY OF PORT ST. LUCIE.

7. THE DRAINAGE EASEMENTS (D.E.), AS SHOWN HEREON, ARE HEREBY DEDICATED ON A NON-EXCLUSIVE BASIS TO DISTRICT # 5, FOR DRAINAGE AND ACCESS PURPOSES, AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF DISTRICT #5, ITS SUCCESSORS AND/OR ASSIGNS.

8. TRACT "R-1" (PUBLIC STREET RIGHTS-OF-WAY), AS SHOWN HEREON, IS HEREBY DEDICATED TO DISTRICT # 5, ITS SUCCESSORS AND ASSIGNS, FOR INGRESS AND EGRESS, ACCESS, STORMWATER AND UTILITY PURPOSES (INCLUDING CATV), AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID DISTRICT # 5.

9. TRACTS "CA 1" THROUGH "CA 7" (COMMON AREA), AS SHOWN HEREON, ARE HEREBY DEDICATED TO CENTRAL PARK ST. LUCIE HOMEOWNERS ASSOCIATION, INC., FOR OPEN SPACE, LANDSCAPE, AND STORM WATER MANAGEMENT PURPOSES, AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION, ITS SUCCESSORS AND/OR ASSIGNS. AN ACCESS AND MAINTENANCE EASEMENT OVER TRACTS "CA 1" THROUGH "CA 7" AS SHOWN HEREON, IS HEREBY DEDICATED TO DISTRICT #5, ACTING BY AND UNDER DELEGATED AUTHORITY FROM, AND RECEIVING SUCH DEDICATION FOR THE USE AND BENEFICIAL OWNERSHIP OF, THE DISTRICT IN WHICH THE PLATTED LANDS LIE.

10. THE DRAINAGE EASEMENTS (D.E.) AND UTILITY EASEMENTS (U.E.) SHOWN OR DESCRIBED HEREON ARE DEDICATED ON A NON-EXCLUSIVE BASIS TO DISTRICT #5, ACTING BY AND UNDER DELEGATED AUTHORITY FROM, AND RECEIVING SUCH DEDICATION FOR THE USE AND BENEFICIAL OWNERSHIP OF, THE DISTRICT IN WHICH THE PLATTED LANDS LIE, FOR THE PURPOSE OF PROVIDING ROADWAYS, UTILITIES, AND WATER MANAGEMENT.

DISTRICT #5 SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO MAINTAIN ALL DRAINAGE FACILITIES WITHIN THIS PLAT AND CONNECTED TO THE DISTRICT #5 DRAINAGE SYSTEM BUT NOT SPECIFICALLY DEDICATED TO DISTRICT #5.

THE CITY OF PORT ST. LUCIE SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO CONSTRUCT AND MAINTAIN ANY PORTION OF THE DRAINAGE SYSTEM WITHIN THESE TRACTS AND EASEMENTS WHICH IS ASSOCIATED WITH DRAINAGE FROM CITY RIGHTS-OF-WAY.

11. THE STORMWATER MANAGEMENT TRACT WMT-11 AS SHOWN HEREON ARE HEREBY DEDICATED TO DISTRICT #5, FOR STORM WATER MANAGEMENT AND MAINTENANCE PURPOSES, AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF DISTRICT #5, ITS SUCCESSORS AND/OR ASSIGNS.

12. THE LAKE MAINTENANCE EASEMENTS (L.M.E.) AS SHOWN HEREON ARE HEREBY DEDICATED TO DISTRICT #5, ITS SUCCESSORS AND/OR ASSIGNS FOR STORM WATER MAINTENANCE AND ACCESS PURPOSES AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF DISTRICT #5, ITS SUCCESSORS AND/OR ASSIGNS.

13. THE ACCESS EASEMENTS (A.E.) SHOWN HEREON ARE HEREBY DEDICATED TO THE CENTRAL PARK ST. LUCIE HOMEOWNERS ASSOCIATION, INC., FOR ACCESS RIGHTS AND ARE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION.

CERTIFICATE OF OWNERSHIP AND DEDICATION (CONTINUED):

IN WITNESS WHEREOF, DK CENTRAL PARK, LLC., A FLORIDA LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS MANAGER THIS ____ DAY OF _____, 2023.

WITNESS _____
DK CENTRAL PARK LLC.,
A FLORIDA LIMITED LIABILITY COMPANY

BY: THE KOLTER GROUP, LLC, A FLORIDA LIMITED LIABILITY COMPANY, ITS SOLE MANAGER

(PRINT NAME OF WITNESS)

WITNESS _____
BY: _____
NAME: _____

TITLE: _____

(PRINT NAME OF WITNESS)

OWNERSHIP AND DEDICATION ACKNOWLEDGMENT

STATE OF FLORIDA
COUNTY: _____

THE FOREGOING CERTIFICATE OF DEDICATION WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION THIS DAY OF _____, 2023, BY _____, MANAGER OF THE KOLTER GROUP LLC., A FLORIDA LIMITED LIABILITY COMPANY, SOLE MANAGER OF DK CENTRAL PARK LLC., A FLORIDA LIMITED LIABILITY COMPANY, ON BEHALF OF THE COMPANY, WHO EXECUTED THE FOREGOING CERTIFICATE OF DEDICATION, WHO IS PERSONALLY KNOWN TO ME OR HAS PRODUCED _____ AS IDENTIFICATION.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

PRINT NAME: _____

TRACT ACREAGE TABLE (ACRES)

COMMON AREA TRACT #1:	0.083
COMMON AREA TRACT #2:	0.158
COMMON AREA TRACT #3:	0.230
COMMON AREA TRACT #4:	0.294
COMMON AREA TRACT #5:	0.071
COMMON AREA TRACT #6:	0.438
COMMON AREA TRACT #7:	0.055
WATER MANAGEMENT TRACT #11:	2.650

SURVEYOR'S NOTES:

- BEARINGS SHOWN ARE BASED ON THE WESTERLY BOUNDARY LIMITS OF POD 2, VERANO SOUTH P.U.D. 1 - POD G - PLAT NO. 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 109, PAGES 1 THROUGH 19, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, WHICH BEARS NORTH 15°59'34" WEST. ALL BEARINGS BEING RELATIVE THERETO.
- NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT.
- NOTICE: THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY.

SURVEYOR & MAPPER'S CERTIFICATE

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT PERMANENT REFERENCE MONUMENTS ("P.R.M.S.") HAVE BEEN PLACED AS REQUIRED BY LAW, AND THAT PERMANENT CONTROL POINTS ("P.C.P.S."), AND MONUMENTS ACCORDING TO SEC. 177.091(9), F.S., WILL BE SET UNDER THE GUARANTEES POSTED WITH THE CITY COUNCIL OF PORT ST. LUCIE FOR THE REQUIRED IMPROVEMENTS; AND, FURTHER, THAT THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND THE ORDINANCES OF THE CITY OF PORT ST. LUCIE, FLORIDA, THIS ____ DAY OF _____, 2023.

GARY A. RAGER, P.S.M.
LICENSE NO. LS4828
STATE OF FLORIDA

THIS INSTRUMENT PREPARED BY
GARY A. RAGER, P.S.M.
LS4828 STATE OF FLORIDA.
GEOPOINT SURVEYING, INC.
4152 WEST BLUE HERON BOULEVARD, SUITE 105,
RIVIERA BEACH, FLORIDA 33404.
CERTIFICATE OF AUTHORIZATION NO. LB7768



4152 W. Blue Heron Blvd.
Suite 105
Riviera Beach, FL 33404
Phone: (561) 444-2720
www.geopointsurvey.com
Licensed Business Number LB 7768

SHEET 01 OF 06 SHEETS

VERANO SOUTH POD G - PLAT NO. 2 - POD NO. 2 - REPLAT NO. 1

BEING A REPLAT OF ALL OF POD 2, VERANO SOUTH P.U.D. 1 - POD G - PLAT NO. 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 109, PAGES 1 THROUGH 19, INCLUSIVE OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA AND BEING A PORTION OF SECTION 5, TOWNSHIP 37 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA, IN THE CITY OF PORT ST. LUCIE, FLORIDA.

PLAT BOOK
PAGE
FILE NO.
DATE
TIME

ACCEPTANCE OF DEDICATION

STATE OF FLORIDA
COUNTY: _____

CENTRAL PARK ST. LUCIE HOMEOWNERS ASSOCIATION, INC., HEREBY ACCEPTS THE DEDICATIONS OF UTILITY EASEMENTS (U.E.), CITY UTILITY EASEMENTS (C.U.E.), DRAINAGE EASEMENTS (D.E.), ACCESS EASEMENTS (A.E.), LAKE MAINTENANCE EASEMENT (L.M.E.), TRACT "R-1" (PUBLIC STREET RIGHTS-OF-WAY), WATER MANAGEMENT TRACT 11 (WMT 11) AND COMMON AREA TRACTS "CA 1" THROUGH "CA 7" DEDICATED AS SHOWN HEREON, AND HEREBY ACCEPTS ITS MAINTENANCE OBLIGATIONS FOR SAME AS STATED HEREON, DATED THIS ____ DAY OF _____, 2023.

CENTRAL PARK ST. LUCIE HOMEOWNERS ASSOCIATION, INC.
A FLORIDA CORPORATION NOT FOR PROFIT

WITNESS

(PRINT NAME OF WITNESS)
BY: _____
NAME: _____

WITNESS

(PRINT NAME OF WITNESS)
TITLE: _____

ACKNOWLEDGMENT TO ACCEPTANCE OF DEDICATIONS

STATE OF FLORIDA
COUNTY: _____

THE FOREGOING ACCEPTANCE OF DEDICATION WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION THIS DAY ____ OF _____, 2023, BY _____ OF CENTRAL PARK ST. LUCIE HOMEOWNERS ASSOCIATION, INC., A FLORIDA CORPORATION NOT FOR PROFIT, WHO IS PERSONALLY KNOWN TO ME OR HAS PRODUCED _____ AS IDENTIFICATION.

MY COMMISSION EXPIRES: _____
NOTARY PUBLIC
PRINT NAME: _____

ACCEPTANCE OF DEDICATION

STATE OF FLORIDA
COUNTY: _____

THE VERANO #5 COMMUNITY DEVELOPMENT DISTRICT, FORMERLY KNOWN AS MONTAGE RESERVE #5 COMMUNITY DEVELOPMENT DISTRICT, A COMMUNITY DEVELOPMENT DISTRICT ESTABLISHED IN ACCORDANCE WITH CHAPTER 190, FLORIDA STATUTES (DISTRICT #5), ACTING BY AND UNDER DELEGATED AUTHORITY FROM, AND RECEIVING SUCH DEDICATION FOR THE USE AND BENEFICIAL OWNERSHIP OF SUCH OF THE DISTRICTS (AS DEFINED IN THE ABOVE DESCRIBED DISTRICT INTERLOCAL AGREEMENT) IN WHICH THE PLATTED LANDS LIE, IN ACCORDANCE WITH THE DISTRICT INTERLOCAL AGREEMENT.

- ACCEPTS THE DEDICATIONS OF UTILITY EASEMENTS, LAKE MAINTENANCE EASEMENTS, DRAINAGE EASEMENTS, AND INGRESS, AND EGRESS EASEMENTS SHOWN OR DESCRIBED HEREON AND SPECIFICALLY DEDICATED TO THE DISTRICT #5 FOR THE PURPOSE OF PROVIDING UTILITIES, DRAINAGE, INGRESS, EGRESS, AND SURFACE WATER MANAGEMENT.
- DISTRICT # 5 ACCEPTS THE DEDICATION OF TRACTS "R-1," TRACTS "CA 1" THROUGH "CA 6", INCLUSIVE, AND TRACT WMT-11, AS SHOWN HEREON.
- CONSENTS TO THE PLATTING OF THE LANDS DESCRIBED HEREON.

THE RECORDING IN THE OFFICE OF THE COUNTY CLERK OF ST. LUCIE COUNTY, FLORIDA OF THE WITHIN PLAT SHALL TERMINATE, WITH RESPECT TO THE LANDS EMBRACED, HEREBY, ALL OBLIGATIONS OF DEDICATION, BUT NOT THE OBLIGATION OF COMPLETION SET FORTH IN THAT CERTAIN AGREEMENT TO DEDICATE AND COMPLETE PUBLIC INFRASTRUCTURE, DATED AS OF JUNE 30, 2015, AND RECORDED IN OFFICIAL RECORDS BOOK 3762, PAGE 2389 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
DATED THIS ____ DAY OF _____, 2023.

ATTEST: VERANO #5 COMMUNITY DEVELOPMENT DISTRICT

BY: _____
NAME: _____
TITLE: _____

ACKNOWLEDGMENT TO ACCEPTANCE OF DEDICATIONS (CONTINUED)

STATE OF FLORIDA
COUNTY: _____

THE FOREGOING ACCEPTANCE OF DEDICATION WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION THIS DAY ____ OF _____, 2023, BY _____ OF VERANO #5 COMMUNITY DEVELOPMENT DISTRICT, WHO IS PERSONALLY KNOWN TO ME OR HAS PRODUCED _____ AS IDENTIFICATION.

MY COMMISSION EXPIRES: _____
NOTARY PUBLIC
PRINT NAME: _____

TITLE CERTIFICATION

STATE OF FLORIDA
COUNTY OF PALM BEACH

THE UNDERSIGNED, ROBERT M. GRAHAM, ATTORNEY, DULY LICENSED IN THE STATE OF FLORIDA, PURSUANT TO SECTION 177.041(2), FLORIDA STATUTES, HEREBY OPINES THAT, BASED ON TITLE REPORT BY _____, DATED _____.

- (A.) RECORD TITLE OF THE LANDS SHOWN AND DESCRIBED THIS VERANO SOUTH POD G - PLAT NO. 2 - POD 2 - REPLAT NO. 1 IS IN THE NAME OF DK CENTRAL PARK, LLC.
- (B.) ALL MORTGAGES NOT SATISFIED OR RELEASED OF RECORD, ENCUMBERING THE LANDS DESCRIBED HEREON ARE LISTED AS FOLLOWS: THERE ARE NO MORTGAGES OF RECORD.
- (C.) PURSUANT TO SECTION 197.192, ALL TAXES HAVE BEEN PAID THROUGH THE YEAR 2022.
- (D.) ALL ASSESSMENTS AND OTHER ITEMS HELD AGAINST SAID LAND HAVE BEEN SATISFIED.
- (E.) THERE ARE ENCUMBRANCES OF RECORD BUT THOSE ENCUMBRANCES DO NOT PROHIBIT THE CREATION OF THE SUBDIVISION DEPICTED BY THIS PLAT.

DATED: THIS ____ DAY OF _____, 2023. BY: _____

ROBERT M. GRAHAM
WEST PALM BEACH, FLORIDA 33401
FLORIDA BAR NUMBER 273562

APPROVAL OF CITY COUNCIL

STATE OF FLORIDA
COUNTY OF ST. LUCIE

THE CITY OF PORT ST. LUCIE HEREBY ACCEPTS THE DEDICATIONS TO THE CITY, AS SHOWN HEREON AND CERTIFIES THAT THIS PLAT OF VERANO SOUTH POD G - PLAT NO. 2 - POD NO. 2 - REPLAT NO. 1 HAS BEEN OFFICIALLY APPROVED FOR RECORDING BY THE CITY COUNCIL OF PORT ST. LUCIE, FLORIDA, THIS ____ DAY OF _____, 2023.

CITY COUNCIL
CITY OF PORT ST. LUCIE

ATTEST:

SHANNON M. MARTIN, MAYOR
SALLY WALSH, CITY CLERK

THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY TO CHAPTER 177, PART 1, FLORIDA STATUTES, BY A PROFESSIONAL SURVEYOR AND MAPPER EMPLOYED OR UNDER CONTRACT WITH THE CITY OF PORT ST. LUCIE, FLORIDA.

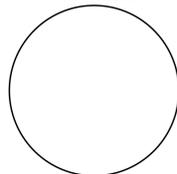
CERTIFICATION OF APPROVAL CLERK OF THE CIRCUIT COURT

STATE OF FLORIDA
COUNTY OF ST. LUCIE

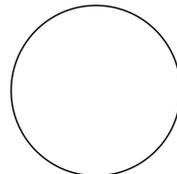
I, MICHELLE R. MILLER, CLERK OF CIRCUIT COURT OF ST. LUCIE COUNTY, FLORIDA, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN EXAMINED, AND THAT IT COMPLIES IN FORM WITH ALL THE REQUIREMENTS OF THE LAWS OF FLORIDA PERTAINING TO MAPS AND PLATS, AND THAT THIS PLAT HAS BEEN FILED FOR RECORD IN PLAT BOOK _____ PAGE(S) _____ OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, THIS ____ DAY OF _____, 2023.

MICHELLE R. MILLER
CLERK OF CIRCUIT COURT
ST. LUCIE COUNTY, FLORIDA

CITY OF
PORT ST. LUCIE



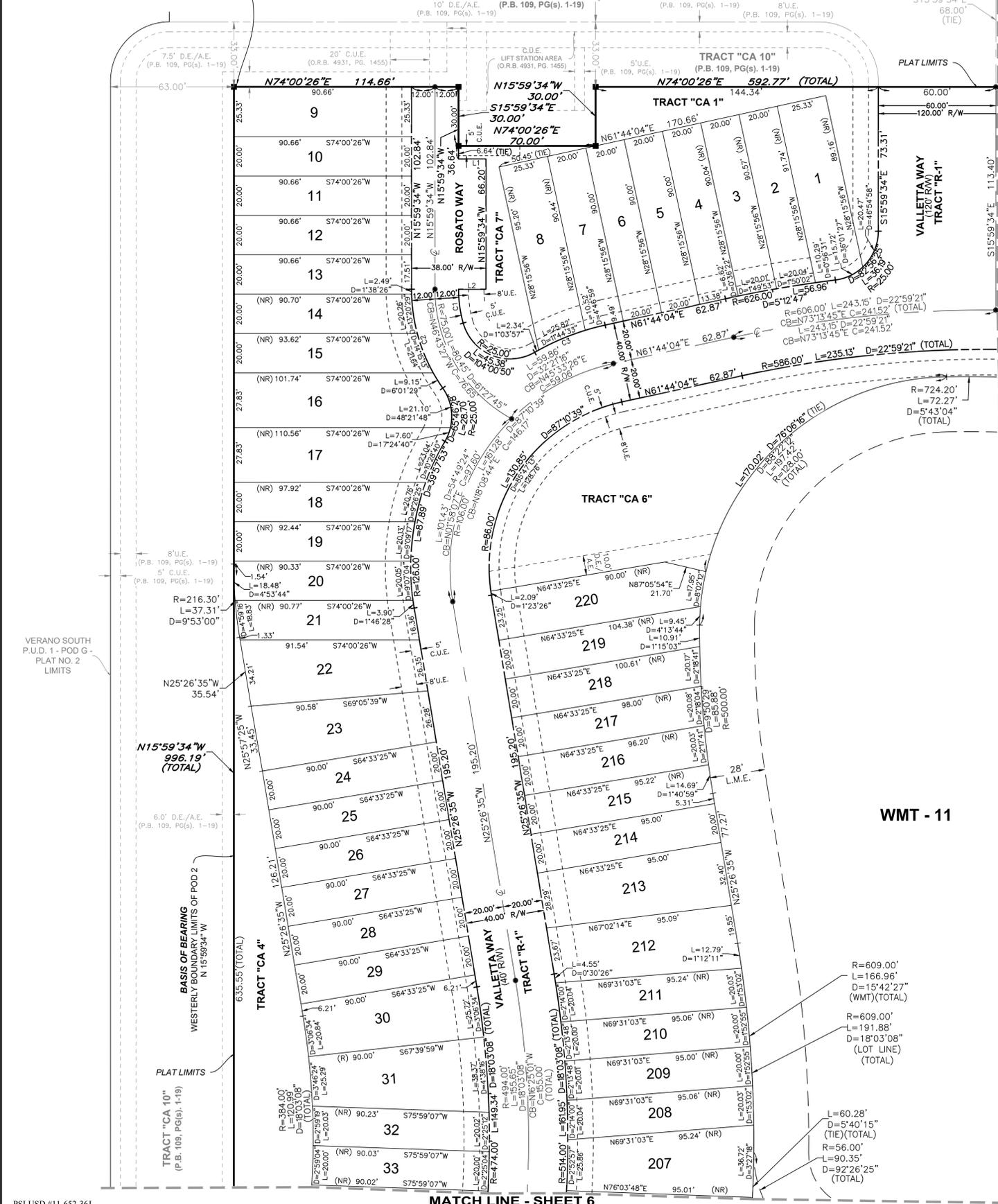
CLERK OF
THE COURT



VERANO SOUTH POD G - PLAT NO. 2 - POD NO. 2 - REPLAT NO. 1

BEING A REPLAT OF ALL OF POD 2, VERANO SOUTH P.U.D. 1 - POD G - PLAT NO. 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 109, PAGES 1 THROUGH 19, INCLUSIVE OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA AND BEING A PORTION OF SECTION 5, TOWNSHIP 37 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA, IN THE CITY OF PORT ST. LUCIE, FLORIDA.

POINT OF BEGINNING
NORTHWEST CORNER OF POD 2
(VERANO SOUTH P.U.D. 1 - POD G - PLAT NO. 2)
(P.B. 109, PG(s). 1-19)



RIGHT-OF-WAY LINES

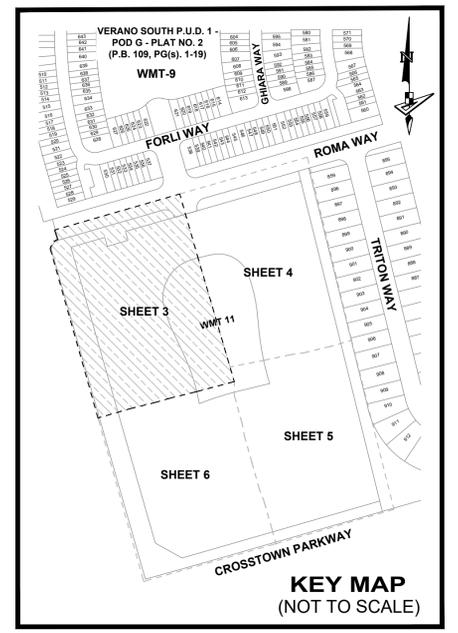
NO.	BEARING	LENGTH
L1	S 74°00'26" W	14.00'
L2	N 74°00'26" E	14.00'

RIGHT-OF-WAY CURVES

NO.	RADIUS	DELTA	ARC
C1	63.00'	15°51'00"	17.43'
C2	87.00'	35°15'36"	53.54'
C3	126.00'	17°35'28"	38.68'

LOT ACREAGE TABLE (ACRES)

LOT #	ACREAGE	LOT #	ACREAGE
1	0.053	207	0.068
2	0.042	208	0.044
3	0.041	209	0.044
4	0.041	210	0.044
5	0.041	211	0.044
6	0.041	212	0.066
7	0.041	213	0.066
8	0.054	214	0.044
9	0.053	215	0.044
10	0.042	216	0.044
11	0.042	217	0.045
12	0.042	218	0.046
13	0.042	219	0.047
14	0.042	220	0.061
15	0.045		
16	0.069		
17	0.067		
18	0.044		
19	0.042		
20	0.042		
21	0.042		
22	0.063		
23	0.062		
24	0.041		
25	0.041		
26	0.041		
27	0.041		
28	0.041		
29	0.041		
30	0.061		
31	0.066		
32	0.041		
33	0.041		



- LEGEND**
- P.B. ----- Plat Book
 - PG(s). ----- Page(s)
 - A.E. ----- Access Easement
 - C.U.E. ----- City Utility Easement
 - D.E. ----- Drainage Easement
 - L.M.E. ----- Lake Maintenance Easement
 - U.E. ----- Utility Easement
 - WMT ----- Stormwater Management Tract
 - ⊕ ----- Centerline
 - R/W ----- Right-of-Way
 - P.U.D. ----- Planned Unit Development
 - R ----- Radius
 - L ----- Arc Length
 - D ----- Delta-Central Angle
 - CB ----- Chord Bearing
 - C ----- Chord Length
 - (R) ----- Radial
 - (NR) ----- Non-Radial
 - C.M. ----- Concrete Monument
 - LB ----- Licensed Business
 - ----- Indicates (PRM) Permanent Reference Monument-4"x4" Concrete Monument LB7768 (Unless Otherwise Noted)
 - ----- Indicates (PCP) Permanent Control Point LB7768

PLAT BOOK _____

PAGE _____

FILE NO. _____

DATE _____

TIME _____



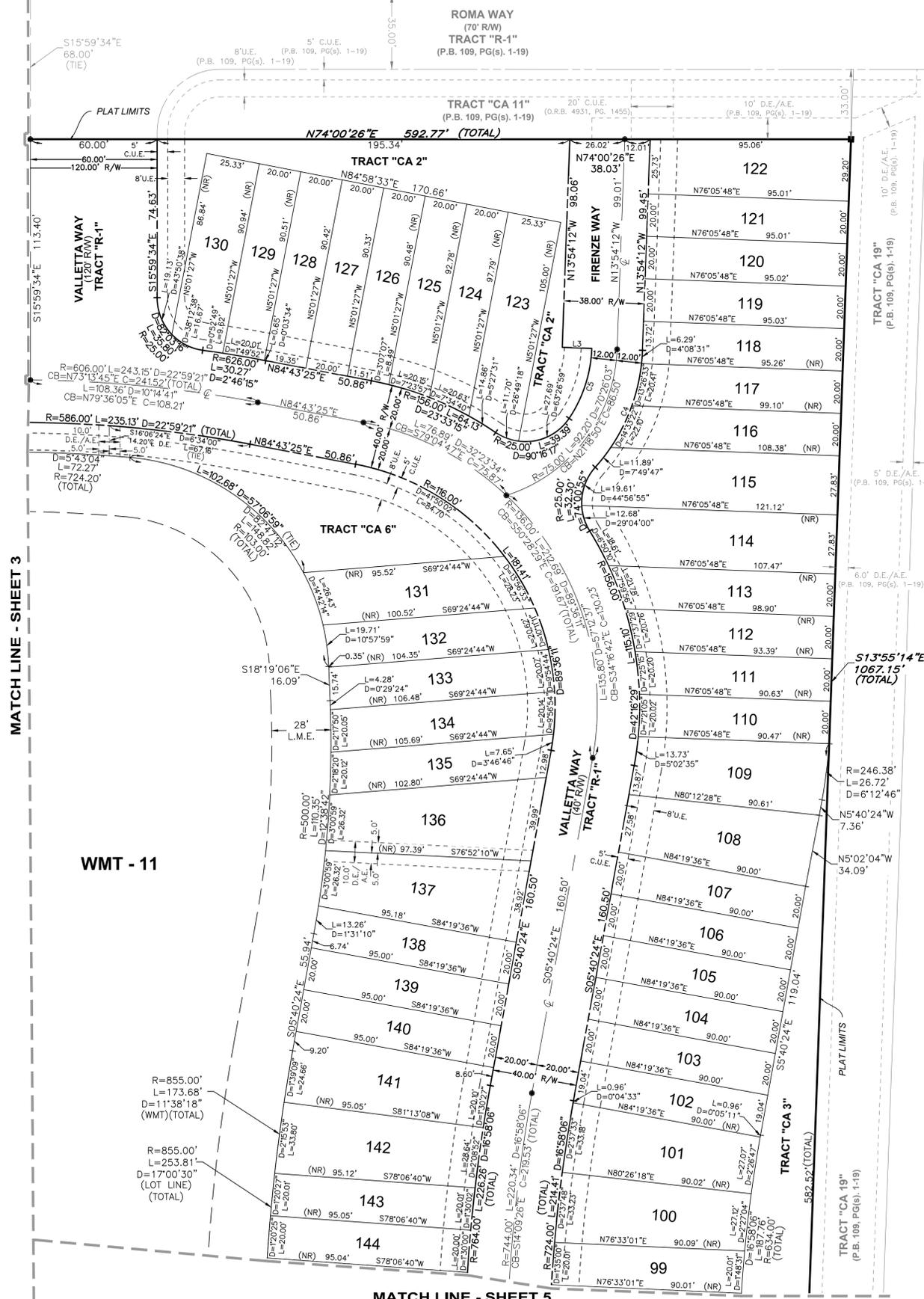
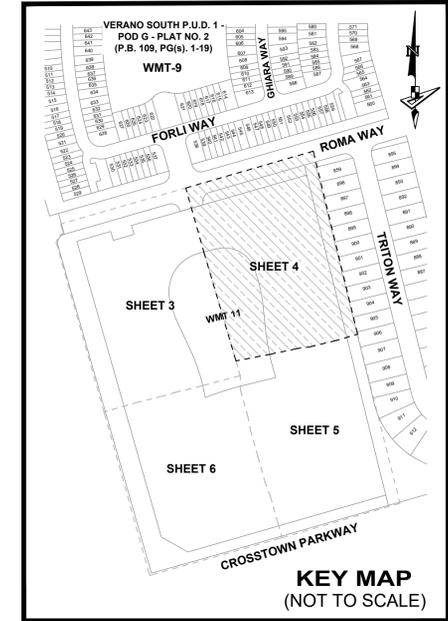
DRAWN BY: WALTER/PLATTING/VERANO_SOUTH_POD_G_PLAT_NO_2_REPLAT_NO_1; PLOTTED BY: DENNIS SCHALL; ON: 11/02/2023 8:38 AM; LAST SAVED BY: GSR/SCHALL; ON: 11/02/2023 8:38 AM

VERANO SOUTH POD G - PLAT NO. 2 - POD NO. 2 - REPLAT NO. 1

BEING A REPLAT OF ALL OF POD 2, VERANO SOUTH P.U.D. 1 - POD G - PLAT NO. 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 109, PAGES 1 THROUGH 19, INCLUSIVE OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA AND BEING A PORTION OF SECTION 5, TOWNSHIP 37 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA, IN THE CITY OF PORT ST. LUCIE, FLORIDA.

PLAT BOOK
PAGE
FILE NO.
DATE
TIME

0 30 60
SCALE: 1" = 30'



RIGHT-OF-WAY LINES

LINE DATA TABLE		
NO.	BEARING	LENGTH
L3	S 76°05'48" W	14.00'

RIGHT-OF-WAY CURVES

CURVE DATA TABLE			
NO.	RADIUS	DELTA	ARC
C4	87.00'	39°58'14"	60.69'
C5	63.00'	31°54'36"	35.09'

LOT ACREAGE TABLE (ACRES)

LOT #	ACREAGE	LOT #	ACREAGE
99	0.041	132	0.047
100	0.062	133	0.049
101	0.062	134	0.049
102	0.041	135	0.048
103	0.041	136	0.075
104	0.041	137	0.072
105	0.041	138	0.044
106	0.041	139	0.044
107	0.041	140	0.044
108	0.064	141	0.068
109	0.064	142	0.068
110	0.041	143	0.044
111	0.042	144	0.044
112	0.044		
113	0.047		
114	0.074		
115	0.075		
116	0.047		
117	0.044		
118	0.044		
119	0.044		
120	0.044		
121	0.044		
122	0.060		
123	0.059		
124	0.044		
125	0.042		
126	0.041		
127	0.041		
128	0.042		
129	0.042		
130	0.053		
131	0.057		

LEGEND

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- (NR) ----- Non-Radial
- C.M. ----- Concrete Monument
- LB ----- Licensed Business
- ----- Indicates (PRM) Permanent Reference Monument-4"x4" Concrete Monument LB7768 (Unless Otherwise Noted)
- ----- Indicates (PCP) Permanent Control Point LB7768

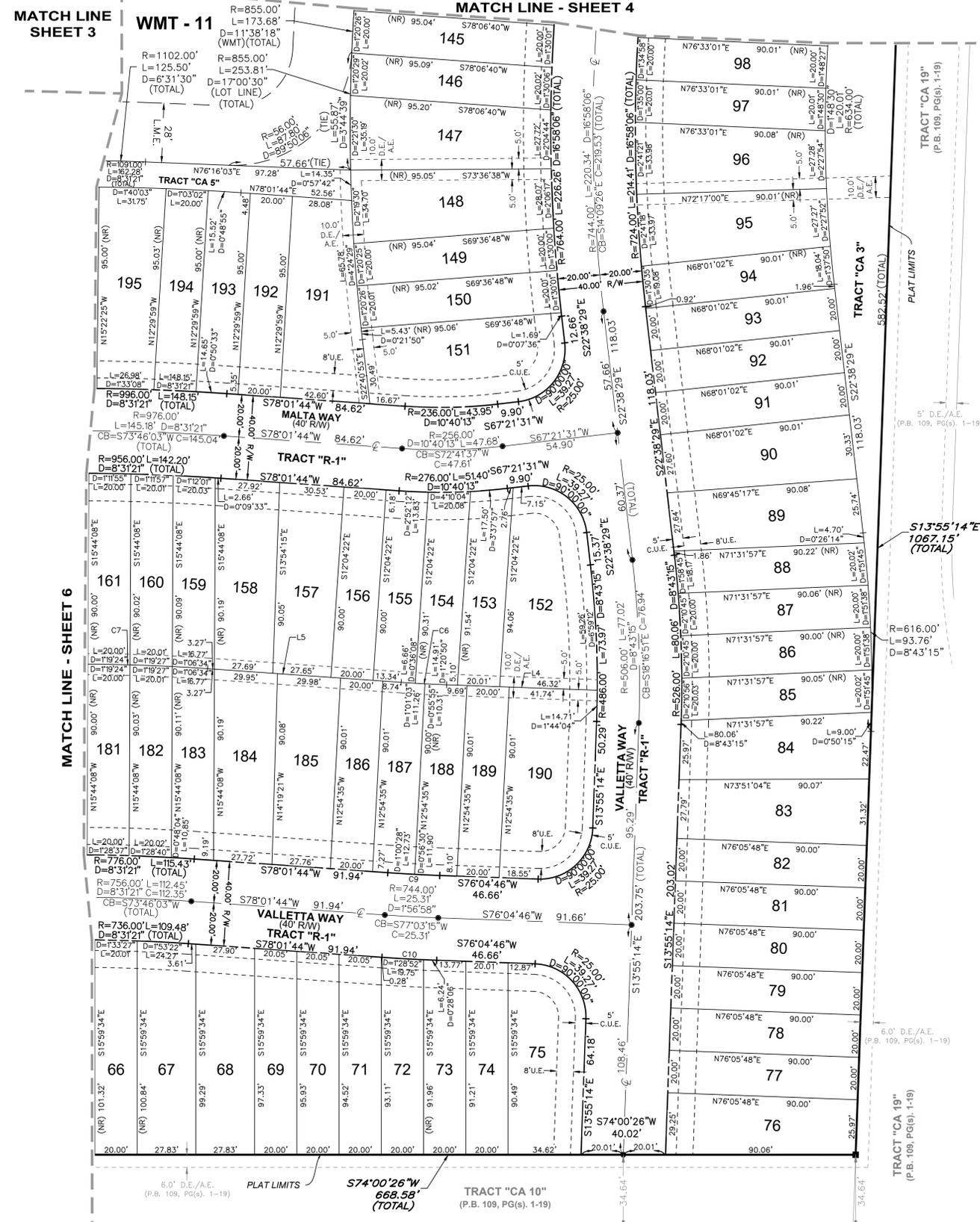
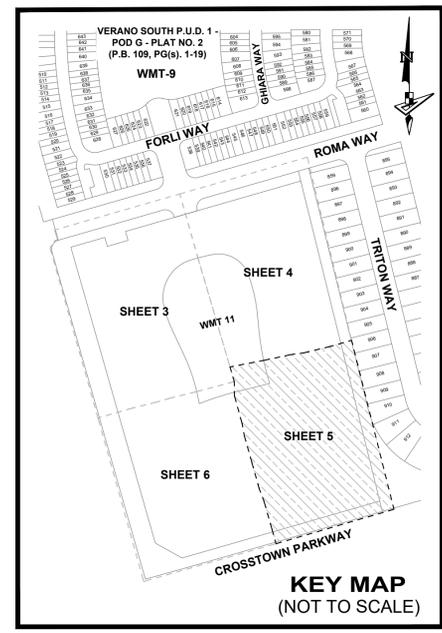


4152 W. Blue Heron Blvd. Suite 105
Riviera Beach, FL 33404
Phone: (561) 444-2720
www.geopointsurvey.com
Licensed Business Number LB 7768

VERANO SOUTH POD G - PLAT NO. 2 - POD NO. 2 - REPLAT NO. 1

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PLAT BOOK
PAGE
FILE NO.
DATE
TIME



LOT LINES

LINE DATA TABLE		
NO.	BEARING	LENGTH
L4	S 76°04'46\"	71.43'
L5	S 78°01'44\"	91.94'

LOT CURVES (TOTAL)

CURVE DATA TABLE			
NO.	RADIUS	DELTA	ARC
C6	634.00'	1°56'58\"	21.57'
C7	866.00'	8°31'21\"	128.82'

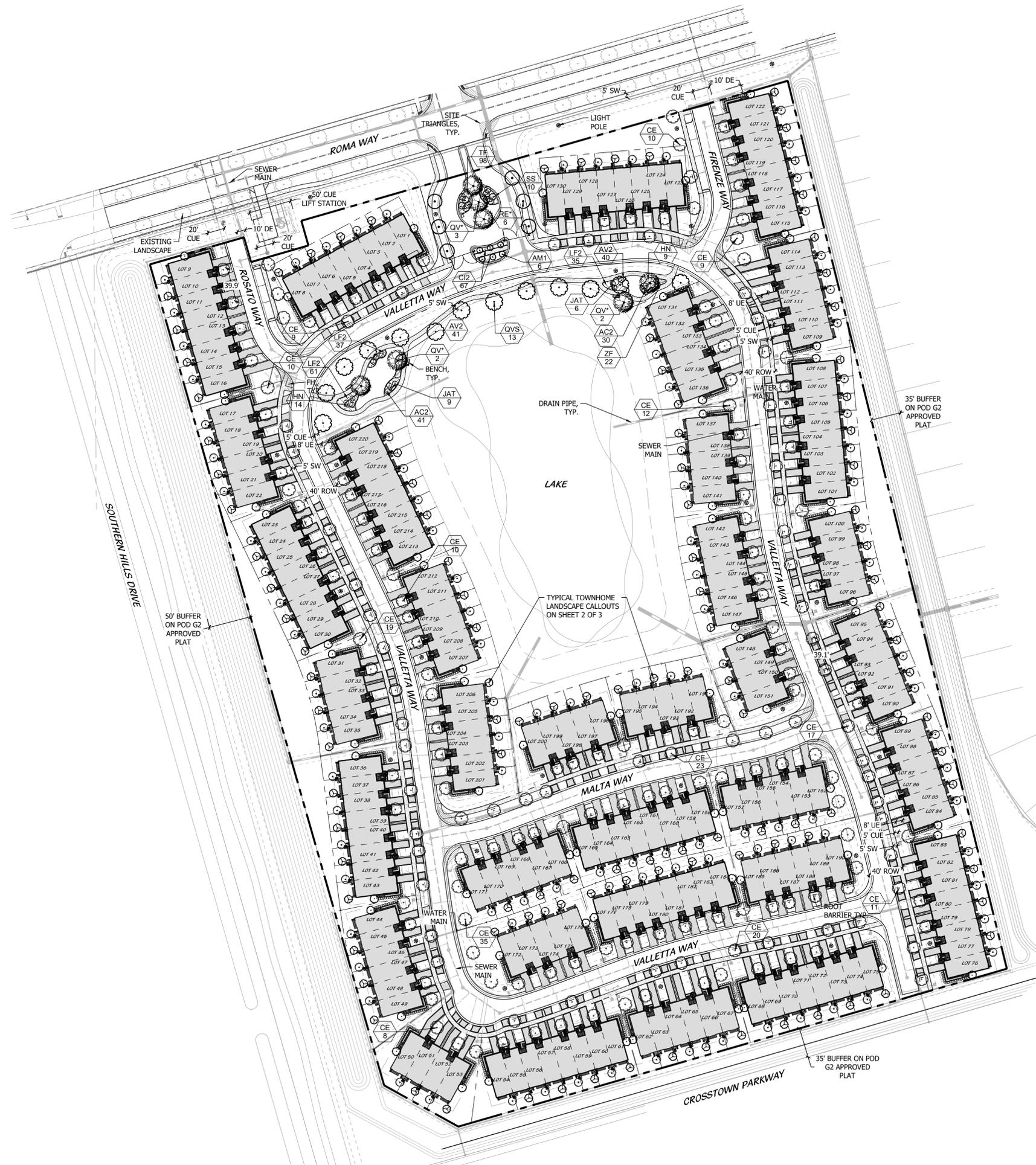
RIGHT OF WAY CURVES

CURVE DATA TABLE			
NO.	RADIUS	DELTA	ARC
C9	724.00'	1°56'58\"	24.63'
C10	764.00'	1°56'58\"	25.99'

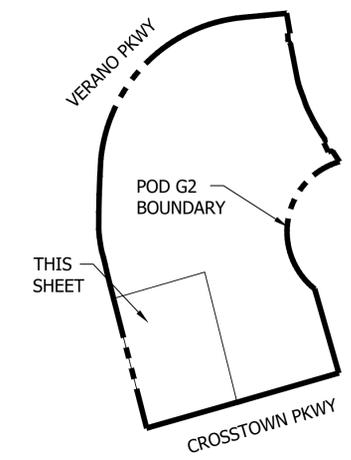
LOT ACREAGE TABLE (ACRES)

LOT #	ACREAGE	LOT #	ACREAGE	LOT #	ACREAGE
66	0.046	145	0.044	181	0.041
67	0.064	146	0.044	182	0.041
68	0.063	147	0.069	183	0.041
69	0.044	148	0.068	184	0.060
70	0.044	149	0.044	185	0.060
71	0.043	150	0.044	186	0.041
72	0.042	151	0.083	187	0.041
73	0.042	152	0.086	188	0.041
74	0.042	153	0.043	189	0.041
75	0.072	154	0.042	190	0.085
76	0.057	155	0.041	191	0.076
77	0.041	156	0.041	192	0.044
78	0.041	157	0.060	193	0.044
79	0.041	158	0.060	194	0.044
80	0.041	159	0.041	195	0.064
81	0.041	160	0.041		
82	0.041	161	0.041		

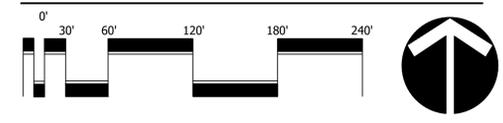
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KEY MAP



PSLUSD #11-652-36J
 PSL PROJ# P22-232
POD G POD 2
LANDSCAPE PLAN



Scale: 1" = 60'-0"

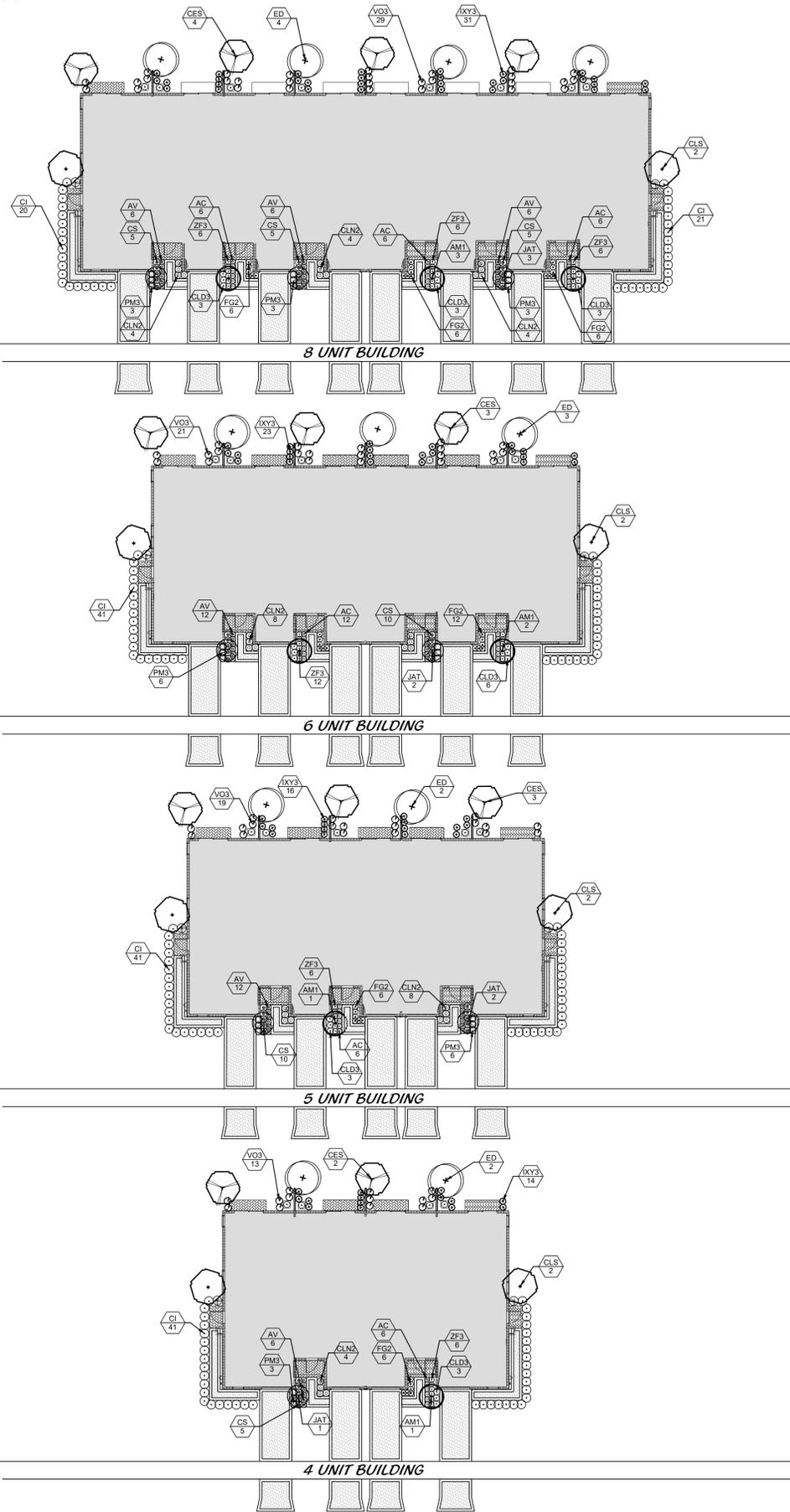
North

VERANO SOUTH POD G
 Koiter Homes
 Port St. Lucie, Florida

DESIGNED	LAH
DRAWN	LAH
APPROVED	DTS
JOB NUMBER	18-1003.03
DATE	08-03-22
REVISIONS	09-21-22
	10-31-22
	12-09-22

TYPICAL TOWNHOME LANDSCAPES

SCALE 1"=20'-0"



LANDSCAPE SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
CLS	68	CLUSIA ROSEA	SMALL-LEAF CLUSIA	45 GAL	2" CAL	6'-7" HT, 4.5' SPRD	Y	SINGLE TRUNK, STANDARD
CE	194	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	B & B	2" CAL	14' HT	Y	FULL CANOPY
CES	113	CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTONWOOD	45 GAL	2.5" DBH	12'-14' HT, 4'-6' SPRD	Y	FULL CANOPY, STANDARD, SINGLE TRUNK
ED	107	ELAEOCARPUS DECIPENS	JAPANESE BLUEBERRY TREE	30 gal	3" Cal	8' O.A.	N	CONICAL, FULL TO BASE, MATCHED
JAT	94	JATROPHA STANDARD	JATROPHA	15 GAL	N.A.	5' STD	N	SPECIMEN, 2.5' C.T. TIGHT HEADS
QV*	7	QUERCUS VIRGINIANA	LIVE OAK	100 GAL	3.5" CAL	12' OA	Y	FLORIDA #1, DOUBLE DUG ROOT BALL
QVS	13	QUERCUS VIRGINIANA 'SKY CLIMBER'	SKY CLIMBER LIVE OAK	NA	2" CAL	14' HT	Y	FULL CANOPY, DOUBLE DUG
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
AM1	79	ADONIDIA MERRILLII	CHRISTMAS PALM	FIELD GROWN	NA	8-10' OA	N	FULL CANOPY, MATCHED, FF
RE*	6	ROYSTONEA ELATA	ROYAL PALM	FIELD GROWN	NA	18' GW	Y	FULL CANOPY, FLORIDA FANCY
SS	10	SABAL PALMETTO	CURVED CABBAGE PALM	B & B	NA	10', 16', OR 22' CT, STGG	Y	STRONG, UNIQUE CURVES, SLICK TRUNKS
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	NATIVE	REMARKS
AV	474	ALOYSIA VIRGATA	SWEET ALMOND BUSH	3 GAL	1.5" X 1.5"	2' OC	N	FULL & THICK
AC	438	ASCLEPIAS CURASSAVICA	MILKWEED	3 GAL	1.5" X 1.5"	2' OC	N	FULL & THICK
CI	1,394	CHRYSOBALANUS ICACO	RED TIP COCOPLUM	7 GAL	2' x 2'	2' OC	Y	FULL & THICK
CLD3	219	CLUSIA GUTTIFERA	SMALL-LEAF CLUSIA	3 GAL	2' X 2'	2' OC	Y	FULL & THICK, FLORIDA FANCY
CLN2	316	CLUSIA GUTTIFERA 'NANA'	DWARF CLUSIA	3 GAL	2' x 2'	2' OC	N	FULL & THICK, FLORIDA FANCY
CS	395	CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTONWOOD	3 GAL	2' X 2'	2' OC	Y	FULL, BUSH, MULTI
FG2	438	FIGUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FIGUS	3 GAL	1.5" X 1.5"	1.5' OC	Y	FULL & THICK, FLORIDA FANCY
IXY3	826	IXORA X 'NORA GRANT'	IXORA 'NORA GRANT'	3 GAL	2' x 2'	2' OC	N	FULL & THICK
PM3	236	PODOCARPUS MAKII	PODOCARPUS	3 GAL	2' x 2'	2' OC	N	FULL & THICK
VO3	790	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	3 GAL	2' X 2'	2' OC	N	FULL & THICK
ZF3	438	ZAMIA FLORIDANA	COONTIE	3 GAL	2' X 2'	3' O.C.	Y	FULL & THICK
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	NATIVE	REMARKS
AV2	81	ALOYSIA VIRGATA	SWEET ALMOND BUSH	3 GAL	1.5" X 1.5"	2' OC	N	FULL & THICK
AC2	71	ASCLEPIAS CURASSAVICA	MILKWEED	3 GAL	1.5" X 1.5"	2' OC	N	FULL & THICK
CI2	67	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUM	7 GAL	3' OA	2.5' OC	Y	FULL & THICK
HN	23	HAMELIA PATENS 'NANA'	DWARF FIREBUSH	7 GAL	3' OA	2.5' OC	Y	FULL & THICK
LF2	133	LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE	3 GAL	2' X 2'	2' O.C.	N	FULL & THICK
TF	98	TRIPSACUM FLORIDANA	DWARF FAKAHATCHEE GRASS	3 GAL	2' X 2'	2.5' OC	Y	FULL & THICK
ZF	22	ZAMIA FLORIDANA	COONTIE	3 GAL	24" X 30"	3' O.C.	Y	FULL & THICK

Cotleur & Hearing
 Landscape Architects
 Land Planners
 Environmental Consultants
 1934 Commerce Lane
 Suite 1
 Jupiter, Florida 33458
 561.747.6336 Fax 747.1377
 www.cotleurhearing.com
 Lic# LC-C000239

VERANO SOUTH POD G
 Koiter Homes
 Port St. Lucie, Florida

DESIGNED LAH
 DRAWN LAH
 APPROVED DTS
 JOB NUMBER 18-1003.03
 DATE 08-03-22
 REVISIONS 09-21-22
 10-31-22
 12-09-22

PSLUSD #11-652-36J
PSL PROJ# P22-232
POD G POD 2
LANDSCAPE PLAN

LANDSCAPE SPECIFICATIONS PLANTING DETAILS

1. GENERAL LANDSCAPE REQUIREMENTS
 LANDSCAPE CONTRACT WORK INCLUDES, BUT IS NOT LIMITED TO, SOIL PREPARATION, FINE OR FINISH GRADING, FURNISHING AND INSTALLING PLANT MATERIAL, WATERING, STAKING, GUYING AND MULCHING.

PLANT SIZE AND QUALITY
 TREES, PALMS, SHRUBS, GROUNDCOVERS:
 PLANT SPECIES AND SIZES SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS PARTS 1 & II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. PLANTS OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND IT IS OUTSTANDING IN SUPERIOR GROWTH, NUMBER OF BRANCHES AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES AND PALMS FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. THE PLANTS FURNISHED SHALL BE NORMAL FOR THE HARDY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

MULCH SHALL BE SHREDDED CYPRESS MULCH. ALL MULCH IS TO BE APPLIED TO A DEPTH OF 3" EXCEPT FOR THOSE SPECIFIC SITUATIONS SHOWN BELOW IN SECTIONS 2,3 & 4.

FERTILIZER IN BACKFILL MIXTURE FOR ALL PLANTS SHALL CONSIST OF MORGANITE ACTIVATED SLUDGE MIXED WITH THE BACKFILL AT A RATE OF NOT LESS THAN 50 LBS. PER CUBIC YARD.

FERTILIZER FOR TREES AND SHRUBS MAY BE TABLET FORM OR GRANULAR. GRANULAR FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS. EACH BAG SHOULD HAVE THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS: 16% NITROGEN, 2% PHOSPHORUS, 12% POTASSIUM, PLUS IRON. TABLET FERTILIZER (AGRIFORM OR EQUAL) IN 21 GRAM SIZE SHALL MEET THE FOLLOWING REQUIREMENTS: 20% NITROGEN, 10% PHOSPHORUS AND 5% POTASSIUM.

FERTILIZER WILL BE APPLIED AT THE FOLLOWING RATES:

PLANT SIZE	16-7-12	AGRIFORM TABLETS* (21 GRAM)
1 GAL	1/4 LB.	1
3 GAL	1/3 LB.	3
12 GAL	1/2 LB.	6
1"-6" CALIPER	2 LBS./1" CALIPER	2 PER 1" CALIPER
6" AND LARGER	3 LBS./1" CALIPER	2 PER 1" CALIPER

(*) TABLETS TO BE INSTALLED IN TOP 6-8"

FLORIDA EAST COAST PALM SPECIAL SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF .5 LB. PER INCH OF TRUNK UNLESS OTHERWISE SPECIFIED.

FIELD GROWN TREES AND PALMS PREVIOUSLY ROOT PRUNED SHALL OBTAIN A ROOT BALL WITH SUFFICIENT ROOTS FOR CONTINUED GROWTH WITHOUT RESULTING SHOCK.

CONTRACTOR SHALL NOT MARK OR SCAR TRUNK IN ANY FASHION.

PLANTS SHALL BE WATERED AS NECESSARY OR WITHIN 24 HOURS AFTER NOTIFICATION BY THE LANDSCAPE ARCHITECT.

THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS. MAJOR ADJUSTMENTS TO THE LAYOUT ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT.

ALL PLASTIC FABRIC SHALL BE REMOVED FROM PLANT MATERIAL AT TIME OF INSTALLATION.

ALL TREES MUST BE STAKED AS SHOWN ON THE PLANTING DETAILS WITHIN 24 HOURS OF PLANTING. STAKES TO REMAIN FOR A MINIMUM OF 9 MONTHS, BUT NO LONGER THAN 18 MONTHS. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF THE STAKES.

ALL TREES MUST BE PRUNED AS PER LANDSCAPE ARCHITECT'S DIRECTION. SABAL PALMS MAY BE HURRICANE CUT.

ALL SHRUBS, TREES AND GROUND COVER WILL HAVE IMPROVED SOIL, AS PER PLANTING SOIL NOTES. THE SOILS SHALL BE PLACED IN THE HOLE DURING PLANTING. TOP DRESSING ONLY IS NOT ACCEPTABLE.

DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. ALL TREES SHALL BE SPIKED IN UTILIZING WATER AND A TREE BAR.

THE LANDSCAPE CONTRACTOR SHALL WATER, MULCH, WEED, PRUNE, AND OTHERWISE MAINTAIN ALL PLANTS, INCLUDING SOD, UNTIL COMPLETION OF CONTRACT OR ACCEPTANCE BY LANDSCAPE ARCHITECT. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE, PLANTING SAUCERS RESTORED, AND DEFECTIVE WORK CORRECTED.

THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR DEBRIS CAUSED BY HIS CREWS DURING THE PERFORMANCE OF THE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROMPTLY REMOVE ALL WASTE MATERIALS, DEBRIS, UNUSED PLANT MATERIAL, EMPTY PLANT CONTAINERS AND ALL EQUIPMENT FROM THE PROJECT SITE.

UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST A FINAL INSPECTION. ANY ITEMS THAT ARE JUDGED INCOMPLETE OR UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL BE PROMPTLY CORRECTED BY THE LANDSCAPE CONTRACTOR.

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF SIX (6) MONTHS FROM THE DATE OF CONDITIONAL ACCEPTANCE IN WRITING FROM THE LANDSCAPE ARCHITECT. AT THE TIME OF CONDITIONAL ACCEPTANCE, THE SIX (6) MONTH PERIOD SHALL COMMENCE. ANY MATERIALS WHICH HAVE DIED DURING THIS PERIOD SHALL BE PROMPTLY REPLACED WITH SPECIMENS THAT MEET THE MINIMUM REQUIREMENTS CALLED FOR ON THE DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE DEATH OR DAMAGE RESULTING FROM LIGHTNING, VANDALISM, AND AUTOMOBILES OR FROM NEGLIGENCE BY THE OWNER.

CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHERWISE MAINTAINING PLANTS UP TO THE CONDITIONAL ACCEPTANCE PERIOD, UNLESS A WRITTEN AGREEMENT WITH THE LANDSCAPE ARCHITECT PROVIDES FOR A DIFFERENT ARRANGEMENT.

ALL LABOR AND MATERIAL FOR SOIL AMENDMENTS AND FERTILIZER THAT IS REQUIRED TO INSURE THE SUCCESSFUL ESTABLISHMENT AND SURVIVAL OF THE PROPOSED VEGETATION, AS WELL AS ALL THE COST FOR THE REMOVAL OF UNSUITABLE OR EXCESS BACKFILL MATERIAL, SHALL BE INCLUDED IN THE CONTRACTOR'S BID TO PERFORM THE WORK REPRESENTED IN THIS PLAN SET.

2. PLANTING TREES

EXCAVATE PIT AS PER PLANTING DETAILS. COMPACT LAYER OF TOPSOIL IN PIT WITH A SLIGHTLY DISHED GRADE TO CENTER.

BACKFILL AROUND BALL WITH TOPSOIL AND SLIGHTLY COMPACT. WATER THOROUGHLY AS LAYERS ARE PLACED TO ELIMINATE VOIDS AND AIR POCKETS. BUILD A 6" HIGH BERM OF TOPSOIL BEYOND EDGE OF EXCAVATION. APPLY 3" (AFTER SETTLEMENT) OF MULCH.

PRUNE TREE TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES. DO NOT PRUNE BACK TERMINAL LEAVES.

GUY AND STAKE TREE IN ACCORDANCE WITH THE STAKING DETAILS IMMEDIATELY AFTER PLANTING.

3. PLANTING SHRUBS

LAYOUT SHRUBS TO CREATE A CONTINUOUS SMOOTH FRONT LINE AND FILL IN BEHIND.

EXCAVATE PIT OR TRENCH TO 2 TIMES THE DIAMETER OF THE BALLS OR CONTAINERS OR 1'-0" WIDER THAN THE SPREAD OF ROOTS AND 3" DEEPER THAN REQUIRED FOR POSITIONING AT PROPER HEIGHT. COMPACT A LAYER OF TOPSOIL IN BOTTOM BEFORE PLACING PLANTS. BACKFILL AROUND PLANTS WITH PLANTING MIXTURE. COMPACT TO ELIMINATE VOIDS AND AIR POCKETS. FORM GRADE SLIGHTLY DISHED AND BERMED AT EDGES OF EXCAVATION. APPLY 3" OF MULCH.

PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES.

4. PLANTING GROUND COVER

LOOSEN SUBGRADE TO DEPTH OF 4" IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED AND SPREAD SMOOTH.

SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS. COMPACT BACKFILL TO ELIMINATE VOIDS AND LEAVE GRADE SLIGHTLY DISHED AT EACH PLANT. WATER THOROUGHLY. APPLY 3" OF MULCH OVER ENTIRE PLANTING BED. LIFTING PLANT FOLiage ABOVE MULCH. PURPLE QUEEN GROUNDCOVER, IF SPECIFIED, SHALL ONLY RECEIVE 1" OF MULCH.

DURING PERIODS OF HOT SUN AND/OR WIND AT TIME OF PLANTING, PROVIDE PROTECTIVE COVER FOR SEVERAL DAYS OR AS NEEDED.

5. PLANTING LAWNS

SODDING: SOD TYPE SPECIFIED ON PLANT LIST SHALL BE MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING.

LOOSEN SUBGRADE TO DEPTH OF 4" AND GRADE WITH TOPSOIL EITHER PROVIDED ON SITE OR IMPORTED TO FINISH DESIGN ELEVATIONS. ROLL PREPARED LAWN SURFACE. WATER THOROUGHLY, BUT DO NOT CREATE MUDDY SOIL CONDITION.

FERTILIZE SOIL AT THE RATE OF APPROXIMATELY 10 LBS. PER 1,000 S.F. SPREAD FERTILIZER OVER THE AREA TO RECEIVE GRASS BY USING AN APPROVED DISTRIBUTOR CALIBRATED TO DISTRIBUTE THE APPROPRIATE QUANTITY. DO NOT FERTILIZE WHEN WIND VELOCITY EXCEEDS 15 M.P.H. THOROUGHLY MIX FERTILIZER INTO THE TOP 2" OF TOPSOIL.

LAY SOD STRIPS WITH TIGHT JOINTS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED SOIL MIX INTO MINOR CRACKS BETWEEN PIECES OF SOD AND REMOVE EXCESS SOIL DEPOSITS FROM SODDED AREAS. SOD ON SLOPES GREATER THAN 3:1 SHALL BE STAKED IN PLACE. ROLL OR STAMP LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

6. MISCELLANEOUS LANDSCAPE WORK

LANDSCAPE MAINTENANCE

MAINTAIN LANDSCAPE WORK UNTIL FINAL ACCEPTANCE IS ISSUED BY THE OWNER'S REPRESENTATIVE. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZING AND SIMILAR OPERATIONS AS NEEDED TO INSURE NORMAL GROWTH AND GOOD HEALTH FOR LIVE PLANT MATERIAL.

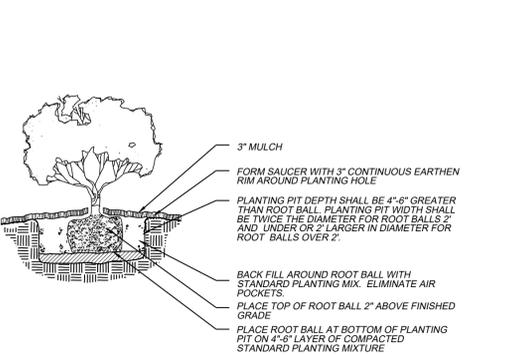
PLANT MATERIAL SUBSTITUTION

NO SUBSTITUTION OF PLANT MATERIAL, TYPE OR SIZES WILL BE PERMITTED WITHOUT AUTHORIZATION FROM THE LANDSCAPE ARCHITECT.

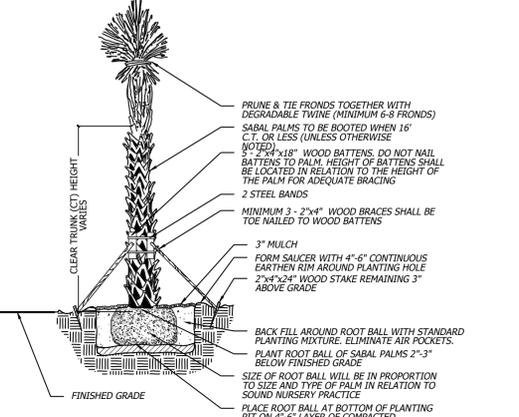
PLANTING BED PREPARATION

ALL PLANTING BEDS SHALL BE PROPERLY PREPARED PRIOR TO THE COMMENCEMENT OF ANY PLANTING. PLANTING AREAS, INCLUDING LAWNS SHALL BE FREE OF ALL WEEDS AND NUISANCE VEGETATION. IF TORPEDO GRASS (PANICUM REPENS) IS PRESENT OR ENCOUNTERED DURING PLANTING, THE LANDSCAPE CONTRACTOR SHALL STOP ALL PLANTING UNTIL IT CAN BE DEMONSTRATED THAT IT HAS BEEN COMPLETELY REMOVED OR ERADICATED. THERE SHALL BE NO EXCEPTIONS TO THIS PROVISION.

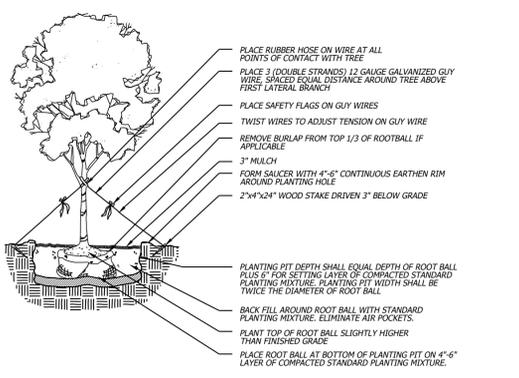
ALL LANDSCAPE ISLANDS AND BEDS WILL BE FREE OF SHEL ROCK AND CONSTRUCTION DEBRIS AND WILL BE EXCAVATED TO A DEPTH OF 30 INCHES OR TO CLEAR, NATIVE SOIL AND FILLED WITH THE SPECIFIED BACKFILL MIXTURE.



SHRUB/GROUNDCOVER PLANTING DETAIL

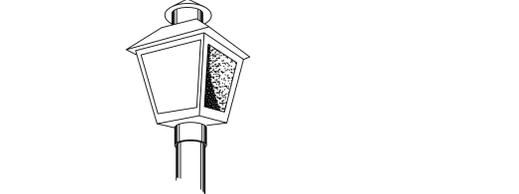


PALM PLANTING DETAIL



LARGE TREE PLANTING DETAIL

COACH LAMP (STREETLIGHTS)

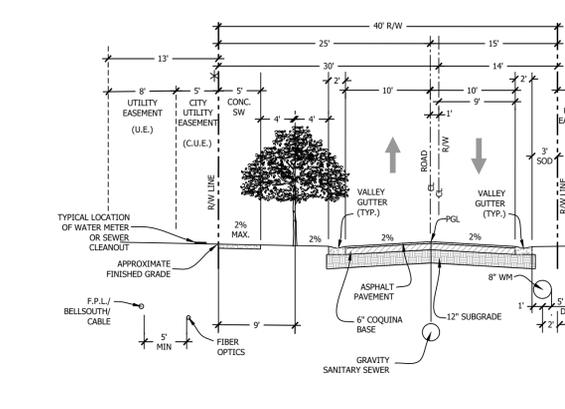


COACH LAMP (STREETLIGHTS)

LANDSCAPE NOTES

- ALL LANDSCAPING AND SITE IMPROVEMENTS SHALL CONFORM TO ALL APPLICABLE PROVISIONS OF THE CITY OF PORT ST. LUCIE'S CHAPTER 153, LANDSCAPE AND LAND CLEARING CODE, CURRENT ADDITION AND ANY OTHER APPLICABLE CITY REGULATIONS.
- THE LANDSCAPE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS OR CHANGES WITHOUT THE AUTHORIZATION OF THE OWNER AND THE LANDSCAPE ARCHITECT.
- THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT DRAINAGE PLANS AND VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND AVOID ALL CONFLICTS.
- THE LANDSCAPE CONTRACTOR BE RESPONSIBLE FOR ALL PERMITS RELATING TO HIS/HER WORK.
- ALL LANDSCAPE PLANTED IN THE RIGHT-OF-WAY AND OR PRIVATE PROPERTY SHALL BE LOCATED SO THAT NO CONFLICT OCCURS WITH VEHICULAR SIGHT DISTANCES AT INTERSECTIONS AND AT DESIGNATED PEDESTRIAN CROSSWALKS.
- NO FENCE, WALL, HEDGE, OR SHRUB PLANTING WHICH OBSTRUCTS SIGHT LINES AND ELEVATIONS BETWEEN TWO (2) AND SIX (6) FEET ABOVE THE CROWN OF THE ROAD SHALL BE PLACED OR PERMITTED TO REMAIN ON ANY CORNER LOT IN ANY ZONING DISTRICT WITHIN THE TRIANGULAR AREA FORMED BY THE STREET PROPERTY LINES AND A LINE CONNECTING THEM AT POINTS TWENTY-FIVE (25) FEET FROM THE INTERSECTION OF THE STREET LINES, OR IN THE CASE OF A ROUNDED PROPERTY CORNER FROM THE INTERSECTION OF THE STREET PROPERTY LINES EXTENDED. THE SAME SIGHT LINE LIMITATIONS SHALL APPLY ON ANY LOT WITHIN TEN (10) FEET FROM THE EDGE OF A DRIVEWAY OR ALLEY. NO TREE SHALL BE PERMITTED TO REMAIN WITHIN THE ABOVE DESCRIBED LIMITS OF INTERSECTIONS UNLESS THE FOLIAGE LINE IS MAINTAINED AT OR ABOVE SIX (6) FEET ABOVE THE ROADWAY INTERSECTION ELEVATION TO PREVENT OBSTRUCTION OF SIGHT LINES.
- ALL LANDSCAPING SHALL BE LOCATED IN THE RIGHT-OF-WAY AND OR PRIVATE PROPERTY SO THAT NO CONFLICT OCCURS WITH DESIGNATED CITY DRAINAGE AND / OR UTILITY EASEMENTS, OVERHEAD AND UNDERGROUND UTILITIES LINES AND OR UTILITY STRUCTURES. NO TREE ARE ALLOWED IN UTILITY EASEMENTS OR CLOSER THAN TEN FEET TO ANY CITY UTILITY LINES.
- TREES AT ENTRANCEWAYS SHALL BE LIMBED UP TO MAXIMIZE SITE DISTANCE. CLEAR VISIBILITY SHALL BE MAINTAINED BETWEEN 24" AND 8". TREES SHALL BE POSITIONED TO AVOID CONFLICTS WITH SITE LIGHTING.
- PLANTING ISLANDS WITHIN AND ADJACENT TO PARKING AREAS SHALL BE FREE OF LIME ROCK AND OTHER FOREIGN MATERIALS TO A DEPTH OF 30". IF NECESSARY, RECYCLED PLANTING SOIL MIXTURE SHOULD BE USED TO REPLACE UNSUITABLE SOIL, WHICH IS EXCAVATED.
- THE SURFACE OF ALL AREAS TO RECEIVE LANDSCAPING WILL BE FINELY GRADED AND SET SO DIPS AND DEPRESSIONS ARE REMOVED AND POSITIVE DRAINAGE IS ACHIEVED. THE FINISHED GRADE OF SOD AND MULCH AREAS SHALL BE SET SO THAT MULCH WASHOUTS DO NOT OCCUR AND THERE IS A SMOOTH TRANSITION FROM PAVED SURFACES TO ADJACENT LAWN AREAS.
- ALL TREES, SHRUBS AND GROUNDCOVER BEDS ARE REQUIRED TO BE MULCHED WITH A 3" MIN. THICK LAYER OF MULCH. TREES LOCATED IN TURF AREAS ARE REQUIRED TO HAVE A 3" THICK MULCHED WATERING RING PROVIDED AROUND THE TRUNK. THE TREE RINGS IS REQUIRED TO BE A MINIMUM DIAMETER OF 3" AROUND SMALL TREES AND 5" AROUND LARGE TREES. TO FACILITATE MOWING, MULCH SHALL BE KEPT THREE FEET AWAY FROM THE TRUNK.
- ALL TREE STAKING MATERIALS SHALL BE LOCATED WITHIN MULCH BEDS AND OR RINGS.
- ALL AREAS SHALL BE FULLY IRRIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF PORT ST. LUCIE. IRRIGATION SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER AND LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% OVERLAP COVERAGE TO ALL LANDSCAPE AND SOD AREAS.
- THE IRRIGATION WATER SOURCE SHALL BE WELL WATER OR SUCTION FROM AN ONSITE STORMWATER MANAGEMENT AREA. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN SENSOR/OUT OFF SWITCH IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- NO LIGHT POLE OR ASSOCIATED CONDUIT SHALL BE LOCATED WITHIN 10' OF A PSLUSD FACILITY.

TYPICAL 40' RIGHT-OF-WAY SECTION

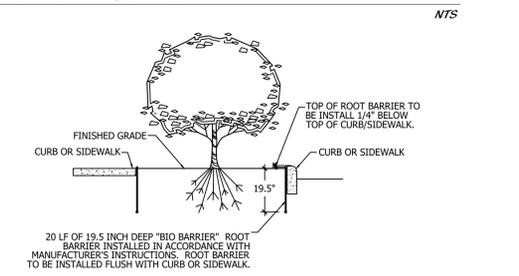


40' RIGHT-OF-WAY TOWNHOME COMMUNITY SECTION

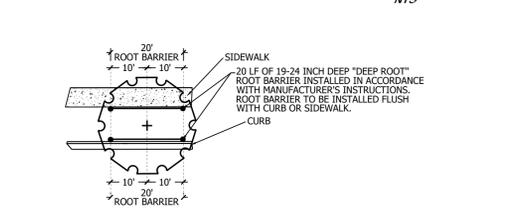
POSTED SPEED 25 MPH

N.T.S.

* NOTE:
 3" SIDEWALK OFFSET AND 5" C.U.E. WILL BE REQUIRED IF P.S.L. MAINLINE FACILITIES ARE LOCATED ON BOTH SIDES OF STREET. PSLUSD FIBEROPTICS WILL BE LOCATED IN 5" CUE IF PM IS REQUIRED. IT IS ANTICIPATED THIS SECTION WILL BE IN THE FUTURE MULTI-FAMILY PARCEL.



ROOT BARRIER DETAIL SECTION VIEW



ROOT BARRIER DETAIL PLAN VIEW

THE CITY OF PSL WILL ALLOW STREET TREES WITHOUT ROOT BARRIERS AS LONG AS THEY ARE A MINIMUM OF 4 FEET FROM THE EDGE OF BOTH THE SIDEWALK AND CURB. THIS MEANS THE TREE LAWN MUST BE NO LESS THAN 8".

ROOT BARRIER SHALL BE USED WHEN A STREET TREE IS LESS THAN 4" FROM THE EDGE OF A SIDEWALK AND/OR LESS THAN 4" FROM THE EDGE OF A CURB. (MEASUREMENT IS FROM OUTSIDE TO OUTSIDE)

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 561.747.6336 • Fax 747.1377
 www.cotleurhearing.com
 Lic# LC-C000239

VERANO SOUTH POD G

Koiter Homes
 Port St. Lucie, Florida

DESIGNED	LAH
DRAWN	LAH
APPROVED	DTS
JOB NUMBER	18-1003.03
DATE	08-03-22
REVISIONS	09-21-22
	10-31-22
	12-09-22

PSLUSD #11-652-36J
 PSL PROJ# P22-232
POD G POD 2
LANDSCAPE DETAILS

SHEET 3 OF 3

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LEGAL DESCRIPTION

BEING A REPLAT OF ALL OF POD 2, VERANO SOUTH P.U.D. 1 - POD G - PLAT NO. 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK _____ PAGES _____ THROUGH _____ OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA AND BEING A PORTION OF SECTION 5, TOWNSHIP 37 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA, IN THE CITY OF PORT ST. LUCIE, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT NORTHWEST CORNER OF POD 2, VERANO SOUTH P.U.D. 1 - POD G - PLAT NO. 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK _____ PAGES _____ THROUGH _____ OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE BY THE FOLLOWING NINE (9) COURSES BEING ALONG THE SAID BOUNDARY LIMITS OF POD 2: 1) THENCE N.74°00'26"E., A DISTANCE OF 114.66 FEET; 2) THENCE S.15°59'34"E., A DISTANCE OF 30.00 FEET; 3) THENCE N.74°00'26"E., A DISTANCE OF 70.00 FEET; 4) THENCE N.15°59'34"W., A DISTANCE OF 30.00 FEET; 5) THENCE N.74°00'26"E., A DISTANCE OF 592.77 FEET; 6) THENCE S.13°55'14"E., A DISTANCE OF 1067.15 FEET; 7) THENCE S.74°00'26"W., A DISTANCE OF 668.58 FEET; 8) THENCE N.60°59'34"W., A DISTANCE OF 99.37; 9) THENCE N.15°59'34" W., A DISTANCE OF 996.19 FEET TO THE **POINT OF BEGINNING**.

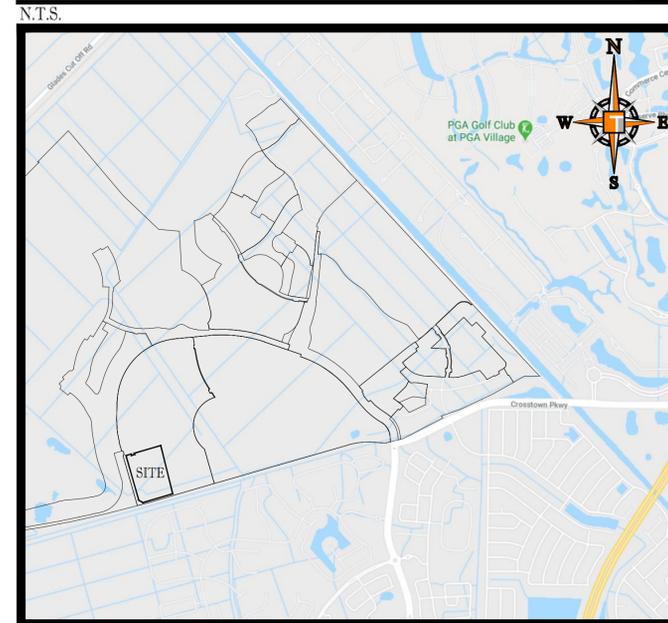
CONTAINING: 803,950 SQUARE FEET OR 18.456 ACRES, MORE OR LESS.

CONSTRUCTION PLANS FOR: VERANO SOUTH POD G, PLAT NO. 2, REPLAT ONE

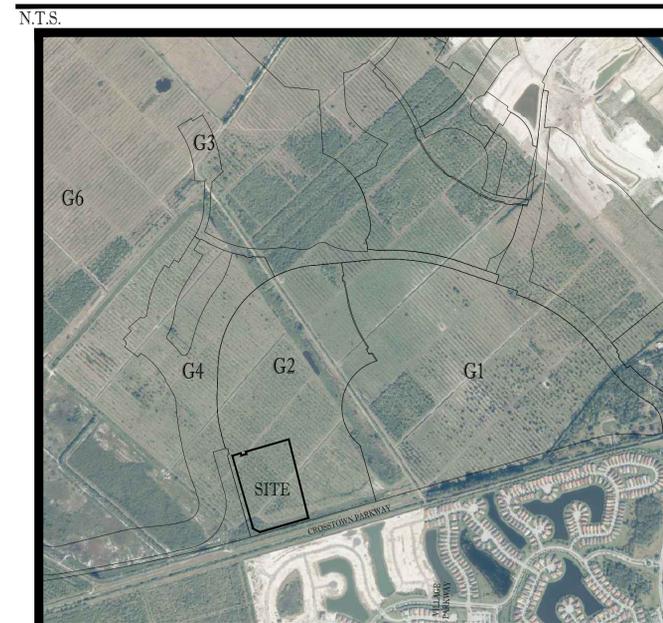
OWNER:

13th FLOOR HOMES

LOCATION MAP



VICINITY \ AERIAL MAP



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Sheet Number	Sheet Title
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C-02	GENERAL NOTES
C-03	KEY SHEET
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C-05	PGD PLAN
C-06	PGD PLAN
C-07	PGD PLAN
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C-09	PGD PLAN
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C-16	UTILITY PLAN
C-17	UTILITY PLAN
C-18	UTILITY PLAN
C-19	PROFILES
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PROJECT TEAM

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CONTACT: DAN SORROW

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CONTACT: BRANDON ULMER, PE

SURVEYOR:
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PH: (561) 203-7503
FX: (561) 203-7721
www.ThomasEngineeringGroup.com

THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (G)

The contractor and EOR shall ensure that a copy of the 2019 Utility Standards Manual, including Standard Details, is available at the project at all times.

PSLUSD PROJECT NO: 11-652-36J
ELEVATIONS BASED ON NAVD '88

THOMAS ENGINEERING GROUP
CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
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REV.	DATE	COMMENT	BY

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PROJECT No.:	FJ220014
DRAWN BY:	MJL
CHECKED BY:	BMU
CAD I.D.:	FJ240014-COVER-SHEET

PROJECT:
**VERANO SOUTH
POD G
PLAT NO. 2, REPLAT ONE**
FOR
13th FLOOR HOMES
PORT SAINT LUCIE
FLORIDA

THOMAS ENGINEERING GROUP
PEBORTH PROFESSIONAL PLAZA
125 W. INDIANTOWN RD, SUITE 206
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BRANDON ULMER
No. 68345
PROFESSIONAL ENGINEER
February 1, 2023
FLORIDA LICENSE No. 68345
FLORIDA BUSINESS REGISTRATION No. 27528

SHEET TITLE:
COVER SHEET
SHEET NUMBER:
C-01
PORT ST. LUCIE PROJECT NO: P22-232

Printed on Wednesday, February 01, 2023, 3:15 PM by Michael Legleiter
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 P:\Projects\2023\11-652-36J\11-652-36J-COVER-SHEET.dwg

ENGINEERING LEGEND

WATER MAIN	WM
STORM SEWER	SS
SANITARY SEWER MAIN	S
FORCE MAIN	FM
CATCH BASIN	
MANHOLE	
PROPOSED ELEVATION	
FIRE HYDRANT	
DECORATIVE LIGHTING	
RIGHT OF WAY / CUE / UE	
WATER SERVICE	
SEWER SERVICE	
FINISH FLOOR	26.45
24" STOP BAR AND STOP SIGN	
SIDEWALK	

CONSTRUCTION NOTES:

- CONTRACTOR TO SAW-CUT AT ALL LOCATIONS OF REMOVAL OF EXISTING CONC. S.W. CONC. CURB AND ASPHALT UNLESS OTHERWISE NOTED. ALL BASE AND SUBBASE MATERIAL SHALL BE REMOVED WITHIN THE PROPOSED LANDSCAPED AREA.
- CONTRACTOR TO MATCH EXIST. GRADES AND TO CONSTRUCT A SMOOTH TRANSITION FROM EXISTING FACILITIES TO PROPOSED.
- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DISPOSE PER LOCAL ORDINANCES.
- CONTRACTOR TO ENSURE ALL CONSTRUCTION IS IN ACCORDANCE WITH CITY DESIGN STANDARDS.
- CONTRACTOR TO SOD ALL DISTURBED AREAS. SODDING INCLUDES MAINTAINING SLOPE AND SOD UNTIL COMPLETION AND ACCEPTANCE OF THE TOTAL PROJECT OR GROWTH IS ESTABLISHED WHICHEVER COMES LAST.
- THESE PLANS REFLECT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT THAT ACTUAL PHYSICAL CONDITIONS PREVENT THE APPLICATION OF THESE STANDARDS OR THE PROGRESSION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED AREA.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORM DRAINS, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO HIS/HER CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
- NOTIFY SUNSHINE STATE ONE CALL (1-800-432-4770) OR (811) PRIOR TO CONSTRUCTION.
- PROJECT BASED ON DESIGN SURVEY PREPARED BY OTHERS.
- THE CONTRACTOR SHALL NOT ENCROACH ONTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.

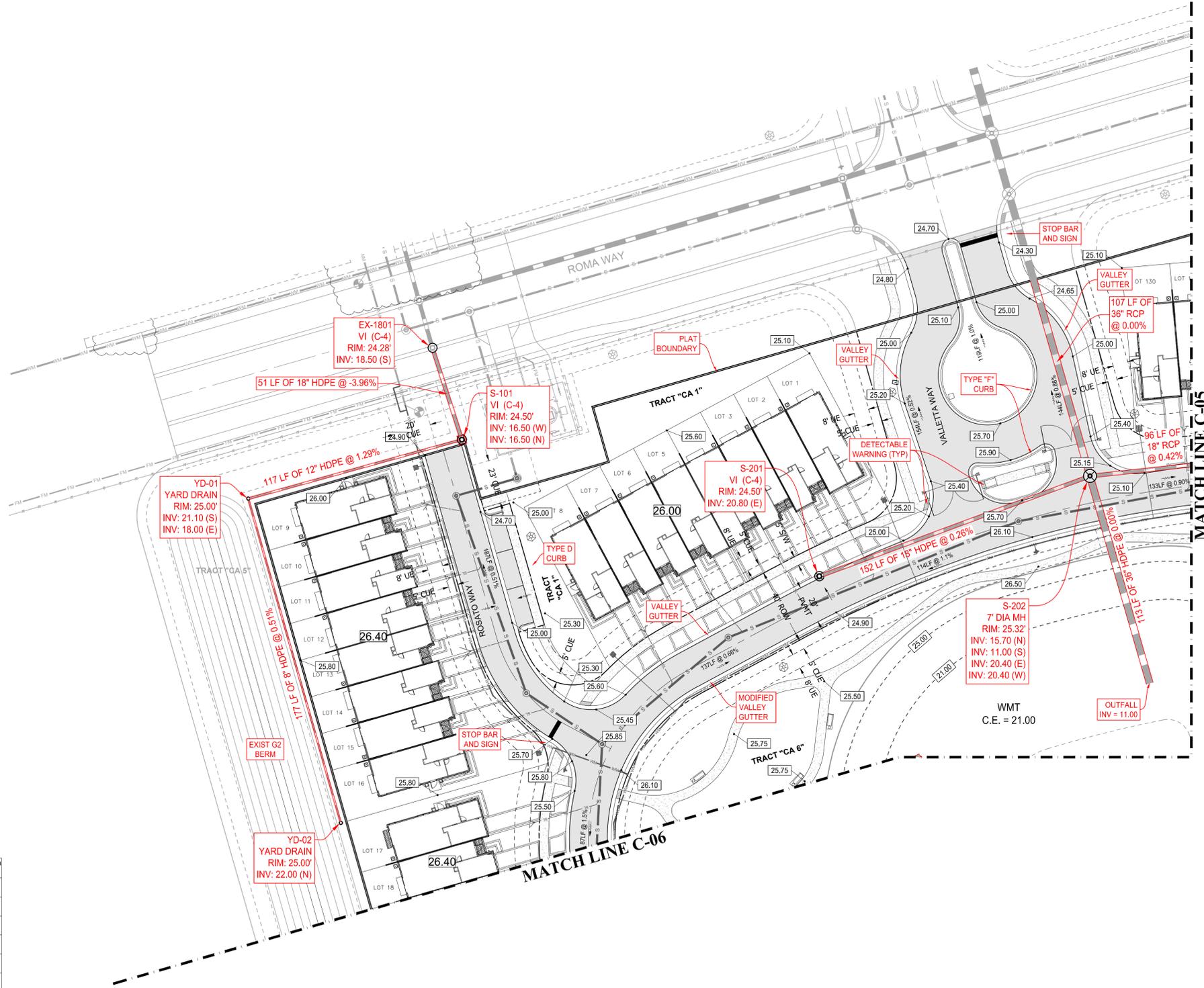
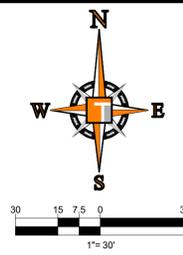
BASIN #	Minimum Road	Minimum Berm	Minimum Finish Floor
2A	24.5 (NAVD)	24.5(NAVD)	26.0(NAVD)



KEYMAP

Description	Found (Yes/No)	Agency Contact Information	Management Plan (Yes/No)	Relocation plan (Yes/No)
Wetlands	NO	N/A	NO	NO
Rare Habitat	NO	N/A	NO	NO
Threatened Species	NO	N/A	NO	NO
Endangered Species	NO	N/A	NO	NO
Species of Special Concern	NO	N/A	NO	NO
Invasive / Exotic Vegetation	NO	N/A	NO	NO

ENVIRONMENTAL ASSESSMENT HAS BEEN ADDRESSED UNDER THE OVERALL DRI THEREFORE NO ADDITIONAL ENVIRONMENTAL REPORT IS REQUIRED



THOMAS ENGINEERING GROUP
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 6500 NW 31ST AVENUE | 4950 W. KENNEDY BLVD. | 125 W INDIANTOWN RD.
 JUPITER, FL 33468 | JUPITER, FL 33468 | JUPITER, FL 33468
 P: 561-203-7503 | P: 561-203-7503 | P: 561-203-7503

REV.	DATE	COMMENT	BY

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PROJECT No.	FJ220014
DRAWN BY:	MUL
CHECKED BY:	BMU
CAD I.D.:	FJ220014-PGD-PLANS

PROJECT:
VERANO SOUTH POD G
PLAT NO. 2, REPLAT ONE
 FOR
13th FLOOR HOMES

PORT SAINT LUCIE
 FLORIDA

THOMAS ENGINEERING GROUP
 PEBWORTH PROFESSIONAL PLAZA
 125 W. INDIANTOWN RD., SUITE 206
 JUPITER, FL 33468
 PH: (561) 203-7503
 FX: (561) 203-7721
 www.ThomasEngineeringGroup.com

BRANDON UEMER
 No. 68345
 PROFESSIONAL ENGINEER
 February 1, 2023
 FLORIDA BUSINESS REGISTRATION No. 27528

SHEET TITLE:
PGD PLAN
 SHEET NUMBER:
C-04

Prepared by: Wednesday, February 01, 2023, 3:15 PM by: Michael, Luperfieri
 Reviewed by: Thursday, February 02, 2023, 10:00 AM by: Michael, Luperfieri
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ENGINEERING LEGEND

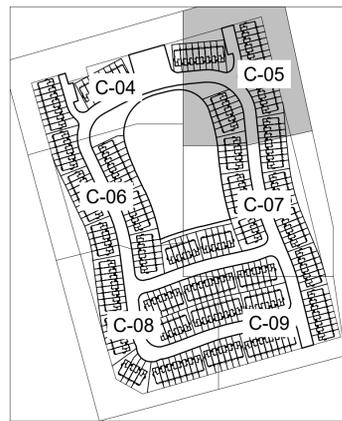
WATER MAIN	WM
STORM SEWER	S
SANITARY SEWER MAIN	S
FORCE MAIN	FM
CATCH BASIN	(Symbol)
MANHOLE	(Symbol)
PROPOSED ELEVATION	(Symbol)
FIRE HYDRANT	(Symbol)
DECORATIVE LIGHTING	(Symbol)
RIGHT OF WAY / CUE / UE	(Symbol)
WATER SERVICE	(Symbol)
SEWER SERVICE	(Symbol)
FINISH FLOOR	26.45
24" STOP BAR AND STOP SIGN	(Symbol)
SIDEWALK	(Symbol)

CONSTRUCTION NOTES:

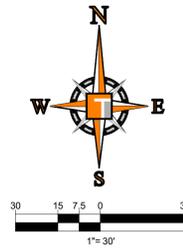
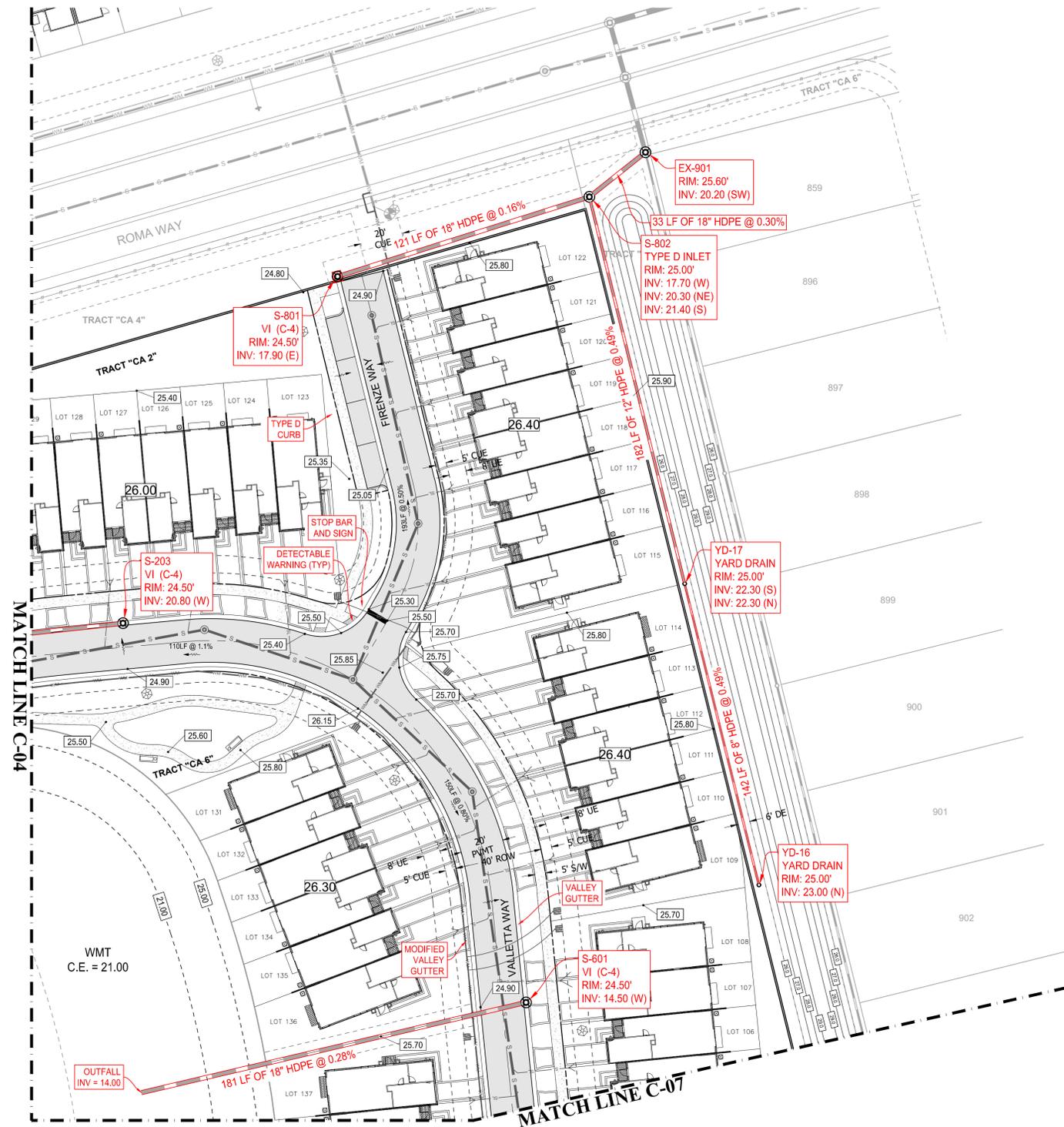
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BASIN SUMMARY

BASIN #	Minimum Road	Minimum Berm	Minimum Finish Floor
2A	24.5 (NAVD)	24.5(NAVD)	26.0(NAVD)



KEYMAP



THOMAS ENGINEERING GROUP
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 6800 NW 31ST AVENUE | 4950 W. KENNEDY BLVD. | 125 W INDIANTOWN RD.
 JUPITER, FL 33468 | JUPITER, FL 33468 | JUPITER, FL 33468
 P: 561-203-7000 | P: 561-203-7100 | P: 561-203-7603
 WWW.THOMASENGINEERINGGROUP.COM

REV.	DATE	REVISIONS	COMMENT	BY

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PROJECT No.	FJ220014
DRAWN BY:	MJL
CHECKED BY:	BMU
CAD I.D.:	FJ220014-PGD-PLANS

PROJECT:
VERANO SOUTH
POD G
PLAT NO. 2, REPLAT ONE
 FOR
13th FLOOR HOMES
 PORT SAINT LUCIE
 FLORIDA

THOMAS ENGINEERING GROUP
 PEBWORTH PROFESSIONAL PLAZA
 125 W. INDIANTOWN RD, SUITE 206
 JUPITER, FL 33468
 PH: (561) 203-7503
 FX: (561) 203-7721
 www.ThomasEngineeringGroup.com

BRANDON UEMER
 No. 68345
 PROFESSIONAL ENGINEER
 February 1, 2023
 FLORIDA LICENSE No. 68345
 FLORIDA BUSINESS REGISTRATION No. 27528

SHEET TITLE:
PGD PLAN
 SHEET NUMBER:
C-05
 PORT ST. LUCIE PROJECT NO: P22-232

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ENGINEERING LEGEND

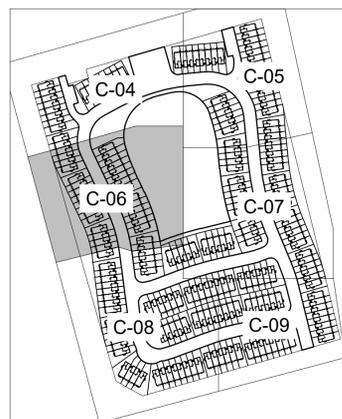
WATER MAIN	WM
STORM SEWER	SS
SANITARY SEWER MAIN	S
FORCE MAIN	FM
CATCH BASIN	CB
MANHOLE	MH
PROPOSED ELEVATION	PE
FIRE HYDRANT	FH
DECORATIVE LIGHTING	DL
RIGHT OF WAY / CUE / UE	ROW / CUE / UE
WATER SERVICE	WS
SEWER SERVICE	SS
FINISH FLOOR	FF
24" STOP BAR AND STOP SIGN	SB
SIDEWALK	SW

CONSTRUCTION NOTES:

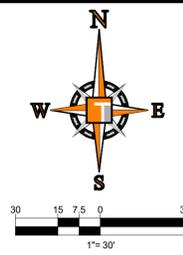
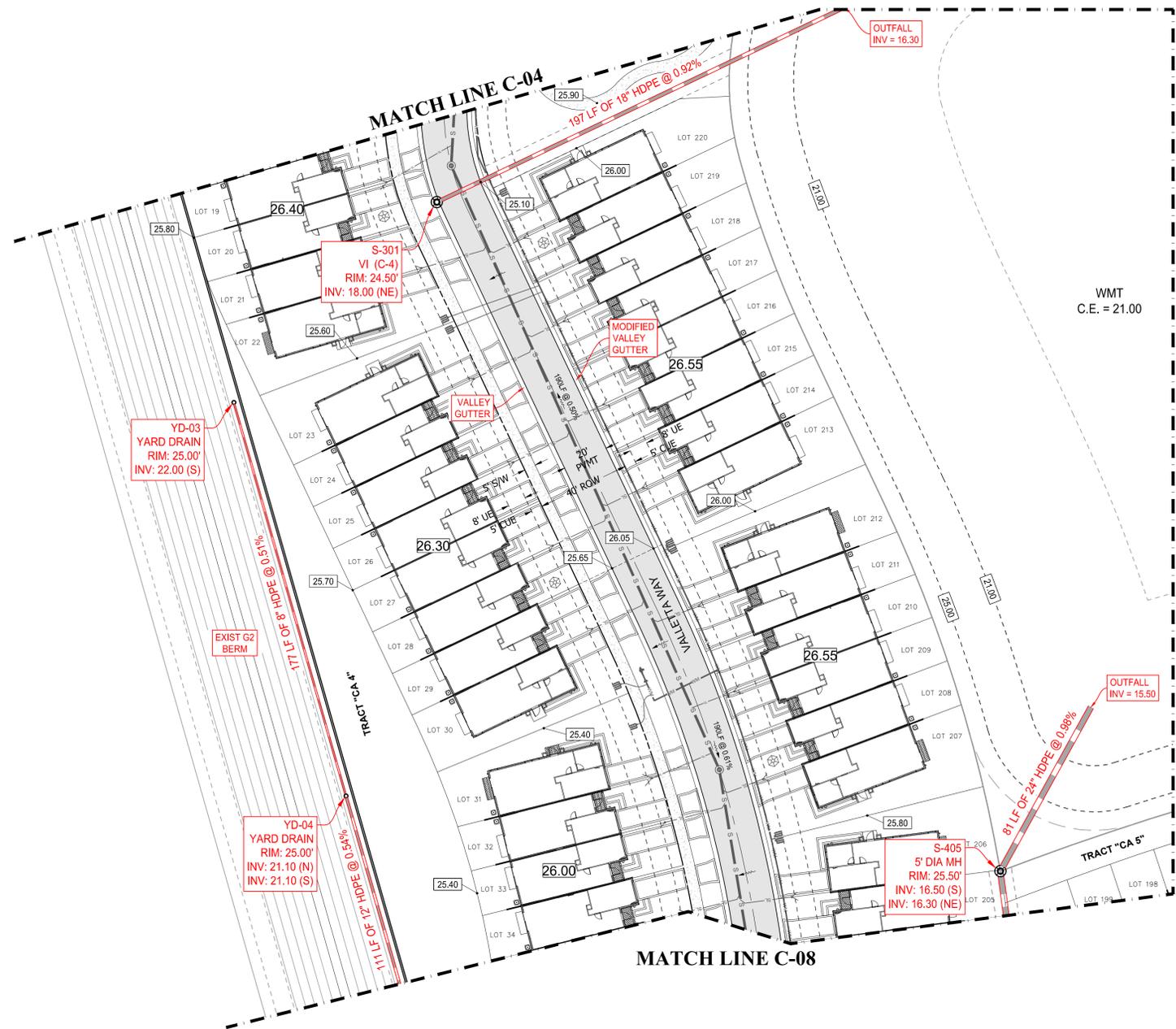
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BASIN SUMMARY

BASIN #	Minimum Road	Minimum Berm	Minimum Finish Floor
2A	24.5 (NAVD)	24.5(NAVD)	26.0(NAVD)



KEYMAP



THOMAS ENGINEERING GROUP
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 6500 NW 31ST AVENUE | 4950 W. KENNEDY BLVD. | 125 W INDIANTOWN RD.
 MIAMI, FL 33167 | TAMPA, FL 33609 | JUPITER, FL 33458
 P: 561-203-7503 | P: 813-379-4100 | P: 561-203-7503
 WWW.THOMASENGINEERINGGROUP.COM

REV.	DATE	REVISIONS	COMMENT	BY

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 www.callsunshine.com

PROJECT No.:	FJ220014
DRAWN BY:	MIL
CHECKED BY:	BMU
CAD I.D.:	FJ220014-PGD-PLANS

PROJECT:
VERANO SOUTH
POD G
PLAT NO. 2, REPLAT ONE
 FOR
13th FLOOR HOMES
 PORT SAINT LUCIE
 FLORIDA

THOMAS ENGINEERING GROUP
 PEBWORTH PROFESSIONAL PLAZA
 125 W. INDIANTOWN RD, SUITE 206
 JUPITER, FL 33458
 PH: (561) 203-7503
 FX: (561) 203-7721
 www.ThomasEngineeringGroup.com

BRANDON UEMER
 No. 68345
 PROFESSIONAL ENGINEER
 February 1, 2023
 FLORIDA LICENSE No. 68345
 FLORIDA BUSINESS REGISTRATION No. 27528

SHEET TITLE:
PGD PLAN
 SHEET NUMBER:
C-06

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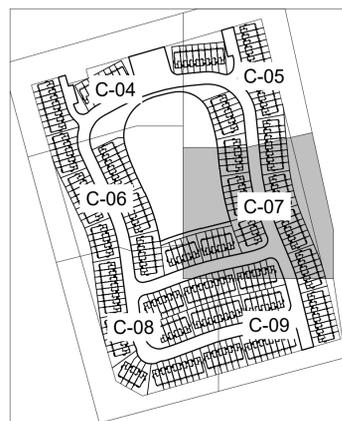
ENGINEERING LEGEND

WATER MAIN	WM
STORM SEWER	SS
SANITARY SEWER MAIN	S
FORCE MAIN	FM
CATCH BASIN	CB
MANHOLE	MH
PROPOSED ELEVATION	PE
FIRE HYDRANT	FH
DECORATIVE LIGHTING	DL
RIGHT OF WAY / CUE / UE	ROW / CUE / UE
WATER SERVICE	WS
SEWER SERVICE	SS
FINISH FLOOR	FF
24" STOP BAR AND STOP SIGN	SBSS
SIDEWALK	SW

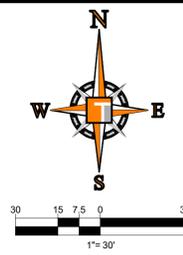
CONSTRUCTION NOTES:

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BASIN #	Minimum Road	Minimum Berm	Minimum Finish Floor
2A	24.5 (NAVD)	24.5 (NAVD)	26.0 (NAVD)



KEYMAP



THOMAS ENGINEERING GROUP
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 6500 NW 31ST AVENUE | 4950 W. KENNEDY BLVD. | 125 W INDIANTOWN RD.
 JUPITER, FL 33468 | JUPITER, FL 33468 | JUPITER, FL 33468
 P: 561-203-7503 | P: 561-203-7503 | P: 561-203-7503

REV.	DATE	COMMENT	BY

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PROJECT No.:	FJ220014
DRAWN BY:	MJL
CHECKED BY:	BMU
CAD I.D.:	FJ220014-PGD-PLANS

PROJECT:
VERANO SOUTH
POD G
PLAT NO. 2, REPLAT ONE
 FOR
13th FLOOR HOMES
 PORT SAINT LUCIE
 FLORIDA

THOMAS ENGINEERING GROUP
 PEBWORTH PROFESSIONAL PLAZA
 125 W. INDIANTOWN RD, SUITE 206
 JUPITER, FL 33468
 PH: (561) 203-7503
 FX: (561) 203-7721
www.ThomasEngineeringGroup.com

BRANDON UEMER
 No. 68345
 PROFESSIONAL ENGINEER
 February 1, 2023
 FLORIDA LICENSE No. 68345
 FLORIDA BUSINESS REGISTRATION No. 27528

SHEET TITLE:
PGD PLAN
 SHEET NUMBER:
C-07
 PORT ST. LUCIE PROJECT No. P22-232

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 File Path: \\s:\projects\11-652-36J\11-652-36J-PGD-PLANS\C-07-PGD-PLAN

ENGINEERING LEGEND

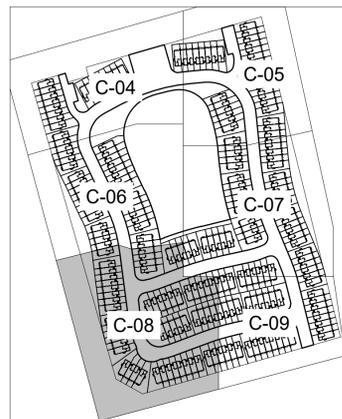
WATER MAIN	WM
STORM SEWER	SS
SANITARY SEWER MAIN	S
FORCE MAIN	FM
CATCH BASIN	
MANHOLE	
PROPOSED ELEVATION	
FIRE HYDRANT	
DECORATIVE LIGHTING	
RIGHT OF WAY / CUE / UE	
WATER SERVICE	
SEWER SERVICE	
FINISH FLOOR	26.45
24" STOP BAR AND STOP SIGN	
SIDEWALK	

CONSTRUCTION NOTES:

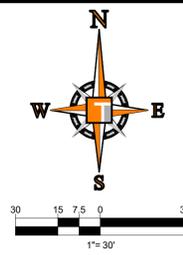
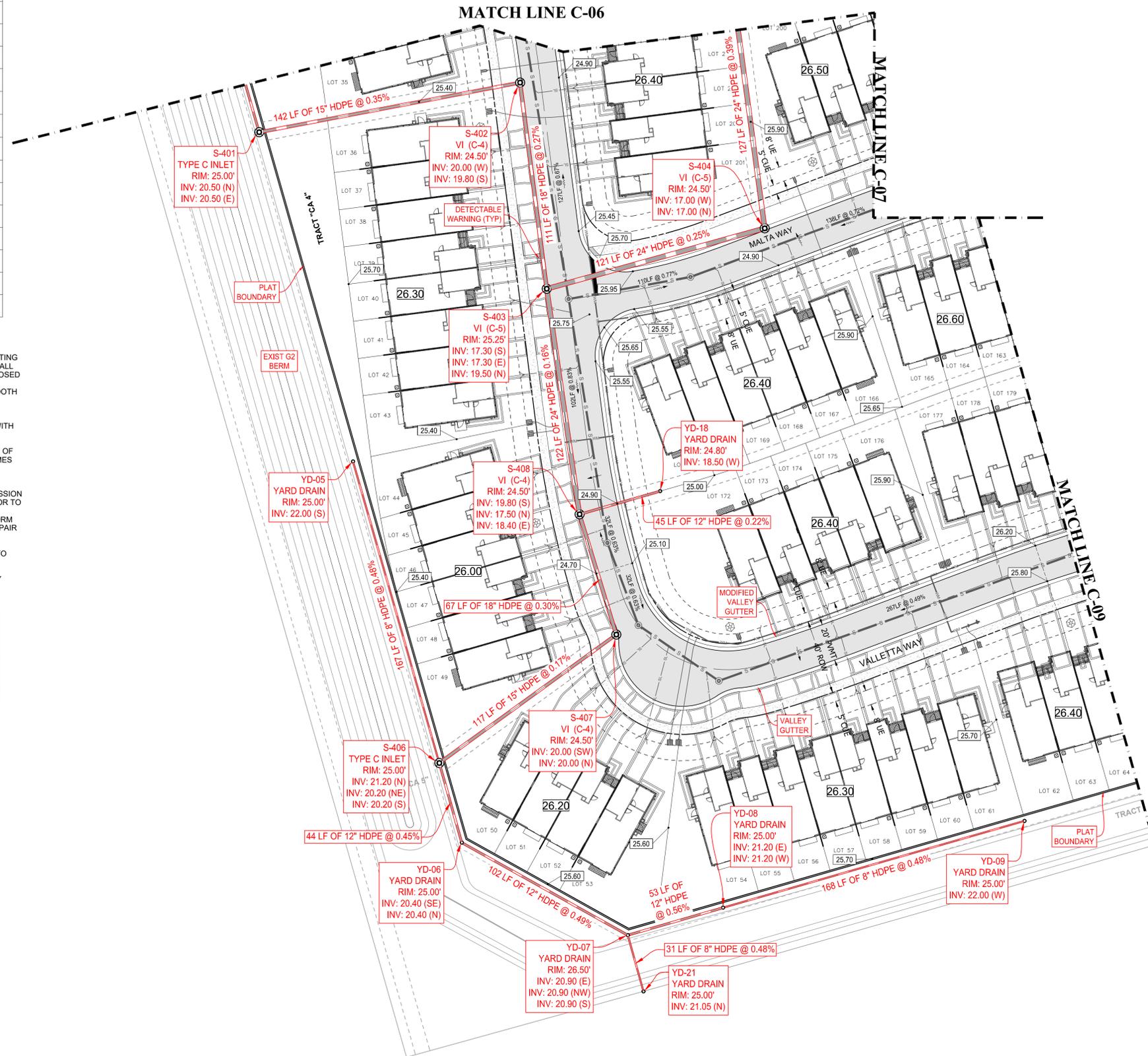
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BASIN SUMMARY

BASIN #	Minimum Road	Minimum Berm	Minimum Finish Floor
2A	24.5 (NAVD)	24.5(NAVD)	26.0(NAVD)



KEYMAP



THOMAS ENGINEERING GROUP

CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

6500 NW 31ST AVENUE
SUITE 100
JUPITER, FL 33468
P: 561-203-7000

4950 W. KENNEDY BLVD.
SUITE 100
JUPITER, FL 33468
P: 561-203-7000

REV.	DATE	REVISIONS	COMMENT	BY

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www.callsunshine.com

PROJECT No.	FJ220014
DRAWN BY:	MJL
CHECKED BY:	BMU
CAD I.D.:	FJ220014-PGD-PLANS

PROJECT:

**VERANO SOUTH
POD G
PLAT NO. 2, REPLAT ONE**

FOR

13th FLOOR HOMES

PORT SAINT LUCIE
FLORIDA

THOMAS ENGINEERING GROUP

PEBORTH PROFESSIONAL PLAZA
125 W. INDIANTOWN RD, SUITE 206
JUPITER, FL 33468
PH: (561) 203-7503
FX: (561) 203-7721
www.ThomasEngineeringGroup.com

BRANDON UEMER

No. 68345

PROFESSIONAL ENGINEER

February 1, 2023

FLORIDA LICENSE No. 68345

FLORIDA BUSINESS REGISTRATION No. 27528

SHEET TITLE:

PGD PLAN

SHEET NUMBER:

C-08

PORT ST. LUCIE PROJECT No. P22-232

Printed on Wednesday, February 01, 2023, at 1:14 PM by Michael Leggett
C:\Users\mleggett\OneDrive\Documents\2023\11-652-36J\PGD-PLANS\C-08 PGD PLAN

ENGINEERING LEGEND

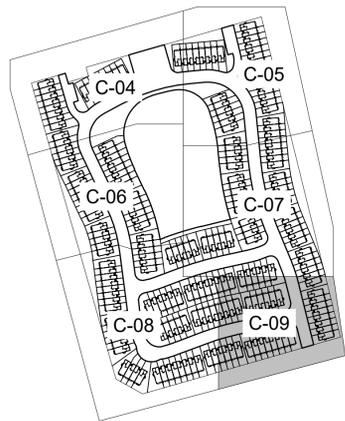
WATER MAIN	WM WM
STORM SEWER	SS SS
SANITARY SEWER MAIN	S S
FORCE MAIN	FM FM
CATCH BASIN	
MANHOLE	
PROPOSED ELEVATION	
FIRE HYDRANT	
DECORATIVE LIGHTING	
RIGHT OF WAY / CUE / UE	
WATER SERVICE	
SEWER SERVICE	
FINISH FLOOR	26.45
24" STOP BAR AND STOP SIGN	
SIDEWALK	

CONSTRUCTION NOTES:

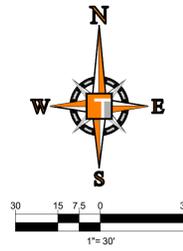
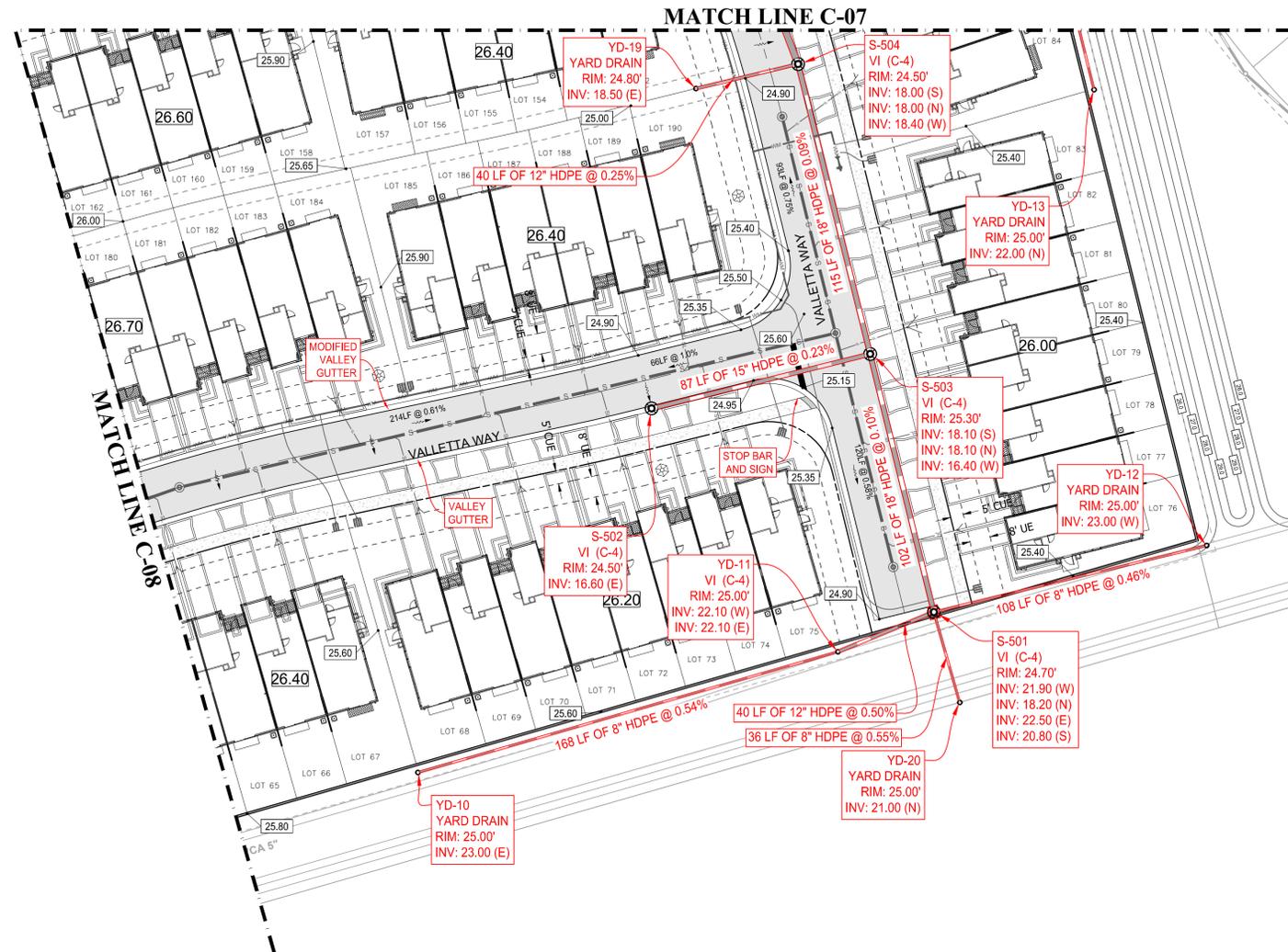
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- THE CONTRACTOR SHALL NOT ENCROACH ONTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.

BASIN SUMMARY

BASIN #	Minimum Road	Minimum Berm	Minimum Finish Floor
2A	24.5 (NAVD)	24.5(NAVD)	26.0(NAVD)



KEYMAP



THOMAS ENGINEERING GROUP
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 6500 NW 31ST AVENUE | 4950 W. KENNEDY BLVD. | 125 W INDIANTOWN RD.
 JUPITER, FL 33468 | JUPITER, FL 33468 | JUPITER, FL 33468
 P: 561-203-7000 | P: 561-203-7000 | P: 561-203-7000
 WWW.THOMASENGINEERINGGROUP.COM

REVISIONS			
REV.	DATE	COMMENT	BY

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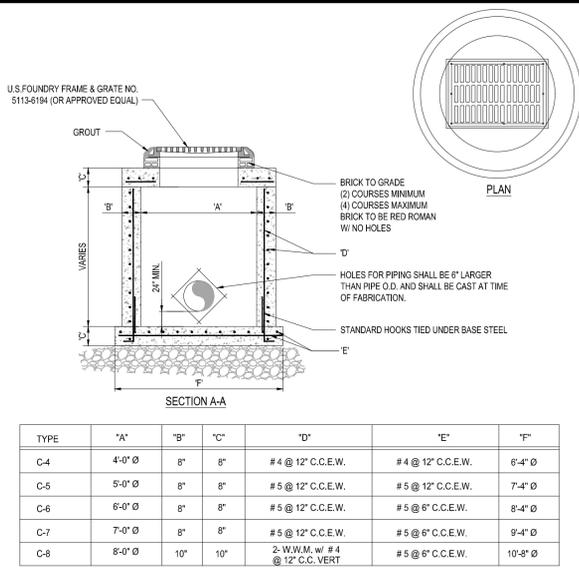
PROJECT No.	FJ220014
DRAWN BY:	MJM
CHECKED BY:	BMU
CAD I.D.:	FJ220014-PGD-PLANS

PROJECT:
VERANO SOUTH POD G PLAT NO. 2, REPLAT ONE
 FOR
13th FLOOR HOMES
 PORT SAINT LUCIE FLORIDA

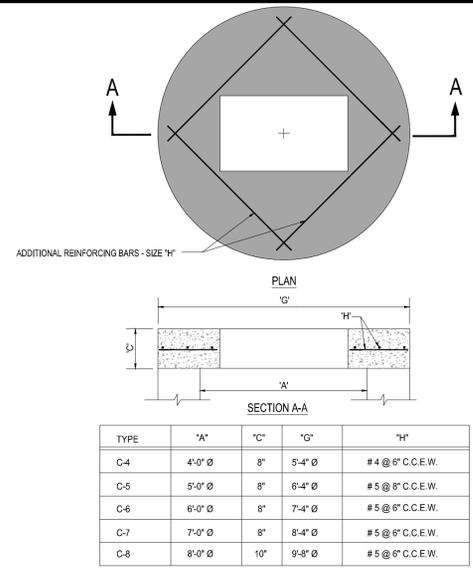
THOMAS ENGINEERING GROUP
 PEBWORTH PROFESSIONAL PLAZA
 125 W. INDIANTOWN RD., SUITE 206
 JUPITER, FL 33468
 PH: (561) 203-7503
 FX: (561) 203-7721
 www.ThomasEngineeringGroup.com

BRANDON UEMER
 No. 68345
 PROFESSIONAL ENGINEER
 February 1, 2023
 FLORIDA LICENSE No. 68345
 FLORIDA BUSINESS REGISTRATION No. 27528

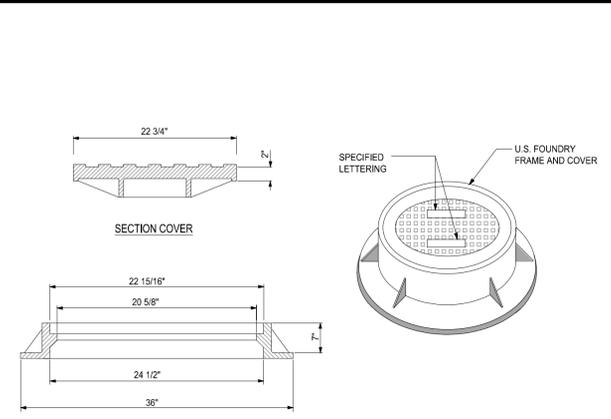
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 SHEET NUMBER:
C-09
 PORT ST. LUCIE PROJECT NO: P22-232



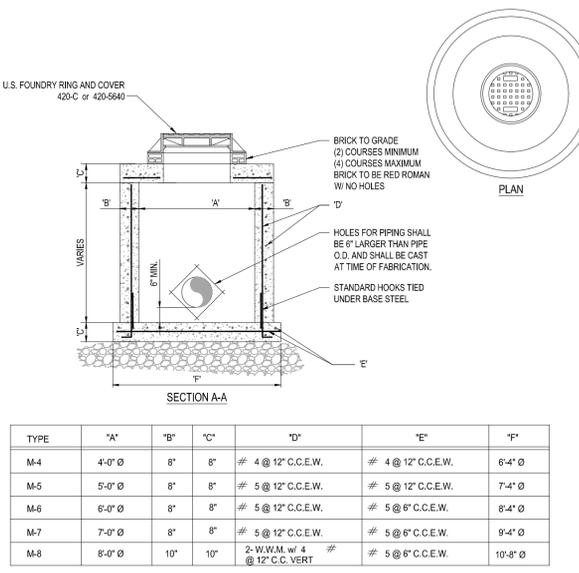
1 PRECAST CIRCULAR VALLEY INLET
SCALE: NONE



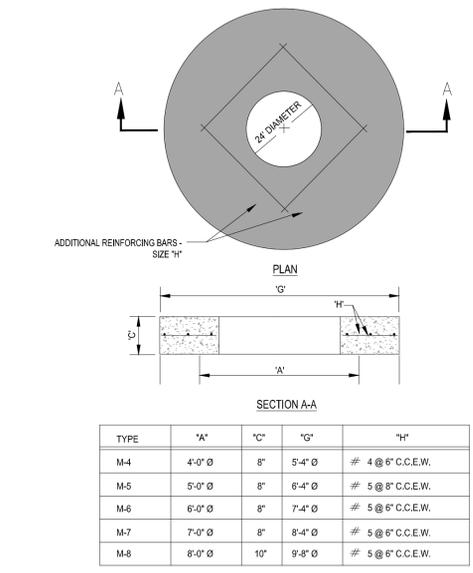
2 PRECAST CONCRETE-TOP SLAB
SCALE: NONE



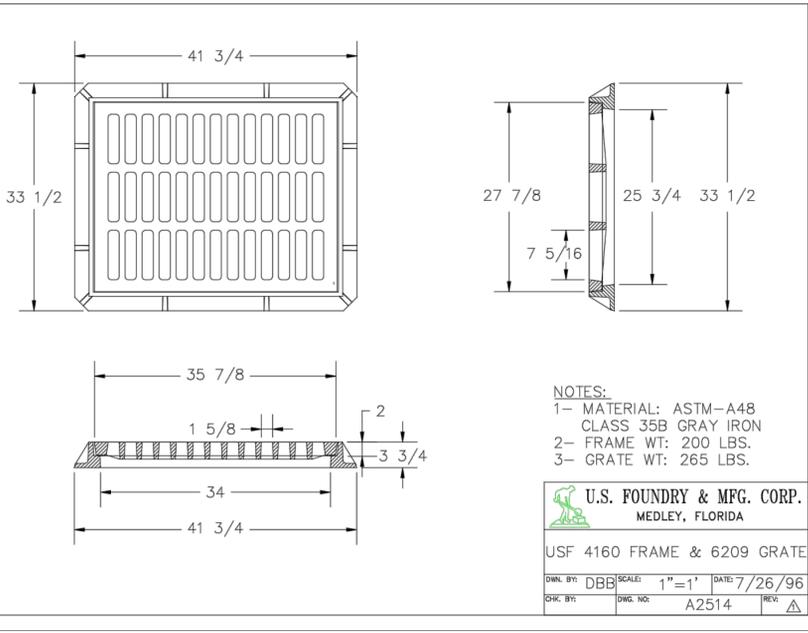
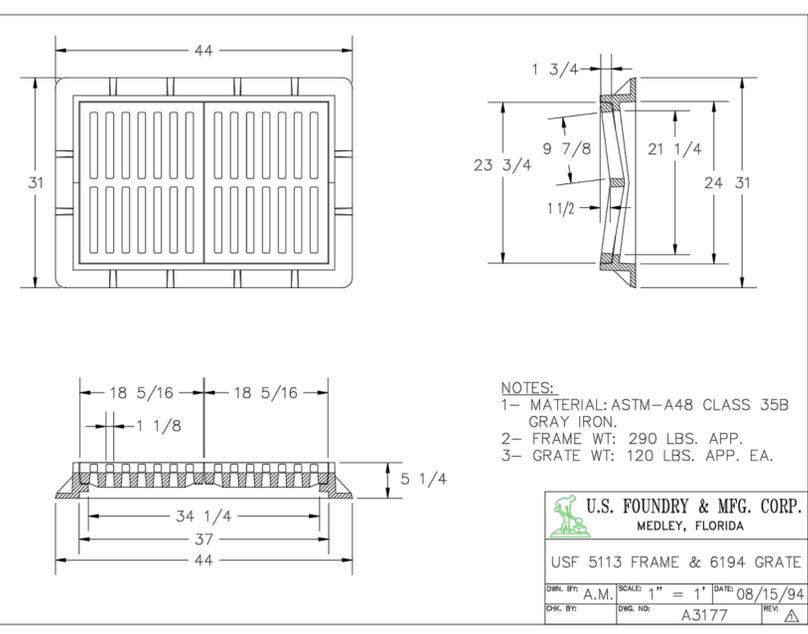
3 MANHOLE FRAME DETAIL
SCALE: NONE



4 PRECAST CIRCULAR DRAINAGE MANHOLE
SCALE: NONE



5 PRECAST CONCRETE-TOP SLAB FOR DRAINAGE MANHOLES
SCALE: NONE



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WWW.THOMASENGINEERINGGROUP.COM

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JUPITER, FL 33458
PH: (561) 203-7503
FX: (561) 203-7721
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DRAWN BY:	MJL
CHECKED BY:	BMU
CAD I.D.:	FJ220014-PGD-DETAILS

PROJECT:
**VERANO SOUTH
POD G
PLAT NO. 2, REPLAT ONE**

FOR
13th FLOOR HOMES

PORT SAINT LUCIE
FLORIDA

THOMAS ENGINEERING GROUP

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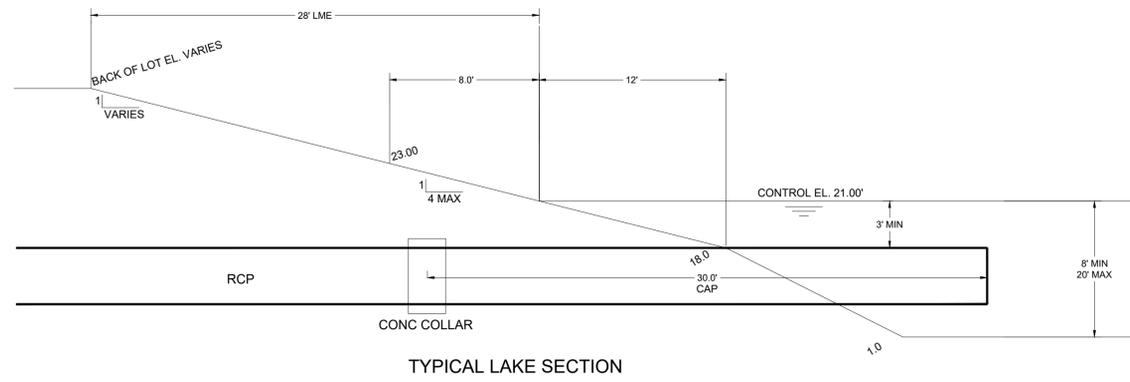
BRANDON UEMER
No. 68345
PROFESSIONAL ENGINEER
February 1, 2023
FLORIDA BUSINESS REGISTRATION No. 27528

SHEET TITLE:
PGD DETAILS

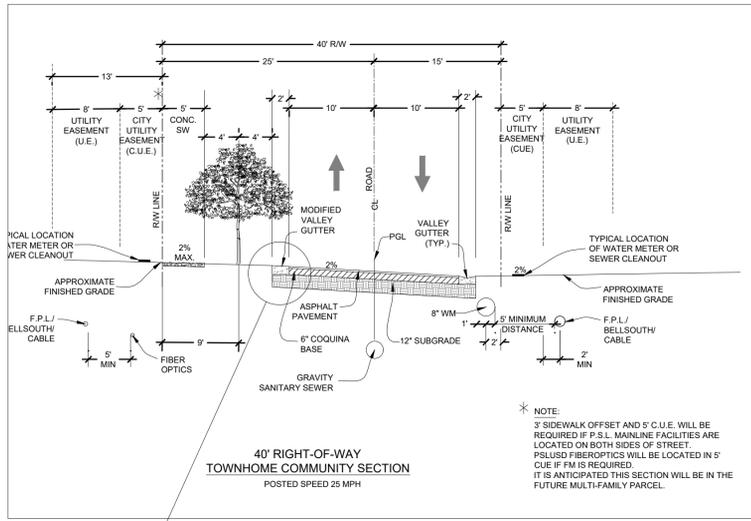
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PORT ST. LUCIE PROJECT No. P22-232

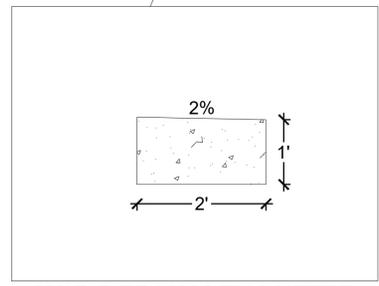
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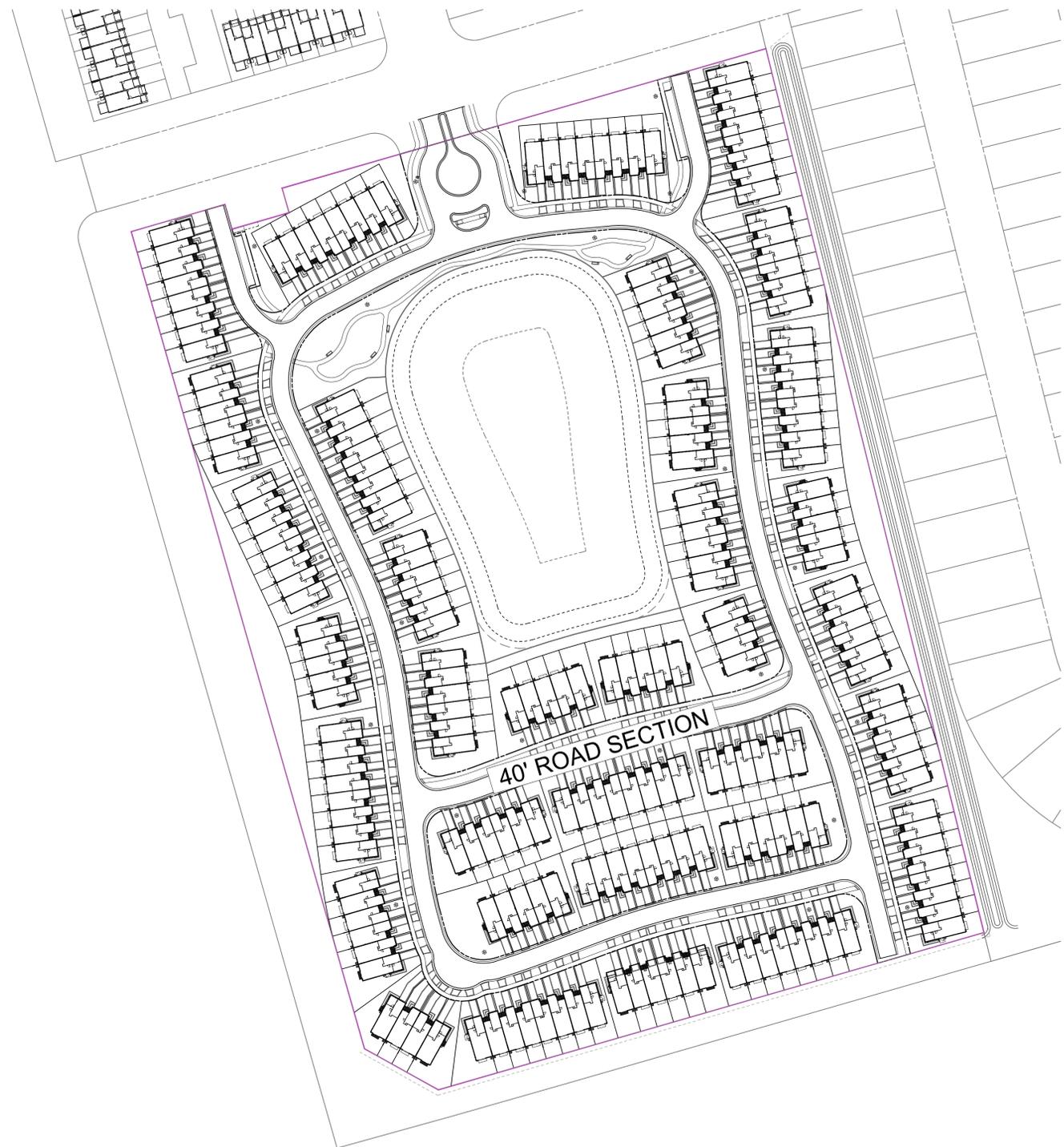
TYPICAL LAKE SECTION



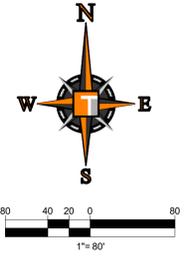
* NOTE:
 5' SIDEWALK OFFSET AND 5' C.U.E. WILL BE REQUIRED IF P.S.L. MAINLINE FACILITIES ARE LOCATED ON BOTH SIDES OF STREET.
 PSLUSD FIBEROPTICS WILL BE LOCATED IN 5' CUE IF FM IS REQUIRED.
 IT IS ANTICIPATED THIS SECTION WILL BE IN THE FUTURE MULTI-FAMILY PARCEL.



MODIFIED VALLEY GUTTER



SECTIONS LOCATION MAP



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 MIAMI, FL 33167 | TAMPA, FL 33609 | JUPITER, FL 33458
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PROJECT No.: FJ220014
 DRAWN BY: MJL
 CHECKED BY: BMU
 CAD I.D.: FJ220014-PGD-SECTIONS

PROJECT:
**VERANO SOUTH
 POD G
 PLAT NO. 2, REPLAT ONE**
 FOR
13th FLOOR HOMES

PORT SAINT LUCIE
 FLORIDA

THOMAS
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 February 1, 2023
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 FLORIDA BUSINESS AND PROFESSIONAL REGULATION BOARD No. 27528

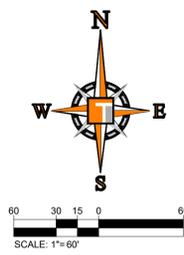
SHEET TITLE:
PGD SECTIONS

SHEET NUMBER:
C-11B

PORT ST. LUCIE PROJECT NO: P22-232

PSLUSD PROJECT NO: 11-652-36J
 ELEVATIONS BASED ON NAVD '88

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 P:\Projects\11-652-36J\11-652-36J-PGD-SECTIONS\C-11B_PGD_SECTIONS



SAMPLE POINT DISTANCES

1 TO 2	243 LF
2 TO 3	569 LF
3 TO 4	655 LF
3 TO 5	468 LF
4 TO 5	192 LF
5 TO 6	564 LF
6 TO 7	248 LF
6 TO 2	491 LF

TOTAL UTILITY LENGHTS FOR PROJECT

3,691 LF OF 8" WM

3,434 LF OF 8" SANITARY

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PROJECT No.:	FJ220014
DRAWN BY:	MJL
CHECKED BY:	BMU
CAD I.D.:	FJ220014-MASTER-UTIL

PROJECT:

**VERANO SOUTH
POD G
PLAT NO. 2, REPLAT ONE**

FOR

13th FLOOR HOMES

PORT SAINT LUCIE
FLORIDA

THOMAS
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BRANDON UEMER
No. 68345

PROFESSIONAL ENGINEER
February 1, 2023
FLORIDA BUSINESS REGISTRATION No. 27528

SHEET TITLE:
MASTER UTILITY PLAN

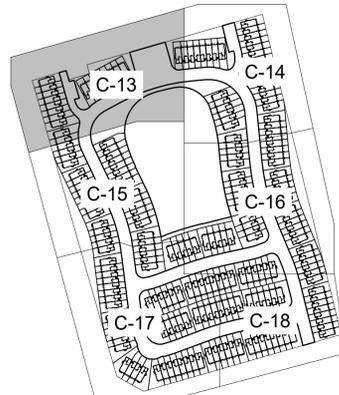
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PORT ST. LUCIE PROJECT NO: P22-232

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ENGINEERING LEGEND

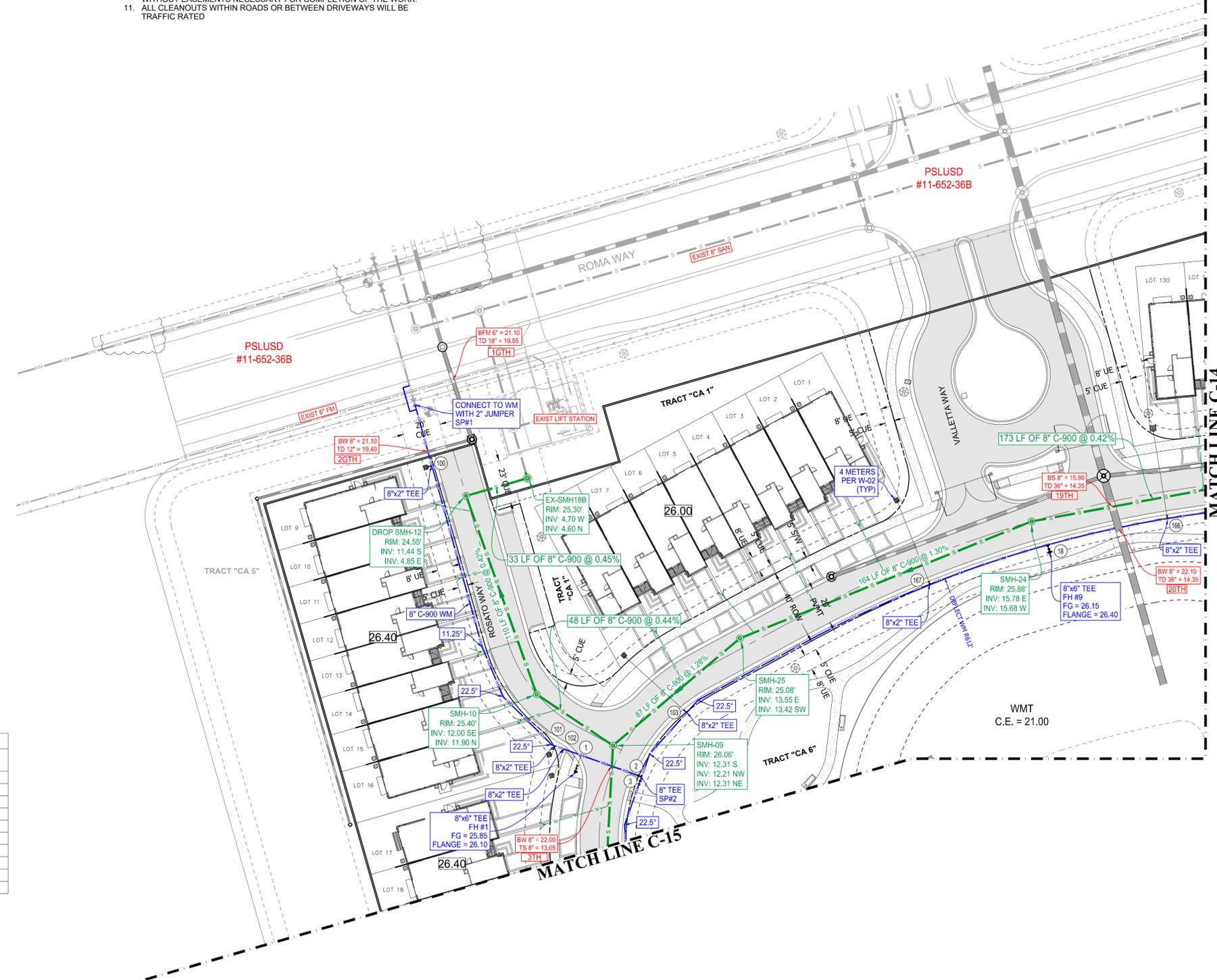
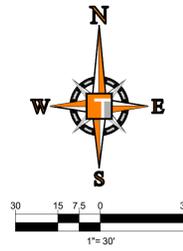
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STORM SEWER	
SANITARY SEWER MAIN	
SANITARY SEWER LATERAL	
FORCEMAIN	
CATCH BASIN	
MANHOLE	
FIRE HYDRANT	
DECORATIVE LIGHTING	
RIGHT OF WAY	
UTILITY EASEMENT	
WATER SERVICE	
SEWER SERVICE	
FIBER OPTIC LINE	
VALVE NUMBER	



KEYMAP

CONSTRUCTION NOTES:

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PLAN ID	SIZE (IN)	TYPE	FLUID	MANUFACT	MODEL	DATE SET	# TURNS	PSLUSD #
1	6	GATE	WATER					
2	8	GATE	WATER					
3	8	GATE	WATER					
100	2	GATE	WATER					
101	2	GATE	WATER					
102	2	GATE	WATER					
103	2	GATE	WATER					
166	2	GATE	WATER					
167	6	GATE	WATER					
18	2	GATE	WATER					

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 JUPITER, FL 33468 | TAMPA, FL 33609 | JUPITER, FL 33468
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PROJECT No.:	FJ220014
DRAWN BY:	MJL
CHECKED BY:	BMU
CAD I.D.:	FJ220014-UTILITY-PLANS

PROJECT:
VERANO SOUTH
POD G
PLAT NO. 2, REPLAT ONE
 FOR
13th FLOOR HOMES
 PORT SAINT LUCIE
 FLORIDA

THOMAS ENGINEERING GROUP
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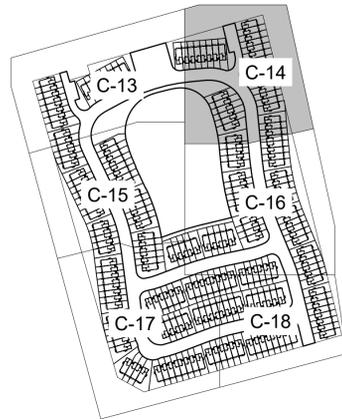
BRANDON UEMER
 No. 68345
 PROFESSIONAL ENGINEER
 February 1, 2023
 Florida License No. 68345
 FLORIDA BOARD OF PROFESSIONAL ENGINEERS, No. 27528

SHEET TITLE:
UTILITY PLAN
 SHEET NUMBER:
C-13
 PORT ST. LUCIE PROJECT NO: P22-232

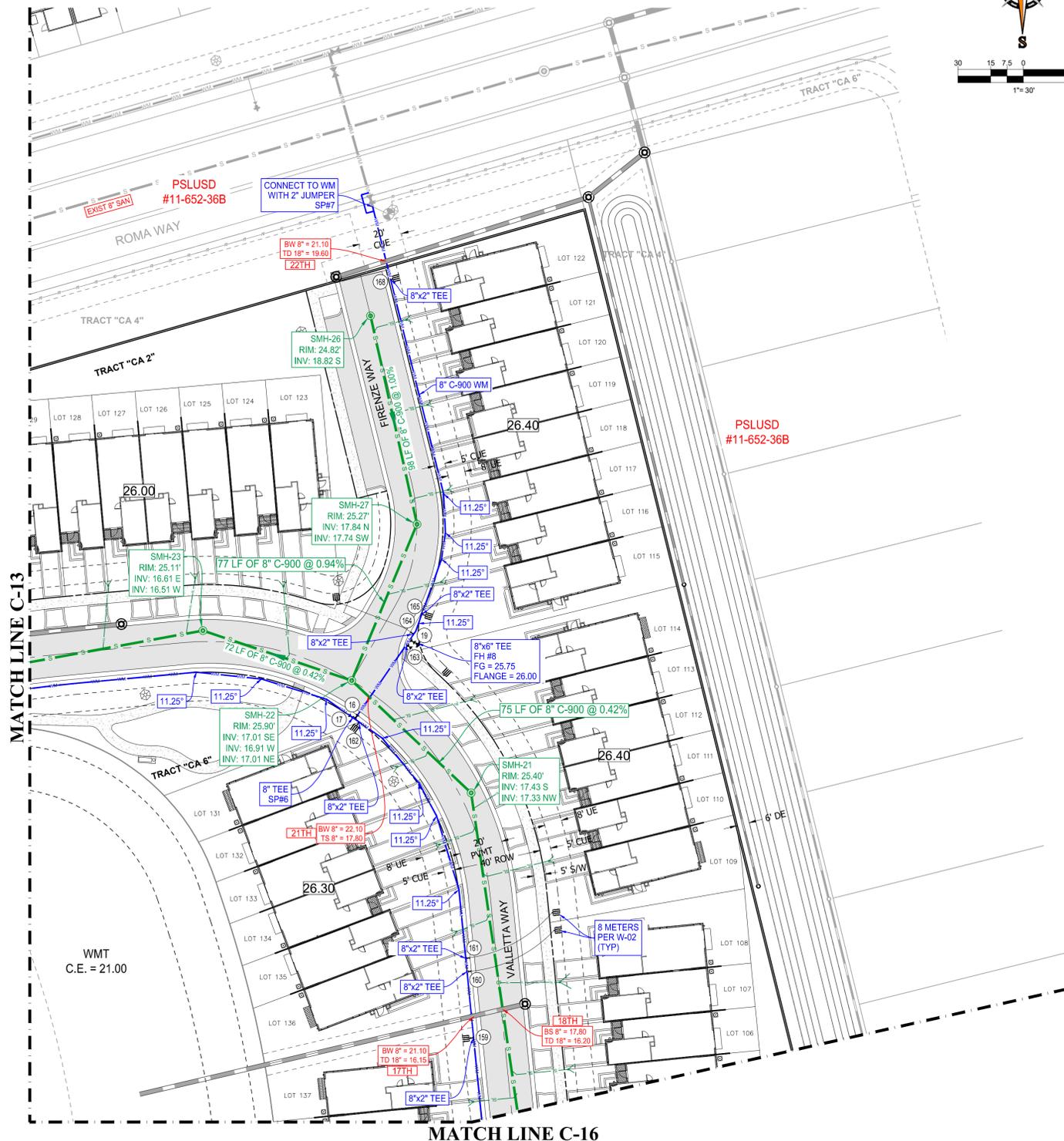
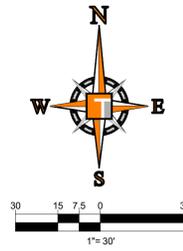
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ENGINEERING LEGEND

WATER MAIN	
STORM SEWER	
SANITARY SEWER MAIN	
SANITARY SEWER LATERAL	
FORCEMAIN	
CATCH BASIN	
MANHOLE	
FIRE HYDRANT	
DECORATIVE LIGHTING	
RIGHT OF WAY	
UTILITY EASEMENT	
WATER SERVICE	
SEWER SERVICE	
FIBER OPTIC LINE	
VALVE NUMBER	



KEYMAP



VALVE TABLE

PLAN ID	SIZE (IN)	TYPE	FLUID	MANUFACT	MODEL	DATE SET	# TURNS	PSLUSD #
16	8	GATE	WATER					
17	8	GATE	WATER					
19	6	GATE	WATER					
159	2	GATE	WATER					
160	2	GATE	WATER					
161	2	GATE	WATER					
162	2	GATE	WATER					
163	2	GATE	WATER					
164	2	GATE	WATER					
165	2	GATE	WATER					
168	2	GATE	WATER					

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PROJECT No.	FJ220014
DRAWN BY:	MJL
CHECKED BY:	BMU
CAD I.D.:	FJ220014-UTILITY-PLANS

PROJECT:

**VERANO SOUTH
POD G
PLAT NO. 2, REPLAT ONE**

FOR

13th FLOOR HOMES

PORT SAINT LUCIE
FLORIDA

HOMAS
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BRANDON UEMER
No. 68345

PROFESSIONAL ENGINEER
February 1, 2023
FLORIDA BUSINESS REGISTRATION NO. 27528

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C-14

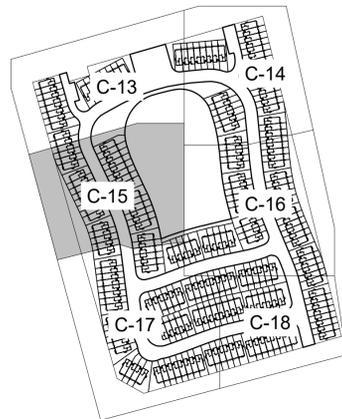
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PSLUSD PROJECT NO: 11-652-36J
ELEVATIONS BASED ON NAVD '88

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ENGINEERING LEGEND

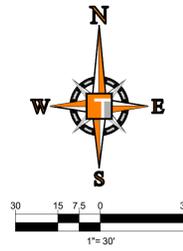
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STORM SEWER	
SANITARY SEWER MAIN	
SANITARY SEWER LATERAL	
FORCEMAIN	
CATCH BASIN	
MANHOLE	
FIRE HYDRANT	
DECORATIVE LIGHTING	
RIGHT OF WAY	
UTILITY EASEMENT	
WATER SERVICE	
SEWER SERVICE	
FIBER OPTIC LINE	
VALVE NUMBER	



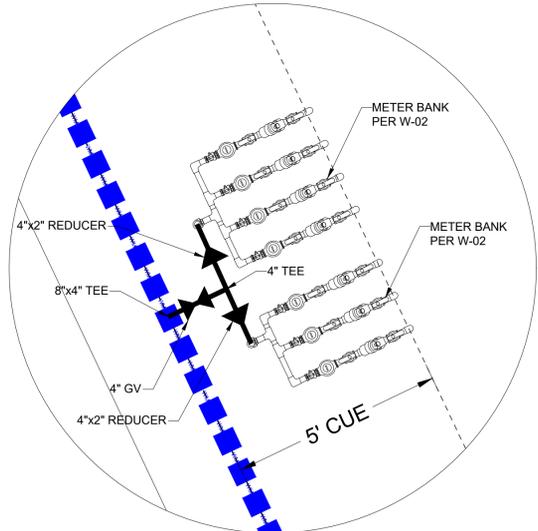
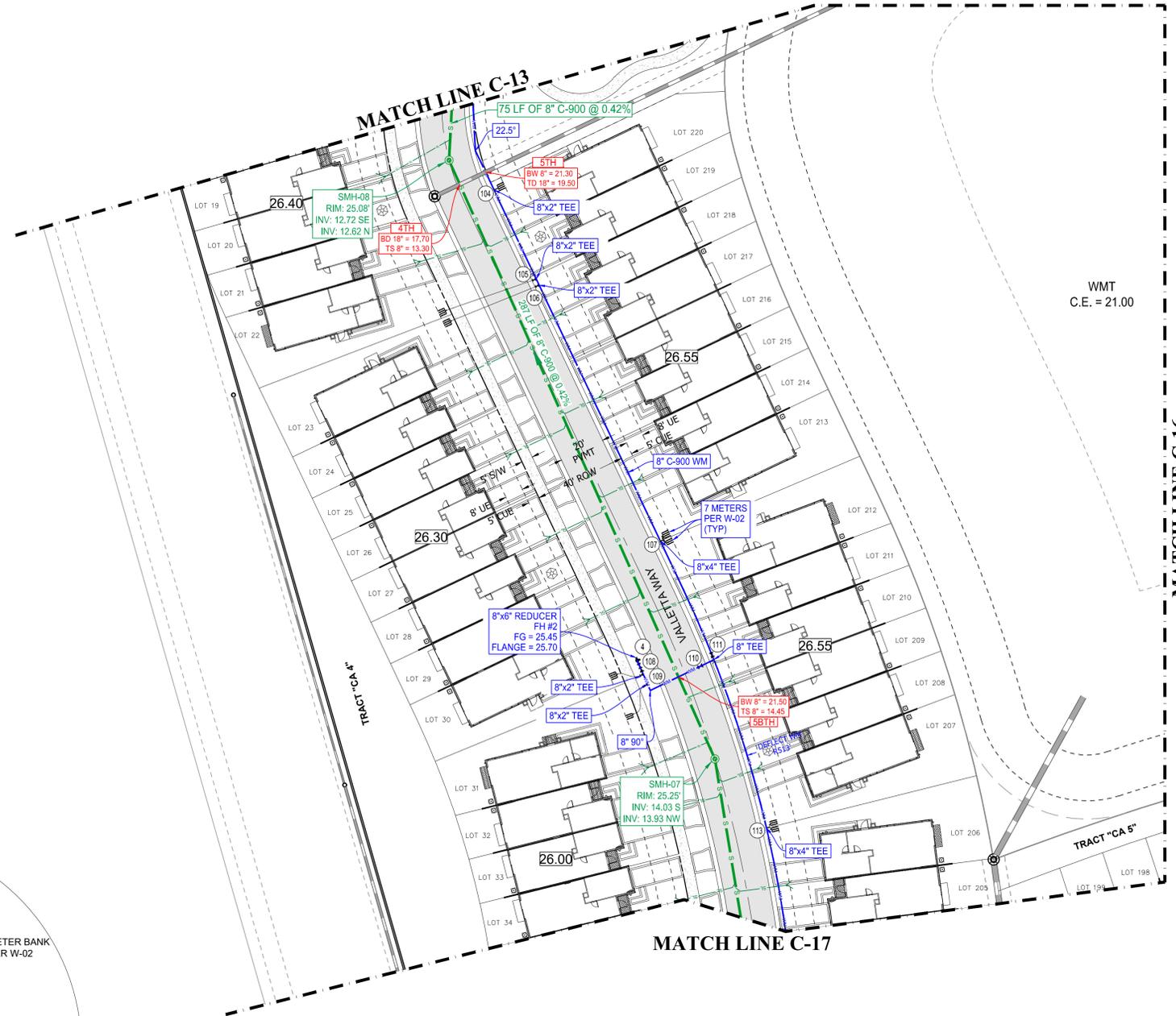
KEYMAP

CONSTRUCTION NOTES:

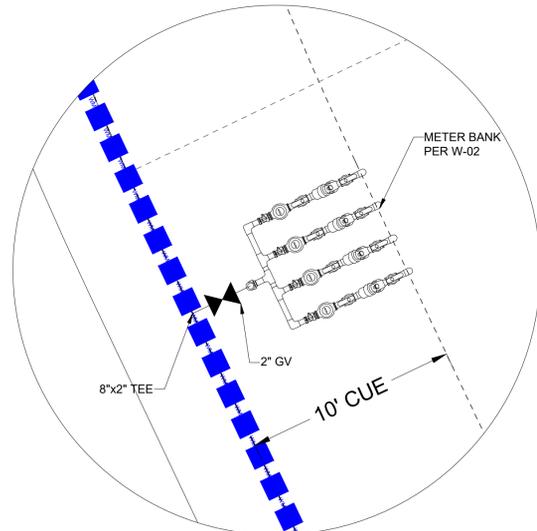
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3. CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DISPOSE PER LOCAL ORDINANCES.
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6. THESE PLANS REFLECT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT THAT ACTUAL PHYSICAL CONDITIONS PREVENT THE APPLICATION OF THESE STANDARDS OR THE PROGRESSION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED AREA.
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8. NOTIFY SUNSHINE STATE ONE CALL (1-800-432-4770) OR (811) PRIOR TO CONSTRUCTION.
9. PROJECT BASED ON DESIGN SURVEY PREPARED BY OTHERS.
10. THE CONTRACTOR SHALL NOT ENCROACH ONTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.
11. ALL CLEANOUTS WITHIN ROADS OR BETWEEN DRIVEWAYS WILL BE TRAFFIC RATED.



PLAN ID	SIZE (IN)	TYPE	FLUID	MANUFACT	MODEL	DATE SET	# TURNS	PSLUSD #
4	6	GATE	WATER					
104	2	GATE	WATER					
105	2	GATE	WATER					
106	2	GATE <td>WATER</td> <td></td> <td></td> <td></td> <td></td> <td></td>	WATER					
107	4	GATE	WATER					
108	2	GATE	WATER					
109	2	GATE	WATER					
110	8	GATE	WATER					
111	8	GATE	WATER					
113	4	GATE	WATER					



TYPICAL MULTIPLE METER CONNECTION



TYPICAL QUAD METER CONNECTION

THOMAS
ENGINEERING GROUP

CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

6500 NW 31ST AVENUE
SUITE 206
JUPITER, FL 33468
P: 561-203-7503
F: 561-203-7503

125 W INDIANTOWN RD.
SUITE 206
JUPITER, FL 33468
P: 561-203-7503
F: 561-203-7503

REV.	DATE	COMMENT	BY:

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PROJECT No.:	FJ220014
DRAWN BY:	MJL
CHECKED BY:	BMU
CAD I.D.:	FJ220014-UTILITY-PLANS

PROJECT:

**VERANO SOUTH
POD G
PLAT NO. 2, REPLAT ONE**

FOR

13th FLOOR HOMES

PORT SAINT LUCIE
FLORIDA

THOMAS
ENGINEERING GROUP

PEBORTH PROFESSIONAL PLAZA
125 W INDIANTOWN RD, SUITE 206
JUPITER, FL 33468
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FX: (561) 203-7721
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BRANDON UEMER
No. 68345

PROFESSIONAL ENGINEER
February 1, 2023
FLORIDA LICENSE No. 68345
FLORIDA BUSINESS REGISTRATION No. 27528

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C-15

PORT ST. LUCIE PROJECT No. P22-232

Printed on Wednesday, February 01, 2023, 2:45 PM by Michael Luperfieri
 File Path: \\s:\projects\11-652-36J\11-652-36J-UTLTY-PLANS\11-652-36J-UTLTY-PLANS-C-15_UTILITY.PLAN

ENGINEERING LEGEND

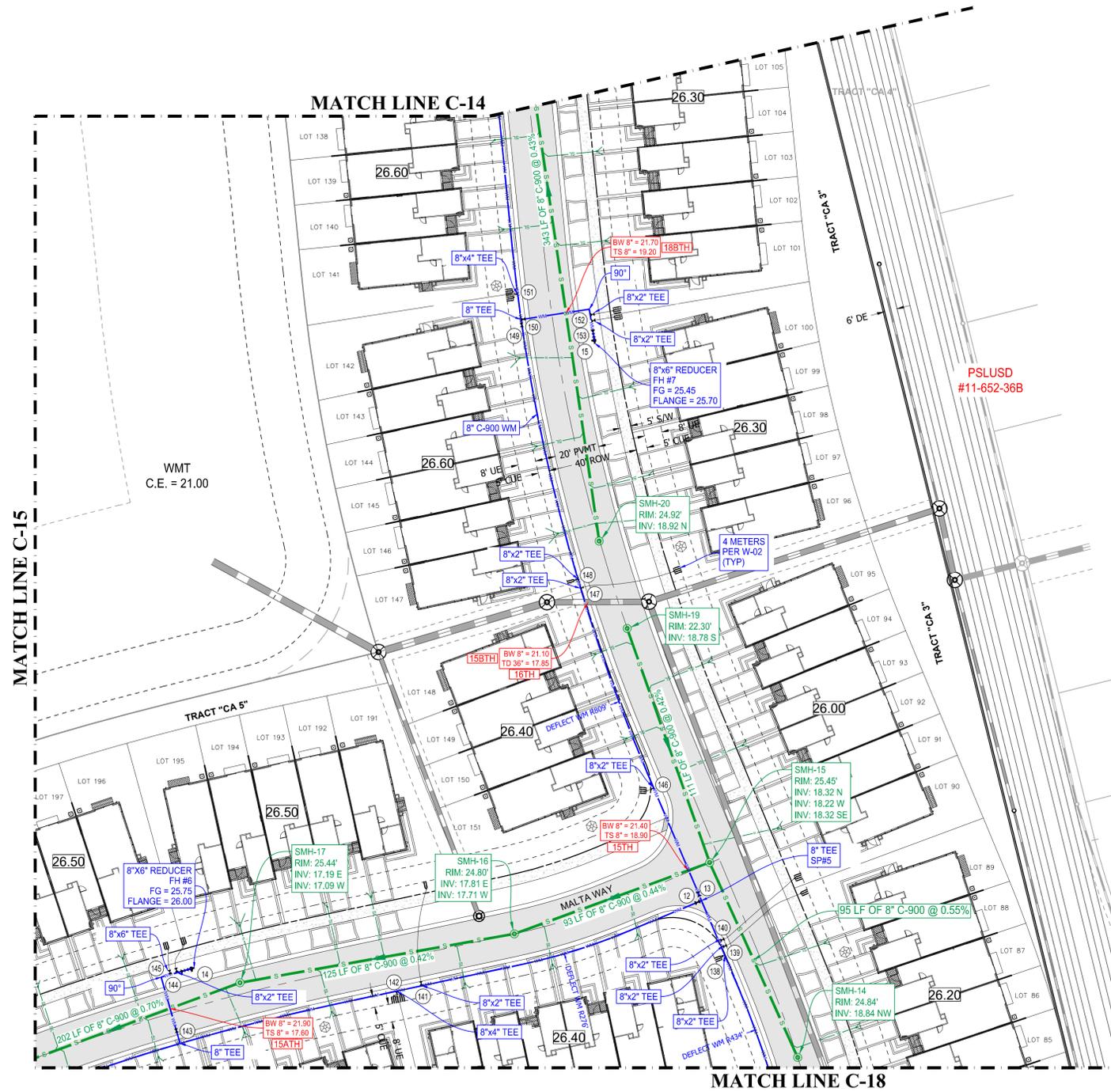
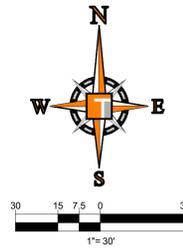
WATER MAIN	
STORM SEWER	
SANITARY SEWER MAIN	
SANITARY SEWER LATERAL	
FORCEMAIN	
CATCH BASIN	
MANHOLE	
FIRE HYDRANT	
DECORATIVE LIGHTING	
RIGHT OF WAY	
UTILITY EASEMENT	
WATER SERVICE	
SEWER SERVICE	
FIBER OPTIC LINE	
VALVE NUMBER	



KEYMAP

CONSTRUCTION NOTES:

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VALVE TABLE

PLAN ID	SIZE (IN)	TYPE	FLUID	MANUFACT	MODEL	DATE SET	# TURNS	PSLUSD #
12	8	GATE	WATER					
13	8	GATE	WATER					
14	6	GATE	WATER					
15	6	GATE	WATER					
138	2	GATE	WATER					
139	2	GATE	WATER					
140	2	GATE	WATER					
141	2	GATE	WATER					
142	4	GATE	WATER					
143	8	GATE	WATER					
144	2	GATE	WATER					
145	2	GATE	WATER					
146	2	GATE	WATER					
147	2	GATE	WATER					
148	2	GATE	WATER					
149	8	GATE	WATER					
150	8	GATE	WATER					
151	4	GATE	WATER					
152	2	GATE	WATER					
153	2	GATE	WATER					

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REV.	DATE	COMMENT	BY

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PROJECT No.:	FJ220014
DRAWN BY:	MJL
CHECKED BY:	BMU
CAD I.D.:	FJ220014-UTILITY-PLANS

PROJECT:
**VERANO SOUTH
 POD G
 PLAT NO. 2, REPLAT ONE**
 FOR
13th FLOOR HOMES

PORT SAINT LUCIE
 FLORIDA

PEBORTH PROFESSIONAL PLAZA
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 JUPITER, FL 33468
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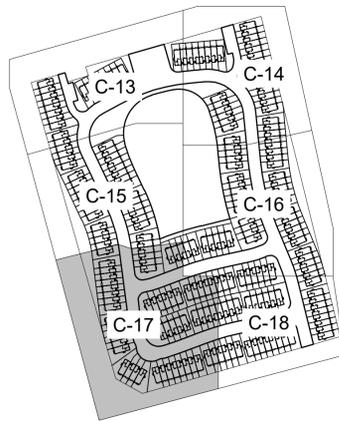
BRANDON UEMER
 No. 68345
 PROFESSIONAL ENGINEER
 February 1, 2023
 FLORIDA LICENSE No. 68345
 FLORIDA BUSINESS REGISTRATION No. 27528

SHEET TITLE:
UTILITY PLAN
 SHEET NUMBER:
C-16
 PORT ST. LUCIE PROJECT NO: P22-232

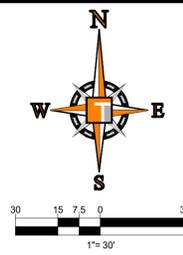
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ENGINEERING LEGEND

WATER MAIN	
STORM SEWER	
SANITARY SEWER MAIN	
SANITARY SEWER LATERAL	
FORCEMAIN	
CATCH BASIN	
MANHOLE	
FIRE HYDRANT	
DECORATIVE LIGHTING	
RIGHT OF WAY	
UTILITY EASEMENT	
WATER SERVICE	
SEWER SERVICE	
FIBER OPTIC LINE	
VALVE NUMBER	



KEYMAP



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CAD I.D.:	FJ220014-UTILITY-PLANS

PROJECT:
**VERANO SOUTH
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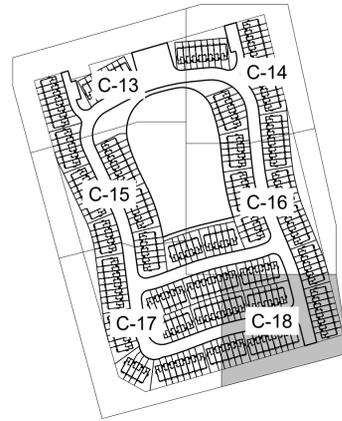
SHEET TITLE:
UTILITY PLAN
 SHEET NUMBER:
C-17
 PORT ST. LUCIE PROJECT NO: P22-232

VALVE TABLE

PLAN ID	SIZE (IN)	TYPE	FLUID	MANUFACT	MODEL	DATE SET	# TURNS	PSLUSD #
5	8	GATE	WATER					
6	8	GATE	WATER					
7	6	GATE	WATER					
8	6	GATE	WATER					
114	2	GATE	WATER					
115	2	GATE	WATER					
116	2	GATE	WATER					
117	2	GATE	WATER					
118	2	GATE	WATER					
119	8	GATE	WATER					
120	2	GATE	WATER					
121	2	GATE	WATER					
122	2	GATE	WATER					
123	2	GATE	WATER					
124	8	GATE	WATER					
125	4	GATE	WATER					
126	8	GATE	WATER					
127	2	GATE	WATER					
128	2	GATE	WATER					
149A	2	GATE	WATER					
149B	2	GATE	WATER					

ENGINEERING LEGEND

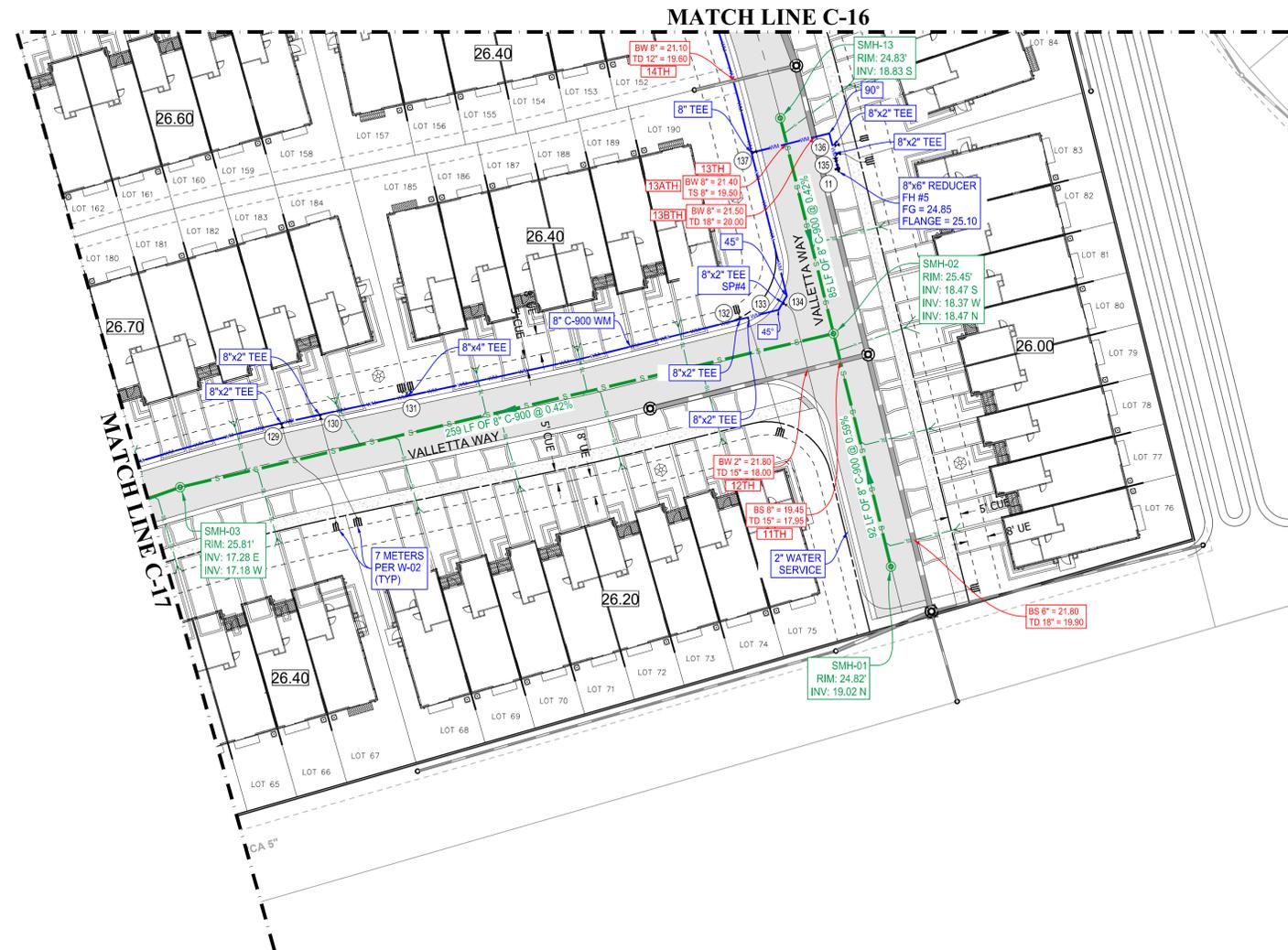
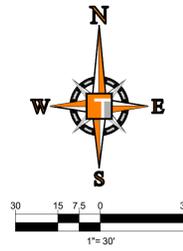
WATER MAIN	
STORM SEWER	
SANITARY SEWER MAIN	
SANITARY SEWER LATERAL	
FORCEMAIN	
CATCH BASIN	
MANHOLE	
FIRE HYDRANT	
DECORATIVE LIGHTING	
RIGHT OF WAY	
UTILITY EASEMENT	
WATER SERVICE	
SEWER SERVICE	
FIBER OPTIC LINE	
VALVE NUMBER	



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PLAN ID	SIZE (IN)	TYPE	FLUID	MANUFACT	MODEL	DATE SET	# TURNS	PSLUSD #
11	6	GATE	WATER					
129	2	GATE	WATER					
130	2	GATE	WATER					
131	4	GATE	WATER					
132	2	GATE	WATER					
133	2	GATE	WATER					
134	2	GATE	WATER					
135	2	GATE	WATER					
136	2	GATE	WATER					
137	8	GATE	WATER					

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REVISIONS			
REV.	DATE	COMMENT	BY

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PROJECT No.	FJ220014
DRAWN BY:	MJL
CHECKED BY:	BMU
CAD I.D.:	FJ220014-UTILITY-PLANS

PROJECT:
**VERANO SOUTH
 POD G
 PLAT NO. 2, REPLAT ONE**
 FOR
13th FLOOR HOMES

PORT SAINT LUCIE
 FLORIDA

THOMAS ENGINEERING GROUP
 PEBWORTH PROFESSIONAL PLAZA
 125 W. INDIANTOWN RD., SUITE 206
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 PH: (561) 203-7503
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BRANDON UEMER
 No. 68345
 PROFESSIONAL ENGINEER
 February 1, 2023
 FLORIDA LICENSE No. 68345
 FLORIDA BUSINESS REGISTRATION No. 27528

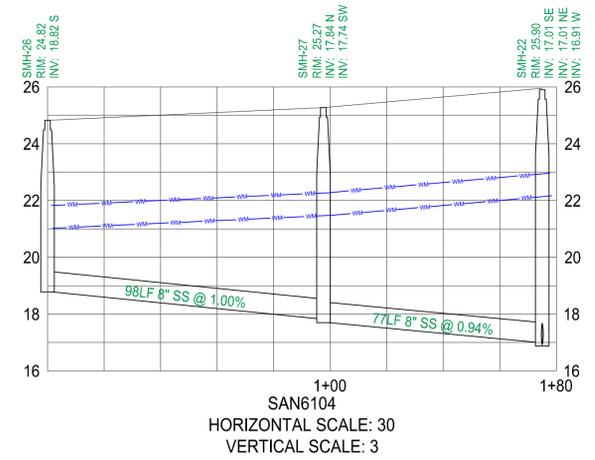
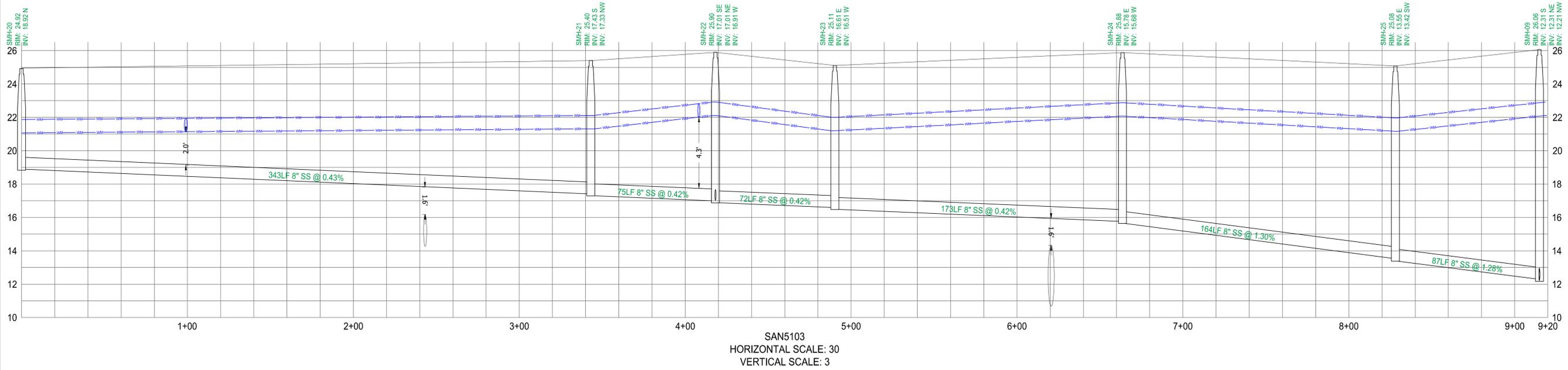
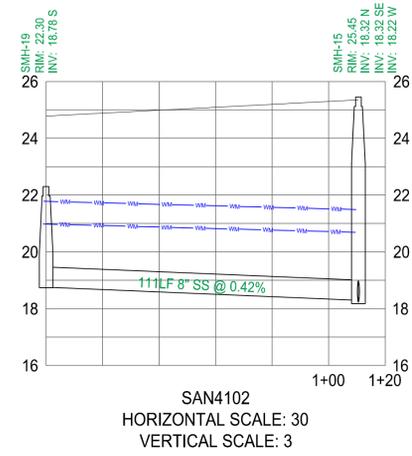
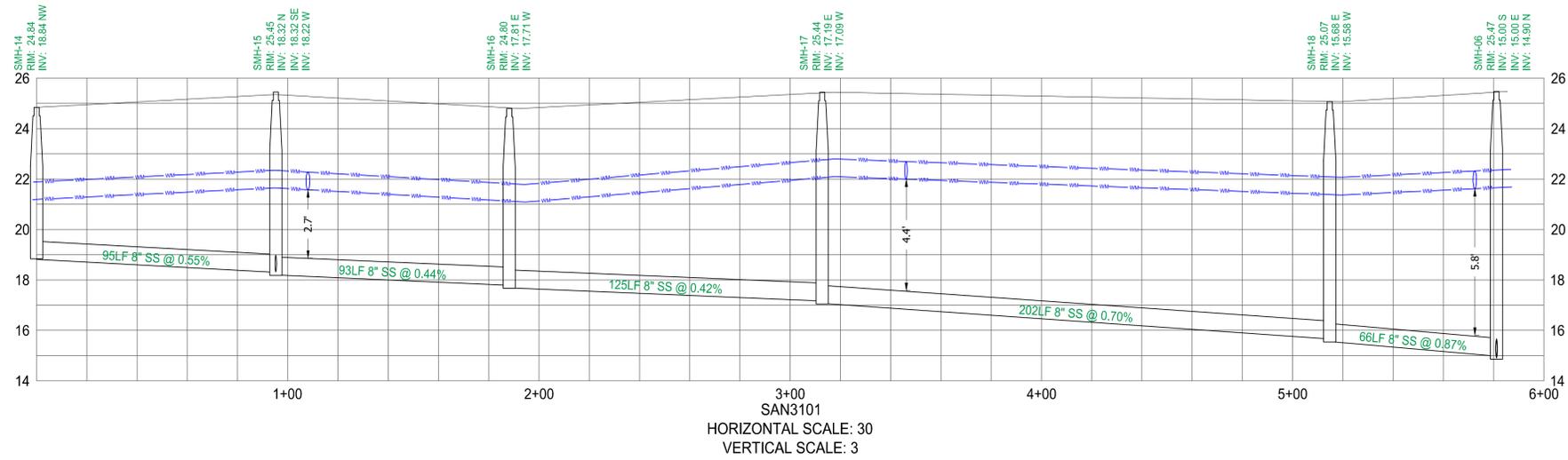
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UTILITY PLAN

SHEET NUMBER:
C-18

PORT ST. LUCIE PROJECT NO: P22-232

PSLUSD PROJECT NO: 11-652-36J
 ELEVATIONS BASED ON NAVD '88

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REVISIONS

REV.	DATE	COMMENT	BY

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DRAWN BY:	MJL
CHECKED BY:	BMU
CAD I.D.:	FJ220014-UTILITY-PROFILES

PROJECT:

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POD G
PLAT NO. 2, REPLAT ONE**

FOR

13th FLOOR HOMES

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No. 68345

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February 1, 2023
FLORIDA BUSINESS REGISTRATION No. 27528

SHEET TITLE:
PROFILES

SHEET NUMBER:
C-20

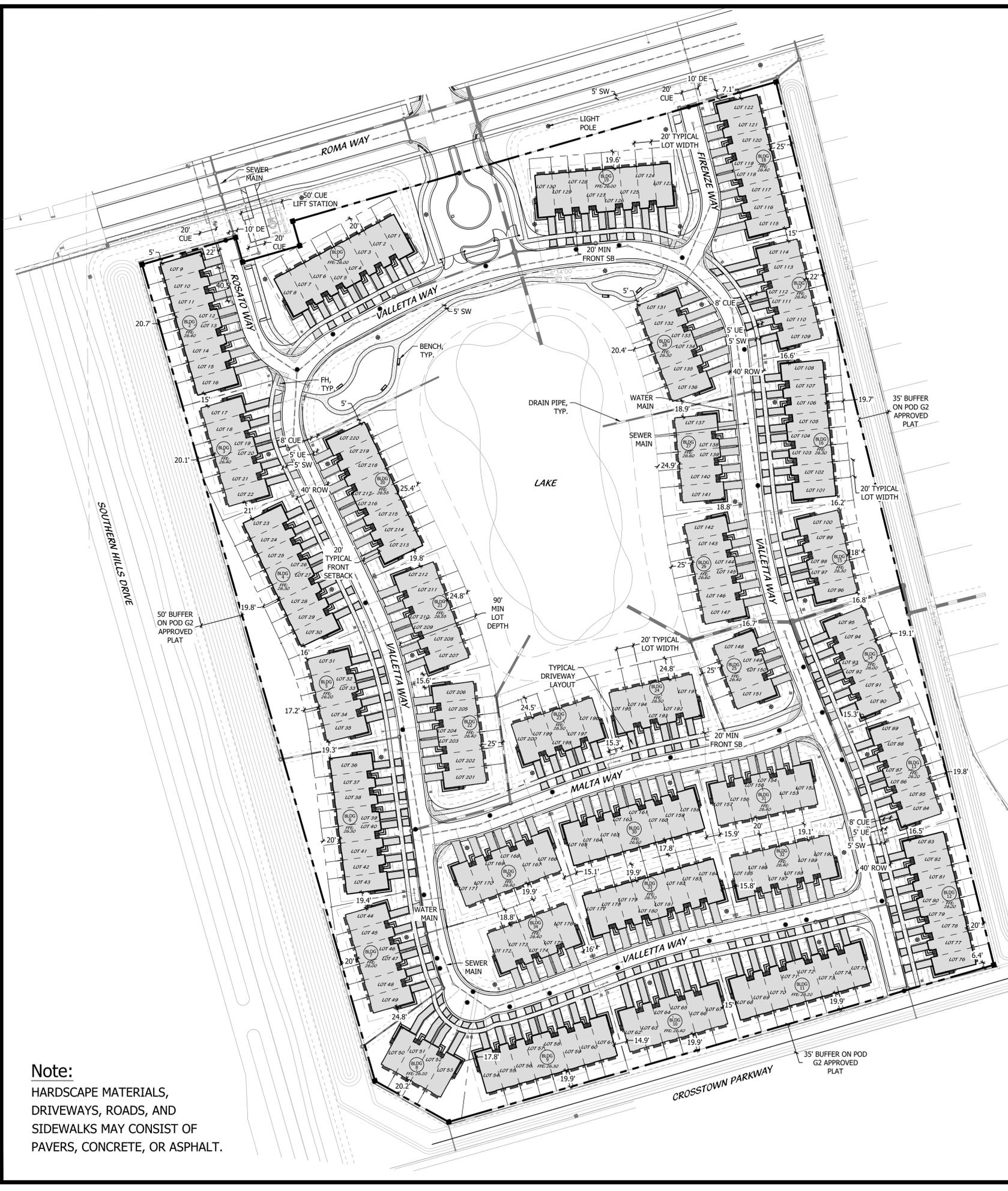
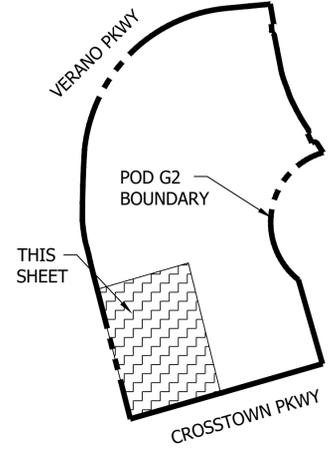


EXHIBIT DATA

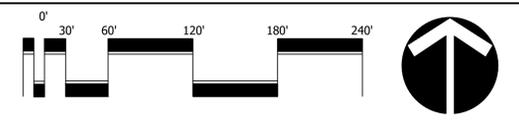
EXISTING LAND USE:	RGC	SF	ACRES
EXISTING ZONING:	PUD	803,950.00	18.46
TOTAL SITE AREA		REQUIRED	PROVIDED
MAXIMUM BUILDING HEIGHT		75'-0"	30'-0"
DENSITY		REQUIRED	PROVIDED
		N/A	11.92
BUILDING COVERAGE	BUILDING SF	BUILDING AC SF	BUILDING FOOTPRINT SF
8 - UNIT TOWNHOME BUILDING (13 BUILDINGS, 104 UNITS, 2 STORY, 30')	15,530	13,444	7,872
6 - UNIT TOWNHOME BUILDING (13 BUILDINGS, 78 UNITS, 2 STORY, 30')	11,728	10,176	5,962
5 - UNIT TOWNHOME BUILDING UNIT (6 BUILDINGS, 30 UNITS, 2 STORY, 30')	9,824	8,545	4,988
4 - UNIT TOWNHOME BUILDING UNIT (2 BUILDINGS, 8 UNITS, 2 STORY, 23' 11")	7,920	6,910	4,016
TOTAL	45,002	39,075	22,838
LOT SIZE PER PUD	REQUIRED	PROVIDED	
MINIMUM LOT SIZE PER APPROVED POD G PUD IS 80' X 16'	1,280 SF	1,800 SF (90' X 20' TYPICAL)	
PERVIOUS/IMPERVIOUS CALCULATIONS	ACRES	SQUARE FEET	PERCENT
PERVIOUS	8.51	370,803.00	46.12%
OPEN SPACE	8.51	370,803.00	46.12%
IMPERVIOUS			
SIDEWALKS, DRIVEWAYS	1.16	50,600.00	6.29%
ROADWAY	1.94	84,390.00	10.50%
LAKE COVERAGE	1.84	80,355.00	10.00%
BUILDING COVERAGE (13 X 7,872 + 13 X 5,962 + 6 X 4,988 + 2 X 4,016)	5.00	217,802.00	27.09%
SUB-TOTAL	8.10	433,147.00	53.88%
TOTAL	16.61	803,950.00	100%
PARKING CALCULATIONS	REQUIRED	PROVIDED	
TOWNHOME PARKING (2 PER 1 UNIT REQUIRED: 2X220= 440)	440	440 SPACES	
ON-STREET PARKING	0	7	
TOTAL	440	447	
RECREATION OPEN SPACE	REQUIRED	PROVIDED	
500 SF OF RECREATION OPEN SPACE PER DWELLING UNIT (220 UNITS)	2.5 AC	10 AC	
POD G CENTRAL PARK COUNTED AS REC SPACE AS PART OF APPROVED PUD			
BUILDING SETBACKS	REQUIRED PER PUD	PROVIDED PER PUD	
FRONT SETBACK (FRONT LOADED)	20'	20'	
REAR SETBACK (CORNER LOT)	10'	15'	
REAR SETBACK (INTERNAL LOT)	10'	10'	
MINIMUM BUILDING-TO-BUILDING SETBACK	10'	10'	
SIDE SETBACK	5'	5'	
SIDE SETBACK (CORNER LOT)	10'	15'	

KEY MAP



PSLUSD #11-652-36J
 PSL PROJ# P22-232
POD G POD 2

**TOWNHOME EXHIBIT
 PER SUBDIVISION PLAT**



Scale: 1" = 60'-0"

North

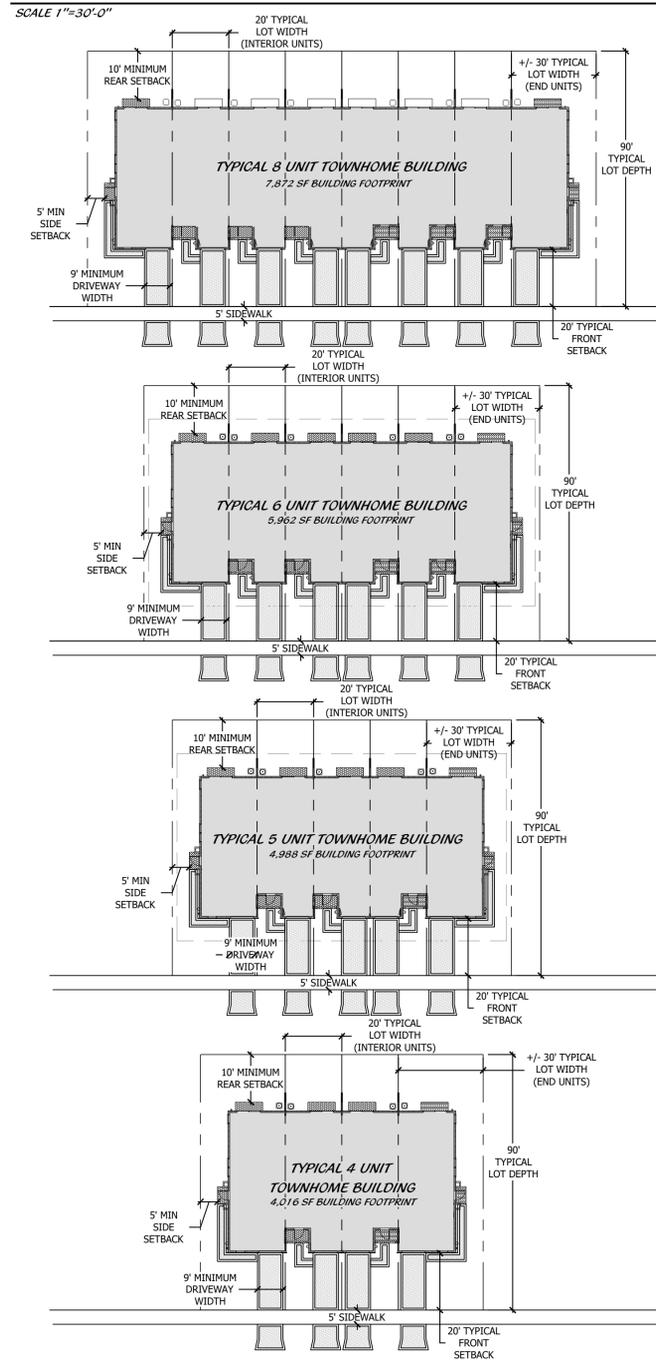
Note:
 HARDSCAPE MATERIALS,
 DRIVEWAYS, ROADS, AND
 SIDEWALKS MAY CONSIST OF
 PAVERS, CONCRETE, OR ASPHALT.

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 Land Planners
 Environmental Consultants
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 Jupiter, Florida 33458
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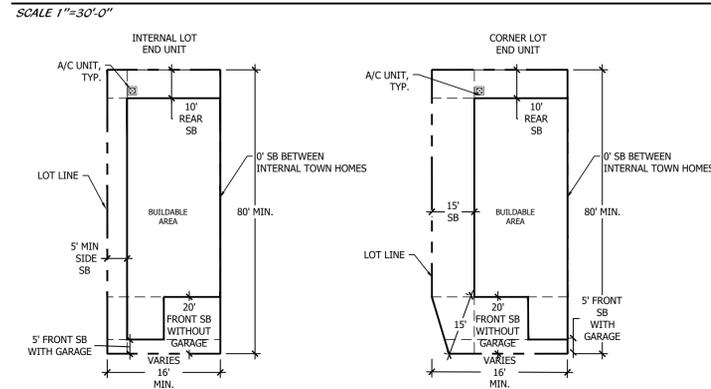
VERANO SOUTH POD G
 Koiter Homes
 Port St. Lucie, Florida

DESIGNED	LAH
DRAWN	LAH
APPROVED	DTS
JOB NUMBER	18-1003.03
DATE	02-14-23
REVISIONS	

TYPICAL G2 TOWNHOME LAYOUT
(PER APPROVED PUD STANDARDS)



APPROVED PUD TYPICAL TOWNHOME LAYOUT

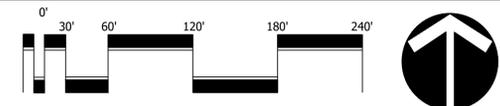


- NOTES:
1. ACCESSORY SETBACK IS 3' MIN. OR 0' IF ADJACENT TO OPEN SPACE OR LAKE.
 2. IF NO GARAGE IS PROVIDED, THE SETBACK SHALL BE 20'.
 3. IF A GARAGE IS PROVIDED, THE SETBACK SHALL BE 5'.
 4. 10' MIN. SETBACK BETWEEN BUILDINGS.
 5. THE MINIMUM WIDTH OF THE DRIVEWAY IS 9'.
 6. MINIMUM LOT AREA IS 1,280 SF.
 7. IF ADJACENT TO AN OPEN SPACE TRACT 15' IN WIDTH OR GREATER, THE CORNER LOT SETBACK CAN BE REDUCED TO 5'.
 8. WHEN NOT ADJACENT TO AN OPEN SPACE TRACT, SIDE SETBACK SHALL BE A MINIMUM OF 15' ON STREET SIDE.

APPROVED PUD SETBACK TABLE

Table 1. DEVELOPMENT USES AND STANDARDS						
DEVELOPMENT STANDARD	SINGLE-FAMILY	TOWNHOMES	VILLAS	MODEL HOMES	NON-RESIDENTIAL	RV STORAGE
PRIMARY STRUCTURE						
Minimum Lot Width	40'	20' 16'	25'	25'	-	-
Minimum Lot Depth	120'	100' 80'	100'	120'	-	-
Maximum Lot Depth	None	None	None	None	-	-
Maximum Building Lot Coverage	60%	70%	60%	60%	80%	80%
Maximum Impervious Lot Coverage	75%	80%	75%	75%	80%	80%
Minimum Open Space	25%	20%	25%	25%	20%	20%
Minimum Front Setback (Front Loaded)	20' Garage	20' Garage	20' Garage	20' Garage	-	-
Minimum Front Setback (Non-garage)	15'	15'	15'	15'	-	-
Minimum Front Setback (Side Loaded)	15'	-	-	15'	-	-
Minimum Front Setback (Rear Loaded)	13'	13'	-	13'	-	-
Minimum Side Setback (Internal Lot) (May be 0' on a zero-lot-line provided that minimum building separation of 10' is maintained between units, 4'-building-separation-for-Townhome)	5'			5'	-	-
Minimum Side Setback (Side-Entry)		5'	5'			
Minimum Side Setback (Front-Entry)		5'	5'			
Minimum Side Setback (Corner Lot)	15'	10'	15'	15'	-	-
If adjacent to open space tract 15' in width or greater	5'	5'	5'	5'	-	-
Minimum Rear Setback (Corner Lot)	10'	10'	10'	10'		
Minimum Rear Setback (Internal Lot)	10'	10'	10'	10'		
Minimum Rear Setback (Rear Loaded with garage)	5'	5'	5'	5'	-	-
Minimum Rear Setback (Rear loaded without garage)	20'	20'	20'	20'	-	-
ACCESSORY STRUCTURES						
Minimum Rear Setback (Non-Rear Loaded)	3'	3'	3'	3'	-	-
If adjacent to open space or common area tract 50' or wider	0'	0'	0'	0'	-	-
Minimum Rear Setback (Rear Loaded)	5'	5'	0' 3'	0' 3'	-	-
Minimum Side Setback (Internal Lot)	2' (2' from property line)	2'	2'	3'	-	-
Minimum Side Setback (Corner Lot)	15'	15'	15' 15'	15' 15'	-	-

PSLUSD #11-652-36J
PSL PROJ# P22-232
POD G POD 2
TOWNHOME EXHIBIT
PER SUBDIVISION PLAT



Scale: 1" = 60'-0"

North



Cotleur & Hearing

Landscape Architects
Land Planners
Environmental Consultants
1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561.747.6336 • Fax 747.1377
www.cotleurhearing.com
Lic# LC-C000239

VERANO SOUTH POD G

Kolter Homes
Port St. Lucie, Florida

DESIGNED LAH
DRAWN LAH
APPROVED DTS
JOB NUMBER 18-1003.03
DATE 02-14-23
REVISIONS

Town Homes

AT

CENTRAL PARC

PORT SAINT LUCIE, FLORIDA

4-UNIT BUILDING

4-UNIT BUILDING

SHEET INDEX

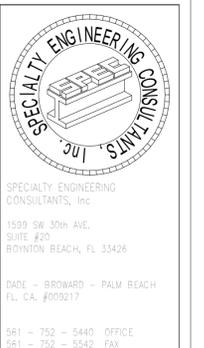
	COVER SHEET		
A-1	1ST FLOOR BUILDING PLANS	S1	FOUNDATION PLAN
A-2	2ND FLOOR BUILDING PLANS	S2	1ST LIFT BEAM /2ND FLOOR FRAMING PLAN
A-3	BUILDING ELEVATIONS	S3	GENERAL NOTES & STRUCTURAL DETAILS
A-3.1	COLOR ELEVATIONS	S4	2ND FLOOR FRAMING PLAN AND NOTES
BR-1	PLAN 1020R FLOOR/ELECTRICAL PLANS	S5	2ND LIFT BEAM PLAN
AR-1	PLAN 1034R FLOOR/ELECTRICAL PLANS	S6	UPPER ROOF FRAMING PLAN
AL-1	PLAN 1034L FLOOR/ELECTRICAL PLANS	S7	GENERAL NOTES & STRUCTURAL DETAILS
BL-1	PLAN 1020L FLOOR/ELECTRICAL PLANS		
D-1	TYPICAL DETAILS		
D-2	TYPICAL DETAILS		
P-1	PLUMBING RISERS		

SITE & AREA CALCULATIONS	
TOTAL BUILDING AREA	7,920 SQ.FT.
PROPOSED A/C AREA	6,910 SQ.FT.
PROPOSED NON A/C AREA	1,010 SQ.FT.
GARAGES COVERED ENTRY	890 SQ.FT. 120 SQ.FT.

BLDG. DESIGN DATA	
CODES: FLORIDA BLDG. RESIDENTIAL CODE 2020 7TH EDITION NFPA FL. FIRE PREVENTION CODE 7TH ED. NEC NATIONAL ELECTRIC CODE 2017 CARBON MONOXIDE DETECTORS REQUIREMENTS PER FL. ADMINISTRATIVE CODE RULE 9B-3.0472 ACI 318-14 ASTM 47th ED. CITY OF PSL SECTION 150.218	
DESIGN CRITERIA	
CITY	PORT ST LUCIE, FL
OCCUPANCY GROUP	N/A
NUMBER OF STORIES	2
BUILDING CATEGORY	ENCLOSED
BASIC WIND SPEED, mph	170
WIND IMPORTANCE FACTOR	1.0
WIND EXPOSURE CATEGORY	C
INTERNAL PRESSURE COEFFICIENT	+/- .18
MINIMUM SOIL PRESSURE, psf	2500
FLOOR LOADS (LIVE & DEAD)	55
ROOF DEAD LOAD, psf	20
ROOF LIVE LOAD, psf	30

CLIENT INFORMATION

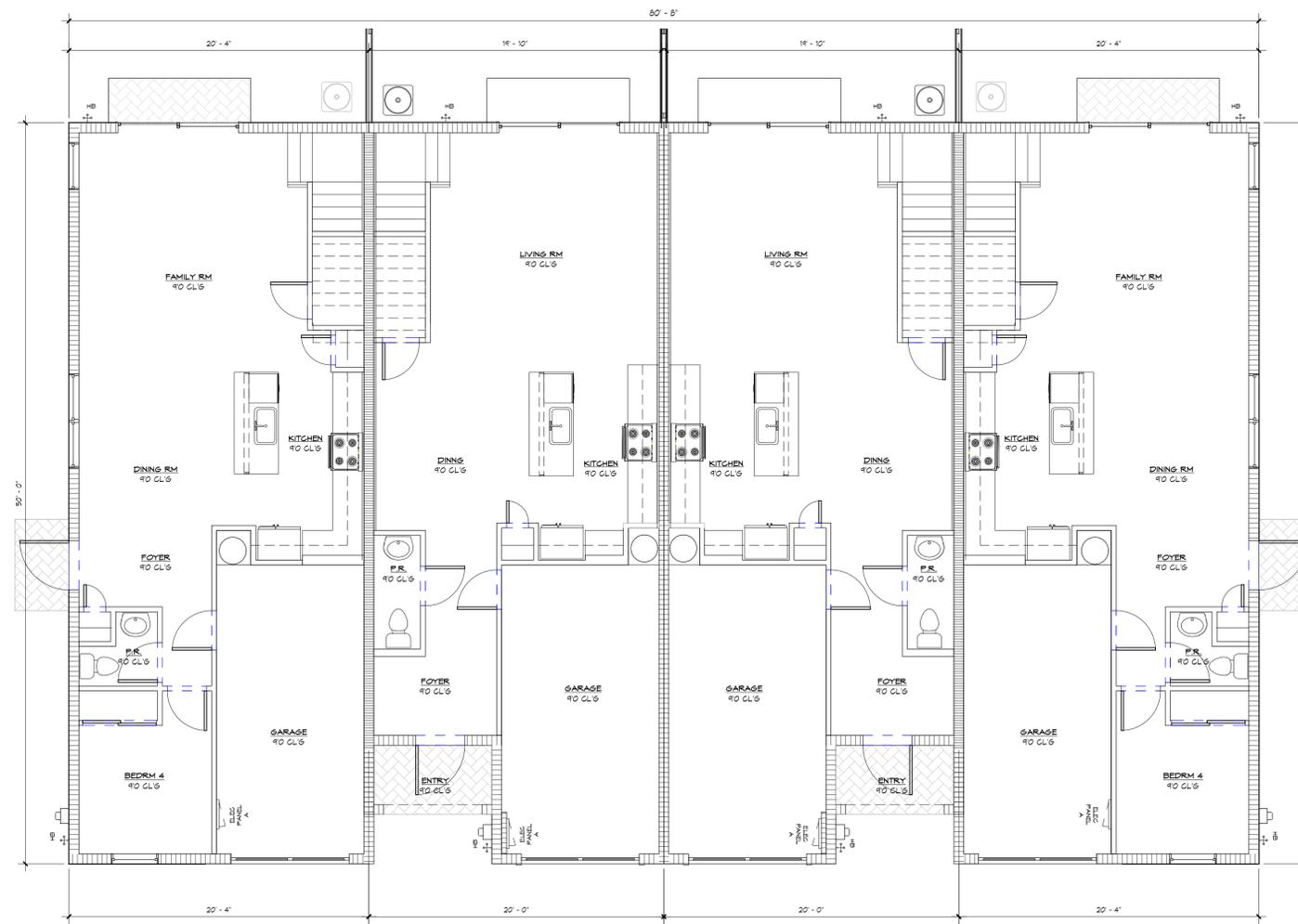
13TH FLOOR CP, LLC
330 SW 2ND AVE # 110
FT LAUDERDALE, FL 33312



PADE - BROWARD - PALM BEACH
 FL. CA. #009217

561 - 752 - 5440 OFFICE
 561 - 752 - 5542 FAX

CITY OF PORT ST LUCIE PROJECT NO: P22-232



① 1ST FLOOR PLAN
3/16" = 1'-0"

PLAN 1820R

PLAN 1634R

PLAN 1634L

PLAN 1820L

1ST BUILDING PLANS

SHEET INFORMATION

PROJECT INFORMATION
CENTRAL PARC
PORT ST LUCIE, FLORIDA

CLIENT INFORMATION

13TH FLOOR CP, LLC

330 SW 2ND STREET, #110
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SPECIALTY ENGINEERING CONSULTANTS, Inc

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FILE NAME:

SCALE

DATE **1/25/2023**

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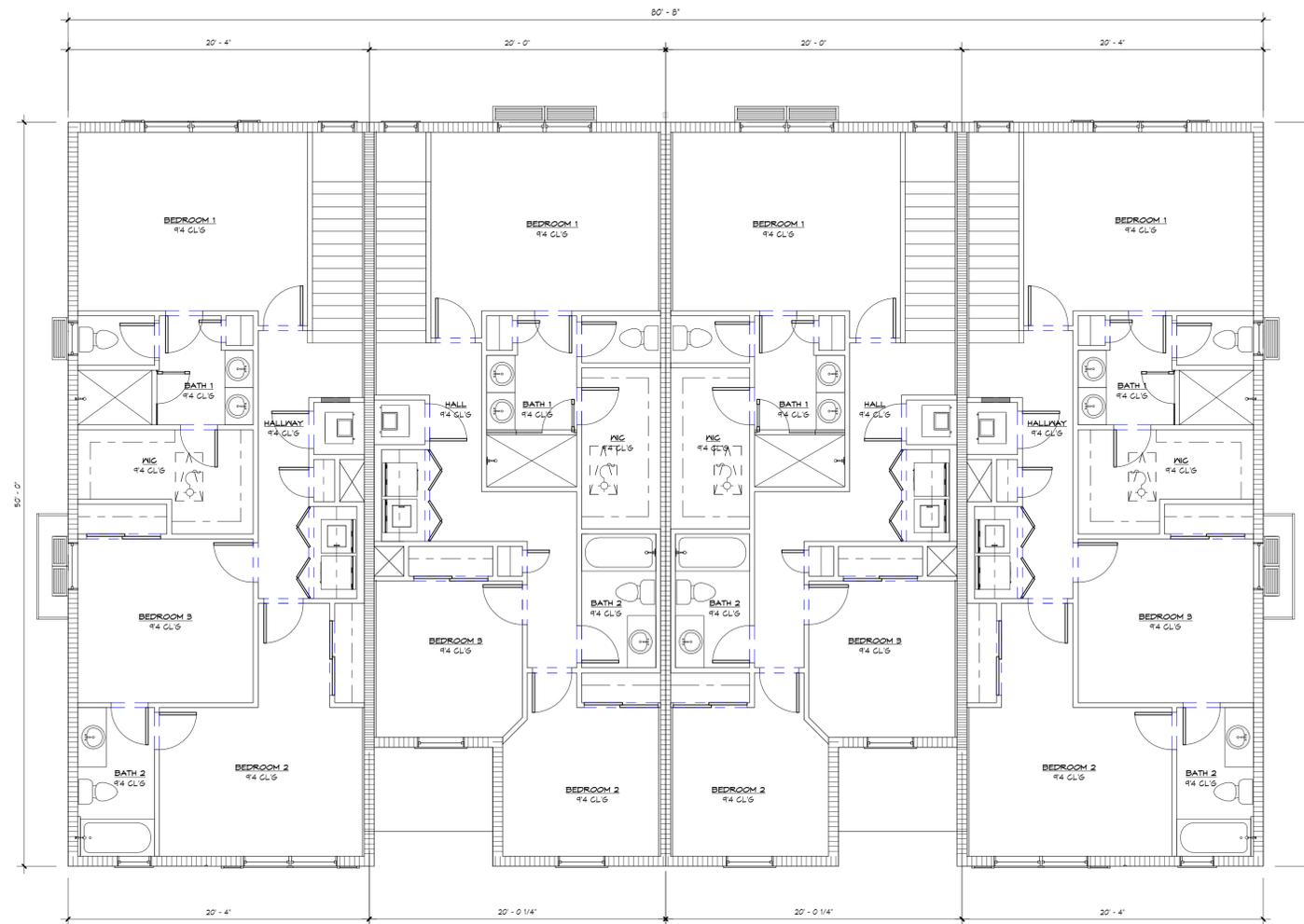
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REVISION

SEAL
D. ADAM LeBLANC, PE FL #77012

SHEET #

A1



1 2ND FLOOR PLAN
3/16" = 1'-0"

PLAN 1820R

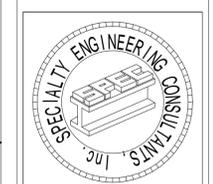
PLAN 1634R

PLAN 1634L

PLAN 1820L

2ND BUILDING PLANS
PROJECT INFORMATION
CENTRAL PARC
PORT ST LUCIE, FLORIDA

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13TH FLOOR CP, LLC
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FILE NAME	
SCALE	
DATE	1/25/2023
RV'D. BY	
DRWN. BY	
REVISION	

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SHEET #

A2



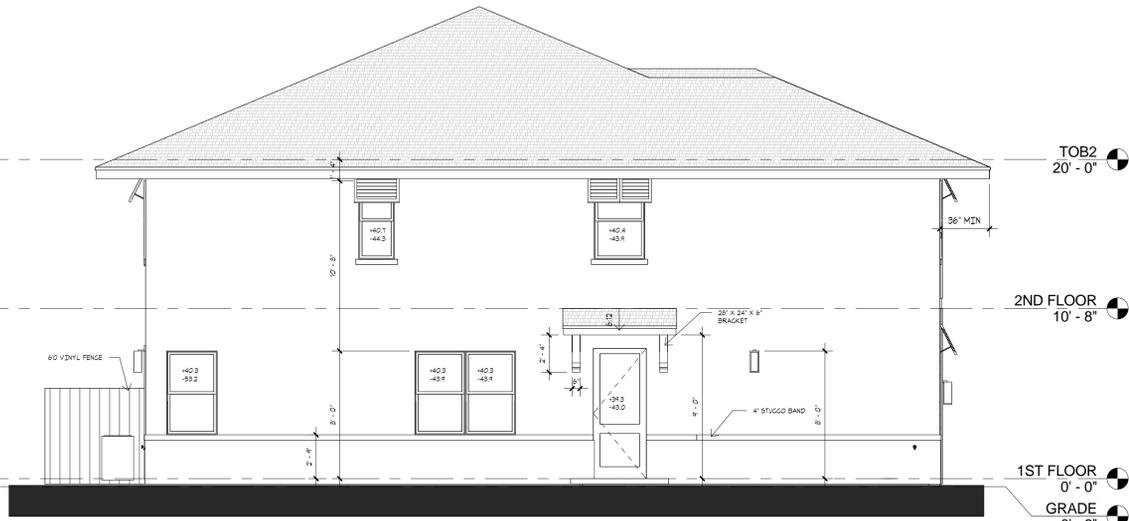
4 REAR ELEVATION
3/16" = 1'-0"

REAR ARCHITECTURAL ELEMENTS	
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
8	PRIMARY ROOF WITH 36" O.H.
17	USABLE OPEN SPACE

SIDE ARCHITECTURAL ELEMENTS	
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
14	BRACKETS OVER FRONT DOOR
17	USABLE OPEN SPACE

FRONT ARCHITECTURAL ELEMENTS	
3	8" HORIZONTAL SIDING
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
8	PRIMARY ROOF WITH 36" O.H.
17	USABLE OPEN SPACE

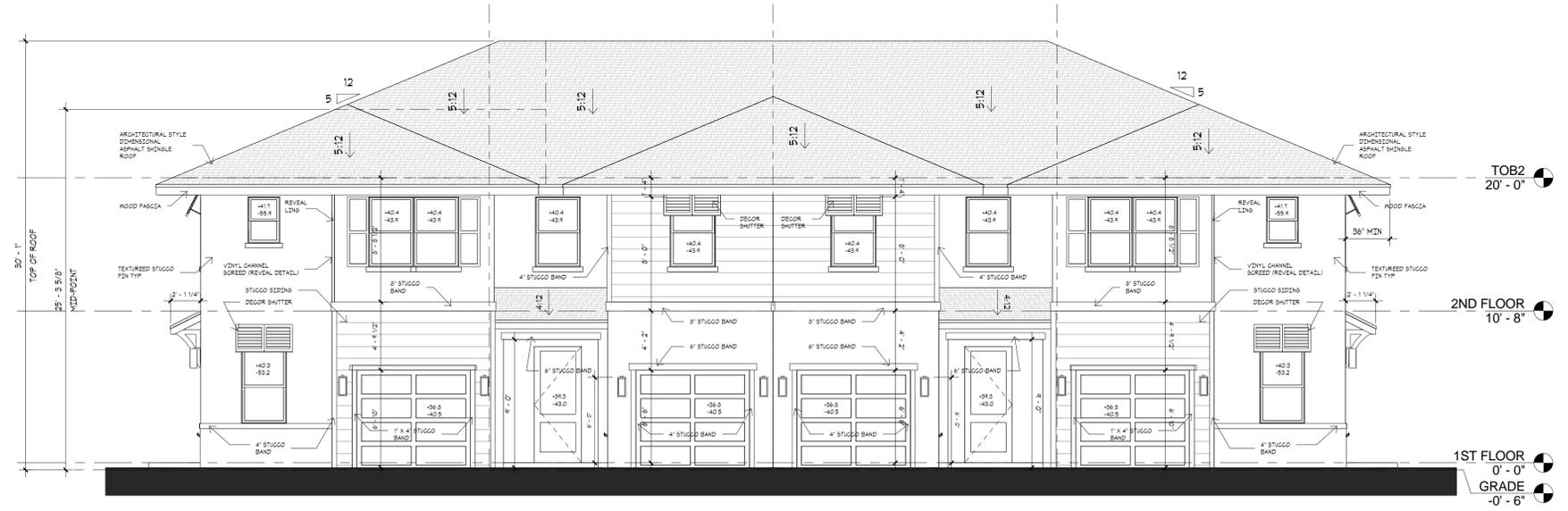
ELEVATION ARTICULATED ELEMENTS	FRONT	SIDE	REAR
BANDING	5.33%	1.36%	2.24%
WINDOWS/GLASS	7.22%	6.13%	18.43%
DOORS	12.20%	2.40%	0.0%
SIDING	10.96%	0.0%	0.0%
PROJECTED ROOF	1.62%	1.03%	0.0%
FASCIA	3.56%	4.40%	2.94%
SHUTTERS	2.48%	1.07%	2.17%



2 LEFT SIDE ELEVATION
3/16" = 1'-0"



3 RIGHT SIDE ELEVATION
3/16" = 1'-0"



1 FRONT ELEVATION
3/16" = 1'-0"

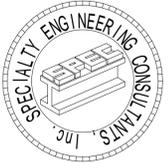
ELEVATIONS

SHEET INFORMATION

PROJECT INFORMATION
CENTRAL PARC
PORT ST LUCIE, FLORIDA

CLIENT INFORMATION
13TH FLOOR CP, LLC

330 SW 2ND STREET, #110
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FILE NAME:

SCALE

DATE 1/25/2023

RVD. BY

DRWN. BY

REVISION

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D. ADAM LeBLANC, PE FL #77012

SHEET #

A3

ELEVATIONS SCHEME 1

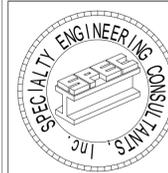
SHEET INFORMATION

PROJECT INFORMATION
CENTRAL PARC
 PORT ST LUCIE, FLORIDA

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13TH FLOOR CP, LLC

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CLIENT INFORMATION



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FILE NAME:

SCALE:

DATE: **1/25/2023**

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DRWN. BY:

REVISION:

SEAL

D. ADAM LeBLANC, PE FL #77012

SHEET #

A3.1



4 REAR ELEVATION
 3/16" = 1'-0"

REAR ARCHITECTURAL ELEMENTS

6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
8	PRIMARY ROOF WITH 36" O.H.
17	USABLE OPEN SPACE

SIDE ARCHITECTURAL ELEMENTS

6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
14	BRACKETS OVER FRONT DOOR
17	USABLE OPEN SPACE

FRONT ARCHITECTURAL ELEMENTS

3	8" HORIZONTAL SIDING
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
8	PRIMARY ROOF WITH 36" O.H.
17	USABLE OPEN SPACE

BUILDING FACE COLOR PERCENTAGE

	F	S	R
PRIMARY BUILDING COLOR	42%	68%	50%
ACCENT COLOR	18%	8%	4%
ROOF COVERAGE	32%	18%	26%
GLASS	8%	6%	20%

ELEVATION ARTICULATED ELEMENTS

	FRONT	SIDE	REAR
BANDING	5.33%	1.36%	2.24%
WINDOWS/GLASS	7.22%	6.13%	18.43%
DOORS	12.20%	2.40%	0.0%
SIDING	10.96%	0.0%	0.0%
PROJECTED ROOF	1.62%	1.03%	0.0%
FASCIA	3.56%	4.40%	2.94%
SHUTTERS	2.48%	1.07%	2.17%



2 LEFT SIDE ELEVATION
 3/16" = 1'-0"



3 RIGHT SIDE ELEVATION
 3/16" = 1'-0"



1 FRONT ELEVATION
 3/16" = 1'-0"

SCHEME	BODY COLOR	DOOR SHUTTER TRIM, FASCIA	PAVERS	ROOF
1	SHERWIN WILLIAMS EXTRA WHITE SW 7006	SHERWIN WILLIAMS SUMMIT GRAY SW 7669	GRAY CHARCOAL GRANITE	GAF TIMBERLINE CHARCOAL
2	SHERWIN WILLIAMS Response Gray SW 7015	SHERWIN WILLIAMS EXTRA WHITE SW 7006	GRAY CHARCOAL GRANITE	GAF TIMBERLINE CHARCOAL
3	SHERWIN WILLIAMS Comfort Gray SW 6205	SHERWIN WILLIAMS Extra White SW 7006	GRAY CHARCOAL GRANITE	GAF TIMBERLINE CHARCOAL

THE ELEVATION DESIGN AND COLORS MAY NOT BE MODIFIED WITHOUT APPROVAL FROM THE CITY

CITY OF PORT ST LUCIE PROJECT NO: P22-232

I:\LENNAR\13TH FLOOR\4-UNIT BUILDING-NEAR-COOR.rvt

Town Homes AT CENTRAL PARC PORT SAINT LUCIE, FLORIDA 5-UNIT BUILDING

5-UNIT BUILDING

SHEET INDEX

	COVER SHEET		
A-1	1ST FLOOR BUILDING PLANS	S1	FOUNDATION PLAN
A-2	2ND FLOOR BUILDING PLANS	S2	1ST LIFT BEAM /2ND FLOOR FRAMING PLAN
A-3	BUILDING ELEVATIONS	S3	GENERAL NOTES & STRUCTURAL DETAILS
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BL-1	PLAN 1820L FLOOR/ELECTRICAL PLANS		
D-1	TYPICAL DETAILS		
D-2	TYPICAL DETAILS		
P-1	PLUMBING RISERS		

SITE & AREA CALCULATIONS

TOTAL BUILDING AREA	9,824 SQ.FT.
PROPOSED A/C AREA	8,545 SQ.FT.
PROPOSED NON A/C AREA	1,279 SQ.FT.
GARAGES	1,122 SQ.FT.
COVERED ENTRY	157 SQ.FT.

BLDG. DESIGN DATA

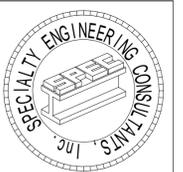
CODES: FLORIDA BLDG. RESIDENTIAL CODE 2020 7TH EDITION
NFPA FL. FIRE PREVENTION CODE 7TH ED.
NEC NATIONAL ELECTRIC CODE 2017
CARBON MONOXIDE DETECTORS REQUIREMENTS PER FL
ADMINISTRATIVE CODE RULE 98-3.0472
ACI 318-14
ASTM 476, ED.
CITY OF PSL SECTION 158.218

DESIGN CRITERIA

CITY	PORT ST LUCIE, FL
OCCUPANCY GROUP	N/A
NUMBER OF STORIES	2
BUILDING CATEGORY	ENCLOSED
BASIC WIND SPEED, mph	170
WIND IMPORTANCE FACTOR	1.0
WIND EXPOSURE CATEGORY	C
INTERNAL PRESSURE COEFFICIENT	+/- .18
MINIMUM SOIL PRESSURE, psf	2500
FLOOR LOADS (LIVE & DEAD)	55
ROOF DEAD LOAD, psf	20
ROOF LIVE LOAD, psf	30

CLIENT INFORMATION

13TH FLOOR CP, LLC
330 SW 2ND AVE # 110
FT LAUDERDALE, FL 33312

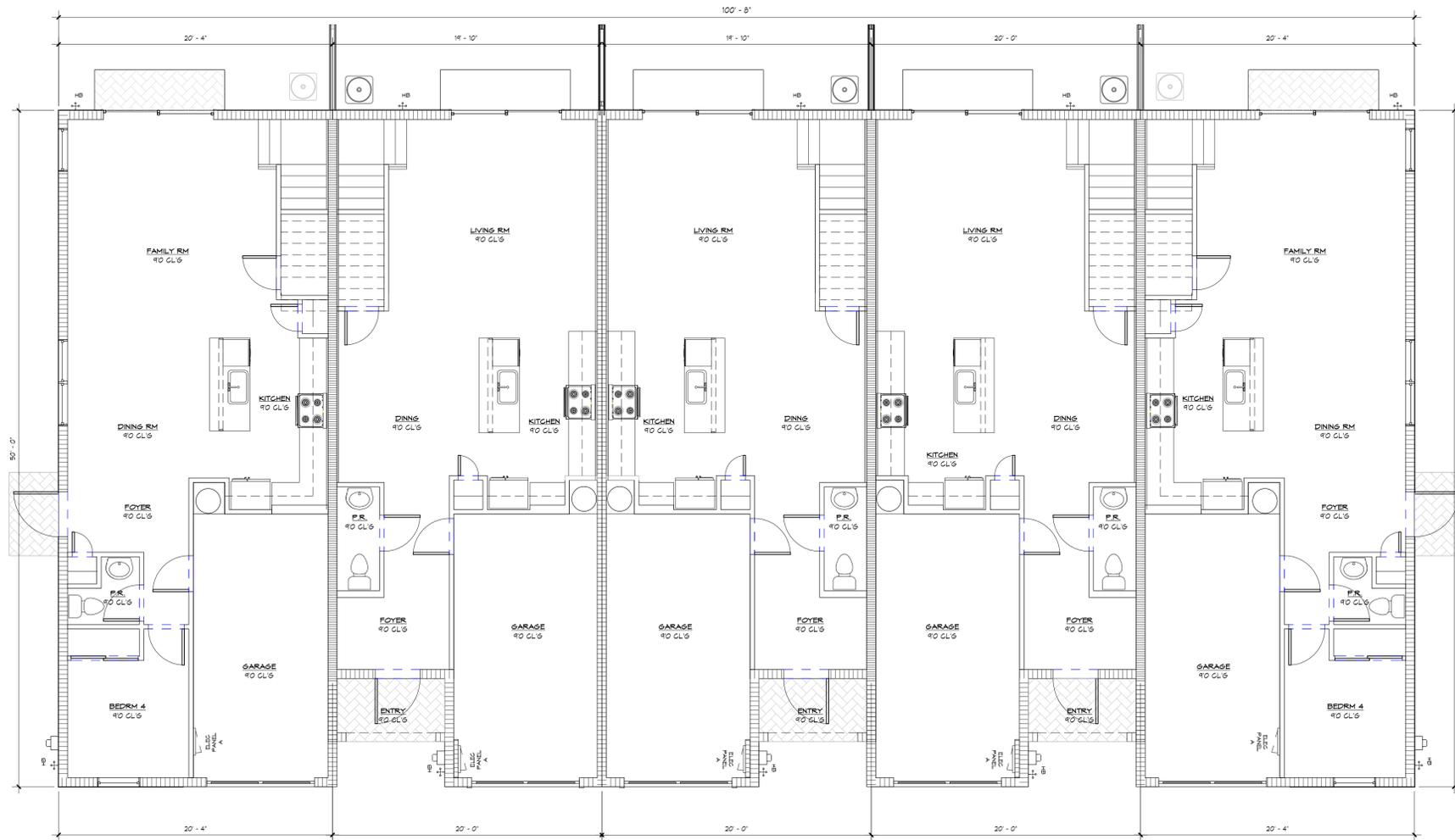


SPECIALTY ENGINEERING
CONSULTANTS, Inc.
1599 SW 30th AVE.
SUITE #20
BONNITON BEACH, FL 33426

PADE - BROWARD - PALM BEACH
FL. CA. #009217

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561 - 752 - 5542 FAX

CITY OF PORT ST LUCIE PROJECT NO: P22-232



1 1ST FLOOR PLAN
3/16" = 1'-0"

PLAN 1820R

PLAN 1634R

PLAN 1634L

PLAN 1634L

PLAN 1820L

1ST BUILDING PLANS

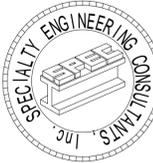
SHEET INFORMATION

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FILE NAME:

SCALE:

DATE **1/25/2023**

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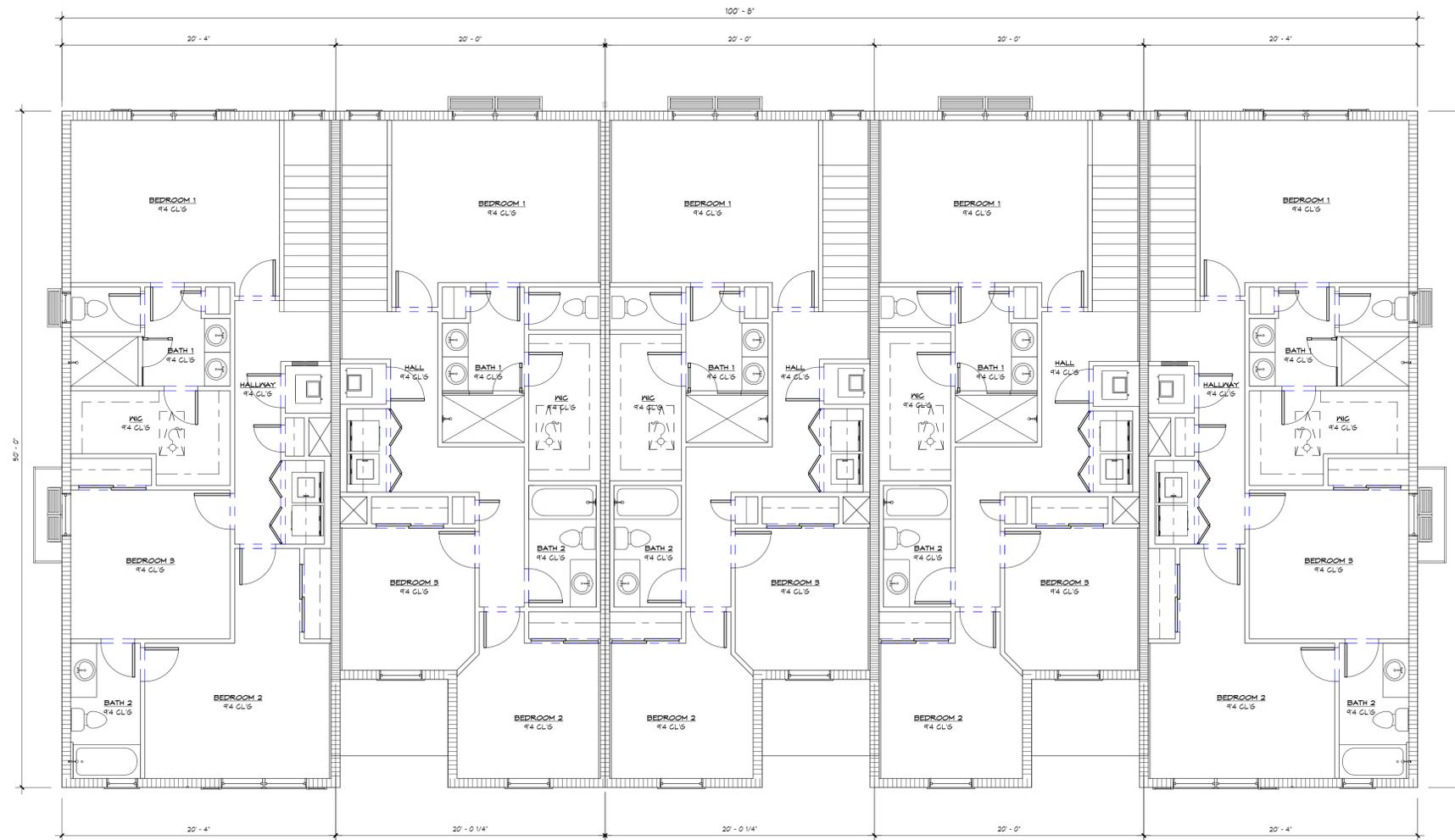
DRWN. BY:

REVISION

SEAL
D. ADAM LeBLANC, PE FL #77012

SHEET #

A1



1 2ND FLOOR PLAN
3/16" = 1'-0"

PLAN 1820R

PLAN 1634R

PLAN 1634L

PLAN 1634L

PLAN 1820L

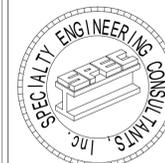
2ND BUILDING PLANS

SHEET INFORMATION

PROJECT INFORMATION
CENTRAL PARC
PORT ST LUCIE, FLORIDA

CLIENT INFORMATION

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FILE NAME:

SCALE:

DATE 1/25/2023

RV'D. BY:

DRWN. BY:

REVISION

SEAL
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SHEET #

A2



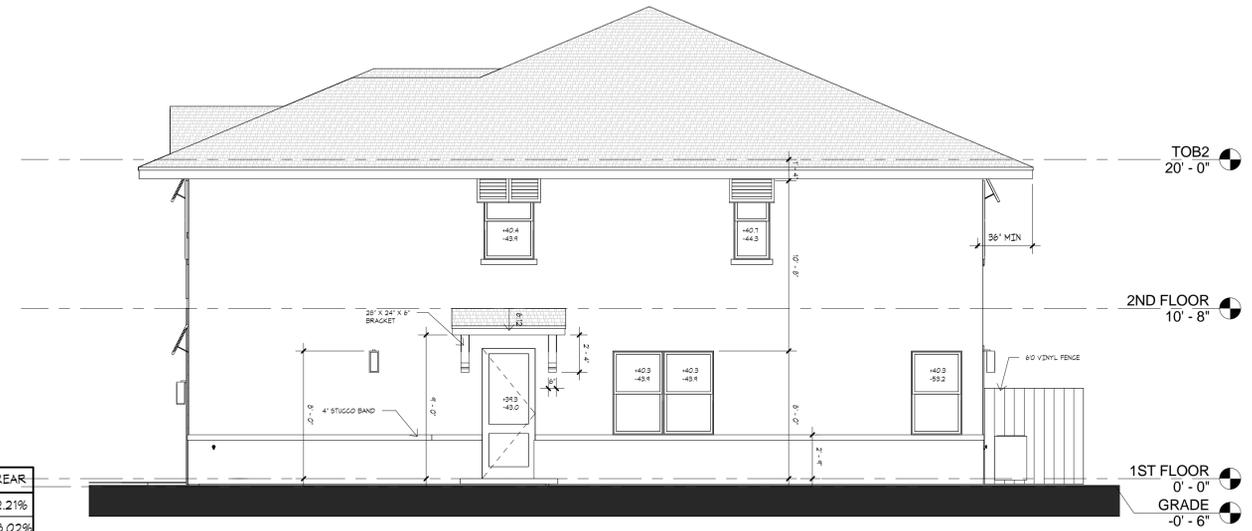
4 REAR ELEVATION
3/16" = 1'-0"

REAR ARCHITECTURAL ELEMENTS	
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
8	PRIMARY ROOF WITH 36" O.H.
11	USABLE OPEN SPACE

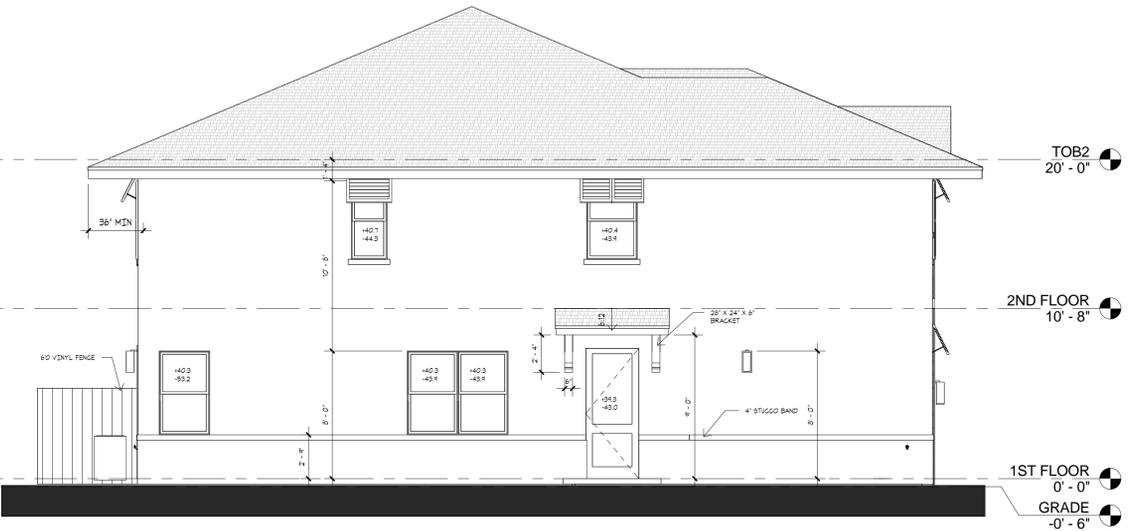
SIDE ARCHITECTURAL ELEMENTS	
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
14	BRACKETS OVER FRONT DOOR
11	USABLE OPEN SPACE

FRONT ARCHITECTURAL ELEMENTS	
3	8" HORIZONTAL SIDING
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
8	PRIMARY ROOF WITH 36" O.H.
11	USABLE OPEN SPACE

ELEVATION ARTICULATED ELEMENTS	FRONT	SIDE	REAR
BANDING	4.92%	1.36%	2.21%
WINDOWS/GLASS	6.76%	6.13%	18.02%
DOORS	12.51%	2.40%	0.0%
SIDING	10.63%	0.0%	0.0%
PROJECTED ROOF	1.91%	1.03%	0.0%
FASCIA	3.54%	4.40%	2.88%
SHUTTERS	2.47%	1.07%	2.05%



3 RIGHT SIDE ELEVATION
3/16" = 1'-0"



2 LEFT SIDE ELEVATION
3/16" = 1'-0"



1 FRONT ELEVATION
3/16" = 1'-0"

CITY OF PORT ST LUCIE PROJECT NO: P22-232

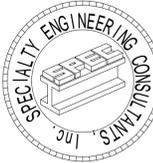
ELEVATIONS

SHEET INFORMATION

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PORT ST LUCIE, FLORIDA

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FL, CA, #009217

561 - 752 - 5440 OFFICE
561 - 752 - 5542 FAX

FILE NAME:
SCALE:
DATE: 10/13/2021
RVD. BY:
DRWN. BY:

REVISION
9/01/2022

SEAL
D. ADAM LeBLANC, PE FL #77012

SHEET #

A3

I:\LENNAR\13TH FLOOR\3-UNIT BUILDING-NEW.rvt



④ REAR ELEVATION
3/16" = 1'-0"

REAR ARCHITECTURAL ELEMENTS	
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
8	PRIMARY ROOF WITH 36" O.H.
17	USABLE OPEN SPACE

SIDE ARCHITECTURAL ELEMENTS	
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
14	BRACKETS OVER FRONT DOOR
17	USABLE OPEN SPACE

FRONT ARCHITECTURAL ELEMENTS	
3	8" HORIZONTAL SIDING
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
8	PRIMARY ROOF WITH 36" O.H.
17	USABLE OPEN SPACE

BUILDING FACE COLOR PERCENTAGE	F	S	R
PRIMARY BUILDING COLOR	41%	68%	48%
ACCENT COLOR	20%	8%	5%
ROOF COVERAGE	32%	18%	28%
GLASS	7%	6%	14%

ELEVATION ARTICULATED ELEMENTS	FRONT	SIDE	REAR
BANDING	4.92%	1.36%	2.21%
WINDOWS/GLASS	6.76%	6.13%	18.02%
DOORS	12.51%	2.40%	0.0%
SIDING	10.63%	0.0%	0.0%
PROJECTED ROOF	1.91%	1.03%	0.0%
FASCIA	3.54%	4.40%	2.88%
SHUTTERS	2.47%	1.07%	2.05%



② LEFT SIDE ELEVATION
3/16" = 1'-0"



③ RIGHT SIDE ELEVATION
3/16" = 1'-0"



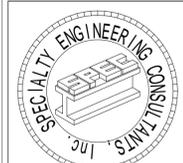
① FRONT ELEVATION
3/16" = 1'-0"

SCHEME	BODY COLOR	DOOR SHUTTER TRIM, FASCIA	PAVERS	ROOF
1	SHERWIN WILLIAMS EXTRA WHITE SW 7006	SHERWIN WILLIAMS SUMMIT GRAY SW 7669	GRAY CHARCOAL GRANITE	GAF TIMBERLINE CHARCOAL
2	SHERWIN WILLIAMS Response Gray SW 7015	SHERWIN WILLIAMS EXTRA WHITE SW 7006	GRAY CHARCOAL GRANITE	GAF TIMBERLINE CHARCOAL
3	SHERWIN WILLIAMS Comfort Gray SW 6205	SHERWIN WILLIAMS Extra White SW 7006	GRAY CHARCOAL GRANITE	GAF TIMBERLINE CHARCOAL

THE ELEVATION DESIGN AND COLORS MAY NOT BE MODIFIED WITHOUT APPROVAL FROM THE CITY

ELEVATIONS SCHEME 1
PROJECT INFORMATION
CENTRAL PARC
PORT ST LUCIE, FLORIDA

CLIENT INFORMATION
13TH FLOOR CP, LLC
330 SW 2ND STREET, #110
FT LAUDERDALE, FL 33312



SPECIALTY ENGINEERING CONSULTANTS, Inc
1599 SW 30th AVE.
SUITE #20
BOYNTON BEACH, FL 33426
DADE - BROWARD - PALM BEACH
FL, CA, #009217
561 - 752 - 5440 OFFICE
561 - 752 - 5542 FAX

FILE NAME:
SCALE:
DATE 1/25/2023
RVD. BY:
DRWN. BY:

REVISION

SEAL
D. ADAM LEBLANC, PE FL #77012

SHEET #
A3.1

CITY OF PORT ST LUCIE PROJECT NO: P22-232

21 T:\LENNAR\13TH FLOOR\3-UNIT BUILDING\NEW COLOR.PVT

Town Homes AT CENTRAL PARC PORT SAINT LUCIE, FLORIDA 6-UNIT BUILDING

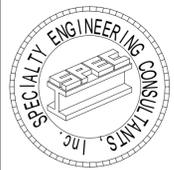
6-UNIT BUILDING

SHEET INDEX			
	COVER SHEET		
A-1	1ST FLOOR BUILDING PLANS	S1	FOUNDATION PLAN
A-2	2ND FLOOR BUILDING PLANS	S2	1ST LIFT BEAM /2ND FLOOR FRAMING PLAN
A-3	BUILDING ELEVATIONS	S3	GENERAL NOTES & STRUCTURAL DETAILS
A-3.1	COLOR ELEVATIONS	S4	2ND FLOOR FRAMING PLAN AND NOTES
BR-1	PLAN 1020R FLOOR/ELECTRICAL PLANS	S5	2ND LIFT BEAM PLAN
AR-1	PLAN 1034R FLOOR/ELECTRICAL PLANS	S6	UPPER ROOF FRAMING PLAN
AL-1	PLAN 1034L FLOOR/ELECTRICAL PLANS	S7	GENERAL NOTES & STRUCTURAL DETAILS
BL-1	PLAN 1020L FLOOR/ELECTRICAL PLANS		
D-1	TYPICAL DETAILS		
D-2	TYPICAL DETAILS		
P-1	PLUMBING RISERS		

SITE & AREA CALCULATIONS	
TOTAL BUILDING AREA	11,728 SQ.FT.
PROPOSED A/C AREA	10,176 SQ.FT.
PROPOSED NON A/C AREA	1,552 SQ.FT.
GARAGES	1,354 SQ.FT.
COVERED ENTRY	198 SQ.FT.

BLDG. DESIGN DATA	
CODES: FLORIDA BLDG. RESIDENTIAL CODE 2020 7TH EDITION NFPA FL. FIRE PREVENTION CODE 7TH ED. NEC NATIONAL ELECTRIC CODE 2017 CARBON MONOXIDE DETECTORS REQUIREMENTS PER FL ADMINISTRATIVE CODE RULE 9B-3.0472 ACI 318-14 ASTM 47th ED. CITY OF PSL SECTION 158.128	
DESIGN CRITERIA	
CITY	PORT ST LUCIE, FL
OCCUPANCY GROUP	N/A
NUMBER OF STORIES	2
BUILDING CATEGORY	ENCLOSED
BASIC WIND SPEED, mph	170
WIND IMPORTANCE FACTOR	1.0
WIND EXPOSURE CATEGORY	C
INTERNAL PRESSURE COEFFICIENT	+/- .18
MINIMUM SOIL PRESSURE, psf	2500
FLOOR LOADS (LIVE & DEAD)	55
ROOF DEAD LOAD, psf	20
ROOF LIVE LOAD, psf	30

CLIENT INFORMATION
13TH FLOOR CP, LLC
330 SW 2ND AVE # 110
FT LAUDERDALE, FL 33312



SPECIALTY ENGINEERING CONSULTANTS, Inc.
1599 SW 30th AVE.
SUITE #20
BONITA BEACH, FL 33426
PAGE - BROWARD - PALM BEACH
FL. CA. #009217
561 - 752 - 5440 OFFICE
561 - 752 - 5542 FAX

CITY OF PORT ST LUCIE PROJECT NO: P22-232



1 1ST FLOOR PLAN
3/16" = 1'-0"

PLAN 1820R

PLAN 1634R

PLAN 1634R

PLAN 1634L

PLAN 1634L

PLAN 1820L

CLIENT INFORMATION

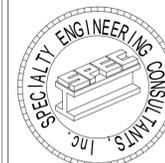
13TH FLOOR CP, LLC

330 SW 2ND STREET, #110
FT LAUDERDALE, FL 33312

1ST BUILDING PLANS

SHEET INFORMATION

PROJECT INFORMATION
CENTRAL PARC
PORT ST LUCIE, FLORIDA



SPECIALTY ENGINEERING
CONSULTANTS, Inc

1999 SW 30th AVE.
SUITE #30
BOYNTON BEACH, FL 33426

DADE - BROWARD - PALM BEACH
FL, CA, #009217

561 - 752 - 5440 OFFICE
561 - 752 - 5542 FAX

FILE NAME

SCALE

DATE 1/25/2023

RVD. BY

DRWN. BY

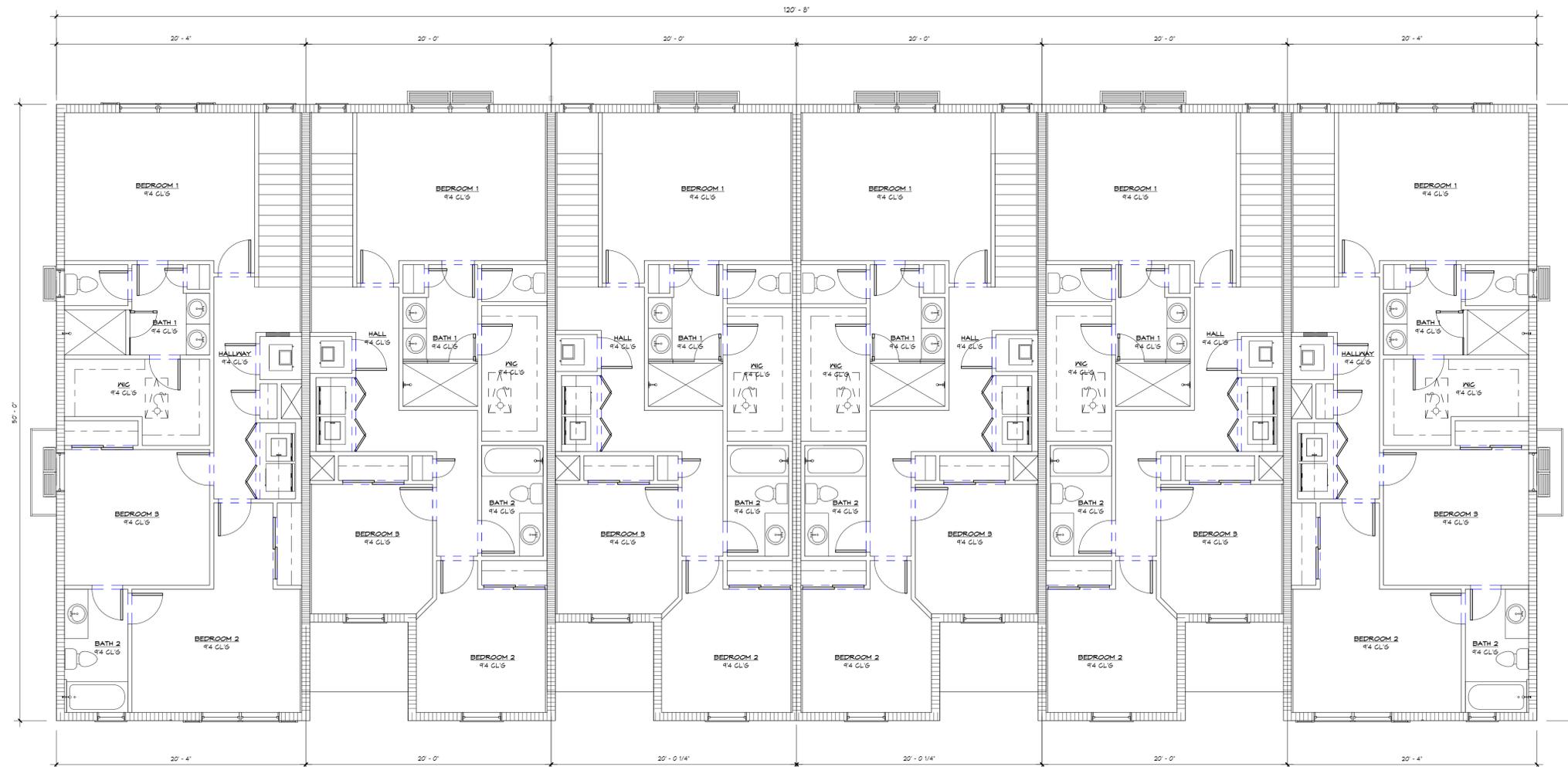
REVISION

SEAL
D. ADAM LeBLANC, PE FL #77012

SHEET #

A1

CITY OF PORT ST LUCIE PROJECT NO: P22-232



1 2ND FLOOR PLAN
3/16" = 1'-0"

PLAN 1820R

PLAN 1634R

PLAN 1634R

PLAN 1634L

PLAN 1634L

PLAN 1820L

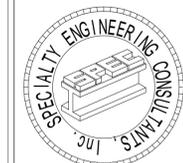
2ND BUILDING PLANS

SHEET INFORMATION

PROJECT INFORMATION
CENTRAL PARC
PORT ST LUCIE, FLORIDA

CLIENT INFORMATION

13TH FLOOR CP, LLC
330 SW 2ND STREET, #110
FT LAUDERDALE, FL 33312



SPECIALTY ENGINEERING CONSULTANTS, Inc

1599 SW 30th AVE.
SUITE #20
BOYNTON BEACH, FL 33426

DADE - BROWARD - PALM BEACH
FL. CA. #009217

561 - 752 - 5440 OFFICE
561 - 752 - 5542 FAX

FILE NAME:

SCALE:

DATE 1/25/2023

RV'D. BY:

DRWN. BY:

REVISION

SEAL
D. ADAM LeBLANC, PE FL #77012

SHEET #

A2



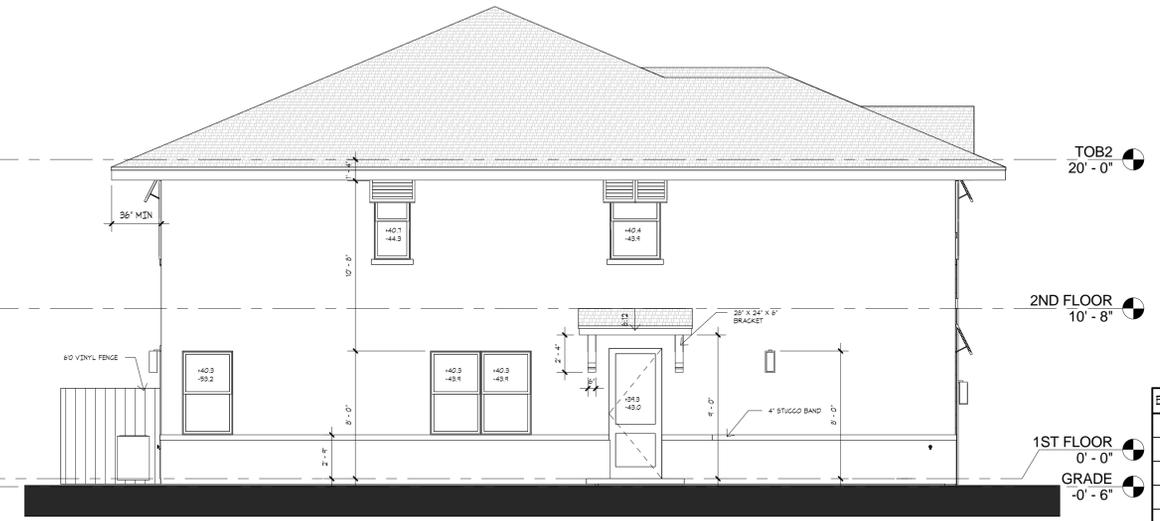
④ REAR ELEVATION
3/16" = 1'-0"

REAR ARCHITECTURAL ELEMENTS	
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
8	PRIMARY ROOF WITH 36" O.H.
17	USABLE OPEN SPACE

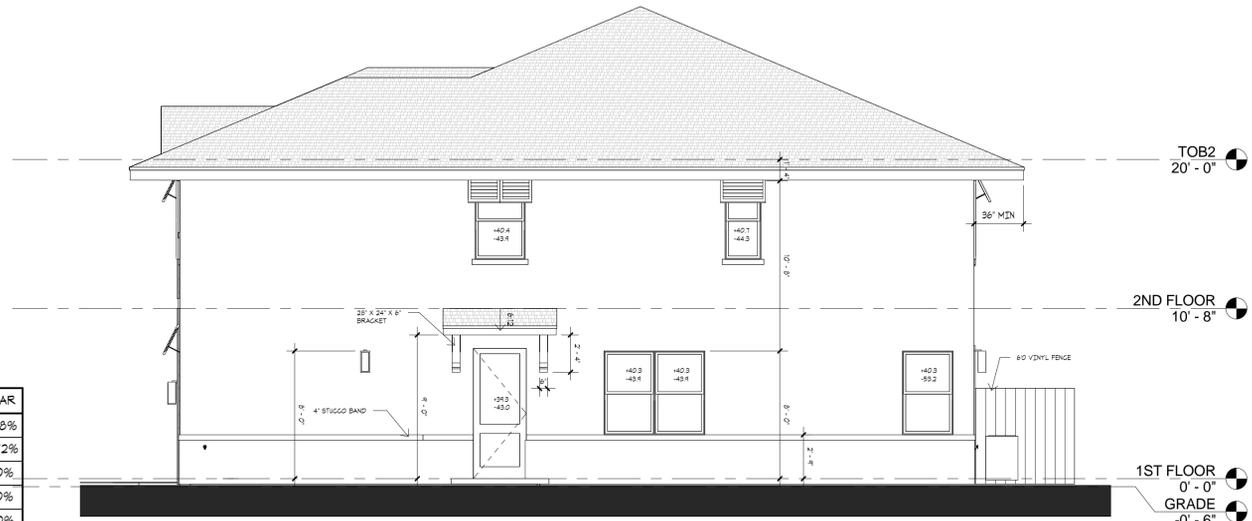
SIDE ARCHITECTURAL ELEMENTS	
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
14	BRACKETS OVER FRONT DOOR
17	USABLE OPEN SPACE

FRONT ARCHITECTURAL ELEMENTS	
3	8" HORIZONTAL SIDING
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
8	PRIMARY ROOF WITH 36" O.H.
17	USABLE OPEN SPACE

ELEVATION ARTICULATED ELEMENTS	FRONT	SIDE	REAR
BANDING	4.65%	1.36%	2.18%
WINDOWS/GLASS	6.46%	6.13%	17.72%
DOORS	12.68%	2.40%	0.0%
SIDING	10.40%	0.0%	0.0%
PROJECTED ROOF	2.10%	1.03%	0.0%
FASCIA	3.53%	4.40%	2.84%
SHUTTERS	2.47%	1.07%	1.96%



② LEFT SIDE ELEVATION
3/16" = 1'-0"



③ RIGHT SIDE ELEVATION
3/16" = 1'-0"



① FRONT ELEVATION
3/16" = 1'-0"

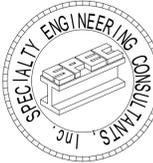
ELEVATIONS

SHEET INFORMATION

PROJECT INFORMATION
CENTRAL PARC
PORT ST LUCIE, FLORIDA

CLIENT INFORMATION

13TH FLOOR CP, LLC
330 SW 2ND STREET, #110
FT LAUDERDALE, FL 33312



SPECIALTY ENGINEERING CONSULTANTS, Inc

1599 SW 30th AVE.
SUITE #20
BOYNTON BEACH, FL 33426

DADE - BROWARD - PALM BEACH
FL, CA, 400217

561 - 752 - 5440 OFFICE
561 - 752 - 5542 FAX

FILE NAME:

SCALE

DATE 1/25/2023

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DRWN. BY

REVISION

SEAL
D. ADAM LeBLANC, PE FL #77012

SHEET #

A3



④ REAR ELEVATION
3/16" = 1'-0"

REAR ARCHITECTURAL ELEMENTS	
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
8	PRIMARY ROOF WITH 36" O.H.
17	USABLE OPEN SPACE

SIDE ARCHITECTURAL ELEMENTS	
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
14	BRACKETS OVER FRONT DOOR
17	USABLE OPEN SPACE

FRONT ARCHITECTURAL ELEMENTS	
3	8" HORIZONTAL SIDING
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
8	PRIMARY ROOF WITH 36" O.H.
17	USABLE OPEN SPACE

BUILDING FACE COLOR PERCENTAGE	F	S	R
PRIMARY BUILDING COLOR	42%	68%	48%
ACCENT COLOR	19%	8%	5%
ROOF COVERAGE	32%	18%	28%
GLASS	8%	6%	19%

ELEVATION ARTICULATED ELEMENTS	FRONT	SIDE	REAR
BANDING	4.65%	1.36%	2.18%
WINDOWS/GLASS	6.46%	6.13%	11.72%
DOORS	12.68%	2.40%	0.0%
SIDING	10.40%	0.0%	0.0%
PROJECTED ROOF	2.10%	1.03%	0.0%
FASCIA	3.53%	4.40%	2.84%
SHUTTERS	2.47%	1.07%	1.96%



② LEFT SIDE ELEVATION
3/16" = 1'-0"



③ RIGHT SIDE ELEVATION
3/16" = 1'-0"

SCHEME	BODY COLOR	DOOR SHUTTER TRIM, FASCIA	PAVERS	ROOF
1	SHERWIN WILLIAMS EXTRA WHITE SW 7006	SHERWIN WILLIAMS SUMMIT GRAY SW 7669	GRAY CHARCOAL GRANITE	GAF TIMBERLINE CHARCOAL
2	SHERWIN WILLIAMS Response Gray SW 7015	SHERWIN WILLIAMS EXTRA WHITE SW 7006	GRAY CHARCOAL GRANITE	GAF TIMBERLINE CHARCOAL
3	SHERWIN WILLIAMS Comfort Gray SW 6205	SHERWIN WILLIAMS Extra White SW 7006	GRAY CHARCOAL GRANITE	GAF TIMBERLINE CHARCOAL

THE ELEVATION DESIGN AND COLORS MAY NOT BE MODIFIED WITHOUT APPROVAL FROM THE CITY

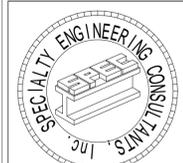


① FRONT ELEVATION
3/16" = 1'-0"

CITY OF PORT ST LUCIE PROJECT NO: P22-232

COLOR ELEVATIONS SCHEME 1
PROJECT INFORMATION
CENTRAL PARC
PORT ST LUCIE, FLORIDA

CLIENT INFORMATION
13TH FLOOR CP, LLC
330 SW 2ND STREET, #110
FT LAUDERDALE, FL 33312



SPECIALTY ENGINEERING CONSULTANTS, Inc
1599 SW 30th AVE.
SUITE #40
BOYNTON BEACH, FL 33426

DADE - BROWARD - PALM BEACH
FL, CA, #009217

561-752-5440 OFFICE
561-752-5542 FAX

FILE NAME:
SCALE:
DATE: 1/25/2023
R.V.D. BY:
DRWN. BY:

REVISION:

SEAL
D. ADAM LeBLANC, PE FL #77012

SHEET #
A3.1

I:\LENNAR\13TH FLOOR\6-UNIT BUILDING\NEW COLOR2.rvt

Town Homes AT CENTRAL PARC PORT SAINT LUCIE, FLORIDA

8-UNIT BUILDING

8-UNIT BUILDING

SHEET INDEX

SHEET INDEX			
	COVER SHEET		
A-1	1ST FLOOR BUILDING PLANS	S1	FOUNDATION PLAN
A-2	2ND FLOOR BUILDING PLANS	S2	1ST LIFT BEAM /2ND FLOOR FRAMING PLAN
A-3	BUILDING ELEVATIONS	S3	GENERAL NOTES & STRUCTURAL DETAILS
A-3.1	COLOR ELEVATIONS	S4	2ND FLOOR FRAMING PLAN AND NOTES
BR-1	PLAN 1820R FLOOR/ELECTRICAL PLANS	S5	2ND LIFT BEAM PLAN
AR-1	PLAN 1634R FLOOR/ELECTRICAL PLANS	S6	UPPER ROOF FRAMING PLAN
AL-1	PLAN 1634L FLOOR/ELECTRICAL PLANS	S7	GENERAL NOTES & STRUCTURAL DETAILS
BL-1	PLAN 1820L FLOOR/ELECTRICAL PLANS		
D-1	TYPICAL DETAILS		
D-2	TYPICAL DETAILS		
P-1	PLUMBING RISERS		

SITE & AREA CALCULATIONS

TOTAL BUILDING AREA	15,530 SQ.FT.
PROPOSED A/C AREA	13,444 SQ.FT.
PROPOSED NON A/C AREA	2,086 SQ.FT.
GARAGES	1,818 SQ.FT.
COVERED ENTRY	268 SQ.FT.

BLDG. DESIGN DATA

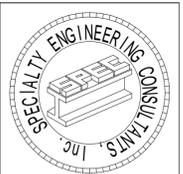
CODES: FLORIDA BLDG. RESIDENTIAL CODE 2020 7TH EDITION
NFPA FL. FIRE PREVENTION CODE 7TH ED.
NEC NATIONAL ELECTRIC CODE 2017
CARBON MONOXIDE DETECTORS REQUIREMENTS PER FL
ADMINISTRATIVE CODE RULE 9B-3.0472
ACI 318-14;
ASTM 47th ED.
CITY OF PSL SECTION 158.218

DESIGN CRITERIA

CITY	PORT ST LUCIE, FL
OCCUPANCY GROUP	N/A
NUMBER OF STORIES	2
BUILDING CATEGORY	ENCLOSED
BASIC WIND SPEED, mph	170
WIND IMPORTANCE FACTOR	1.0
WIND EXPOSURE CATEGORY	C
INTERNAL PRESSURE COEFFICIENT	+/- .18
MINIMUM SOIL PRESSURE, psf	2500
FLOOR LOADS (LIVE & DEAD)	55
ROOF DEAD LOAD, psf	20
ROOF LIVE LOAD, psf	30

CLIENT INFORMATION

13TH FLOOR CP, LLC
330 SW 2ND AVE # 110
FT LAUDERDALE, FL 33312

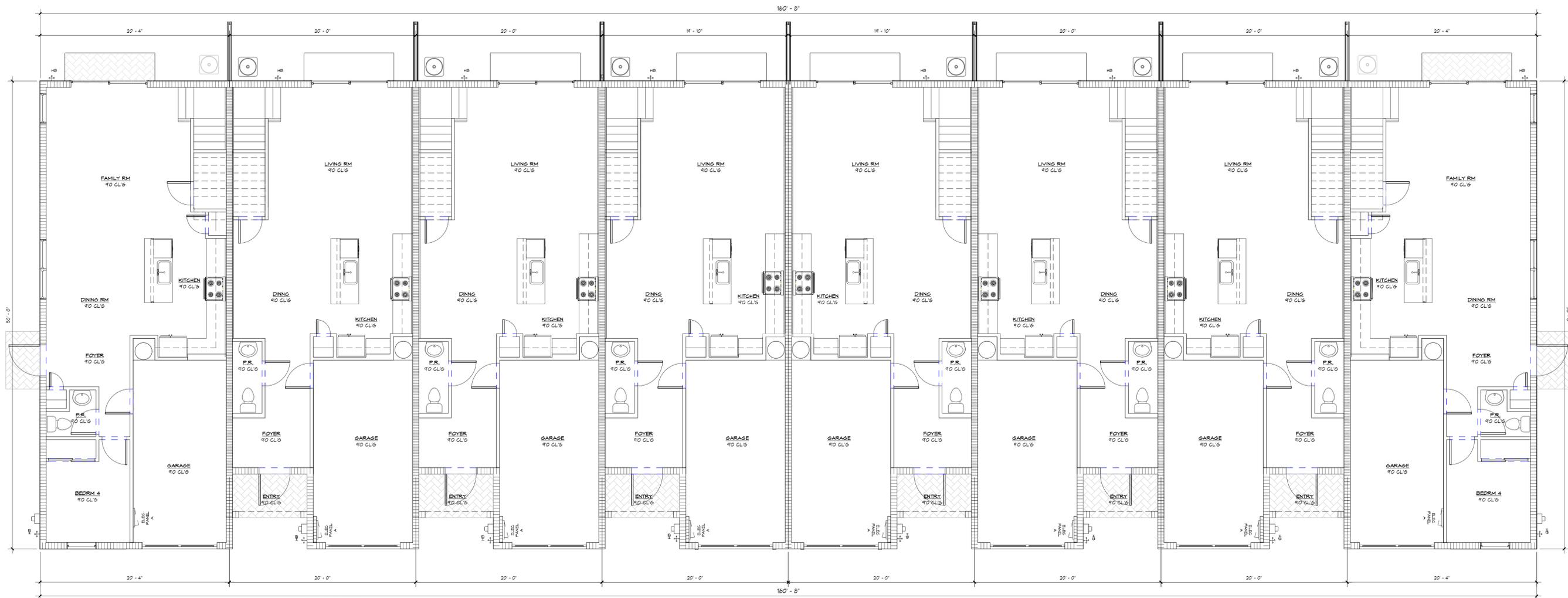


SPECIALTY ENGINEERING
CONSULTANTS, Inc.
1599 SW 30th AVE.
SUITE #20
BROWNS BEACH, FL 33426

PACE - BROWARD - PALM BEACH
FL. CA. #000217

561 - 752 - 5440 OFFICE
561 - 752 - 5542 FAX

CITY OF PORT ST LUCIE PROJECT NO: P22-232



① 1ST FLOOR PLAN
3/16" = 1'-0"

PLAN 1820R

PLAN 1634R

PLAN 1634R

PLAN 1634R

PLAN 1634L

PLAN 1634L

PLAN 1634L

PLAN 1820L

1ST BUILDING PLANS

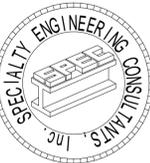
SHEET INFORMATION

PROJECT INFORMATION
CENTRAL PARC
PORT ST LUCIE, FLORIDA

CLIENT INFORMATION

13TH FLOOR CP, LLC

330 SW 2ND STREET, #110
FT LAUDERDALE, FL 33312



SPECIALTY ENGINEERING
CONSULTANTS, Inc.

1599 SW 30th AVE.
SUITE #30
BOYNTON BEACH, FL 33426

DADE - BROWARD - PALM BEACH
FL. CA. #009217

561 - 752 - 5440 OFFICE
561 - 752 - 5542 FAX

FILE NAME:

SCALE:

DATE 1/25/2023

RV'D. BY:

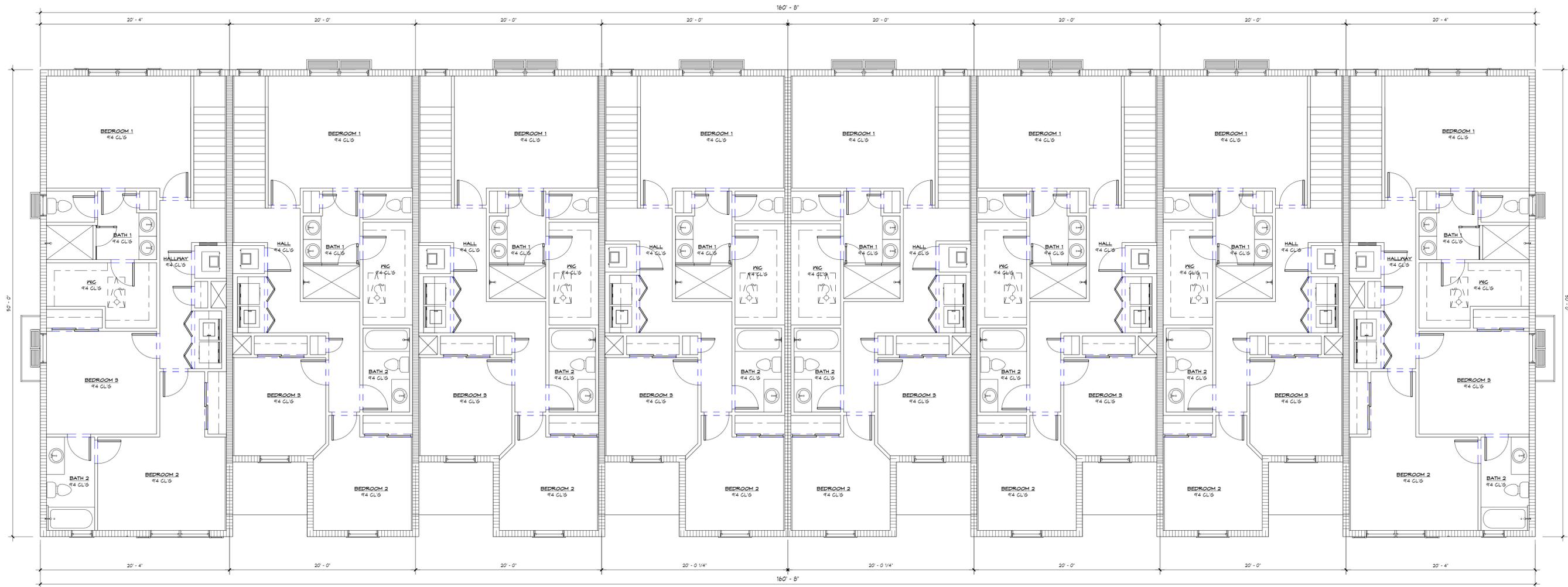
DRWN. BY:

REVISION

SEAL
D. ADAM LeBLANC, PE FL #77012

SHEET #

A1



1 2ND FLOOR PLAN
3/16" = 1'-0"

PLAN 1820R

PLAN 1634R

PLAN 1634R

PLAN 1634R

PLAN 1634L

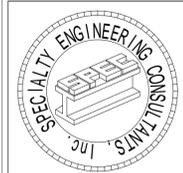
PLAN 1634L

PLAN 1634L

PLAN 1820L

2ND BUILDING PLANS
PROJECT INFORMATION
CENTRAL PARC
PORT ST LUCIE, FLORIDA

CLIENT INFORMATION
13TH FLOOR CP, LLC
330 SW 2ND STREET, #110
FT LAUDERDALE, FL 33312



SPECIALTY ENGINEERING CONSULTANTS, Inc.
1599 SW 30th AVE.
SUITE #20
BOYNTON BEACH, FL 33426
DADE - BROWARD - PALM BEACH
FL. CA. #009217
561 - 752 - 5440 OFFICE
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FILE NAME:
SCALE:
DATE: 1/25/2023
RV'D. BY:
DRWN. BY:

REVISION

SEAL
D. ADAM LeBLANC, PE FL #77012

SHEET #
A2



2 LEFT SIDE ELEVATION
3/16" = 1'-0"

REAR ARCHITECTURAL ELEMENTS

6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
8	PRIMARY ROOF WITH 36" O.H.
17	USABLE OPEN SPACE

SIDE ARCHITECTURAL ELEMENTS

6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
14	BRACKETS OVER FRONT DOOR
17	USABLE OPEN SPACE

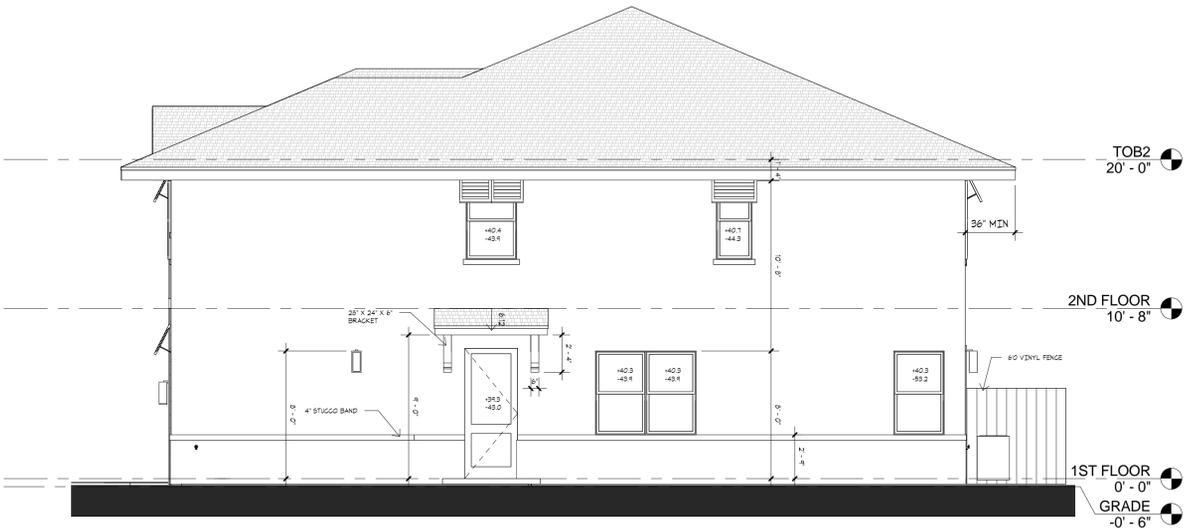
FRONT ARCHITECTURAL ELEMENTS

3	8" HORIZONTAL SIDING
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
8	PRIMARY ROOF WITH 36" O.H.
17	USABLE OPEN SPACE

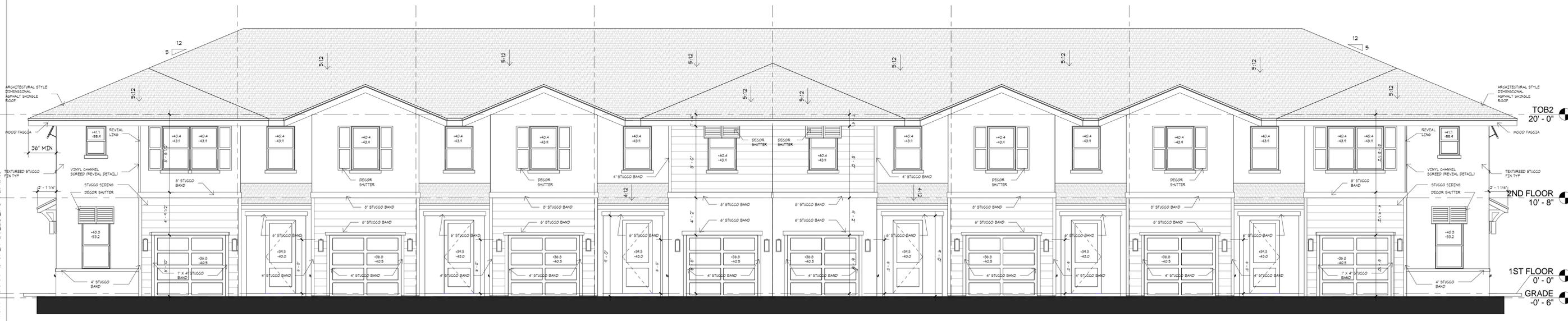
ELEVATION ARTICULATED ELEMENTS

	FRONT	SIDE	REAR
BANDING	4.34%	1.36%	2.16%
WINDOWS/GLASS	6.12%	6.13%	17.46%
DOORS	12.97%	2.40%	0.0%
SIDING	10.17%	0.0%	0.0%
PROJECTED ROOF	2.35%	1.03%	0.0%
FASCIA	3.52%	4.40%	2.81%
SHUTTERS	2.47%	1.07%	1.87%

4 REAR ELEVATION
3/16" = 1'-0"



3 RIGHT SIDE ELEVATION
3/16" = 1'-0"





4 REAR ELEVATION
3/16" = 1'-0"



2 LEFT SIDE ELEVATION
3/16" = 1'-0"

REAR ARCHITECTURAL ELEMENTS	
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
8	PRIMARY ROOF WITH 36" O.H.
17	USABLE OPEN SPACE

SIDE ARCHITECTURAL ELEMENTS	
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
14	BRACKETS OVER FRONT DOOR
17	USABLE OPEN SPACE

FRONT ARCHITECTURAL ELEMENTS	
3	8" HORIZONTAL SIDING
6	BAHAMA SHUTTERS
7	SIDE WINDOW SHUTTERS
8	PRIMARY ROOF WITH 36" O.H.
17	USABLE OPEN SPACE

BUILDING FACE COLOR PERCENTAGE	F	S	R
PRIMARY BUILDING COLOR	42%	68%	47%
ACCENT COLOR	20%	0%	5%
ROOF COVERAGE	32%	18%	29%
GLASS	6%	6%	19%

ELEVATION ARTICULATED ELEMENTS	FRONT	SIDE	REAR
BANDING	4.34%	1.36%	2.16%
WINDOWS/GLASS	6.12%	6.13%	17.46%
DOORS	12.97%	2.40%	0.0%
SIDING	10.17%	0.0%	0.0%
PROJECTED ROOF	2.35%	1.03%	0.0%
FASCIA	3.52%	4.40%	2.81%
SHUTTERS	2.47%	1.07%	1.87%



3 RIGHT SIDE ELEVATION
3/16" = 1'-0"

SCHEME	BODY COLOR	DOOR SHUTTER TRIM, FASCIA	PAVERS	ROOF
1	SHERWIN WILLIAMS EXTRA WHITE SW 7006	SHERWIN WILLIAMS SUMMIT GRAY SW 7669	GRAY CHARCOAL GRANITE	GAF TIMBERLINE CHARCOAL
2	SHERWIN WILLIAMS Response Gray SW 7015	SHERWIN WILLIAMS Extra White SW 7006	GRAY CHARCOAL GRANITE	GAF TIMBERLINE CHARCOAL
3	SHERWIN WILLIAMS Comfort Gray SW 6205	SHERWIN WILLIAMS Extra White SW 7006	GRAY CHARCOAL GRANITE	GAF TIMBERLINE CHARCOAL

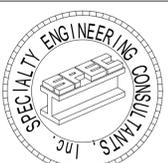


1 FRONT ELEVATION
3/16" = 1'-0"

CITY OF PORT ST LUCIE PROJECT NO: P22-232

COLOR ELEVATIONS SCHEME 1
PROJECT INFORMATION
CENTRAL PARC
PORT ST LUCIE, FLORIDA
SHEET INFORMATION

CLIENT INFORMATION
13TH FLOOR CP, LLC
330 SW 2ND STREET, #110
FT LAUDERDALE, FL 33312



SPECIALTY ENGINEERING CONSULTANTS, Inc.
1599 SW 30th AVE.
SUITE #20
BOYNTON BEACH, FL 33426
DADE - BROWARD - PALM BEACH
FL, CA. 4009217
561 - 752 - 5440 OFFICE
561 - 752 - 5542 FAX

FILE NAME:
SCALE:
DATE: 1/25/2023
RVD. BY:
DRWN. BY:
REVISION:
SEAL
D. ADAM LEBLANC, PE FL #77012
SHEET #

A3.1

Preliminary Plat Application

January 10, 2023

Re: Project Name: Verano South Pod G Phase 2 Pod No 2 Replat No 1
Project Number: P22-232
PSLUSD File No: 11-652-36B
Application Description: Subdivision Preliminary Plat
CH Project No.: 20-0612

Dear Staff,

On behalf of DK Central Park, LLC, please accept this letter as a formal request to process application P22-232 – Verano South Pod G Phase 2 Pod No 2 Replat 1 as a Preliminary Plat Application, as opposed to a final plat as originally filed. The applicant is requesting that the project move forward to Planning and Zoning and City Council as a Preliminary Plat Application, which does not require a subdivision bond or mylars, in order to record the plat. The final plat is anticipated to be filed later in the year for SPRC review and City Council Approval. At such time, the developer will submit the subdivision bond and mylars for recordation purposes.

Please contact this office with any questions you may have in your review of this information.

Sincerely yours,



Daniel T. Sorrow, AICP, PLA, LEED AP BD+C
Cotleur & Hearing
1934 Commerce Lane, Suite 1
Jupiter, FL 33458

Verano South Pod G Plat No. 2 POD No. 2 Replat No. 1

PRELIMINARY SUBDIVISION PLAT APPLICATION
(P22-232)

Planning and Zoning Board Meeting of March 7, 2023



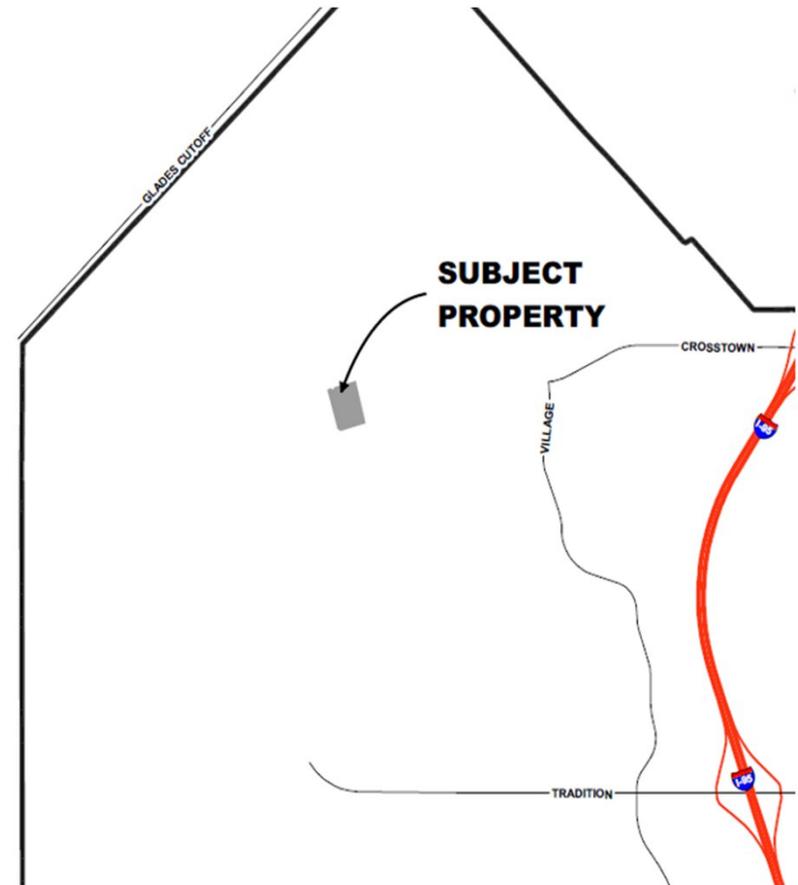
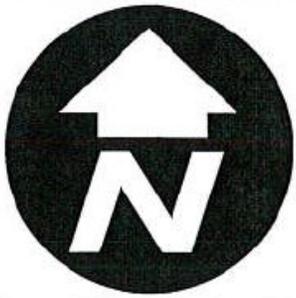
CityofPSL.com

Requested Application:

Request for approval of a Preliminary Plat with Construction Plans that is 18.5 acres in area and includes 220 multi-family lots for 220 units for a project known as Verano South Pod G Plat No. 2 POD No. 2 Replat No. 1.

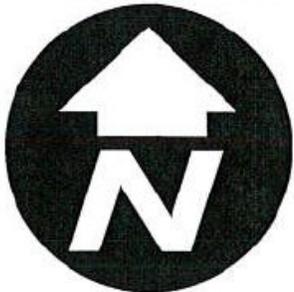


Subject property

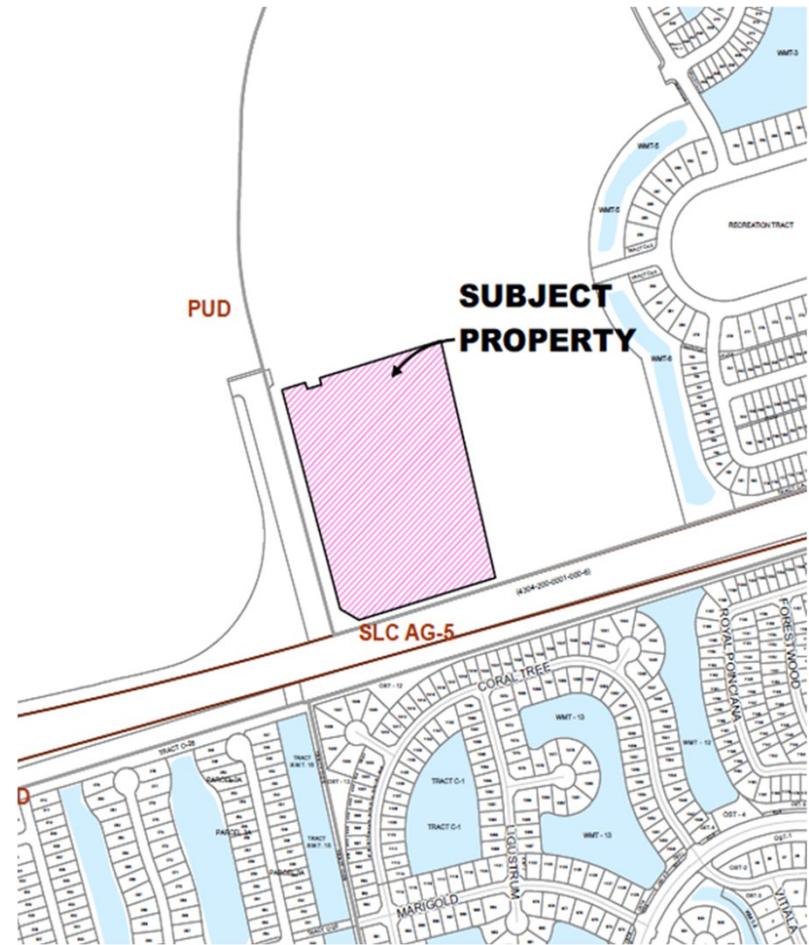


CityofPSL.com

Aerial



Zoning



CityofPSL.com



Concurrency Review

This subdivision plat application has been reviewed by the Public Works Department and the transportation elements of the project were found in compliance with the adopted level of service and requirements of Chapter 156 of City Code, and Public Works Policy 19-01pwd.

The estimated PM Peak Trip count for the Verano development is over 3,000 as of July 2022. According to the DRI, this 2 lane roadway of North-South A from Crosstown north to the southern most residential access is required prior to the first Certificate of Occupancy being issued on the west side of North-South A. Also, the 2 lane extension of Crosstown Parkway to North-South A is required at 5,023 PM Peak hour trips. Plans are already under design for the Crosstown Parkway extension though.

The total proposed dwelling units for the entire Verano DRI is now 7,046 dwelling units resulting in a potential of 8,230 PM Peak hour trips at buildout.

Traffic Impact Analysis

- This development is contained within the Verano DRI area.
- Received latest Traffic Statement Update June 2022
- Statement completed by MacKenzie Engineering & Planning, Inc. for Kolter Communities
- Reviewed by City Staff
- Found to be consistent with the PUD and DRI.



Roadway Commitments

- This development is currently at over 3,000 PM Peak hour trips as of latest Biennial Report through July 2022 estimation received from developer.
- The total proposed dwelling units for entire DRI is now 7,046 units resulting in a potential of 8,230 PM Peak hour trips at buildout.
- DRI Roadway commitments are:
 - 2-lane Crosstown Parkway - Village Parkway to North-South A (N/S A) - 5,023 PM Peak hour trips
 - This application is for the 2-lane N/S A – Crosstown Parkway to southern most Verano residential access – Prior to 1st residential Certificate of Occupancy west of N/S A



Recommendation

The Site Plan Review Committee recommended approval at their meeting of January 11, 2023.





Agenda Summary
2023-232

Agenda Date: 3/7/2023

Agenda Item No.: 7.a

Placement: Public Hearing - Non Quasi Judicial

Action Requested: Motion / Vote

P22-336 Lulfs Grove - Comprehensive Plan Amendment - Large Scale

Location: Generally bordered by Glades Road Cut Off to the south, Interstate I-95 to the east, and Midway Road to the north.

Legal Description: A portion of Sections 20 & 21, Township 36 South, Range 39 East.

This is a request to change the Future Land Use of 464.5 acres known as Lulfs Grove Business Park, to Low Density Residential (RL), Medium Density Residential (RM) and Recreation Open Space (OSR).

Submitted By: Stephen Mayer, Planner III

Executive Summary: The applicant is requesting approval of a large-scale future land use map amendment for 464.5 acres in size acres from Commercial Service/Light Industrial/Heavy Industrial (CS/LI/HI), Commercial Service/Light Industrial/Residential, Office and Institutional (CS/LI/ROI) and Commercial General/Residential, Office and Institutional (CG/ROI) to Recreation Open Space (OSR), Low Density Residential (RL), and Medium Density Residential (RM). The properties are generally located by Glades Cut Off Road to the South, Interstate I-95 to the east and Midway Road to the north. The applicant is also requesting the removal of Policies 1.1.4.18 and 1.1.4.19, which created the Lulfs Groves Business Park Area. This area is designated pursuant to the provisions of the Economic Development Element, in order to promote the development of a compact, high-intensity, multi-use area, and to designate an area for intensive growth that includes land uses such as industrial, commercial, retail, and residential, which supports the City's biotech and life sciences industries. The purpose of this request is to convert the Lulfs Grove business Park Area to property designated for residential development only.

Presentation Information: N/A

Staff Recommendation: Move that the Board Recommend **tabling** of the large-scale Comprehensive Plan Map Amendment to **April 4th**.

Background:

Special Consideration: N/A

Location of Project: Generally bordered by Glades Road Cut Off to the south, Interstate I-95 to the east, and Midway Road to the north

Attachments: 1. Memo to Table

CITY OF PORT ST. LUCIE
Planning and Zoning Department
121 S.W. Port St. Lucie Blvd., Building B
Port St. Lucie, FL 34984-5099
www.cityofpsl.com



MEMORANDUM

TO: Planning and Zoning Board

FROM: Mary Savage-Dunham, AICP, Director, Planning and Zoning

DATE: February 28, 2023

RE: Request to Table – P22-336

Please accept this request to table this item to the meeting of April 4, 2023.



Agenda Summary

2023-233

Agenda Date: 3/7/2023

Agenda Item No.: 7.b

Placement: Public Hearing - Non Quasi Judicial

Action Requested: Motion / Vote

P22-356 St. Lucie Lands/Veranda - Comprehensive Plan Amendment - Large Scale

Location: The properties are generally located south of Becker Road, North of the St. Lucie County line, east of the Florida Turnpike, and west of Veranda Preserve.

Legal Description: Portions of Veranda Plat No. 3, Veranda Gardens West Phase 1; Portions of Veranda Plat No. 4, Veranda Gardens West Phase 2; Portions of Veranda Plat No. 5, Veranda Gardens West Phase 3; and Veranda Plat No. 2, Parcel 7.

This is a request to approve a large-scale future land use map amendment for approximately 84 acres in size acres from Residential, Office and Institutional (ROI) and Commercial General/Residential, Office, Institutional (CG/ROI) to Residential Golf Course (RGC).

Submitted By: Stephen Mayer, Planner III

Executive Summary: The applicant is requesting approval of a large-scale future land use map amendment for approximately 84 acres in size acres from Residential, Office and Institutional (ROI) and Commercial General/Residential, Office, Institutional (CG/ROI) to Residential Golf Course (RGC). The purpose of this request is to apply a uniform application of the RGC land use classification to the entirety of the residential portion of the Veranda and St. Lucie Lands PUD, thereby bringing the entire original PUD into compliance with Policy 1.1.4.1 of the comprehensive plan.

Presentation Information: Staff will make a presentation.

Staff Recommendation: Move that the Board recommend approval of the Comprehensive Plan Amendment.

Alternate Recommendations:

1. Move that the Board amend the recommendation and recommend approval of the amended Comprehensive Plan Amendment.
2. Move that the Board deny the Comprehensive Plan Amendment.

Background: As final site designs were completed for the Veranda PUD, amendments moved the boundary lines of the Veranda/ St. Lucie Lands PUD, resulting in a slight misalignment of the land use and the land development designations.

Issues/Analysis: The required gross number of Multifamily units, pursuant to Policy 1.1.4.1, is a minimum of 20% and Maximum of 35%. The current Residential Golf Course (RGC) land use area does not meet this requirement. Combining the multi-family units for all the Veranda and St. Lucie Lands PUD equates to 3,811

units, of which 780 is multi-family (or 20.5% multifamily). By combining and unifying all the residential components under RGC, the multi-family composition is just above the minimum required units, bringing the existing residential in compliance with the Comprehensive Plan.

Special Consideration: N/A

Location of Project: The properties are generally located south of Becker Road, North of the St. Lucie County line, east of the Florida Turnpike, and west of Veranda Preserve.

Attachments: 1. Staff Report; 2. Application; 3. Staff Presentation



ST. LUCIE LANDS/VERANDA
Large-Scale Comprehensive Plan Amendment
P22-356



Project Location Map

SUMMARY

Applicant's Request:	Large-Scale Future Land Use Map Amendment from Residential, Office, Institutional (ROI) to Residential Golf Course (RGC)
Applicant:	City of Port St. Lucie
Property Owner:	VF II, LLC
Location:	Approximately 84 acres
Project Planner:	Stephen Mayer, Planner III

Project Description

The applicant is requesting approval of a large-scale future land use map amendment for approximately 84 acres from Residential, Office, Institutional (ROI) (65.27 acres) and Commercial General/Residential, Office, Institutional (CG/ROI) (18.6 acres) to Residential Golf Course (RGC). The properties are generally located south of Becker Road, north of the St. Lucie County line, east of the Florida Turnpike, and west of Veranda Preserves.

The purpose of this request is to apply a uniform application of the RGC land use classification to the entirety of the residential portion of the Veranda and St. Lucie Lands PUDs, thereby bringing the entire original PUD into compliance with Policy 1.1.4.1 (explained in detail in the land use consistency section of the staff report).

Public Notice Requirements

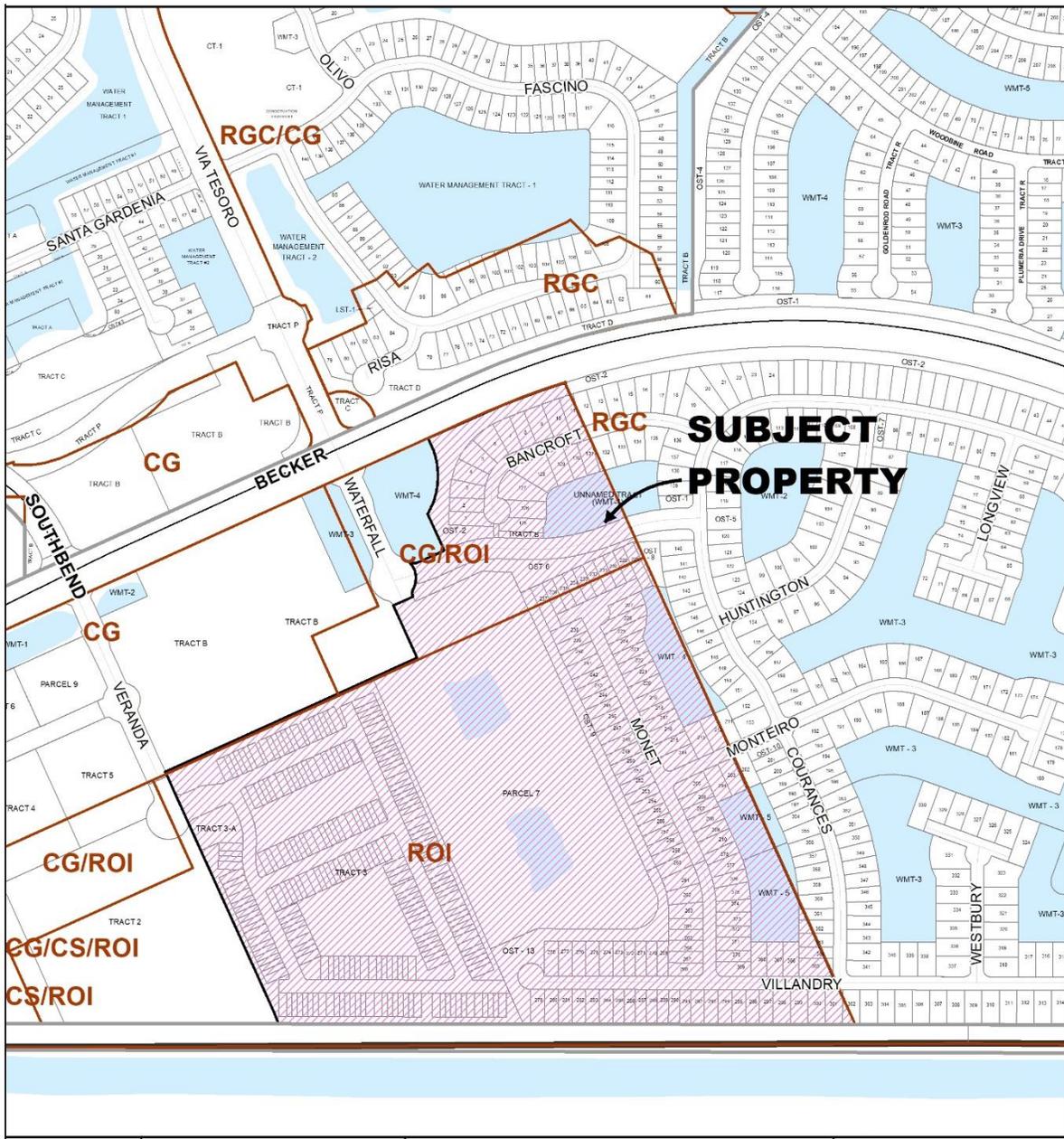
Per Sec 151.06 of the City's Comprehensive Plan, a mailed notification of public hearing has been provided to property owners within 750 feet of the parcel and a copy of the notice has been kept available for public inspection during regular business hours.

Location and Site Information

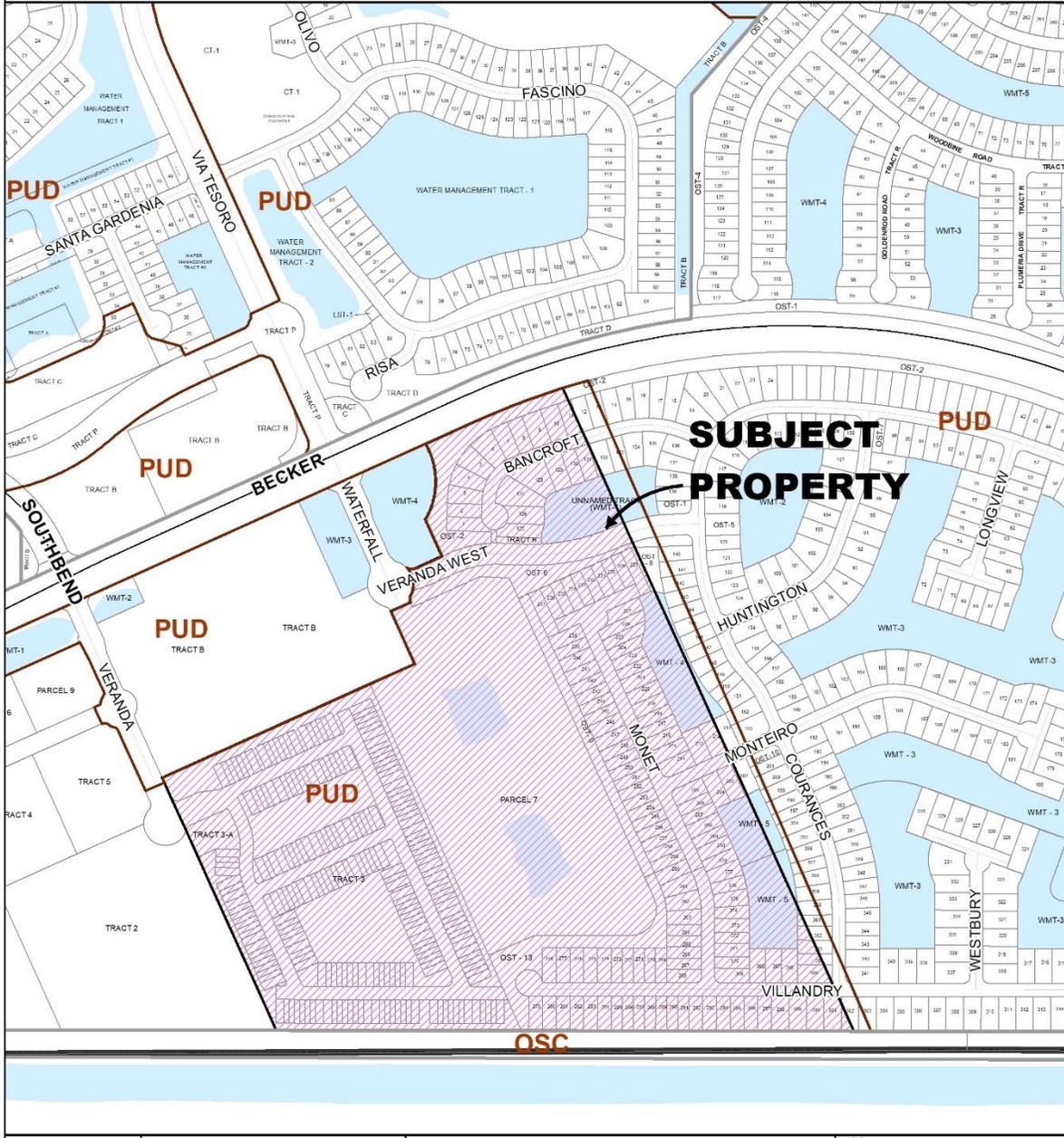
Parcel Number:	N/A
Property Size:	Approximately 84 acres (65.27 acres ROI and 18.6 acres CG/ROI)
Legal Description:	Portions of Veranda Plat No. 3, Veranda Gardens West Phase 1; Portions of Veranda Plat No. 4, Veranda Gardens West Phase 2; Portions of Veranda Plat No. 5, Veranda Gardens West Phase 3; and Veranda Plat No. 2, Parcel 7.
Future Land Use:	Residential, Office, Institutional (ROI) and Commercial General/Residential, Office, Institutional (CG/ROI)
Existing Zoning:	Planned Unit Development (PUD)
Existing Use:	Residential and vacant land
Requested Future Land Use:	Residential Golf Course (RGC)
Proposed Uses:	Residential

Surrounding Uses

Direction	Future Land Use	Zoning	Existing Use
North	RGC/CG	Planned Unit Development (PUD)	Residential Single Family (Tesoro) and Shoppes at Veranda Falls
South	County Line/ Martin County	Martin County	Single Family Residential across C-23 Canal
East	Residential Golf Course (RGC)	PUD	Residential Single Family (Veranda Gardens)
West	CG/ROI	PUD	Commercial/Vacant



Future Land Use Map



Zoning Map

COMPREHENSIVE PLAN REVIEW AND ANALYSIS

Applicant's Justification Statement: The request is to change the future land use designations from Residential, Office, Institutional (ROI) and Commercial General/Residential, Office, Institutional (CG/ROI) to Residential Golf Course (RGC). This amendment will allow a horizontally mixed-use project with apartments and commercial uses.

Land Use Consistency: The applicant is proposing a large-scale future land use map amendment from Residential, Office and Institutional (ROI) and Commercial General/Residential, Office, Institutional (CG/ROI) to Residential Golf Course (RGC) for the approximately 84 acres (65.27 acres ROI and 18.6 acres CG/ROI).

The future land use map amendment application is supported by and furthers the following policies of the comprehensive plan:

- Goal 1.1 states “Provide an appropriate mix of land uses which meet the needs of current and future residents of Port St. Lucie in a way which is environmentally acceptable; and developed concurrent with needed facilities and services.”
- Objective 1.1.3 states, “Development orders and permits for development and redevelopment activities shall be issue only in areas where public facilities necessary to meet level of service standards (which are adopted as part of the Traffic, Infrastructure, Recreation and Open Space, Public School Facilities and Capital Improvements elements of this Comprehensive Plan) are available concurrent with the impacts of development”.
- Policy 1.1.3.1 states, “The development of residential, commercial and industrial land shall be timed and staged in conjunction with provision of supporting community facilities and services identified as being required such as:
 - a. Potable water;
 - b. Sanitary sewers;
 - c. Solid waste removal;
 - d. Vehicular and pedestrian circulation;
 - e. Public safety;
 - f. Recreation;
 - g. Public schools;
 - h. Electricity; and
 - i. Drainage.”
- Policy 1.1.4.10 defines the densities and intensities that shall apply to future land use classifications such as RGC. If approved, the applicant’s proposed future land use will allow up to five (5) dwelling units per acre.
- Policy 1.1.4.1 Residential Golf Course - a maximum density of 5.0 DUs per gross acre. Each development designated RGC shall include a minimum of one 18-hole golf course. No more than ten percent of the land area of each development designated RGC, excluding the actual golf course area, shall be developed with non-residential uses. Which uses may include: hotel, retail, conference center, recreational and maintenance facilities, institutional uses as defined in this land use plan, and office. A minimum of twenty percent and a maximum of thirty-five percent of the residential dwellings within the land area of each development designated RGC shall be City of Port St. Lucie 1-27 Adopted Comprehensive Plan: 2020-2040 October 26, 2020, multifamily dwelling units. Where an area designated RGC is part of a “multiuse” Development of Regional Impact (DRI) which meets or exceeds the guidelines and standards of Section 380.0651(3)(i), F.S. and Rule 28-24.032(2), F.A.C., and contains at least 100 residential dwelling units or 10% of the applicable residential threshold in St. Lucie County, whichever is greater, and otherwise meets the criteria of Section 163.3180(5), F.S., such DRI may satisfy the transportation concurrency requirements of the City of Port St. Lucie Comprehensive Plan, the City of Port St. Lucie’s concurrency management system and Chapter 380, F.S., by payment of a proportionate share contribution that is sufficient to pay for one or more required improvements that will benefit a

percent of the potable water level of service. Projected water and wastewater demand for both existing and future land use categories are listed below:

Water and Wastewater Calculations by Net Change of Land Use

<i>Future Land Use</i>	<i>Development</i>	<i>Projected Demand Potable Water</i>	<i>Projected Demand Wastewater (85% of potable water rate)</i>
CG/ROI (Existing)	922 dwelling units	265,075 GPD	225,314 GPD
RGC (Proposed)	1,258 dwelling units	361,675 GPD	307,424 GPD
	Projected <u>increase</u> in demand	96,600 GPD	82,110

The proposed future land use amendment would potentially result in a decrease in water and wastewater demand of approximately 48,300 gallons per day of potable water usage and approximately 41,055 gallons per day wastewater usage. Existing and planned facilities are available to serve the area.

Transportation: Comparison of existing traffic impacts and proposed based on maximum amount of development allowed and documented as follows:

Existing Future Land Use	Acres	Maximum Coverage	Trip Generation Average Rate (ITE Code)	Trip Generation	PM Peak Hour
CG/ROI	18.6	324,086 SF (40%)	Shopping Center (820) ITE Code	14,322	1,388
ROI	65.27	1,137,264 SF (40%)	Medical Office (72) ITE Code	48,760	6,085
Proposed Future Land Use	Acres	Maximum Coverage	Trip Generation Average Rate (ITE Code)	Trip Generation	PM Peak Hour
RGC	84	1,258 dwelling units 15 du's per acre	Multi- Family Residential (220)	8,139	563

The proposed amendment will reduce daily trips by 54,043 and PM peak hour trips by 6,910. Since the proposed amendment is expected to decrease the number of trips, there will not be any adverse impacts on the transportation level of service for the adjacent roads. Furthermore, there is an approved Development Agreement for the Veranda and St. Luce lands PUDs that limits the amount of development in the combined PUDs and provides for the necessary road improvements.

Parks/Open Space: Per the Development Agreement, 20 acres of linear park area has been provided along Becker Road. There are adequate park and recreation facilities to meet the demand created.

Stormwater: The project will include a paving and drainage plan that is in compliance with the adopted level of service standard.

Solid Waste: Solid waste impacts are measured and planned based on population projections on an annual basis. There is adequate capacity available.

Public School Concurrency Analysis: In accordance with the Development Agreement, the developer made a monetary contribution to the St. Lucie County School Board, to be used for capital needs for public schools. This satisfies the public-school concurrency requirement.

Environmental: The Development Agreement and the PUDs include habitat preservation requirements that include preservation on site and mitigation pursuant to Port St. Lucie Natural Resources Code Section 157.39(4)(B).

Flood Zone: The flood map for the selected area is number 12111C0405K and is located in Zone X. Zone X is determined to be located outside the 100-year and 500-year floodplains.

Fire District: The nearest St. Lucie County Fire District station is Station 13 (201 SE Becker Road). The St. Lucie Fire District does not list response times for each individual station because of the necessity of responding with another station.

Police: The department’s response time is approximately 5-7 minutes for emergency calls. This proposed comprehensive plan is not expected to adversely impact that response time.

Policy 1.1.7.1: Future Land Use Map Amendment will be reviewed based on consistency with the goals, objectives, and policies of all elements of the comprehensive plan and other considerations such as:

	Consistent with criteria (Y/N or N/A)
Satisfy a deficiency or mix of uses in the Plan map	Y
Accommodate projected population or economic growth of the City	Y
Diversify the housing choices in the City	Y
Enhance or impede provision of services at adopted LOS Standards	N
Compatibility with abutting and nearby land uses	Yes
Enhance or degrade environmental resources	N/A
Job creation within the targeted industry list	N/A

STAFF RECOMMENDATION:

The Planning and Zoning Department recommends approval and transmittal of the proposed Large-Scale comprehensive plan amendment to the Florida Department of Economic Opportunity and the reviewing agencies for review and comment.

Planning and Zoning Board Action Options:

- Motion to recommend approval to the City Council with a condition;
- Motion to recommend approval to the City Council.
- Motion to recommend denial to the City Council.

Please note: Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to *table* or *continue* the hearing or review to a future meeting.

COMPREHENSIVE PLAN AMENDMENT

The following materials are required for a complete analysis of the application. Much of this material will be forwarded to the Planning and Zoning Board, City Council, and Department of Community Affairs. Please provide material that can be copied in black and white on standard sized paper. Please note that the information must address St. Lucie County if appropriate and must consider maximum utilization of the property unless an appropriate condition is agreed to as part of the application.

1. Completed application and fee.

See attached application.

2. Completed rezoning application and fee (optional).

Not required with this application.

3. Written description of area subject to application.

See Attached Legal Description.

4. Copy of deed(s).

Not required with this submission.

5. Justification for Land Use Amendment.

The attached petition for a change in land use classification from the RL (Residential Low) and ROI (Residential Office and Institutional) land uses to the RGC (Residential Golf Course) designation is to provide for the uniform application of the RGC classification over the entirety of the area known as the Veranda PUD. In the mid-2000's, the owners of what is now referred to as the Veranda, St. Lucie Lands and Floridian PUD's sought an amendment to place the areas then contemplated to the Veranda and Floridian portions of the project under a uniform future land use classification. The St. Lucie Lands portion of the project would retain its current mix of commercial and residential land use classifications.

As the final site designs were completed for the Veranda PUD, amendments were made to the boundary lines of the Veranda/ St. Lucie Lands PUD's that moved certain project development lines and has resulted in there being a slight misalignment of Land Use and land development designations. So as to avoid future confusion in this area, the purpose of this of this Petition is to adjust those future land use so that all of the residential areas associated with the Veranda PUD and all of the residential areas associated with the St. Lucie Lands PUD are under one common land use classification, RGC.

No changes in the existing site entitlements are proposed as part of this Future Land Use Amendment.

All development obligations and conditions as outlined in the Existing Development Agreement between the City of Port St. Lucie and St. Lucie Lands, Ltd./Stuart Property Holdings, LTD., remain in force and effect.

6. List and map of adjacent future land use map classifications located to the north, south, east, and west.

See attached map series.

- 7. List of adjacent existing land uses located to the north, south, east, and west. (i.e.: house, vacant, store, church, etc).**

See attached map series.

- 8. List of adjacent existing zoning categories located to the north, south, east, and west.**

See attached map series.

- 9. Map and area of site included in FEMA flood plain and 100 and 500-year flood categories with map panel number.**

See attached map series.

- 10. Map and description of the location, type, and area of wetlands located on site. (An Environmental Assessment Report is required for all large scale future land use map amendments.)**

No wetlands within petition area.

- 11. Map and description of the location, type and area of existing vegetation using Florida Land Use and Cover Classification System (FLUCAS) categories. (An Environmental Assessment Report is required for all large scale future land use map amendments.)**

Not required with this submission.

- 12. Traffic analysis.**

Not required with this submission.

- 13. Market study (for commercial categories only).**

Not required with this submission.

- 14. Capacity analysis, location, and service description for the following public services: sanitary sewer, public water, solid waste, drainage, recreation, fire and emergency services, police, education.**

Not required with this submission. All site impacts have been addressed with prior PUD approvals. See justification statement.

- 15. Location map with major streets clearly identified.**

See attached map series.

- 16. Existing future land use map.**

See attached map series.

- 17. Proposed future land use map.**

See attached map series.

- 18. Chart comparing the areas of existing and proposed future land uses.**

Not required with this submission.

St. Lucie Lands/Veranda Comprehensive Plan Amendment (Large Scale) P22-356

CityofPSL.com



Requested Application:

This is an application for a large-scale future land use map amendment for approximately 84 acres in size acres (65.27 acres ROI and 18.6 acres CG/ROI) from Residential, Office and Institutional (ROI) and Commercial General/Residential, Office, Institutional (CG/ROI) to Residential Golf Course (RGC)



What is the difference between Future Land Use (FLU) and Zoning?

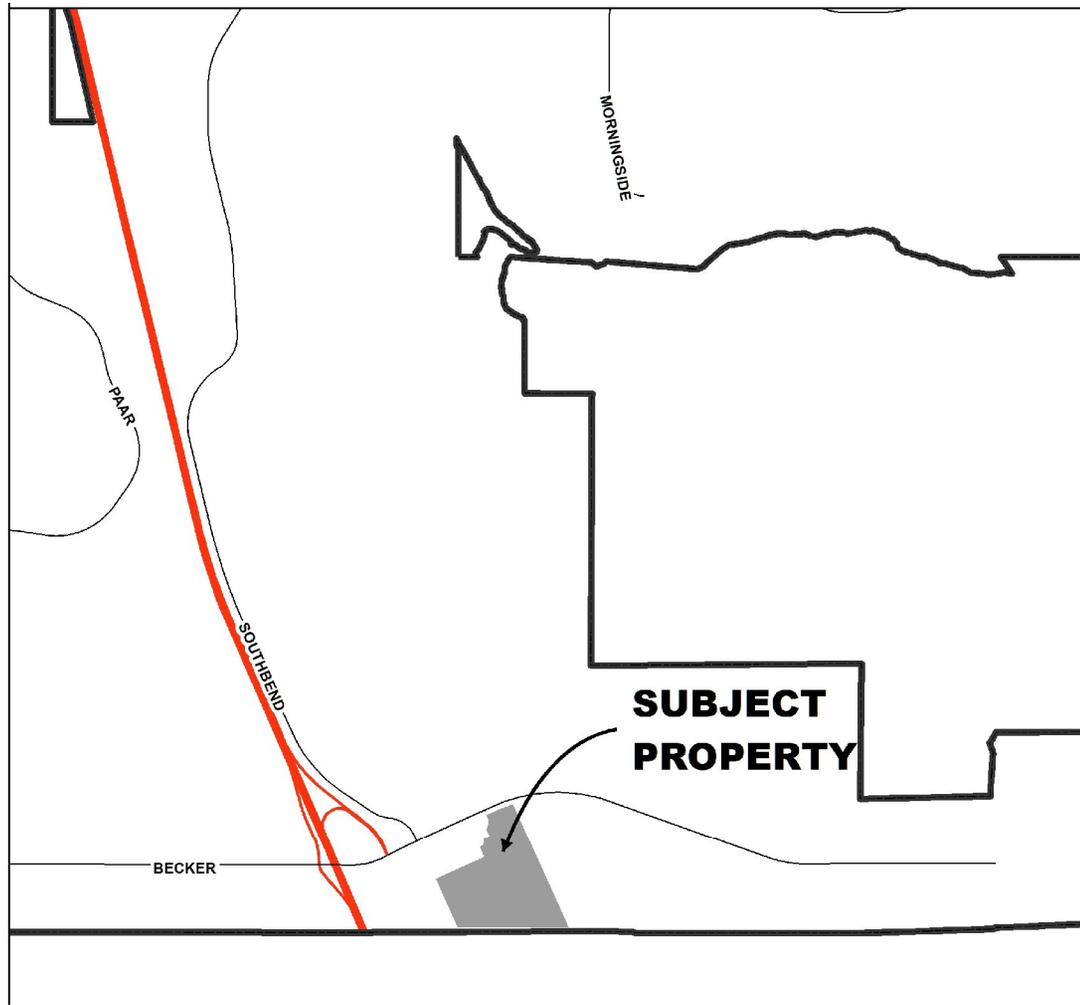
- FLU Map is part of the Comprehensive Plan
 - Provides ultimate future use of the land
 - Defines the intensity of the use (i.e., units per acre)
- Zoning
 - Prescribes specifics to a parcel (setbacks, lot coverage)
 - Prohibited and Allowable uses



Concurrent Applications:

- The applicant has also applied for a concurrent small-scale Future Land Use map amendment for adjacent property in order to unify the entire St. Lucie Lands PUD under the same Future Land Use designation.





Location Map

CityofPSL.com

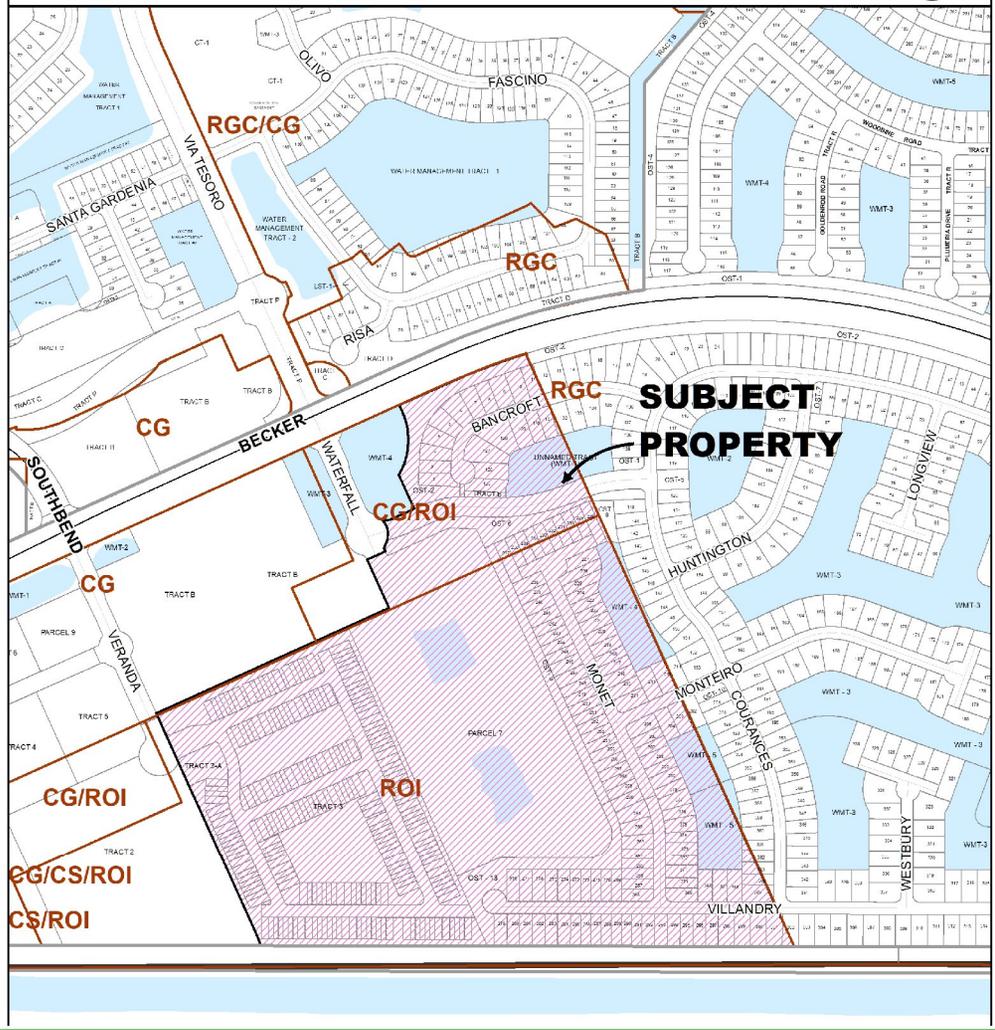




Aerial

CityofPSL.com

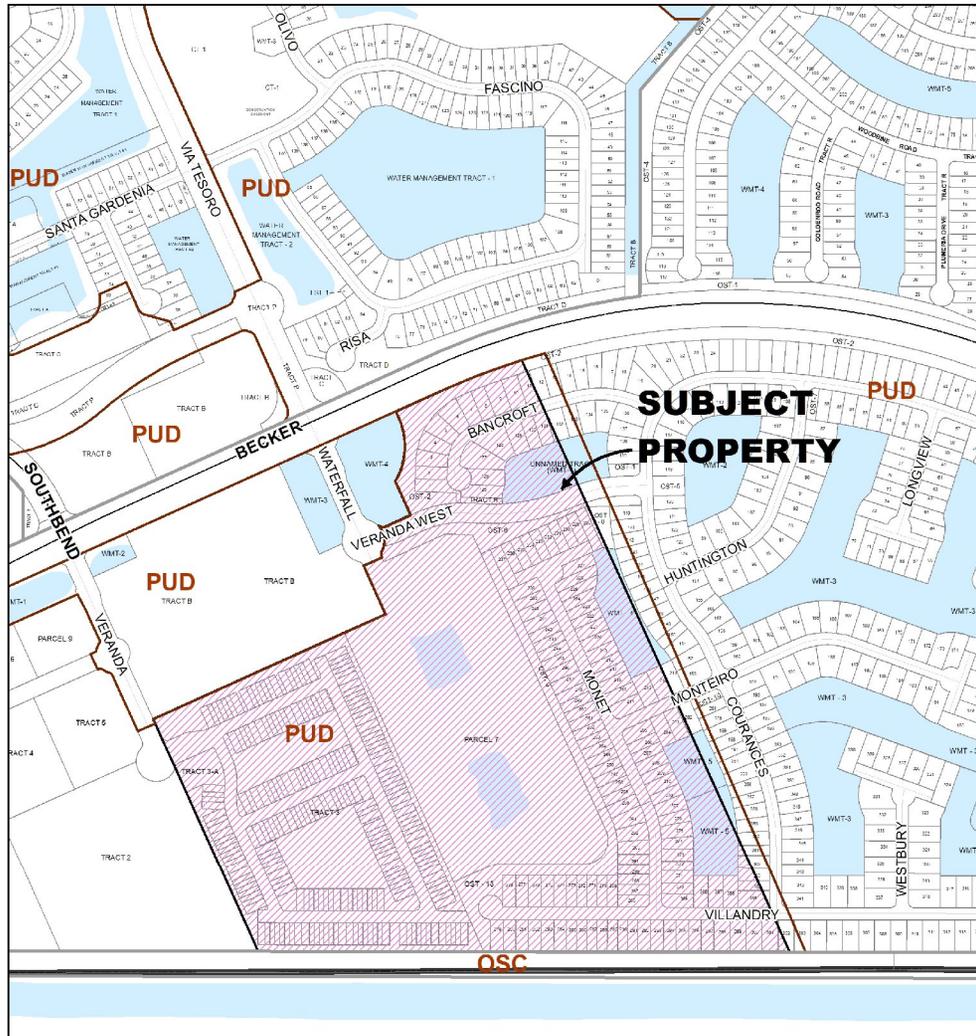




Future Land Use

CityofPSL.com





JUSTIFICATION:

The proposed future land use amendment is supported by goals, objectives and policies of the Comprehensive Plan.

- Specifically: Goal 1.1 states “Provide an appropriate mix of land uses which meet the needs of current and future residents of Port St. Lucie in a way which is environmentally acceptable; and developed concurrent with needed facilities and services.”
- Objective 1.1.3 states, “Development orders and permits for development and redevelopment activities shall be issued only in areas where public facilities necessary to meet level of service standards (which are adopted as part of the Traffic, Infrastructure, Recreation and Open Space, Public School Facilities and Capital Improvements elements of this Comprehensive Plan) are available concurrent with the impacts of development”.



Policy 1.1.3.1 states, "The development of residential, commercial and industrial land shall be timed and staged in conjunction with provisions of supporting community facilities and services identified as being required such as:

- a. Potable water;
- b. Sanitary sewers;
- c. Solid waste disposal;
- d. Vehicular and pedestrian circulation;
- e. Public safety;
- f. Recreation;
- g. Public schools;
- h. Electricity; and
- i. Drainage."



Policy 1.1.4.1 states that within the Residential Golf Course land use designation, the maximum density is 5.0 DUs per gross acre. Each development designated RGC shall include a minimum of one 18-hole golf course. No more than ten percent of the land area of each development designated RGC, excluding the actual golf course area, shall be developed with non-residential uses. Which uses may include: hotel, retail, conference center, recreational and maintenance facilities, institutional uses as defined in this land use plan, and office. A minimum of twenty percent and a maximum of thirty-five percent of the residential dwellings within the land area of each development designated RGC shall be City of Port St. Lucie 1-27 Adopted Comprehensive Plan: 2020-2040 October 26, 2020, multifamily dwelling units



Traffic Impact Analysis

- Change in Future Land Use designation results in a DECREASE of PM Peak hour Trips.

Existing Future Land Use	Acres	Maximum Coverage	Trip Generation Average Rate (ITE Code)	Trip Generation	PM Peak Hour
CG/ROI	18.6	324,086 SF (40%)	Shopping Center (820) ITE Code	14,322	1,388
ROI	65.27	1,137,264 SF (40%)	Medical Office (72) ITE Code	48,760	6,085
Proposed Future Land Use	Acres	Maximum Coverage	Trip Generation Average Rate (ITE Code)	Trip Generation	PM Peak Hour
RGC	84	1,258 dwelling units 15 du's per acre	Multi- Family Residential (220)	8,139	563



Staff Recommendation:

Staff recommends approval of the proposed large-scale comprehensive plan Future Land Use Map amendment.





Agenda Summary

2023-234

Agenda Date: 3/7/2023

Agenda Item No.: 7.c

Placement: Public Hearing - Non Quasi Judicial

Action Requested: Motion / Vote

P22-357 St. Lucie Lands (VF II, LLC) - Comprehensive Plan Amendment - Small Scale

Location: South of Becker Road, north of the St. Lucie County line, east of the Florida Turnpike, and west of Veranda Landings.

Legal Description: Veranda Plat No. 8, Tract 2

This request is to approve a small-scale Future Land Use Map amendment for 12.4 acres from Residential Office and Institutional (ROI) to (RGC) Residential Golf Course.

Submitted By: Stephen Mayer, Planner III

Executive Summary: The purpose of this request to approve a small-scale Future Land Use map amendment for 12.4 acres from Residential, Office and Institutional (ROI) to Residential Golf Course (RGC) is to apply a uniform application of the RGC land use classification to the entirety of the residential portion of the Veranda and St. Lucie Lands PUD, thereby bringing the entire original PUD into compliance with Policy 1.1.4.1.

Presentation Information: Staff will make a presentation.

Staff Recommendation: Move that the Board recommend approval of the small-scale comprehensive plan amendment.

Alternate Recommendations:

1. Move that the Board amend the recommendation and recommend approval of the amended comprehensive plan amendment.
2. Move that the Board denial of the comprehensive plan amendment.

Background: As final site designs were completed for the Veranda PUD, amendments moved the boundary lines of the Veranda/ St. Lucie Lands PUD, resulting in a slight misalignment of the land use and the land development designations.

Issues/Analysis: The required gross number of Multifamily units, pursuant to Policy 1.1.4.1, is a minimum of 20% and Maximum of 35%. The current Residential Golf Course (RGC) land use area does not meet this requirement. Combining the multi-family units for all the Veranda and St. Lucie Lands PUD equates to 3,811 units, of which 780 is multi-family (or 20.5% multifamily). By combining and unifying all the residential components under RGC, the multi-family composition is just above the minimum required units, bringing the existing residential in compliance with the Comprehensive Plan.

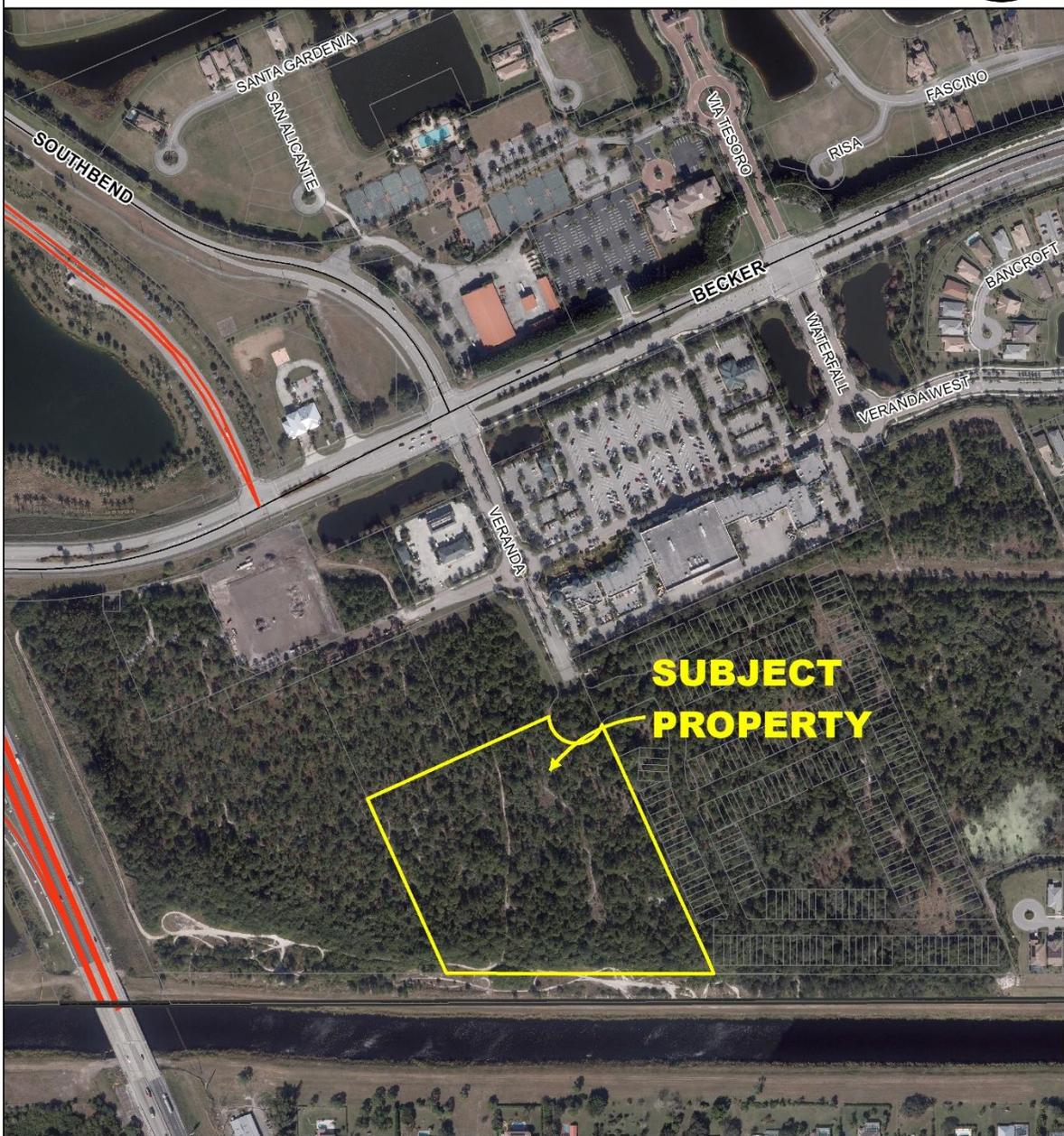
Special Consideration: N/A

Location of Project: Generally, south of Becker Road, North of the St. Lucie County line, east of the Florida Turnpike, and west of Veranda Landings.

Attachments: 1. Staff Report; 2. Application; 3. Staff Presentation



St. Lucie Lands (VF II, LLC)
Small-Scale Comprehensive Plan Amendment
P22-357



Project Location Map

SUMMARY

Applicant's Request:	Small-Scale Future Land Use Map Amendment from General Commercial (CG)/Residential, Office, Institutional (ROI) to Residential Golf Course (RGC)
Applicant:	Dennis Murphy, Culpepper and Terpening, Inc.
Property Owner:	VF II, LLC
Location:	Not addressed (Veranda Plat No. 8, Tract 2)
Project Planner:	Stephen Mayer, Planner III

Project Description

The applicant is requesting approval of a small-scale Future Land Use Map amendment for 12.4 acres from 3.7 acres of General Commercial (CG)/Residential Office and Institutional (ROI) and 8.7 acres of ROI to (RGC) Residential Golf Course. The subject property is located south of Becker Road, North of the St. Lucie County line, east of the Florida Turnpike, and west of Veranda Landings. The proposed land use change will provide for a uniform application of the RGC classification over the entirety of the residential portion of the area known as the St. Lucie Lands PUD.

Public Notice Requirements

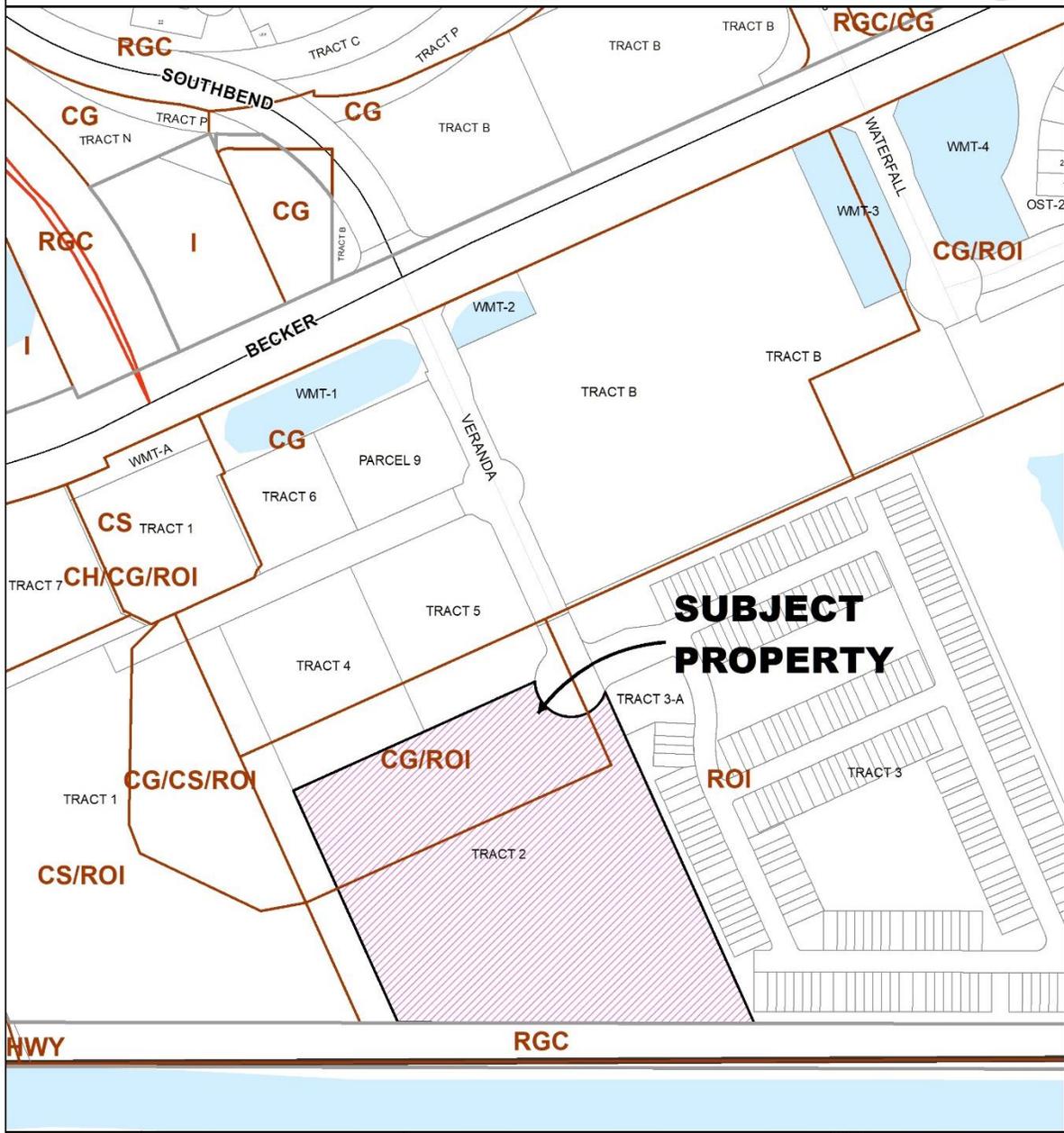
Per Sec 151.06 of the City's Zoning Code, a mailed notification of public hearing has been provided to property owners within 750 feet of the parcel and a copy of the notice has been kept available for public inspection during regular business hours.

Location and Site Information

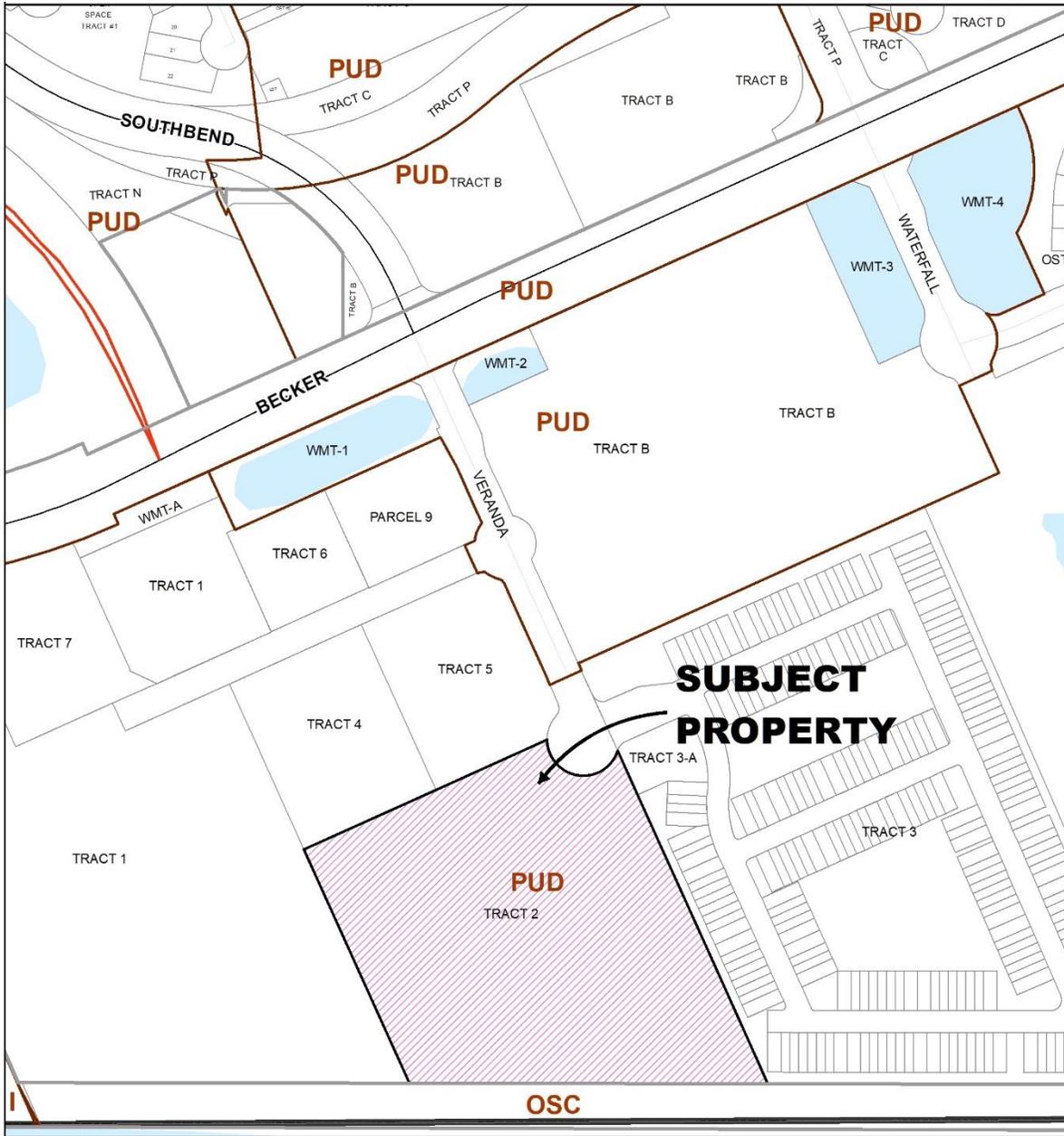
Parcel Number:	4434-704-0002-000-0
Property Size:	12.4 acres
Legal Description:	Veranda Plat No. 8 (PB 100-11) Tract 2
Future Land Use:	Residential, Office and Institutional (ROI)
Existing Zoning:	Planned Unit Development (PUD)
Existing Use:	Vacant with approved Planned Unit Development (PUD)
Requested Future Land Use:	Residential Golf Course (RGC)
Proposed Use:	Multi-Family Residential

Surrounding Uses

Direction	Future Land Use	Zoning	Existing Use
North	RGC/CG	Planned Unit Development (PUD)	Residential Single Family (Tesoro) and Shoppes at Veranda Falls
South	County Line/ Martin County	Martin County	Single Family Residential across C-23 Canal
East	Residential Golf Course (RGC)	PUD	Residential Single Family (Veranda Gardens)
West	CG/ROI	PUD	Commercial/Vacant



Future Land Use Map



Zoning Map

COMPREHENSIVE PLAN REVIEW AND ANALYSIS

Applicant’s Justification Statement: The request is to change the future land use designation from Residential, Office and Institutional (ROI) to Residential Golf Course (RGC). The site is vacant but has an approved Planned Unit Development (PUD), and the proposal does not seek approval for any further development or changes to the PUD.

Land Use Consistency: The applicant is proposing a small-scale Future Land Use Map amendment from CG/ROI and ROI to RGC for 12.4 acres.

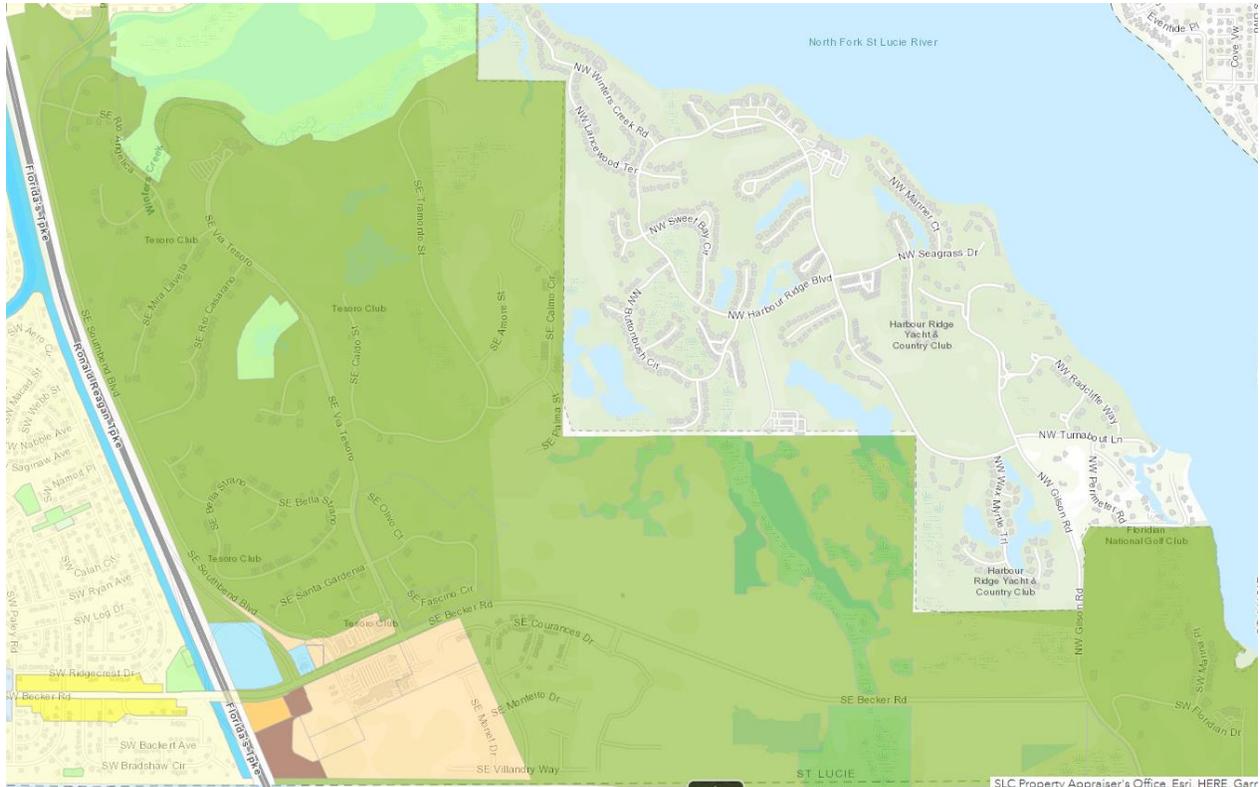
The future land use map amendment application is supported by and furthers the following policies of the comprehensive plan:

- Goal 1.1 states “Provide an appropriate mix of land uses which meet the needs of current and future residents of Port St. Lucie in a way which is environmentally acceptable; and developed concurrent with needed facilities and services.”
- Objective 1.1.3 states, “Development orders and permits for development and redevelopment activities shall be issue only in areas where public facilities necessary to meet level of service standards (which are adopted as part of the Traffic, Infrastructure, Recreation and Open Space, Public School Facilities and Capital Improvements elements of this Comprehensive Plan) are available concurrent with the impacts of development”.
- Policy 1.1.3.1 states, “The development of residential, commercial and industrial land shall be timed and staged in conjunction with provision of supporting community facilities and services identified as being required such as:
 - a. Potable water;
 - b. Sanitary sewers;
 - c. Solid waste removal;
 - d. Vehicular and pedestrian circulation;
 - e. Public safety;
 - f. Recreation;
 - g. Public schools;
 - h. Electricity; and
 - i. Drainage.”
- Policy 1.1.4.1 Residential Golf Course - a maximum density of 5.0 DUs per gross acre. Each development designated RGC shall include a minimum of one 18-hole golf course. No more than ten percent of the land area of each development designated RGC, excluding the actual golf course area, shall be developed with non-residential uses. Which uses may include: hotel, retail, conference center, recreational and maintenance facilities, institutional uses as defined in this land use plan, and office. A minimum of twenty percent and a maximum of thirty-five percent of the residential dwellings within the land area of each development designated RGC shall be City of Port St. Lucie 1-27 Adopted Comprehensive Plan: 2020-2040 October 26, 2020 multifamily dwelling units. Where an area designated RGC is part of a “multiuse” Development of Regional Impact (DRI) which meets or exceeds the guidelines and standards of Section 380.0651(3)(i), F.S. and Rule 28-24.032(2), F.A.C., and contains at least 100 residential dwelling units or 10% of the applicable residential threshold in St. Lucie County, whichever is greater, and otherwise meets the criteria of Section 163.3180(5), F.S., such DRI may satisfy the transportation concurrency requirements of the City of Port St. Lucie Comprehensive Plan, the City of Port St. Lucie’s concurrency management system and Chapter 380, F.S., by payment of a proportionate share contribution that is sufficient to pay for one or more required improvements that will benefit a regionally significant transportation facility. The proportionate share contributions shall be determined in accordance with the proportionate share methodology of Section 163.3180(5).

As final site designs were completed for the Veranda PUD, amendments moved the boundary lines of the Veranda/ St. Lucie Lands PUD, resulting in a slight misalignment of the land use and the land development designations. The required gross number of Multifamily units, pursuant to Policy 1.1.4.1, is a minimum of 20% and Maximum of 35%. The current Residential Golf Course (RGC) land use area does not meet this

requirement. Combining the multi-family units for all the Veranda and St. Lucie Lands PUD equates to 3,811 units, of which 780 is multi-family (or 20.5% multifamily). By combining and unifying all the residential components under RGC, the multi-family composition is just above the minimum required units, bringing the existing residential in compliance with the Comprehensive Plan. Exhibit “A” below demonstrates the existing residential golf course communities that are single family (in green in the map below), along with the multi-family sections that are designated ROI in yellow in the map below of the St Lucie Lands PUD under a consistent land use designation.

Exhibit “A”



Adequate Public Facilities Review (Objective 1.1.3)

The project has been reviewed for consistency with the adopted level of service standards in the Comprehensive Plan and documented as follows:

Potable Water/Sanitary Sewer: The City of Port St. Lucie Utility Systems Department is the provider of water and sewer service to the property. Under the current future land designations, the most intense use would be medical office. The level of service for potable water is 125 gallons per day per 1,000 square feet for commercial. Under the proposed use of Residential Golf Course, the level or service for potable water is 115 gallons per capita per day for residential. Sanitary sewer is 85 percent of the potable water level of service. Projected water and wastewater demand for both existing and future land use categories are listed below:

Water and Wastewater Calculations by Net Change of Land Use

<i>Future Land Use</i>	<i>Maximum Development</i>	<i>Projected Demand Potable Water</i>	<i>Projected Demand Wastewater (85% of potable water rate)</i>
CG/ROI (Existing)	216,058 SF Medical Office	27,007 GPD	22,956 GPD
RGC (Proposed)	186 units	53,475 GPD	45,453 GPD
Projected <u>increase</u> in demand		26,468 GPD	22,497 GPD

The proposed future land use amendment would potentially result in a decrease in water and wastewater demand of approximately 26,468 gallons per day of potable water usage and approximately 22,497 gallons per day wastewater usage. Existing and planned facilities are available to serve the area.

Transportation: Comparison of existing traffic impacts and proposed based on the maximum amount of development allowed and documented as follows:

Existing Future Land Use	Acre	Maximum Coverage	Trip Generation Average Rate (ITE Code)	Average Daily Trips	PM Peak Hour
Residential, Office, Institutional (ROI)	12.4	216,058 (40%)	Medical Office	9,176	1,148
Proposed Future Land Use	Acre	Maximum Coverage	Trip Generation Average Rate (ITE Code)	Average Daily Trips	PM Peak Hour
Residential Golf Course (RGC)	12.4	186 Multi-Family (15 units/acre)	Multi-Family Residential (220)	1,254	106

The proposed amendment is not expected to have an adverse impact on traffic impact, since the proposed land use will generate less Average Annual Daily Traffic (AADT) and PM Peak Hour trips. There are not expected to be any adverse impacts on the transportation level of service for the adjacent roads. Access to the property will not change from the existing conditions. Furthermore, there is an approved Development Agreement for the St. Lucie Lands PUD that limits the amount of development and provides for the necessary road improvements.

Parks/Open Space: Per the Development Agreement, 20 acres of linear park area has been provided along Becker Road.

Stormwater: The project will include a paving and drainage plan that is in compliance with the adopted level of service standard.

Solid Waste: Solid waste impacts are measured and planned based on population projections on an annual basis. There is adequate capacity available.

Public School Concurrency Analysis: The future land use amendment will impact school needs with the increase in multifamily dwelling units of 186 dwelling units. The St. Lucie County School district does not have any concerns since there adequate school sites or capacity in this concurrency planning area.

Environmental: The Development Agreement includes native habitat preservation requirements that include preservation on site and mitigation pursuant to Port St. Lucie Natural Resources Code Section 157.39(4)(B).

Flood Zone: The flood map for the selected area is number 12111C0405K and is located in Zone X. Zone X is determined to be located outside the 100-year and 500-year floodplains.

Fire District: The nearest St. Lucie County Fire District station is Station 13 (201 SE Becker Road). The St. Lucie Fire District does not list response times for each individual station because of the necessity of responding with another station.

Police: The department’s response time is approximately 5-7 minutes for emergency calls. This proposed comprehensive plan is not expected to adversely impact that response time.

Policy 1.1.7.1: Future Land Use Map Amendment will be reviewed based on consistency with the goals, objectives, and policies of all elements of the comprehensive plan and other considerations such as:

	Consistent with criteria (Y/N or N/A)
Satisfy a deficiency or mix of uses in the Plan map	Y
Accommodate projected population or economic growth of the City	Y
Diversify the housing choices in the City	Y
Enhance or impede provision of services at adopted LOS Standards	Neither enhance nor impede adopted LOS
Compatibility with abutting and nearby land uses	Y
Enhance or degrade environmental resources	Neither enhance nor degrade environmental resources
Job creation within the targeted industry list	N

STAFF RECOMMENDATION

The Planning and Zoning Department recommends approval of the proposed comprehensive plan amendment.

Planning and Zoning Board Action Options:

- Motion to recommend denial to the City Council
- Motion to recommend approval to the City Council with conditions
- Motion to recommend approval to the City Council

Please note: Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to *table* or *continue* the hearing or review to a future meeting.

COMPREHENSIVE PLAN AMENDMENT

The following materials are required for a complete analysis of the application. Much of this material will be forwarded to the Planning and Zoning Board, City Council, and Department of Community Affairs. Please provide material that can be copied in black and white on standard sized paper. Please note that the information must address St. Lucie County if appropriate and must consider maximum utilization of the property unless an appropriate condition is agreed to as part of the application.

1. Completed application and fee.

See attached application.

2. Completed rezoning application and fee (optional).

Not required with this application.

3. Written description of area subject to application.

See Attached Legal Description.

4. Copy of deed(s).

Not required with this submission.

5. Justification for Land Use Amendment.

PETITION DESCRIPTION (JUSTIFICATION STATEMENT)

The attached petition for a change in land use classification from the ROI (Residential Office Institutional) to RGC (Residential Golf Course) designation is to provide for the uniform application of the RGC classification over the entirety of the residential portion of the area known as the St. Lucie Lands PUD. In the mid-2000's, the owners of what is now referred to as the Veranda, St. Lucie Lands and Floridian PUD's sought an amendment to place the areas then contemplated to the Veranda and Floridian portions of the project under a uniform future land use classification. The St. Lucie Lands portion of the project would retain its current mix of commercial and residential land use classifications.

As the final site designs were completed for the Veranda PUD, amendments were made to the boundary lines of the Veranda/ St. Lucie Lands PUD's that moved certain project development lines and has resulted in there being a slight misalignment of Land Use and land development designations. So as to avoid future confusion in this area, the purpose of this of this Petition is to adjust those future land use lines so that all of the residential areas associated with the Veranda PUD and all of the residential areas associated with the St. Lucie Lands PUD are under one common land use classification, RGC.

No changes in the existing site entitlements are proposed as part of this Future Land Use Amendment.

All development obligations and conditions as outlined in the Existing Development Agreement between the City of Port St. Lucie and St. Lucie Lands, Ltd./Stuart Property Holdings, LTD., remain in force and effect.

- 6. List and map of adjacent future land use map classifications located to the north, south, east, and west.**

See attached map series.

- 7. List of adjacent existing land uses located to the north, south, east, and west. (i.e.: house, vacant, store, church, etc).**

See attached map series.

- 8. List of adjacent existing zoning categories located to the north, south, east, and west.**

See attached map series.

- 9. Map and area of site included in FEMA flood plain and 100 and 500-year flood categories with map panel number.**

See attached map series.

- 10. Map and description of the location, type, and area of wetlands located on site. (An Environmental Assessment Report is required for all large scale future land use map amendments.)**

No wetlands within petition area.

- 11. Map and description of the location, type and area of existing vegetation using Florida Land Use and Cover Classification System (FLUCAS) categories. (An Environmental Assessment Report is required for all large scale future land use map amendments.)**

Not required with this submission.

- 12. Traffic analysis.**

Not required with this submission.

- 13. Market study (for commercial categories only).**

Not required with this submission.

- 14. Capacity analysis, location, and service description for the following public services: sanitary sewer, public water, solid waste, drainage, recreation, fire and emergency services, police, education.**

Not required with this submission. All site impacts have been addressed with prior PUD approvals. See justification statement.

- 15. Location map with major streets clearly identified.**

See attached map series.

- 16. Existing future land use map.**

See attached map series.

- 17. Proposed future land use map.**

See attached map series.

- 18. Chart comparing the areas of existing and proposed future land uses.**

Not required with this submission.

**St. Lucie Lands (VF II, LLC)
Comprehensive Plan Amendment
(Small Scale)
P22-357**

CityofPSL.com



Requested Application:

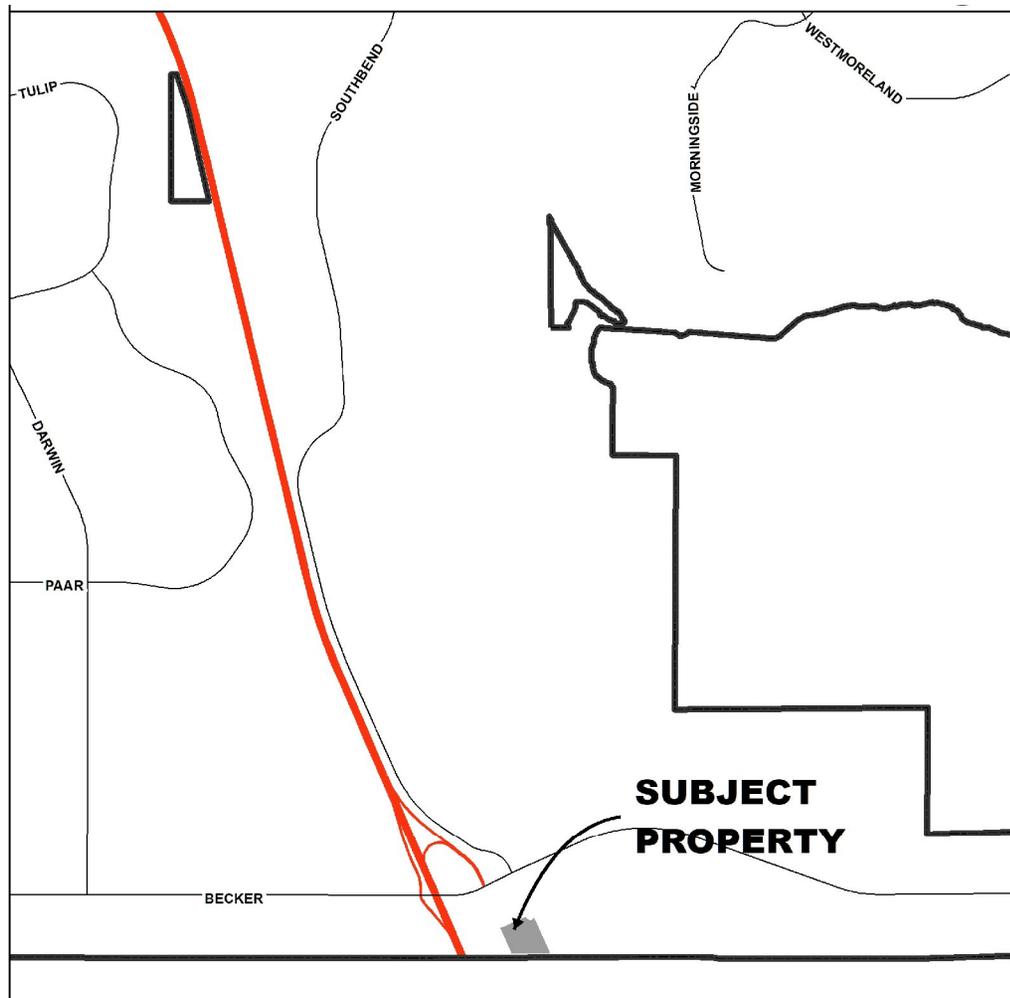
This is an application for a small-scale comprehensive plan amendment to change the future land use designations for 12.4 acres from Residential, Office and Institutional (ROI) to Residential Golf Course (RGC).



What is the difference between Future Land Use (FLU) and Zoning?

- FLU Map is part of the Comprehensive Plan
 - Provides ultimate future use of the land
 - Defines the intensity of the use (i.e., units per acre)
- Zoning
 - Prescribes specifics to a parcel (setbacks, lot coverage)
 - Prohibited and Allowable uses





Location Map

CityofPSL.com

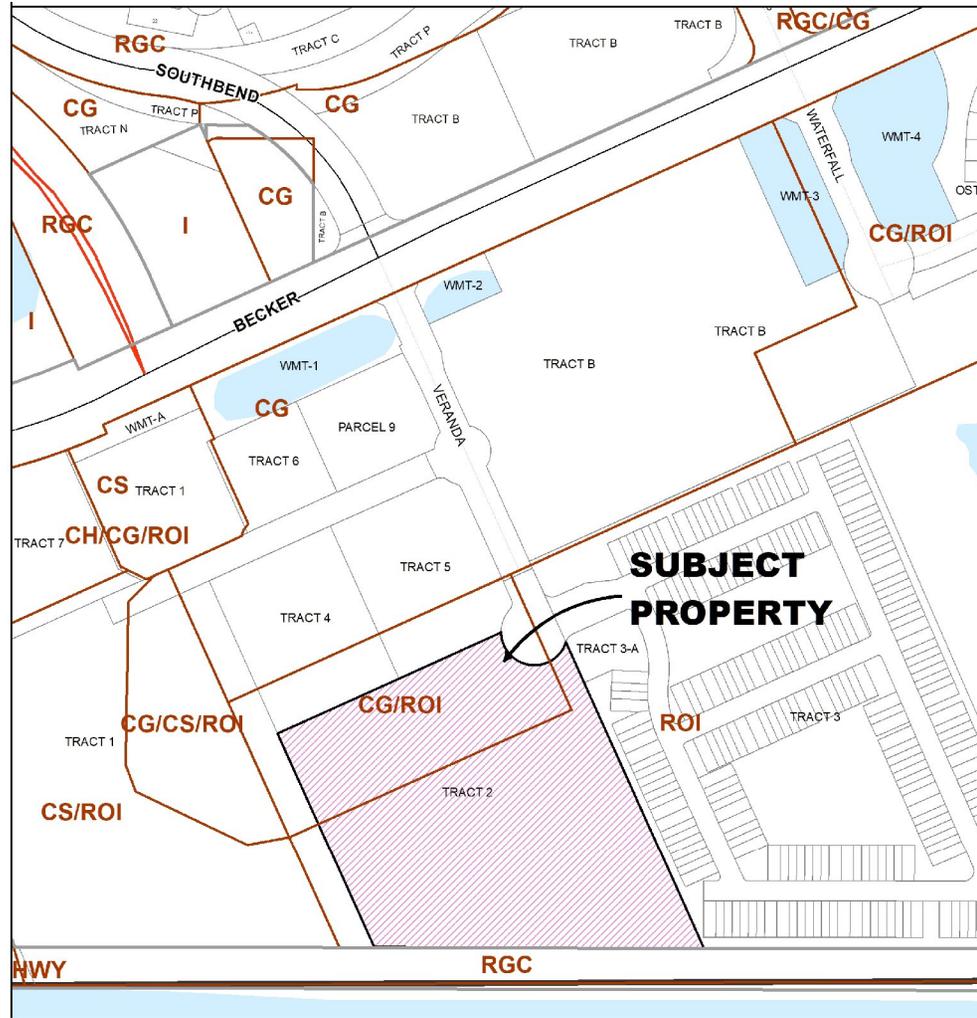


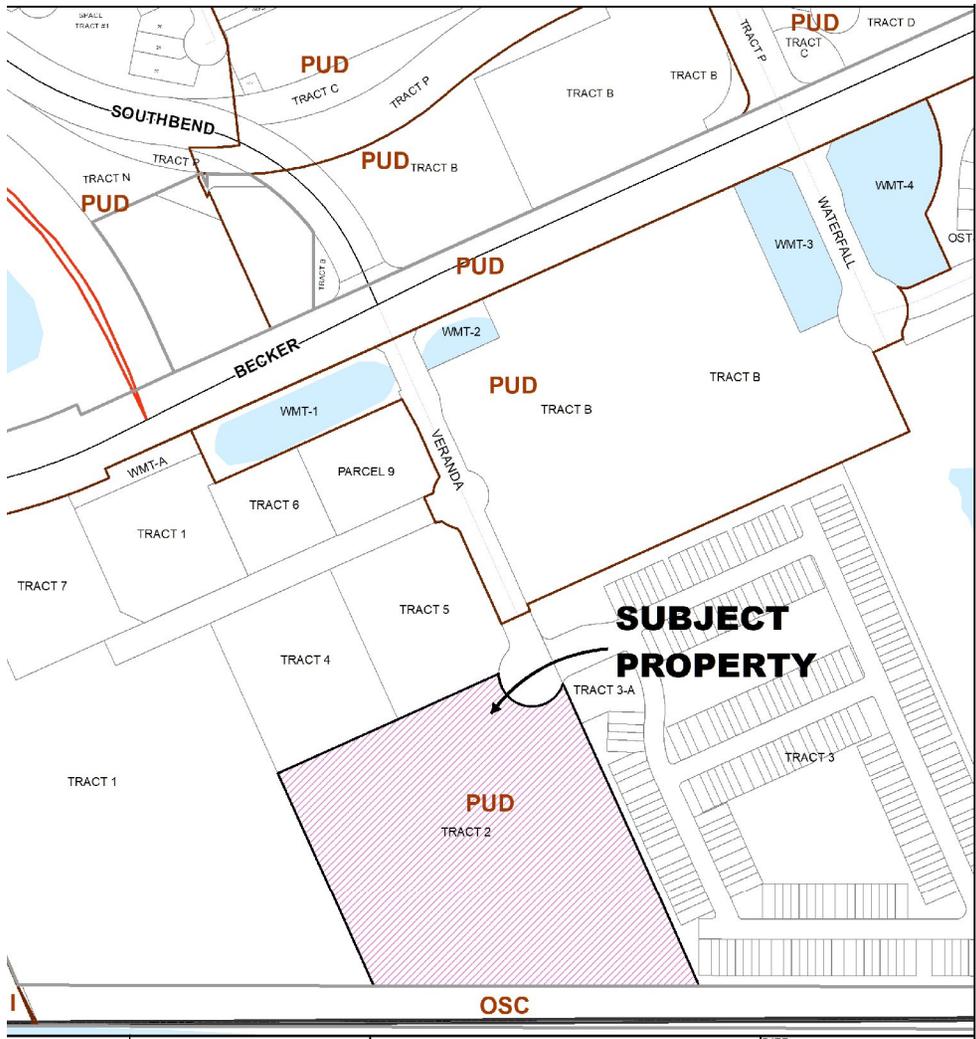


Aerial

CityofPSL.com







JUSTIFICATION:

The proposed future land use amendment is supported by goals, objectives and policies of the Comprehensive Plan.

- Specifically: Goal 1.1 states “Provide an appropriate mix of land uses which meet the needs of current and future residents of Port St. Lucie in a way which is environmentally acceptable; and developed concurrent with needed facilities and services.”
- Objective 1.1.3 states, “Development orders and permits for development and redevelopment activities shall be issued only in areas where public facilities necessary to meet level of service standards (which are adopted as part of the Traffic, Infrastructure, Recreation and Open Space, Public School Facilities and Capital Improvements elements of this Comprehensive Plan) are available concurrent with the impacts of development”.



Policy 1.1.3.1 states, "The development of residential, commercial and industrial land shall be timed and staged in conjunction with provisions of supporting community facilities and services identified as being required such as:

- a. Potable water;
- b. Sanitary sewers;
- c. Solid waste disposal;
- d. Vehicular and pedestrian circulation;
- e. Public safety;
- f. Recreation;
- g. Public schools;
- h. Electricity; and
- i. Drainage."



Policy 1.1.4.1 states that within the Residential Golf Course land use designation, the maximum density is 5.0 DUs per gross acre. Each development designated RGC shall include a minimum of one 18-hole golf course. No more than ten percent of the land area of each development designated RGC, excluding the actual golf course area, shall be developed with non-residential uses. Which uses may include: hotel, retail, conference center, recreational and maintenance facilities, institutional uses as defined in this land use plan, and office. A minimum of twenty percent and a maximum of thirty-five percent of the residential dwellings within the land area of each development designated RGC shall be City of Port St. Lucie 1-27 Adopted Comprehensive Plan: 2020-2040 October 26, 2020, multifamily dwelling units



Traffic Impact Analysis

- Change in Future Land Use designation results in a DECREASE of PM Peak hour Trips.

Existing Future Land Use	Acre	Maximum Coverage	Trip Generation Average Rate (ITE Code)	Trip Generation	PM Peak Hour
Residential, Office and Institutional (ROI)	12.4	162,044 SF (30%)	Medical Office (720) ITE Code	5,671	195
Proposed Future Land Use	Acre	Maximum Coverage	Trip Generation Average Rate (ITE Code)	Trip Generation	PM Peak Hour
Residential Golf Course (RGC)	12.4	186 Multi-Family (15 units/acre)	Multi-Family Residential (220)	1,254	106



Staff Recommendation:

Staff recommends approval of the proposed small-scale comprehensive plan Future Land Use Map amendment.





Agenda Summary

2023-231

Agenda Date: 3/7/2023

Agenda Item No.: 7.d

Placement: Public Hearing - Non Quasi Judicial

Action Requested: Motion / Vote

P22-364 Brizon Investments, LLC - Comprehensive Plan Amendment - Small Scale

Location: Northeast corner of SW Aviation Avenue and SW Port St. Lucie Boulevard.

Legal Description: Port St. Lucie Section 41, Block 2894, Lots 10, 11, 12 and 13

This is a request to change the Future Land Use designation from Residential, Office, Institutional (ROI) to General Commercial (CG).

Submitted By: Stephen Mayer, Planner III

Executive Summary: The Applicant, Estacado Interests, is requesting a future land use map amendment for a 1.06-acre property owned by Brizon Investments, LLC, from Residential, Office, Institutional (ROI) to Commercial General (CG). The property address is 2773 Port St. Lucie Boulevard. The property is currently vacant. The property has a zoning designation of Professional Office (P). The applicant is requesting under a separate application to change the zoning to Commercial General (CG).

Presentation Information: Staff will make a brief presentation.

Staff Recommendation: Move that the Board recommend approval of the Comprehensive Plan Map Amendment.

Alternate Recommendations:

1. Move that the Board amend the recommendation and recommend approval of the amended Comprehensive Plan Amendment.
2. Move that the Board deny the Comprehensive Plan Amendment.

Background: See attached staff report.

Issues/Analysis: See attached staff report.

Special Consideration: N/A

Location of Project: Northeast corner of SW Aviation Avenue and SW Port St. Lucie Boulevard.

Attachments: 1. Staff Report; 2. Application; 3. Warranty Deed; 4. Staff Presentation



Brizon Investments, LLC
Small-Scale Comprehensive Plan Amendment
P22-364



Project Location Map

SUMMARY

Applicant's Request:	Small-Scale Future Land Use Map Amendment from Residential, Office, Institutional (ROI) to Commercial General (CG)
Applicant:	Estacado Interests
Property Owner:	Brizon Investments, LLC
Location:	2773 Port St. Lucie Boulevard
Project Planner:	Stephen Mayer, Planner III

Project Description

The applicant is requesting approval of a small-scale Future Land Use Map amendment for 1.06 acres from Residential, Office, Institutional (ROI) to Commercial General (CG). The subject property is located at the northeast corner of SW Aviation Avenue and SW Port St. Lucie Boulevard.

Public Notice Requirements

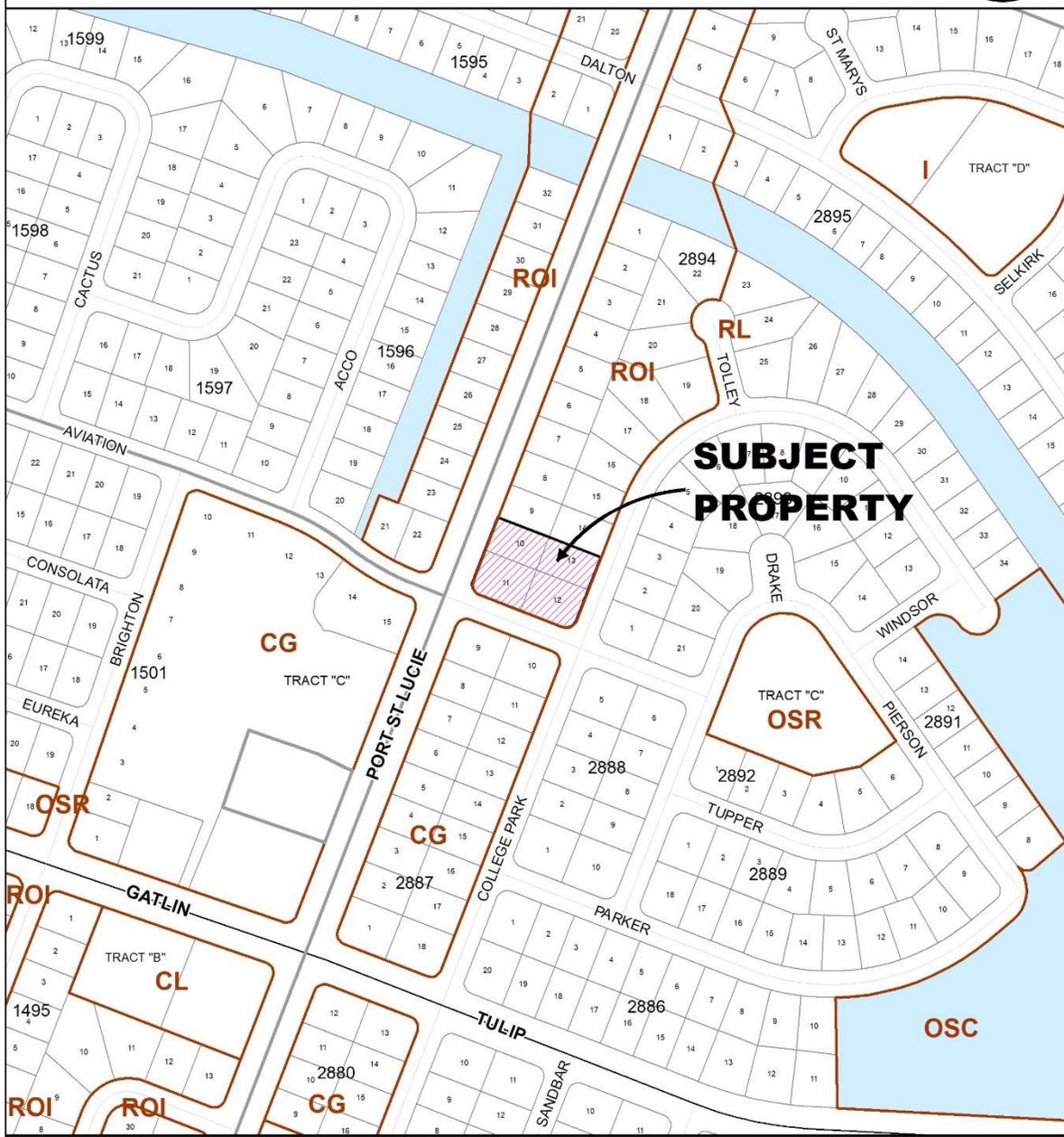
Per Sec 151.06 of the City's Zoning Code, a mailed notification of public hearing has been provided to property owners within 750 feet of the parcel and a copy of the notice has been kept available for public inspection during regular business hours.

Location and Site Information

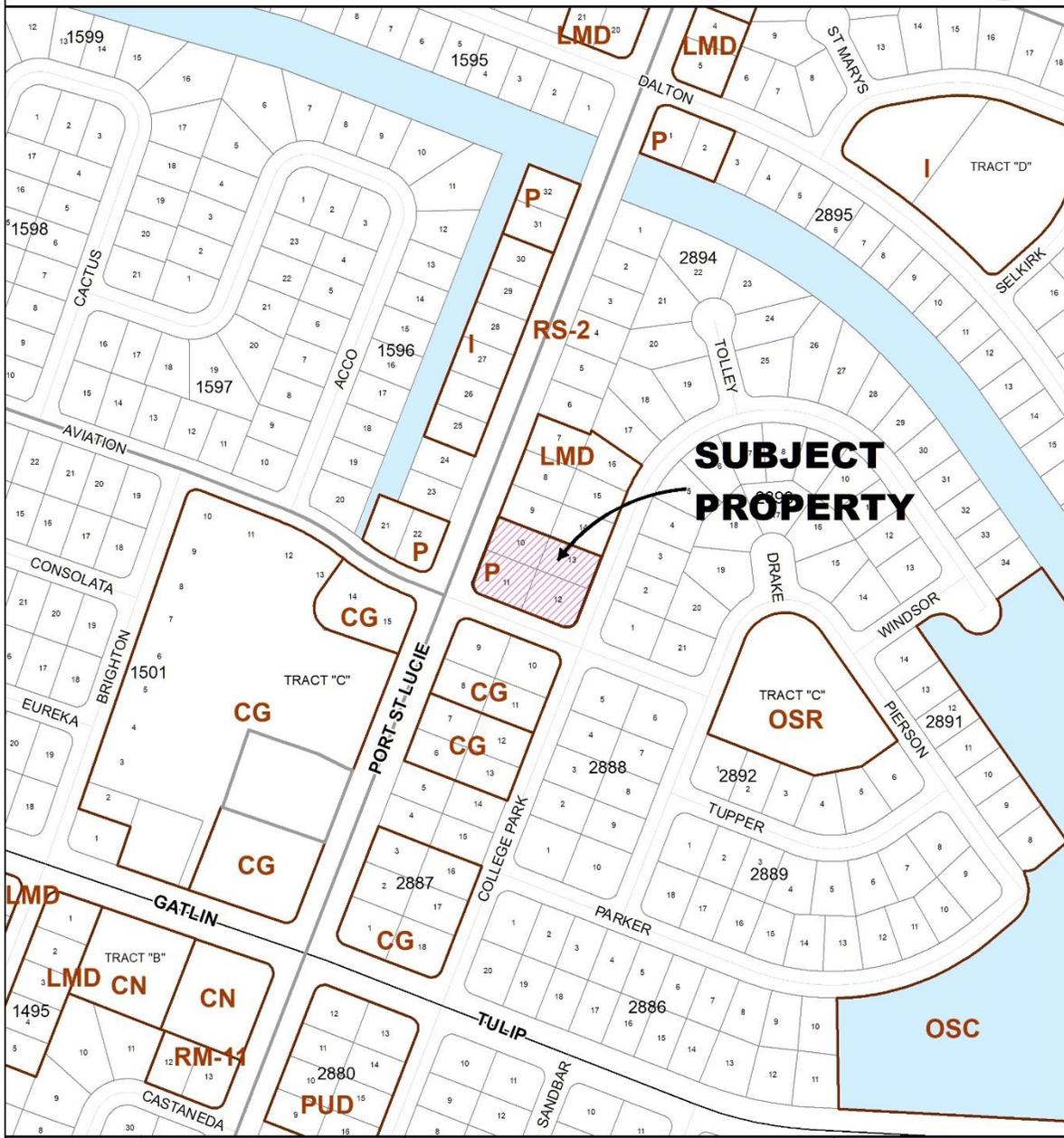
Parcel Number:	3420-705-029-000-5
Property Size:	1.06 acres
Legal Description:	Port St. Lucie Section 41, Block 2894, Lots 10,11,12 and 13
Future Land Use:	Residential, Office and Institutional (ROI)
Existing Zoning:	Limited Mixed Use (LMD)
Existing Use:	Vacant
Requested Future Land Use:	Commercial General (CG)
Proposed Use:	Coffee Shop with drive thru

Surrounding Uses

Direction	Future Land Use	Zoning	Existing Use
North	Residential, Office, Institutional (ROI)	Limited Mixed Use (LMD)	Institutional Use
South	Commercial General (CG)	CG	Car Wash
East	Residential Low (RL)	Residential Single Family (RS-2)	Single Family Residential
West	ROI	Professional Office (P)	Vacant



Future Land Use Map



Zoning Map

COMPREHENSIVE PLAN REVIEW AND ANALYSIS

Applicant’s Justification Statement: The request is to change the future land use designation from Residential, Office, Institutional (ROI) to Commercial General (CG). The site is currently vacant.

Land Use Consistency: The applicant is proposing a small-scale Future Land Use Map amendment from ROI to CG for 1.06 acres.

The future land use map amendment application is supported by and furthers the following policies of the comprehensive plan:

- Goal 1.1 states “Provide an appropriate mix of land uses which meet the needs of current and future residents of Port St. Lucie in a way which is environmentally acceptable; and developed concurrent with needed facilities and services.”
- Objective 1.1.3 states, “Development orders and permits for development and redevelopment activities shall be issue only in areas where public facilities necessary to meet level of service standards (which are adopted as part of the Traffic, Infrastructure, Recreation and Open Space, Public School Facilities and Capital Improvements elements of this Comprehensive Plan) are available concurrent with the impacts of development”.
- Policy 1.1.3.1 states, “The development of residential, commercial and industrial land shall be timed and staged in conjunction with provision of supporting community facilities and services identified as being required such as:
 - a. Potable water;
 - b. Sanitary sewers;
 - c. Solid waste removal;
 - d. Vehicular and pedestrian circulation;
 - e. Public safety;
 - f. Recreation;
 - g. Public schools;
 - h. Electricity; and
 - i. Drainage.”

Adequate Public Facilities Review (Objective 1.1.3)

The project has been reviewed for consistency with the adopted level of service standards in the Comprehensive Plan and documented as follows:

Potable Water/Sanitary Sewer: The City of Port St. Lucie Utility Systems Department is the provider of water and sewer service to the property. The level of service for potable water is 125 gallons per day per 1,000 square feet for office or commercial. Sanitary sewer is 85 percent of the potable water level of service. Projected water and wastewater demand for both existing and future land use categories are listed below:

Water and Wastewater Calculations by Net Change of Land Use

<i>Future Land Use</i>	<i>Maximum Development</i>	<i>Projected Demand Potable Water</i>	<i>Projected Demand Wastewater (85% of potable water rate)</i>
ROI (Existing)	18,469 SF	2,309	1,963
CG (Proposed)	18,469 SF	2,309	1,963
Projected no change in demand		0	0

The proposed future land use amendment would potentially result in no change in water and wastewater demand. Existing and planned facilities are available to serve the area.

Transportation: Comparison of existing traffic impacts and proposed based on the maximum amount of development allowed and documented as follows:

Existing Future Land Use	Acre	Maximum Coverage	Trip Generation Average Rate (ITE Code)	Trip Generation	PM Peak Hour
Medical Office	1.06	18,469 SF	Medical Office (720)	665 AADT	89
Proposed Future Land Use	Acre	Maximum Coverage	Trip Generation Average Rate (ITE Code)	Trip Generation	PM Peak Hour
Commercial General (CG)	1.06	12 Pumps	Convenience Store/Gas Station (945)	3,182 AADT	230

The proposed amendment is anticipated to add up to 141 PM peak hour trips to the Port St. Lucie Boulevard, Gatlin to Del Rio segment. The segment is currently at Level of Service (LOS) C and has a capacity of 3,170 PM peak hour trips. According to the latest Transportation Planning Organization (TPO) trip counts, the segment’s trip count is at 2,221. The addition of 141 trips will not create the Level of Service failure on the impact segment and therefore, the land use change is not expected to have any adverse impacts on the transportation level of service for the adjacent roads. Access to the property is proposed to be shared with the property to the north on Port St. Lucie Boulevard and a secondary access to Aviation Avenue.

Parks/Open Space: The future land use amendment will not impact park and open space needs, as it is changing to a commercial only land use. There are adequate park and recreation facilities to meet the demand created.

Stormwater: The project will include a paving and drainage plan that is in compliance with the adopted level of service standard.

Solid Waste: Solid waste impacts are measured and planned based on population projections on an annual basis. There is adequate capacity available.

Public School Concurrency Analysis: The future land use amendment will not impact school needs, as it is changing to a commercial only land use. The St. Lucie County School district does not have any concerns since there adequate school sites or capacity in this concurrency planning area.

Environmental: The applicant will be required to provide for tree preservation/mitigation pursuant to the City Code. A gopher tortoise survey will be required in conjunction with a site plan application.

Flood Zone: The flood map for the selected area is number 12111C0288K and is located in Zone X. Zone X is determined to be located outside the 100-year and 500-year floodplains.

Fire District: The nearest St. Lucie County Fire District station is Station 10 (777 SW Dalton Circle). The St. Lucie Fire District does not list response times for each individual station because of the necessity of responding with another station.

Police: The department’s response time is approximately 5-7 minutes for emergency calls. This proposed comprehensive plan is not expected to adversely impact that response time.

Policy 1.1.7.1: Future Land Use Map Amendment will be reviewed based on consistency with the goals, objectives, and policies of all elements of the comprehensive plan and other considerations such as:

	Consistent with criteria (Y/N or N/A)
Satisfy a deficiency or mix of uses in the Plan map	The proposed amendment will allow for a retail uses in a pattern that is compatible with surrounding uses.
Accommodate projected population or economic growth of the City	Y
Diversify the housing choices in the City	N/A
Enhance or impede provision of services at adopted LOS Standards	Neither enhance nor impede adopted LOS
Compatibility with abutting and nearby land uses	Y
Enhance or degrade environmental resources	Neither enhance nor degrade environmental resources
Job creation within the targeted industry list	N

STAFF RECOMMENDATION

The Planning and Zoning Department recommends approval of the proposed comprehensive plan amendment.

Planning and Zoning Board Action Options:

- Motion to recommend denial to the City Council
- Motion to recommend approval to the City Council with conditions
- Motion to recommend approval to the City Council

Please note: Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to *table* or *continue* the hearing or review to a future meeting.

APPLICATION FOR COMPREHENSIVE PLAN AMENDMENT

CITY OF PORT ST. LUCIE

Planning & Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984
(772) 871-5213

FOR OFFICE USE ONLY

Planning Dept _____
Fee (Nonrefundable)\$ _____
Receipt # _____

Refer to "Fee Schedule" for application fee. Make checks payable to the 'City of Port St. Lucie.' Fee is nonrefundable unless application is withdrawn prior to advertising for the Planning and Zoning Board meeting. **All** items on this application should be addressed, otherwise it can not be processed. Attach proof of ownership; two copies of deed. Please type or print clearly in **BLACK** ink.

PRIMARY CONTACT EMAIL ADDRESS: _____

PROPERTY OWNER

Name: Brizon Investments, LLC
Address: 1891 Stratford Dr., Westbury, NY 11590

Telephone No.: 772-812-9940

IF PROPERTY IS IN MULTIPLE OR CORPORATE OWNERSHIP, PLEASE PROVIDE ONE CONTACT PERSON.

Name: Narciza Diaz
Address: 1891 Stratford Dr., Westbury, NY 11590

Telephone No.: 772-812-9940

AGENT OF OWNER (if any)

Name: Estacado Interests, Cannon Maki
Address: 1537 Singleton Blvd. Dallas, TX 75212

Telephone No.: 8179990491

PROPERTY INFORMATION

Boundary Description ORT ST LUCIE-SECTION 41- BLK 2894 LOTS 10,11,12 AND 13 (MAP 44/18N) (OR 1759-71)
(attach map) _____
Property Tax I.D. Number 3420-705-0299-000-5
Current Land Use ROI Proposed Land Use General Commercial
Current Zoning P - Professional Acreage of Property 1.06

Reason for Comprehensive Plan Amendment: We are proposing a drive-thru coffee shop which is currently not a permitted use for professional zoning. Two other corners on this intersection are zoned general commercial.



*Signature of ~~Owner~~
Applicant

Cannon Maki
Hand Print Name

12/28/22
Date

*If signature is not that of owner, a letter of authorization from the owner is needed.

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

03/02/20

COMPREHENSIVE PLAN FUTURE LAND USE MAP AMENDMENT

Supplemental Information

1. Land Use Plan. A land use map shall be submitted which designates the proposed future land use and existing future land use designations for the area requested, and for the area surrounding the property. The land use plan shall include a map together with other appropriate media addressing the following:
 - a. Residential Development Characteristics. The land use map shall indicate the magnitude and distribution of existing and proposed residential acres.
 - b. Non-Residential Activities. The land use map plan shall indicate the general type, location, magnitude, intensity, and distribution of non-residential activities including the maximum proposed square footage of commercial, office, and industrial uses. This information shall be prepared and based on the existing Future Land Use classification and proposed Future Land Use classification. The proposed number of acres allocated to private institutional uses such as places of worship as well as civic, cultural, or educational facilities shall be included.

2. Natural Features of the Environment. Significant natural features of the proposed development shall be mapped and described in the Land Use Plan Map or narrative. Potential methods of managing any major environmental impacts which are likely to be generated by the proposed development shall be identified. Natural features shall include, but not be limited to:
 - a. vegetation
 - b. soils
 - c. wetlands
 - d. shorelines
 - e. estuarine and/or riverine systems
 - f. other significant resources

A more detailed environmental assessment shall be required if environmentally sensitive areas are identified.

3. Public Improvements. The general location and extent of existing and planned public improvements shall be incorporated in the land use plan map or narrative as applicable. Public improvements shall include, but not be limited to, traffic circulation; water and wastewater services; surface water management; parks, recreation facilities, and major open spaces; protective services, including fire, police, and emergency services; electrical utilities, including substations; schools; and other public facilities.

The following information on the status and availability of public facilities shall be provided:

- a. Traffic
 - i) A location map showing arterial and collector roads within a one mile radius of site.
 - ii) Average Daily Trips (ADT) and Generation rates for existing land use, development based on the existing Future Land Use, and proposed Future Land Use.

iii) A traffic analysis may be required pursuant to Section 55-4(A) of the Port St. Lucie Comprehensive Plan if the ADT's exceed 10% or 1,000 trips, whichever is greater.

b. Utilities - Water and Sewer

i) Is location presently served by central water and/or sewer?

ii) Is location planned for water and/or sewer service?

iii) Nearest water/sewer main location.

iv) Available, or planned plant capacity

c. Emergency Services - Police, Fire, EMS

i) Nearest existing fire station

ii) Nearest planned fire station

iii) Existing fire insurance rating/response time

d. Schools/Recreation

i) Existing parks and schools within five miles

ii) Planned park and school sites within five miles

iii) Port St. Lucie Park Dedication requirements calculated per Section 4-4(D) of the Port St. Lucie Comprehensive Plan.

iv) Projected population and school age population, calculated for existing Future Land Use and proposed Future Land Use.

e. Market Study - Commercial Only

Does market study indicate a current need for commercial development within next five years or within next ten years.

03/02/20

JOANNE HOLMAN, CLERK OF THE CIRCUIT COURT - SAINT LUCIE COUNTY
File Number: 2240550 OR BOOK 1759 PAGE 71
Recorded: 07/24/03 11:07

* Doc Assump: \$ 0.00
* Doc Tax : \$ 2,065.00
* Int Tax : \$ 0.00

Prepared By and Return To:
Diane W. Palm
Fidelity National Title Insurance Company of New York
1850 SW Fountainview Blvd., Suite 103
Port St. Lucie, FL 34986

File No. 03-019-1502699

Property Appraiser's Parcel I.D.(folio) Number(s)
3420-705-0299-000/5

SS#: _____ **Return To: FIDELITY NATIONAL TITLE**
Courthouse Box 23

WARRANTY DEED

THIS WARRANTY DEED dated this 17th day of July, 2003, by Susan Tesoriero and Shirley Cherveney hereinafter called the grantor, to Brizon Investment, L.L.C., a Florida Limited Liability Company whose post office address is 2501 NW 29th Drive , Boca Raton, Florida 33434, hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all the certain land situated in St. Lucie County, Florida, viz:

Lots 10, 11, 12 and 13, Block 2894, Port St. Lucie Section Forty One, according to the plat thereof, as recorded in Plat Book 15, Page 35, 35A to 35I of the Public Records of St. Lucie County, Florida

The above described property is vacant and is not the homestead of the grantors.

Susan Tesoriero resides at 324 SE Naranja Avenue, Port St. Lucie, FL 34990.

Shirley Cherveney resides at 2278 Olympic Club Terrace, Palm City, FL 34990.

Subject to easements, restrictions, reservations, and limitations of record, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in any wise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2002.

OR BOOK 1759 PAGE 72



IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Diane W. Palm
(Witness Signature)

Diane W. Palm
(Print Name of Witness)

Celeste Fernandez
(Witness Signature)

Celeste Fernandez
(Print Name of Witness)

Shirley Cherven
Shirley Cherven

2278 Olympic Club Trce.
(Address) Palm City FL 34990

Susan Tesoriero
Susan Tesoriero

324 SE Naranja Av, PSL, FL
(Address) 34983

STATE of FLORIDA

COUNTY of ST. LUCIE

I HEREBY CERTIFY that on this day, before me, an Officer duly authorized in the State aforesaid and the County aforesaid to take acknowledgements, personally appeared Shirley Cherven and Susan Tesoriero to me known to be the person(s) described in or who has/have produced Driver licenses as identification and who executed the foregoing instrument and he/she/they acknowledged before me that he/she/they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 17th day of July, 2003.

Diane W. Palm
Notary Signature

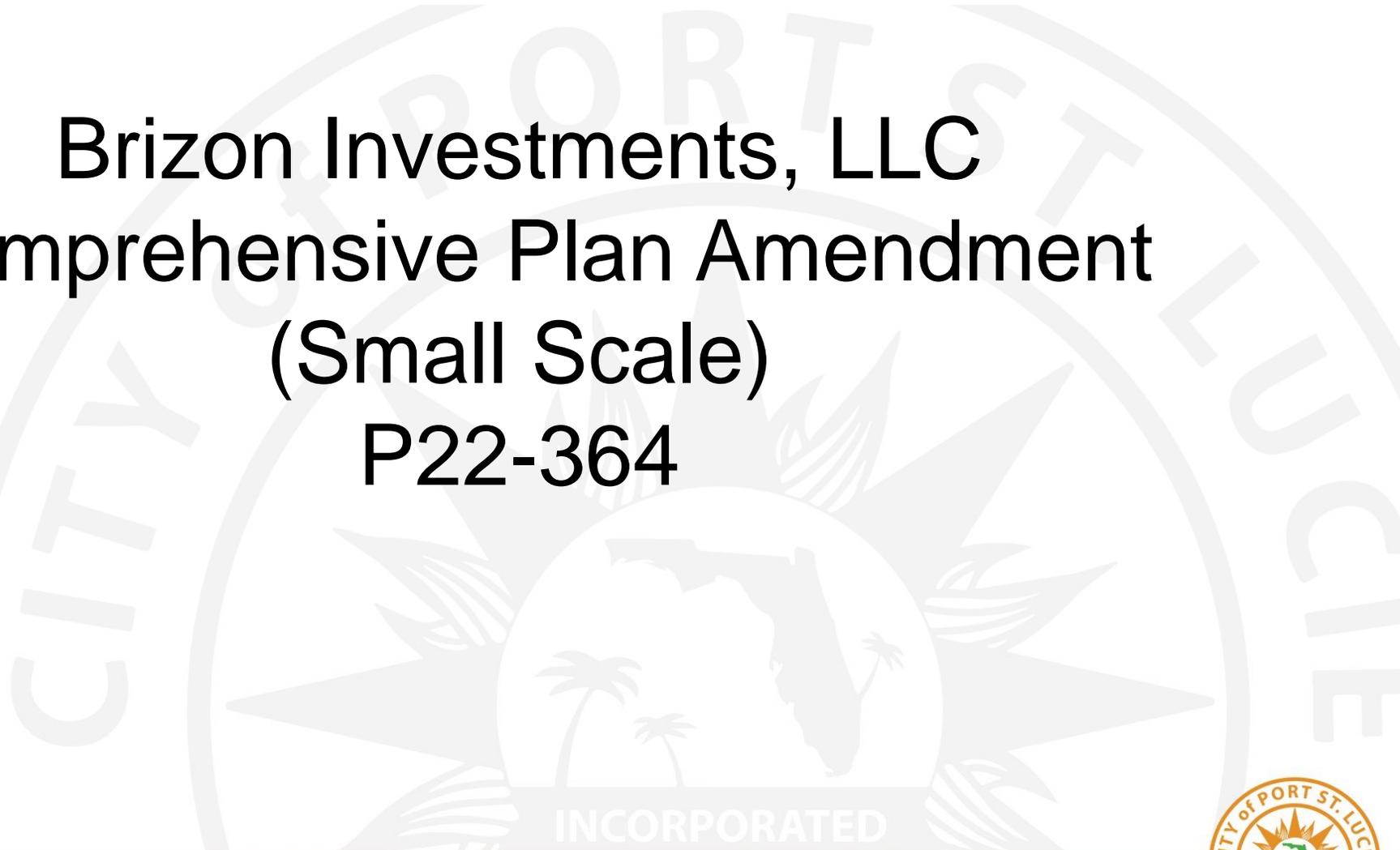
Diane W. Palm
Printed Notary Name

My commission expires: _____



DIANE W. PALM
MY COMMISSION # DD 122067
EXPIRES June 2 2006
Funded Thru Budget Notary Services

**Brizon Investments, LLC
Comprehensive Plan Amendment
(Small Scale)
P22-364**



CityofPSL.com



Requested Application:

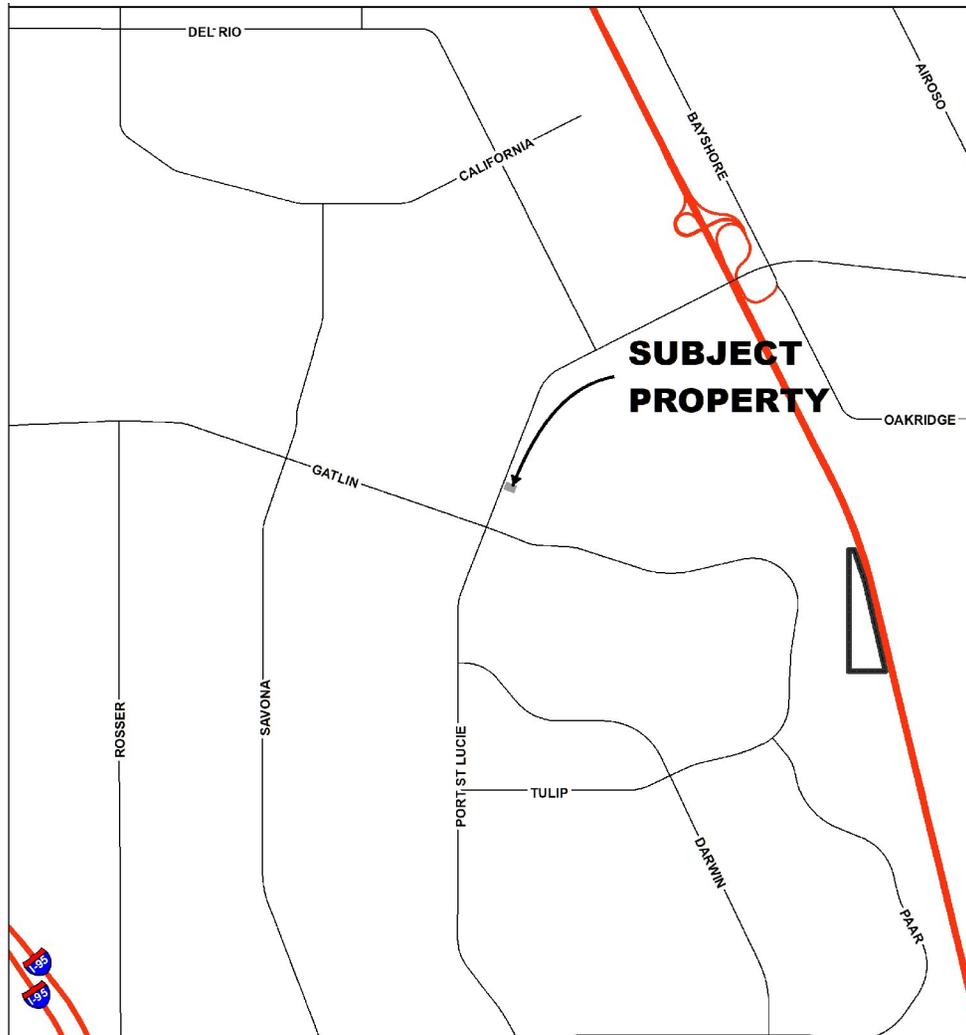
This is an application for a small-scale comprehensive plan amendment to change the future land use designations for 1.06 acres from Residential, Office and Institutional (ROI) to General Commercial (CG).



What is the difference between Future Land Use (FLU) and Zoning?

- FLU Map is part of the Comprehensive Plan
 - Provides ultimate future use of the land
 - Defines the intensity of the use (i.e., units per acre)
- Zoning
 - Prescribes specifics to a parcel (setbacks, lot coverage)
 - Prohibited and Allowable uses





Location Map

CityofPSL.com



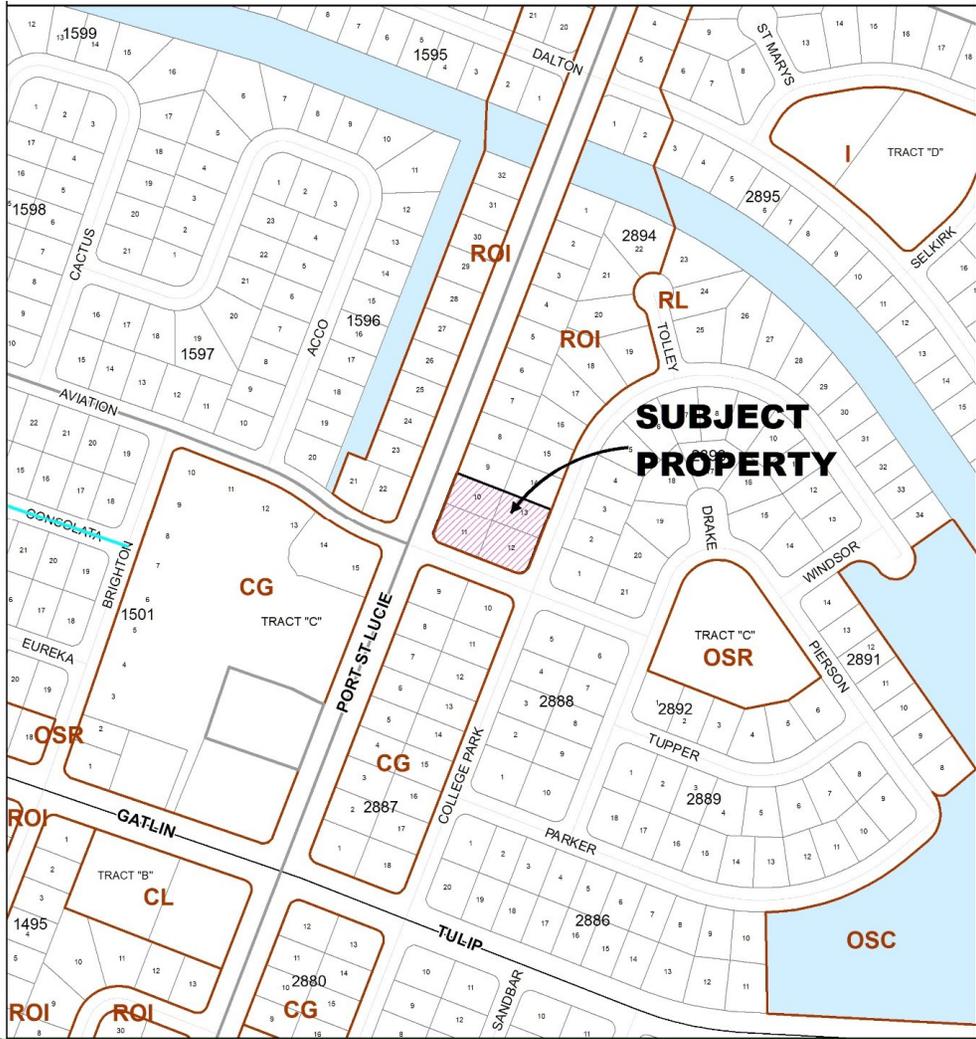


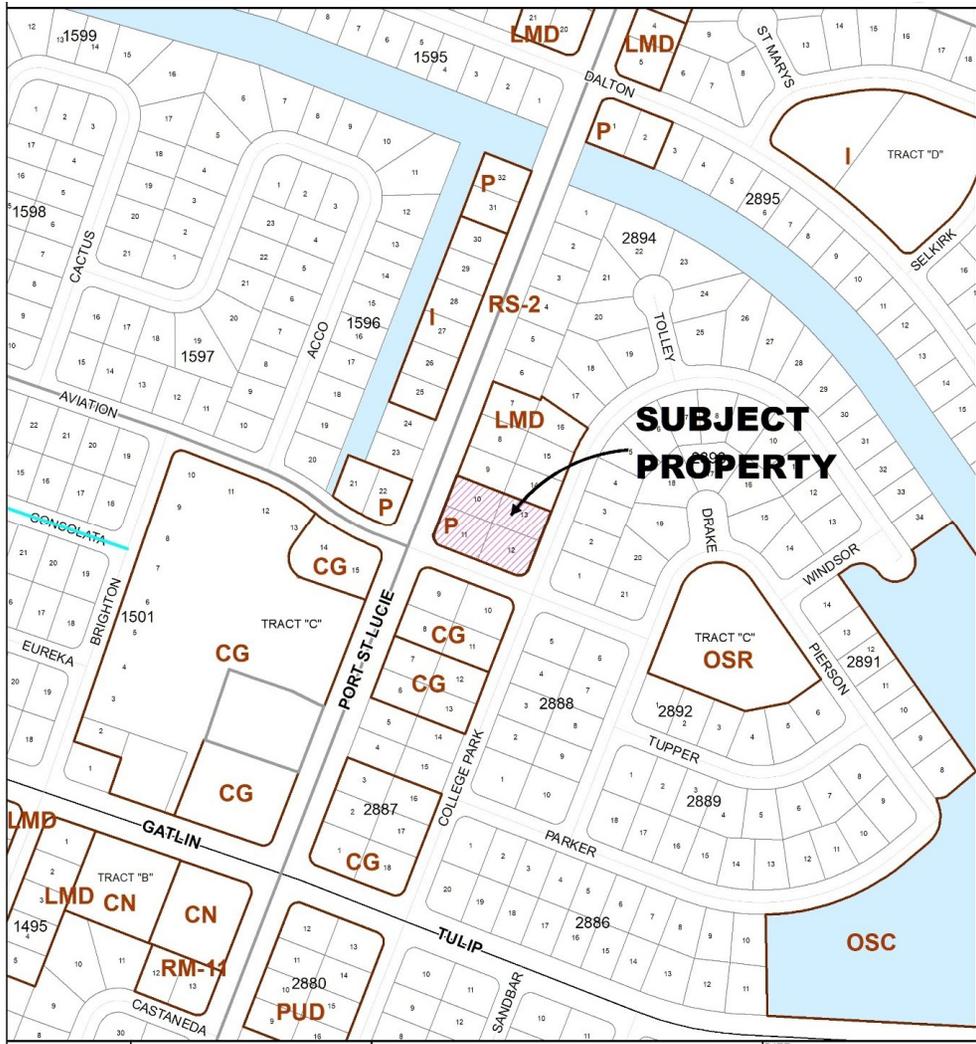
Aerial



CityofPSL.com







Zoning

CityofPSL.com

JUSTIFICATION:

The proposed future land use amendment is supported by goals, objectives and policies of the Comprehensive Plan.

- Specifically: Goal 1.1 states “Provide an appropriate mix of land uses which meet the needs of current and future residents of Port St. Lucie in a way which is environmentally acceptable; and developed concurrent with needed facilities and services.”
- Objective 1.1.3 states, “Development orders and permits for development and redevelopment activities shall be issued only in areas where public facilities necessary to meet level of service standards (which are adopted as part of the Traffic, Infrastructure, Recreation and Open Space, Public School Facilities and Capital Improvements elements of this Comprehensive Plan) are available concurrent with the impacts of development”.



Policy 1.1.3.1 states, "The development of residential, commercial and industrial land shall be timed and staged in conjunction with provisions of supporting community facilities and services identified as being required such as:

- a. Potable water;
- b. Sanitary sewers;
- c. Solid waste disposal;
- d. Vehicular and pedestrian circulation;
- e. Public safety;
- f. Recreation;
- g. Public schools;
- h. Electricity; and
- i. Drainage."



Traffic Impact Analysis

- The proposed amendment is anticipated to add up to 141 PM peak hour trips to the Port St. Lucie Boulevard, Gatlin to Del Rio segment. The segment is currently at Level of Service (LOS) C and has a capacity of 3,170 PM peak hour trips. According to the latest Metropolitan Planning Organization trip counts, the segment's trip count is at 2,221.
- The addition of 141 trips will not create the Level of Service failure on the impact segment and therefore, the land use change is not expected to be any adverse impacts on the transportation level of service for the adjacent roads.

Existing Future Land Use	Acre	Maximum Coverage	Trip Generation Average Rate (ITE Code)	Trip Generation	PM Peak Hour
Medical Office	1.06	18,469 SF	Medical Office (720)	665 AADT	89
Proposed Future Land Use	Acre	Maximum Coverage	Trip Generation Average Rate (ITE Code)	Trip Generation	PM Peak Hour
Commercial General (CG)	1.06	12 Pumps	Convenience Store/Gas Station (945)	3,182 AADT	230



Staff Recommendation:

Staff recommends approval of the proposed small-scale comprehensive plan Future Land Use Map amendment.





Agenda Summary
2023-241

Agenda Date: 3/7/2023

Agenda Item No.: 8.a

Placement: Public Hearing - Quasi Judicial

Action Requested: Motion / Vote

P22-155 Gatlin Boulevard Car Wash - Special Exception Use

Location: 1837 SW Gatlin Boulevard

Legal Description: Port St. Lucie Section 31, Tract P, Lots 9 and 10

This is a request for a special exception to allow a car wash in the General Commercial (CG) zoning district per Section 158.124(C)(4) of the Code of Ordinances.

Submitted By: Bethany Grubbs, Planner III

Executive Summary: A special exception use request from PS Lucie SR CGP, LLC to allow a car wash in the General Commercial (CG) zoning district per Section 158.124(C)(4) of the Code of Ordinances. The 1.73-acre property is located at the northwest intersection of SW Gatlin Boulevard and SW Import Drive.

Presentation Information: Staff is requesting to table this item.

Staff Recommendation: Move the Board table the Special Exception Use application until the April 4, 2023 meeting.

Background: N/A

Issues/Analysis: N/A

Special Consideration: N/A

Location of Project: 1837 SW Gatlin Boulevard, located at the northwest intersections of SW Gatlin Boulevard and SW Import Drive.

Attachments: 1. Memo to Table

CITY OF PORT ST. LUCIE
Planning and Zoning Department
121 S.W. Port St. Lucie Blvd., Building B
Port St. Lucie, FL 34984-5099
www.cityofpsl.com



MEMORANDUM

TO: Planning and Zoning Board

VIA: Mary Savage-Dunham, Planning Director

FROM: Bethany Grubbs, Planner III *BG*

DATE: February 22, 2023

RE: Gatlin Boulevard Car Wash – Special Exception Use (P22-155)

- The Planning and Zoning Department is requesting to **table this application to the April 4, 2023 Planning and Zoning Board Meeting.**
- The Planning and Zoning Department advertised this application for the March 7, 2023 Planning and Zoning Board Meeting.



Agenda Summary
2023-240

Agenda Date: 3/7/2023

Agenda Item No.: 8.b

Placement: Public Hearing - Quasi Judicial

Action Requested: Motion / Vote

P22-269 Jared & Emily Greenberg - Variance

Location: 702 SW Abode Avenue

Legal Description: Port St. Lucie - Section 33, Block 2326, Lot 21

This is a request to grant a variance of 9.51 feet to allow a 0.49-foot setback from the rear property line for an existing 21.50-foot by 24-foot (516 sf²) covered playhouse.

Submitted By: Bethany Grubbs, Planner III

Executive Summary: The applicant is requesting a variance of 9.51 feet to allow a 0.49 setback from the rear property line for an existing 21.50-foot by 24-foot (516 sf²) covered playhouse. Section 158.217(C)(1) of the City's Code of Ordinance states accessory uses or structures located within Single-Family Residential (RS-2) Zoning District shall have a minimum setback of ten (10) feet from the rear property line.

Presentation Information: Staff will provide a presentation.

Planning and Zoning Board Action Options:

- Motion to approve
- Motion to approve with conditions
- Motion to deny
- Motion to table or continue the hearing or review to a future meeting

Background: See the attached staff report.

Issues/Analysis: See the attached staff report.

Special Consideration:

1. If the variance is approved, the property owner will be required to have the 10' rear drainage and utility easement abandoned by the Public Works Department.
 - ***Should the Board desire to approve the variance staff recommends conditioning the approval as follows:***
The applicant shall obtain formal abandonment of the utility and drainage easement prior to obtaining a building permit, and within 120 days of the variance approval. If the applicant fails to comply with this condition the variance will be deemed null and void.
2. If the variance is approved, the property owner will be required to obtain a building permit for the structure.

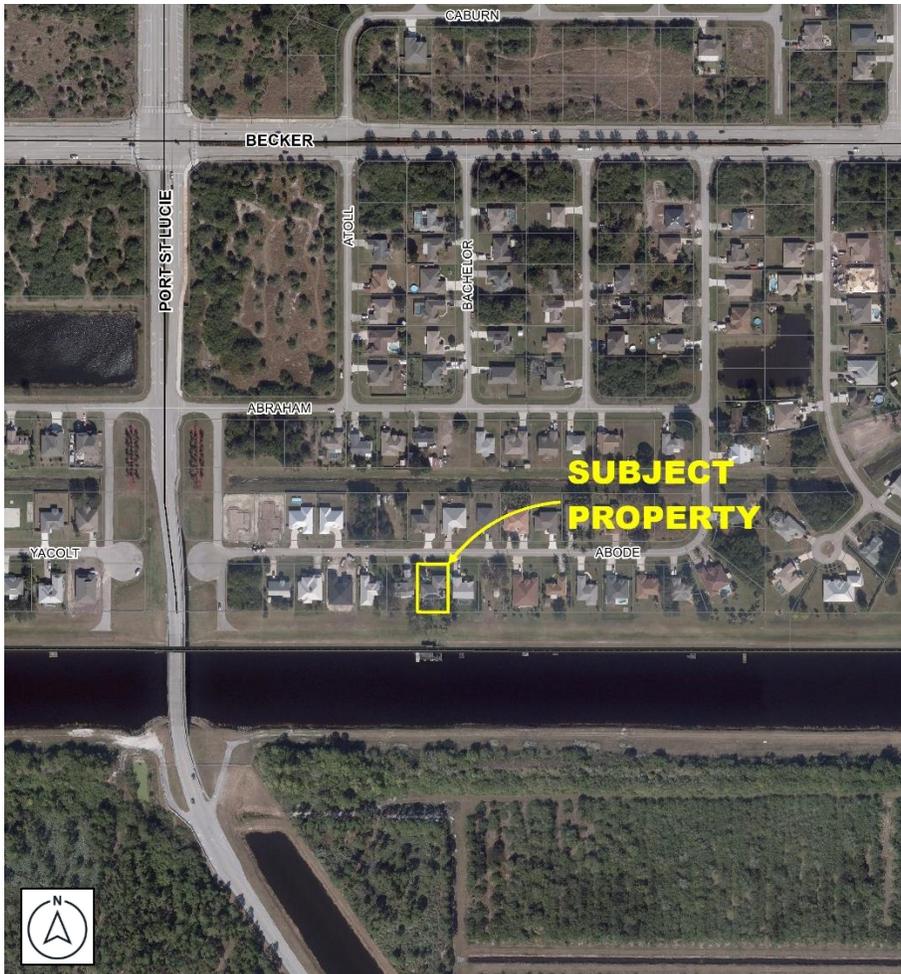
- ***Failure of the applicant to obtain a building permit for the structure will cause the Code case to remain active.***

Location of Project: 702 SW Abode Avenue, generally located south of Becker Road, east of Port St. Lucie Boulevard, and north of the County Line Canal.

Attachments: 1. Staff Report, 2. Survey, 3. Application, 4. Warranty Deed, 5. Site Photos, 6. Staff Presentation



Jared & Emily Greenberg
Variance
P22-269



Aerial Map

SUMMARY

Applicant's Request:	To grant a variance of 9.51 feet to allow a 0.49-foot setback from the rear property line for an existing 21.50-foot by 24-foot (516 sf ²) covered playhouse.
Application Type:	Variance, Quasi-Judicial
Applicant / Property Owner:	Jared Greenberg
Address:	702 SW Abode Avenue
Location:	The property is generally located south of Becker Road, east of Port St. Lucie Boulevard, and north of the County Line Canal.
Project Planner:	Bethany Grubbs, Planner III

Project Description

The applicant is requesting a variance of 9.51 feet to allow a 0.49 setback from the rear property line for an existing 21.50-foot by 24-foot (516 sf²) covered playhouse. Section 158.217(C)(1) of the City’s Code of Ordinance states accessory uses or structures located within Single-Family Residential (RS-2) Zoning District shall have a minimum setback of ten (10) feet from the rear property line. The property is located at 702 SW Abode Avenue. There is a 10-foot drainage and utility and drainage easement along the rear of the property.

Background

On August 2, 2022, Code Compliance reported violations on the property regarding the fence being erected outside of the property line, along with an accessory structure, the covered playhouse, not meeting the applicable rear setback requirement. The structure was located outside of the property line and within the South Florida Water Management Right of Way. The City does not have the authority to permit structures outside of the property owner’s parcel. The applicant relocated the covered playhouse to fall within the confines of the subject parcel and amended the variance request. On November 3, 2020, the applicant received variance approval to construct a solar panel roof with poles along the eastern property line with a 0-foot side yard setback.

Drainage and Utility Easement: Public Works has no objection to this variance, but the applicant will still need to go through the abandonment of easement process to formally confirm the City does not need the easement for maintenance. Notably, Public Works has indicated that since the property is adjacent to the C-23 canal, which is maintained by the South Florida Water Management District it will support abandonment of the easement, absent discovery of new or unknown facts. If the variance is approved, the applicant will coordinate with Public Works to obtain an abandonment of the easement.

Review Criteria

An application for a variance is reviewed for consistency with Article XV of the Zoning Code, Sections 158.295 through 158.299. Final action on the application (approval or denial) is in the form of an Order of the Planning and Zoning Board following a quasi-judicial public hearing. A vote of approval by five (5) members of the Planning and Zoning Board is required to grant a variance.

Public Notice Requirements

Public notice was mailed to owners within 750 feet on February 23, 2023, and the file was included in the ad for the Planning & Zoning Board’s agenda.

Location and Site Information

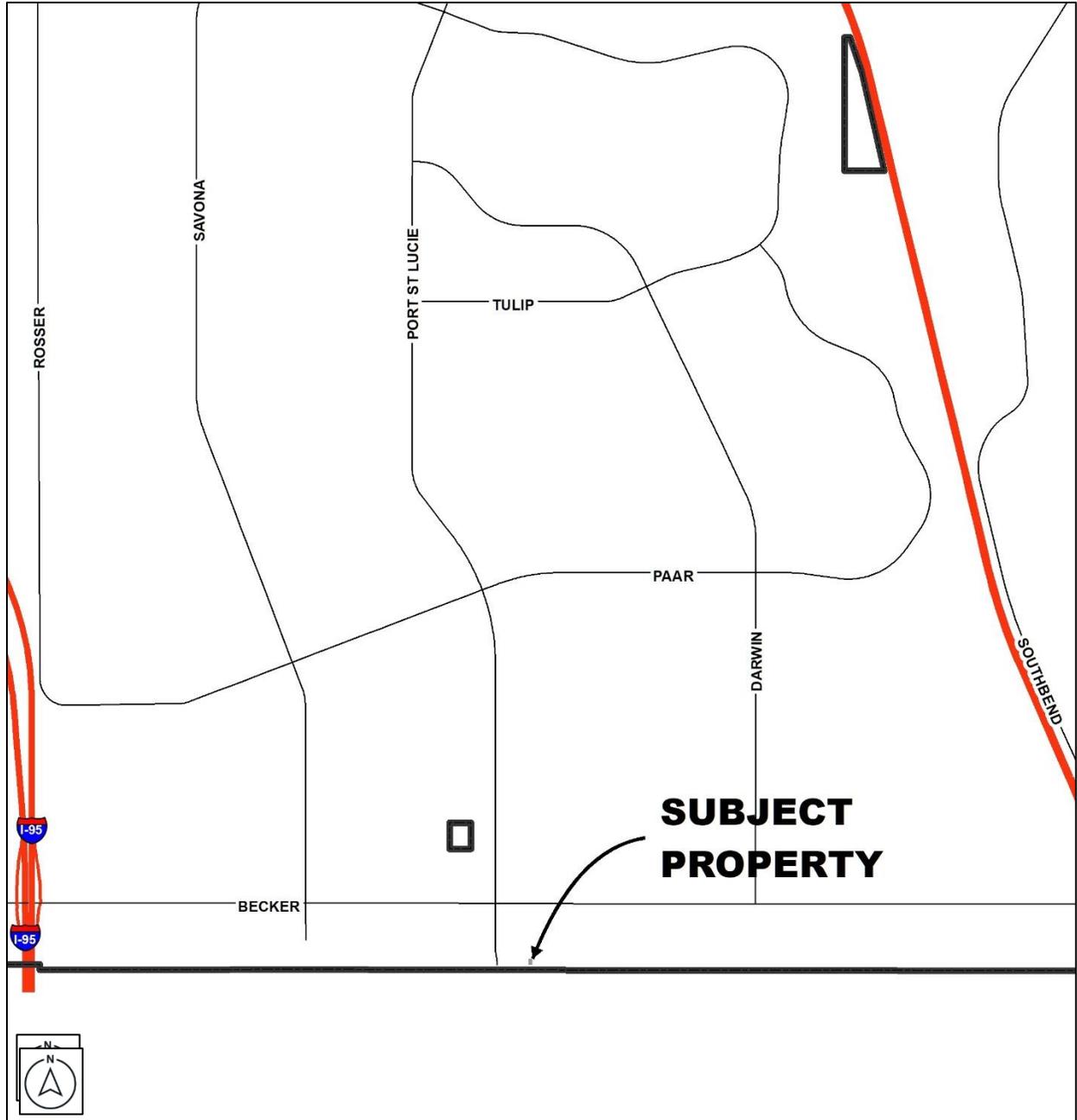
Parcel Number:	3420-660-3547-000-4
Property Size:	0.23-acres
Legal Description:	Port St. Lucie - Section 33, Block 2326, Lot 21
Future Land Use:	RL
Existing Zoning:	RL
Existing Use:	Single-Family Residence

Surrounding Uses

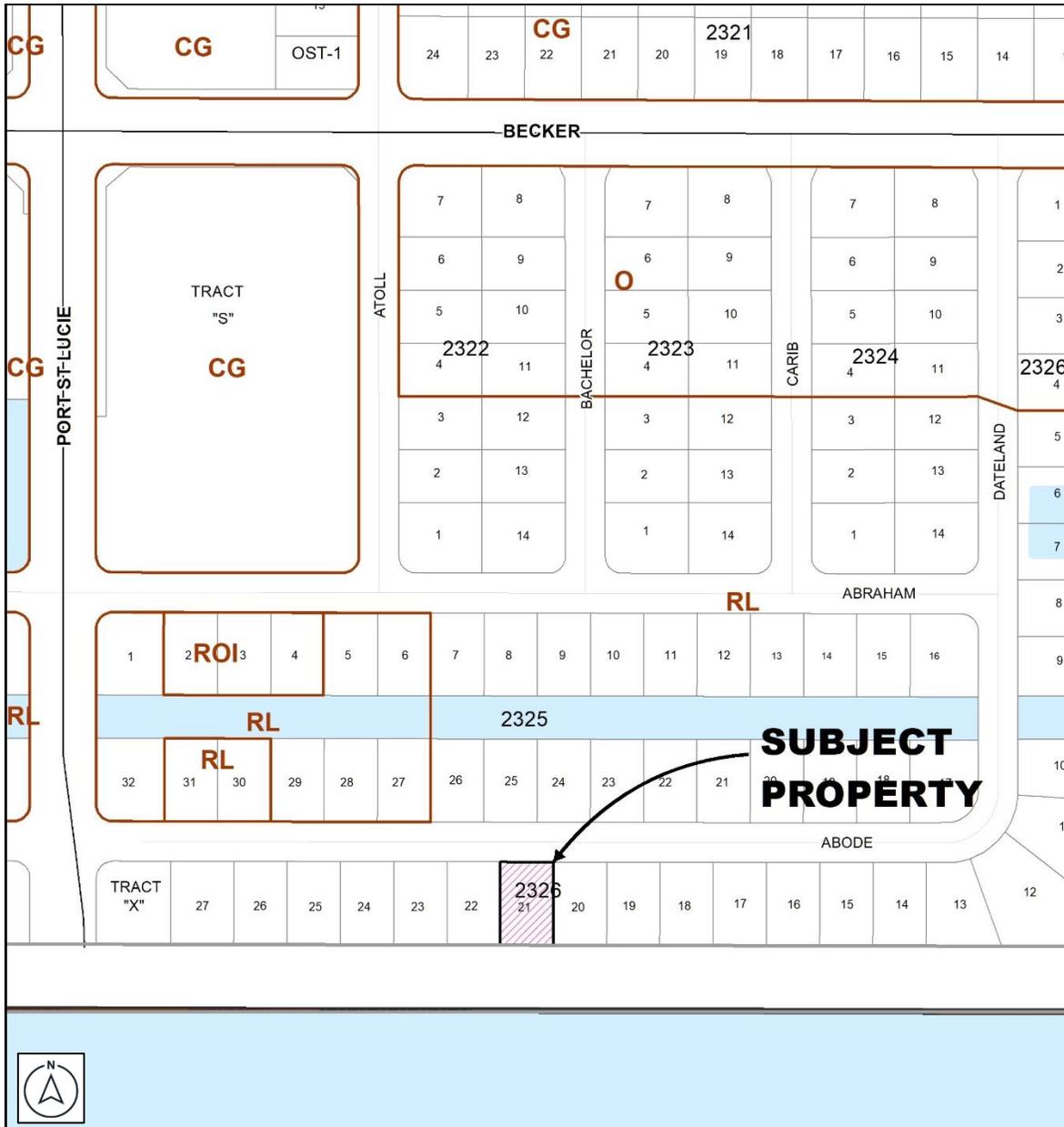
Direction	Future Land Use	Zoning	Existing Use
North	RL	RS-2	Single-Family Residence
South	N/A	N/A	County Line Canal (Martin)

East	RL	RS-2	Single-Family Residence
West	RL	RS-2	Single-Family Residence

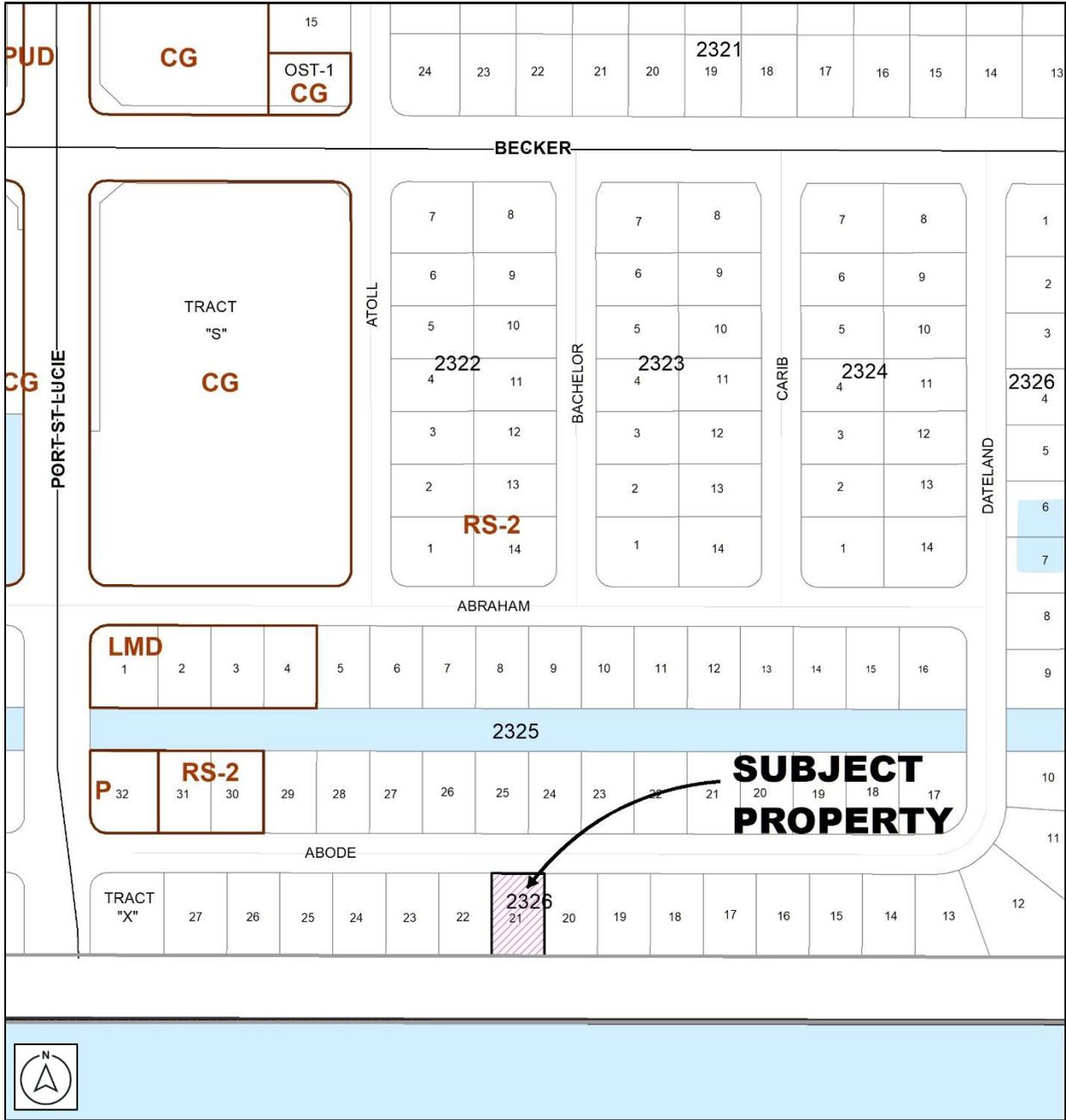
RL – Low Density Residential, RS-2 – Single-Family Residential



Location Map



Future land Use



Zoning

IMPACTS AND FINDINGS

Section 158.295 (B) of the Zoning Code establishes the duties of the Planning and Zoning Board in authorizing a variance. The Planning and Zoning Board may authorize the variance from the provisions of the Zoning Code as will not be contrary to the public interest when, owing to special conditions, a literal enforcement of the provisions will result in unnecessary and undue hardship. Pursuant to Section 158.296, a variance is authorized only for height, area, and size of the structure, yard size, building setback, lot size requirements, and other applicable development regulations, excluding use. To authorize a variance, the Planning and Zoning Board should consider the criteria listed under Section 158.295 (B) (1) through (7). The applicant's response to this criterion is attached to the application. Staff's review is provided below.

See the applicant's responses that are included in the Variance application.

Compatibility with variance criteria Section 158.295 (B).

- 1) That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.
 - *Staff Findings: Special conditions and circumstances do not exist, which are peculiar to the land, structure, or building involved. The lot is a typical rectangular-shaped, quarter-acre lot found throughout the city.*
- 2) That the special conditions and circumstances do not result from any action of the applicant.
 - *Staff Findings: See No. 1 above. The applicant did not obtain a building permit.*
- 3) That granting the variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands, buildings, or structures, in the same zoning district.
 - *Staff Findings: Special privileges would be conferred upon the applicant, a 10-foot rear setback is a regulatory standard applied to other lands, buildings, and structures; specifically accessory uses within the RS-2 zoning district.*
- 4) That literal interpretation of the provisions of the chapter would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the chapter and would work unnecessary and undue hardship on the applicant.
 - *Staff Findings: Literal interpretation of the provisions of the chapter would not deprive the applicant of rights commonly enjoyed by other properties in the same zoning district or introduce unnecessary and undue hardships on the applicant. All property owners who own a single-family dwelling unit located in the Single-Family Residential (RS-2) Zoning District are permitted to have covered playhouses, as long as they meet the minimum setback requirements.*
- 5) That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.
 - *Staff Findings: The property contains a primary structure and multiple accessory structures, such as solar panels, a shed, and a swimming pool. The applicant has reasonable use of the land and structures. The proposed covered playhouse could potentially be relocated elsewhere on the property.*

- 6) That the granting of the variance will be in harmony with the general intent and purpose of the chapter and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare.
- *Staff Findings: The applicant would still be required to receive a permit from the City's Building Department. Variance approval to the rear yard setback must first be granted before the City's Building Department can issue a permit for the covered playhouse at the existing location. The applicant would also be required to receive approval from the City for abandonment of the existing 10-foot-wide utility and drainage easement located on the rear of the property.*
- 7) That there will be full compliance with any additional conditions and safeguards which the Planning and Zoning Board or Zoning Administrator may prescribe, including but not limited to reasonable time limits within which the action for which variance is required shall be begun or completed, or both.
- *Staff Findings: Acknowledged.*

Should the Board desire to approve the variance staff recommends conditioning the approval as follows:

The applicant shall obtain formal abandonment of the utility and drainage easement prior to obtaining a building permit, and within 120 days of the variance approval. If the applicant fails to comply with this condition the variance will be deemed null and void.

Any public comment that is received will be forwarded to the Board for consideration.

PLANNING AND ZONING BOARD ACTION OPTIONS

The Board may choose to approve, deny or table the proposed variance. If the Board finds that the variance application is consistent with the criteria as listed in Section 158.295 (B) (1) through (7) of the City code (listed above), then the Board may:

- Motion to approve
- Motion to approve with conditions

If the Board finds that the variance application is inconsistent with the criteria as listed in Section 158.295 (B) (1) through (7) of the City code, then the Board may:

- Motion to deny

Should the Board need further clarification or information from either the applicant and/or staff, the Board may:

- Motion to table or continue the hearing or review to a future meeting

(NOTE TO APPLICANTS: Any request for a variance that is denied by the Planning and Zoning Board may be appealed to the Board of Zoning Appeals. Appeal applications are made through the City Clerk's office and must be submitted within 15 days after the Planning and Zoning Board hearing).

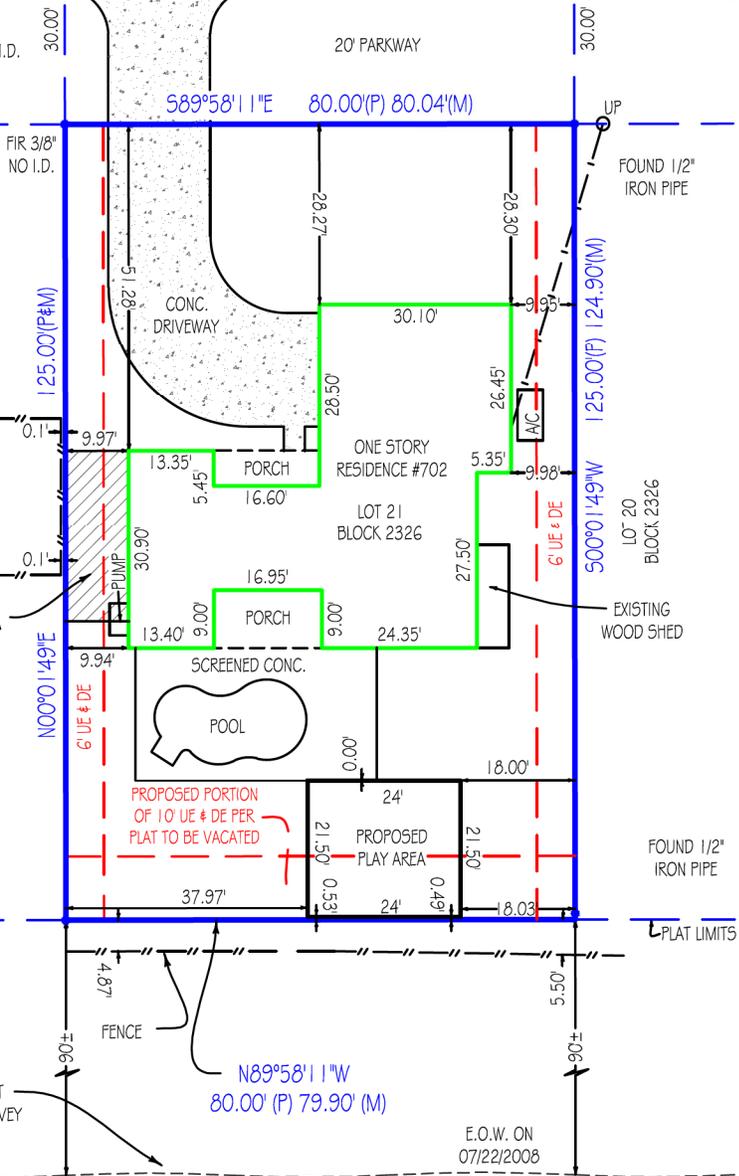


BEARING REFERENCE:
 CENTER LINE OF ABODE AVENUE AS S. 89°58'11" E.
 ALL BEARINGS SHOWN HEREON REFERENCED THERETO.
S. W. ABODE AVENUE

SCALE: 1"=30'

1/2" IRON ROD - NO I.D.
 N.W. BLOCK CORNER

606.76'(F)
 606.80'(M)



AERIAL PHOTOGRAPH
 (MAY NOT SHOW LATEST IMPROVEMENTS)
 (NOT-TO-SCALE)

PROPOSED AREA OF LEAN-TOO SOLAR PANEL

PROPOSED PORTION OF 10' UE & DE PER PLAT TO BE VACATED

NOTE:
 DOCK DID NOT EXIST AT TIME OF ORIGINAL SURVEY (07/22/2008)

C. & S. F.F.C.D. CANAL NO. C-23

(CONTROLLING THE WATER LEVELS AND THE MOVEMENT OF WATER FROM ONE PLACE TO ANOTHER FOR WATER SUPPLY, FLOOD CONTROL, DRAINAGE, AND NAVIGATION (DOI:10.13140/RG.2.1.2362.2642))

"CP" = CONTROLLING POINT (POINT OF ROTATION) "HFA" = HELD FOR ALIGNMENT - ALL OTHER MONUMENTATION AND IMPROVEMENTS RELATIVE THERETO

Platted Easements, Notable or Adverse Conditions (unplatted easements also listed if provided by client): IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN HEREON AND THEIR RELATIONSHIP TO THE BOUNDARY LINE

- 6' UTILITY AND DRAINAGE EASEMENT ALONG EAST AND WEST PROPERTY LINES
- 10' UTILITY AND DRAINAGE EASEMENT ALONG SOUTH PROPERTY LINE
- A/C PAD EXTENDS INTO EAST EASEMENT

Rev.: 10/06/2022 B. ZAB
 Rev.: 10/28/2022 ADD SHED B. ZAB
 Rev.: 11/01/2022 A/M REVISE B. ZAB
 Rev.: 11/01/2022 P/M REVISE B. ZAB
 Rev.: 11/09/2022 REVISE SHED B. ZAB
 Rev.: 11/15/2022 REVISE SHED TO PLAY AREA B. ZAB

Original Job Numbers:
 01-52409-SE
 97897-SE

This survey has been issued by the following
 Landtec Surveying office:
 700 W. Hillsboro Blvd. Suite 4-100
 Deerfield Beach, FL 33441
 Office: (561) 367-3587 Fax: (561) 465-3145
www.Landtecsurvey.com

Elevations, if shown:
 Benchmark: XXXXXXXXX
 Benchmark Elev.: XXXX
 Benchmark Datum: XXXX
 Elevations on Drawing are in:
 N.G.V.D.29 N.A.V.D.88

Revisions:
 Rev.: 11/04/2019 Site Plan B. ZAB
 Rev.: 11/08/2019 B. ZAB
 Rev.: 02/20/2020 B. ZAB
 Rev.: 09/15/2022 B. ZAB
 Rev.: 09/21/2022 B. ZAB

Job No.: 153110-SE Date of Field Work : 07/22/2008 Drawn by: C. FERRARA



TYPE OF SURVEY:			PURPOSE OF SURVEY (SEE GENERAL NOTES BELOW):
<input checked="" type="checkbox"/> BOUNDARY	<input checked="" type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> CONDOMINIUM	Property Improvements
<input type="checkbox"/> ALTA/NSPS	<input checked="" type="checkbox"/> TOPOGRAPHIC	<input type="checkbox"/> SPECIAL PURPOSE	

LEGAL DESCRIPTION:

LOT 21, BLOCK 2326, PORT ST LUCIE THIRTY THREE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 15, PAGE(S) 1-1A-1V, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PROPERTY ADDRESS:

702 SW ABODE AVENUE
PORT SAINT LUCIE, FL 34953

INVOICE NUMBER: 153110-SE

DATE OF FIELD WORK: 10/28/2022

CERTIFIED TO

JARED GREENBERG

FLOOD ZONE: X

FLOOD MAP: 12111C

PANEL: 0405

SUFFIX: J

PANEL DATE: 02/16/2012

BASE FLOOD ELEVATION OR DEPTH: N|A NAVD 1988

COMMUNITY NUMBER: 120287

PLATTED EASEMENTS, NOTABLE OR ADVERSE CONDITIONS (UNPLATTED EASEMENTS ALSO LISTED IF PROVIDED BY CLIENT):

IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN HEREON AND THEIR RELATIONSHIP TO THE BOUNDARY LINE.

6' UTILITY AND DRAINAGE EASEMENT ALONG EAST AND WEST PROPERTY LINES

10' UTILITY AND DRAINAGE EASEMENT ALONG SOUTH PROPERTY LINE

A/C PAD EXTENDS INTO EAST EASEMENT

ABBREVIATION LEGEND (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING):

A OR AL = ARC LENGTH	DE = DRAINAGE EASEMENT	P = PLAT	QTR = QUARTER
B.S.L = BUILDING SETBACK LINE	EL OR ELEV = ELEVATION	PC = POINT OF CURVE	R = RADIUS
C/O = CLEANOUT	EM = ELECTRIC METER	PCC = POINT OF COMPOUND CURVE	RNG = RANGE
CA = CENTRAL ANGLE	FIR = FOUND IRON ROD	PH = POOL HEATER	SEC = SECTION
CATV = CABLE TV RISER	FN = FOUND NAIL	PI = POINT OF INTERSECTION	TR = TELEPHONE RISER
CF = CALCULATED FROM FIELD	FND = FOUND	POB = POINT OF BEGINNING	TWP = TOWNSHIP
CH = CHORD DISTANCE	HFA = HELD FOR ALIGNMENT	POC = POINT OF COMMENCEMENT	UE = UTILITY EASEMENT
CONC. = CONCRETE	L = LEGAL DESCRIPTION	PP = POOL PUMP	UP = UTILITY POLE
CP = CONTROLLING POINT	M = MEASURED	PRC = POINT OF REVERSE CURVE	WM = WATER METER
OR = CALCULATED FROM RECORD	OHC = OVERHEAD CABLE	PT = POINT OF TANGENCY	WV = WATER VALVE

SYMBOLS (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING - NOT TO SCALE):

= UTILITY POLE	= WELL	= HANDICAP PARKING SPACE
= LIGHT POLE	= CENTER LINE	= PARTY WALL
= CATCH BASIN	= SEC. QTR. CORNER	= SECTION CORNER
= FIRE HYDRANT	= AIR CONDITIONER	= SEPTIC LID
= MANHOLE	= ELEV. SHOT	= WATER METER
= WATER VALVE		

LINETYPES:

BOUNDARY	
BUILDING	
EASEMENT	
CHAIN LINK FENCE	
WOOD FENCE	
PLASTIC FENCE	
OVERHEAD CABLE	

GENERAL NOTES:

- THIS SURVEY IS BASED UPON RECORD INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
- AS INDICATED ABOVE, UNDER "PURPOSE OF SURVEY", IF THIS SURVEY HAS BEEN PREPARED FOR A PURCHASE OR REFINANCE, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES, AND IS NOT INTENDED FOR USE IN DESIGN OR CONSTRUCTION PURPOSES. RECIPIENTS MUST CONTACT OUR OFFICE FOR APPROVAL PRIOR TO SUCH USE. LANDTEC SURVEYING ASSUMES NO RESPONSIBILITIES FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.
- ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING FROM THE REMOVAL OF, OR CHANGES MADE TO, ANY FENCES UNLESS WE HAVE PROVIDED A SURVEY SPECIFICALLY LOCATING SAID FENCES FOR SUCH PURPOSES. DETERMINATION OF FENCE POSITIONS SHOULD BE BASED SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
- GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
- UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
- ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988) AS SHOWN ON SHEET 1.
- ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- ANY CORNERS SHOWN AS "SET" HAVE EITHER BEEN SET ON THE DATE OF FIELD WORK, OR WILL BE SET WITHIN 5 BUSINESS DAYS OF SAID DATE AND ARE IDENTIFIED WITH A CAP MARKED LS (LICENSED SURVEYOR) #5639.

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS OUTLINED IN CHAPTER 5J-17.051 & 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT THE ELECTRONIC SIGNATURE AND SEAL HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062, PURSUANT TO SECTION 472.025, FLORIDA STATUTES.

PRINTING INSTRUCTIONS:

WHEN PRINTING THIS PDF IN ADOBE, SELECT "ACTUAL SIZE" TO ENSURE CORRECT SCALING. **DO NOT USE "FIT"**.

SIGNATURE _____

DATE: 12/07/2022

ANDREW SNYDER - PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 5639 (NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR THE ELECTRONIC SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER SHOWN ABOVE)



Proudly Serving Florida's Land Title & Real Estate Industries

... measurably better!

LICENSED BUSINESS No. 8007

TYPE	STATUS	BUILDING TYPE	
VAR	CUSTOMER RESPONDED	RES	
ASSIGNED TO			
Bethany Grubbs			
ADDRESS			
702 SW Abode Ave			
SECTION	BLOCK	LOT	
33	2326	21	
LEGAL DESCRIPTION			
SITE LOCATION			
PARCEL #			
3420-660-3547-000-4			
CURRENT LANDUSE	PROPOSED LANDUSE	CURRENT ZONING	PROPOSED ZONING
		RS-2	
ACREAGE	NON-RESIDENTIAL SQ. FOOTAGE	NO. OF RESIDENTIAL UNITS	
0.23			
NO. OF LOTS OR TRACTS	NO. OF SHEETS IN PLAT		
0	0		
UTILITY PROVIDER			
DESCRIBE REQUEST			
To be able to build a 16ft by 16ft playset/covered deck in the rear utility set back of my property.			
Primary Contact Email			
greenberg.jared@gmail.com			
AGENT/APPLICANT			
FIRST NAME	LAST NAME		
Jared	Greenberg		
Business Name			
ADDRESS			
702 SW Abode Ave			
CITY	STATE	ZIP	
Port Saint Lucie	FL	34953	
EMAIL	PHONE		
greenberg.jared@gmail.com	3525146426		
AUTHORIZED SIGNATORY OF CORPORATION			
FIRST NAME	LAST NAME		
ADDRESS			
CITY	STATE	ZIP	
EMAIL	PHONE		

Prepared by:
Michele L. Chardt
Arrow Title Services, Inc.
1111 SE Federal Hwy, Suite 110
Stuart, Florida 34994
File Number: 2020-232

Warranty Deed

Made this July 28, 2020 A.D. By JARED M. GREENBERG, a married man joined by his wife EMILY GREENBERG, whose address is: 702 SW Abode Avenue, Port St. Lucie, Florida 34953, hereinafter called the grantor, to JARED MICHAEL GREENBERG and EMILY GREENBERG, husband and wife, whose post office address is: 702 SW Abode Avenue, Port St. Lucie, Florida 34953, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in St. Lucie County, Florida, viz:

Lot 21, Block 2326, PORT ST. LUCIE SECTION THIRTY-THREE, according to the map or plat thereof, as recorded in Plat Book 15, Page 1, 1A through 1V, of the Public Records of St. Lucie County, Florida.

Parcel ID Number: 3420-660-3547-000-4

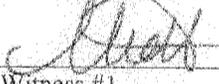
Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

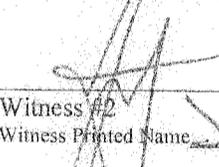
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2020.

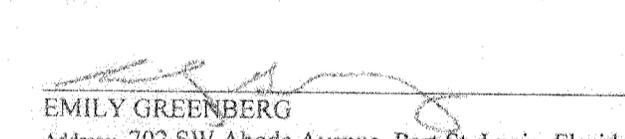
In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:
(2 separate, disinterested parties)


Witness #1
Witness Printed Name Michele L. Chardt


JARED M. GREENBERG (Seal)
Address: 702 SW Abode Avenue, Port St. Lucie, Florida 34953

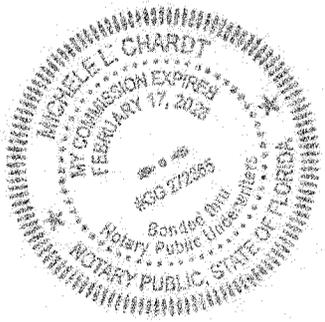

Witness #2
Witness Printed Name Jamie Pennington


EMILY GREENBERG (Seal)
Address: 702 SW Abode Avenue, Port St. Lucie, Florida 34953

State of Florida
County of Martin

The foregoing instrument was acknowledged before me by means of [x] physical presence or [] online notarization, this 28th day of July, 2020, by JARED M. GREENBERG, a married man joined by his wife EMILY GREENBERG, who is/are personally known to me or who has produced driver's licenses as identification.

(SEAL)




Notary Public
Print Name: _____
My Commission Expires: _____







Jared & Emily Greenberg
Variance Application
P22-239

Planning and Zoning Board
March 7, 2023
Bethany Grubbs, Planner III

CityofPSL.com



Request Summary

Applicant / Property Owner: Jared Greenberg

Address: 702 SW Abode Avenue

Request: The applicant is requesting a variance from Section 158.217(C)(1) of the City's Code of Ordinance to allow a 0.49 setback from the rear property line for an existing 21.50-foot by 24-foot (516 sf2) covered playhouse.



Background

- This is an active Code case.
- A notice of hearing was issued on August 2, 2022.
- On September 7, 2022, the property owner was ordered by the Special Magistrate to bring the property into compliance by October 14, 2022.
- There was a Finding of Facts and Order Imposing Fines executed on December 7, 2022, at which time the property owner was ordered to pay a fine in the amount of \$50.00 per day for each day the violation continues.



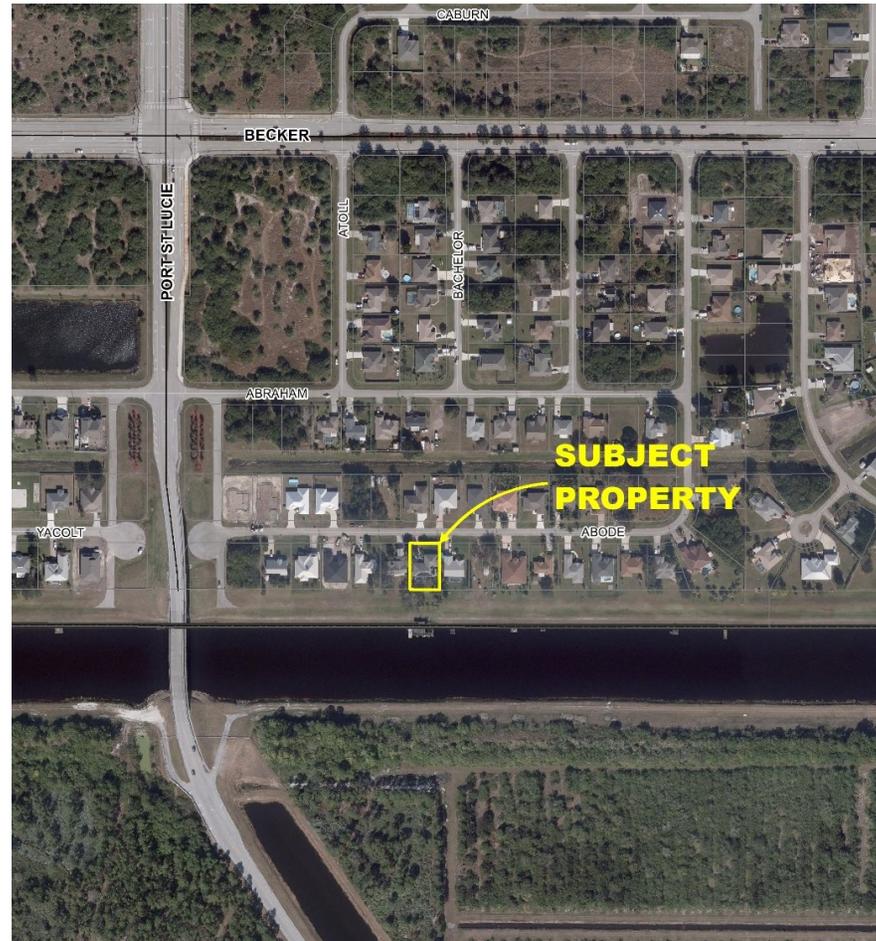
Background

- The cure is for the property owner to receive a variance for the structure OR relocate the structure out of the required rear setback area.
- The property owner submitted a variance application on August 23, 2022, which was revised multiple times for sufficiency through December 13, 2022.
- If the variance is approved, the property owner will be required to have the 10' rear drainage and utility easement abandoned by the Public Works Department.
 - Should the Board desire to approve the variance staff recommends conditioning the approval as follows:
The applicant shall obtain formal abandonment of the utility and drainage easement prior to obtaining a building permit, and within 120 days of the variance approval. If the applicant fails to comply with this condition the variance will be deemed null and void.
- If the variance is approved, the property owner will be required to obtain a building permit for the structure.
 - Failure of the applicant to obtain a building permit for the structure will cause the Code case to remain active.



Aerial

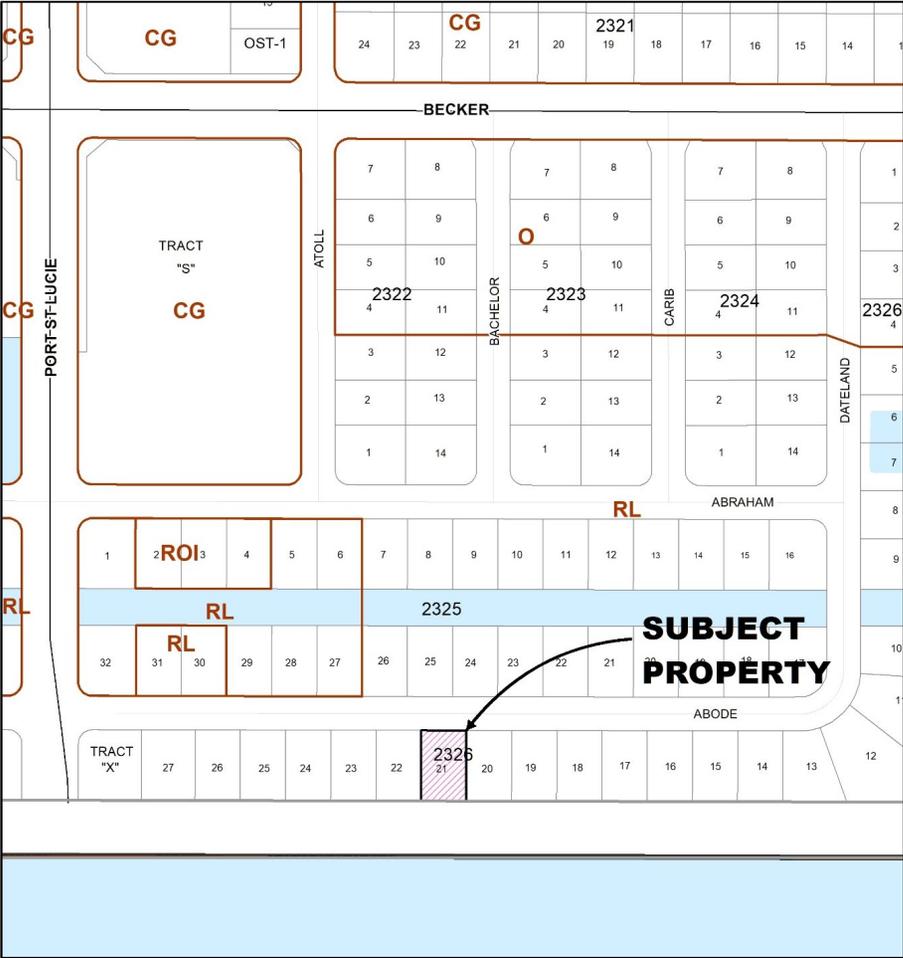
Direction	Future Land Use	Zoning	Existing Use
North	RL	RS-2	Single-Family Residence
South	N/A	N/A	County Line Canal (Martin)
East	RL	RS-2	Single-Family Residence
West	RL	RS-2	Single-Family Residence



Land Use

RL (Low Density Residential)

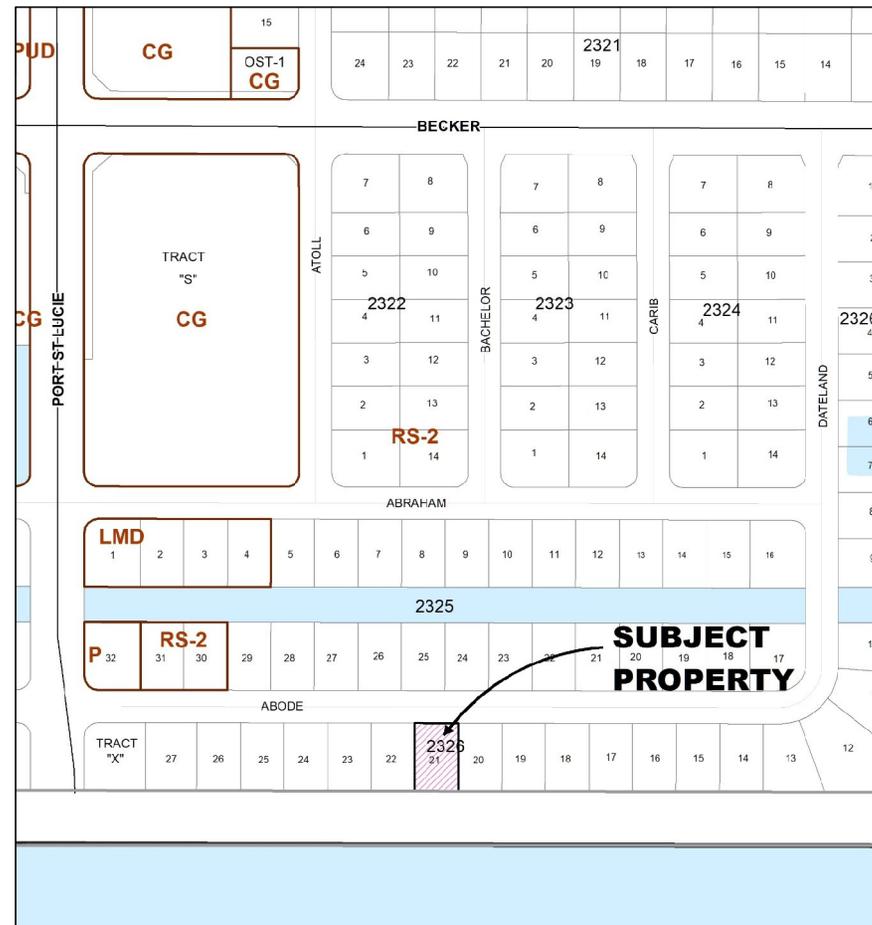
Direction	Future Land Use	Zoning	Existing Use
North	RL	RS-2	Single-Family Residence
South	N/A	N/A	County Line Canal (Martin)
East	RL	RS-2	Single-Family Residence
West	RL	RS-2	Single-Family Residence



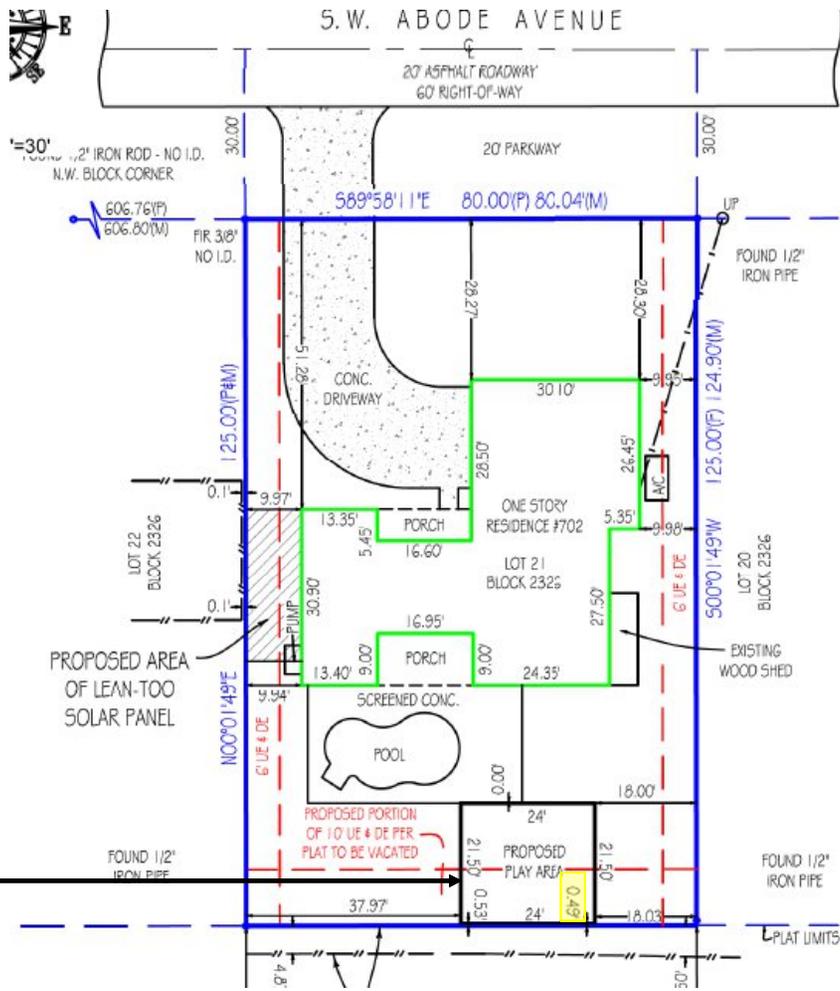
Zoning

RS-2 (Single-Family Residential)

Direction	Future Land Use	Zoning	Existing Use
North	RL	RS-2	Single-Family Residence
South	N/A	N/A	County Line Canal (Martin)
East	RL	RS-2	Single-Family Residence
West	RL	RS-2	Single-Family Residence



Boundary Survey



Variance Request



Site Photo



Questions or Comments?

Planning and Zoning Board Action Options:

- Make a motion to approve
- Make a motion to approve with conditions
- Make a motion to deny
- Make a motion to table





Agenda Summary

2023-237

Agenda Date: 3/7/2023

Agenda Item No.: 8.c

Placement: Public Hearing - Quasi Judicial

Action Requested: Motion / Vote

P22-327 Bayshore Boulevard Plaza - Special Exception Use (Fitness Center)

Location: East side of Bayshore Blvd. and north of SW Thornhill Dr.

Legal Description: Port St. Lucie Section 13, Block 628, Lots 25-29

This is a request for a Special Exception Use to allow on enclosed assembly area over 3,000 square feet for a recreational use totaling 3,187 square feet.

Submitted By: Francis Forman, Planner II, Planning & Zoning

Executive Summary: The applicant is requesting a special exception use to allow an enclosed assembly area over 3,000 square feet for recreational use totaling 3,187 square feet within a proposed 9,183 square foot commercial building, per Section 158.124(C)(1) of the General Commercial (CG) zoning district. The Zoning Code lists an enclosed assembly area more than 3,000 square feet as a special exception use that may be permitted only following the review and specific approval thereof by the City Council. The proposed special exception use will allow the operation of a recreational facility for general fitness activities for the community.

Presentation Information: Staff will provide a presentation.

Planning and Zoning Board Action Options:

- Recommend approval
- Recommend approval with conditions
- Recommend denial
- Table or continue the hearing and review to a future meeting

Background: See attached staff report.

Issues/Analysis: See attached staff report.

Special Consideration: N/A

Location of Project: 1962 SW Bayshore Blvd.

Attachments: 1) Staff Report, 2) Resolution, 3) Conceptual Site Plan, 4) Building Elevations, 5) Landscape Plan, 6) Response to SEU Criteria, 7) Staff Presentation.



**Bayshore Boulevard Plaza – Fitness Center
 Special Exception Use
 P22-327**



Project Location Map

SUMMARY

Applicant’s Request:	The request is for the approval of a Special Exception Use (SEU) to allow an enclosed assembly area over 3,000 square feet in the General Commercial (CG) Zoning District as per Section 158.124(C)(1) for the Zoning Code for a 3,187 square foot fitness center.
Agent:	Melissa Corbett, P.E., The MilCorp Group
Applicant/Property Owner:	Jensen MHP, LLC
Location:	The site is generally located on the west side of Bayshore Boulevard, north of SW Thornhill Drive.
Address:	1962 SW Bayshore Boulevard
Project Planner:	Francis Forman, Planner II

Project Description

The applicant is requesting a special exception use to allow an enclosed assembly area over 3,000 square feet for a recreational use totaling 3,187 square feet within a proposed 9,183 square foot commercial building, as per Section 158.124(C)(1) of the General Commercial (CG) zoning district. The Zoning Code lists an enclosed assembly area more than 3,000 square feet as a special exception use that may be permitted only following the review and specific approval thereof by the City Council. The proposed special exception use will allow the operation of a recreational facility for general fitness activities for the community.

Public Notice Requirements

Notice of this request for a Special Exception Use was mailed on February 23, 2023, to owners of property within a 750-foot radius of the subject property.

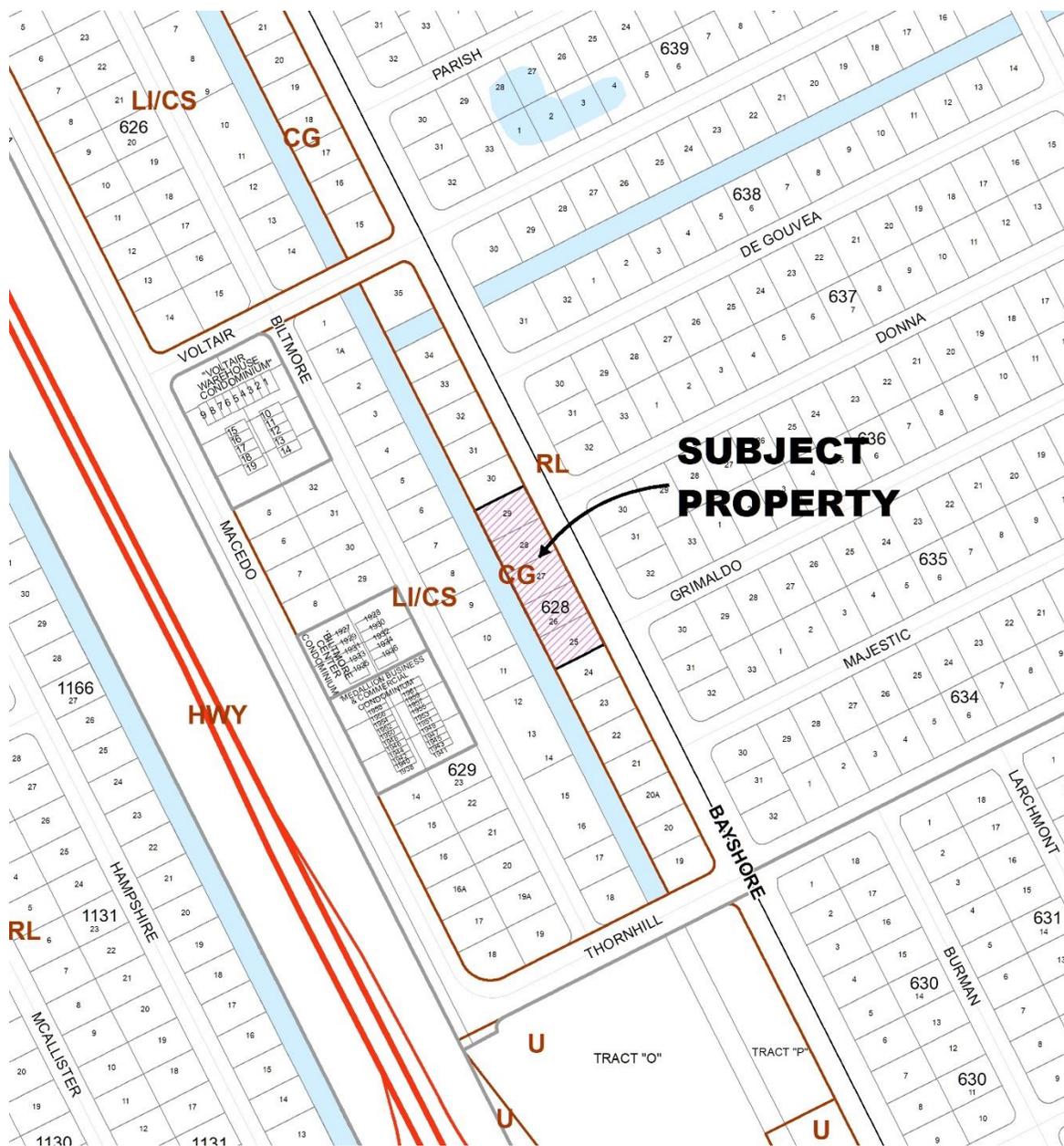
Location and Site Information

Parcel Number:	3420-560-2437-000-6
Property Size:	1.15 acres, more or less
Legal Description:	Port St. Lucie Section 13, Block 628, Lots 25-29
Future Land Use:	General Commercial (CG)
Existing Zoning:	General Commercial (CG)
Existing Use:	Vacant

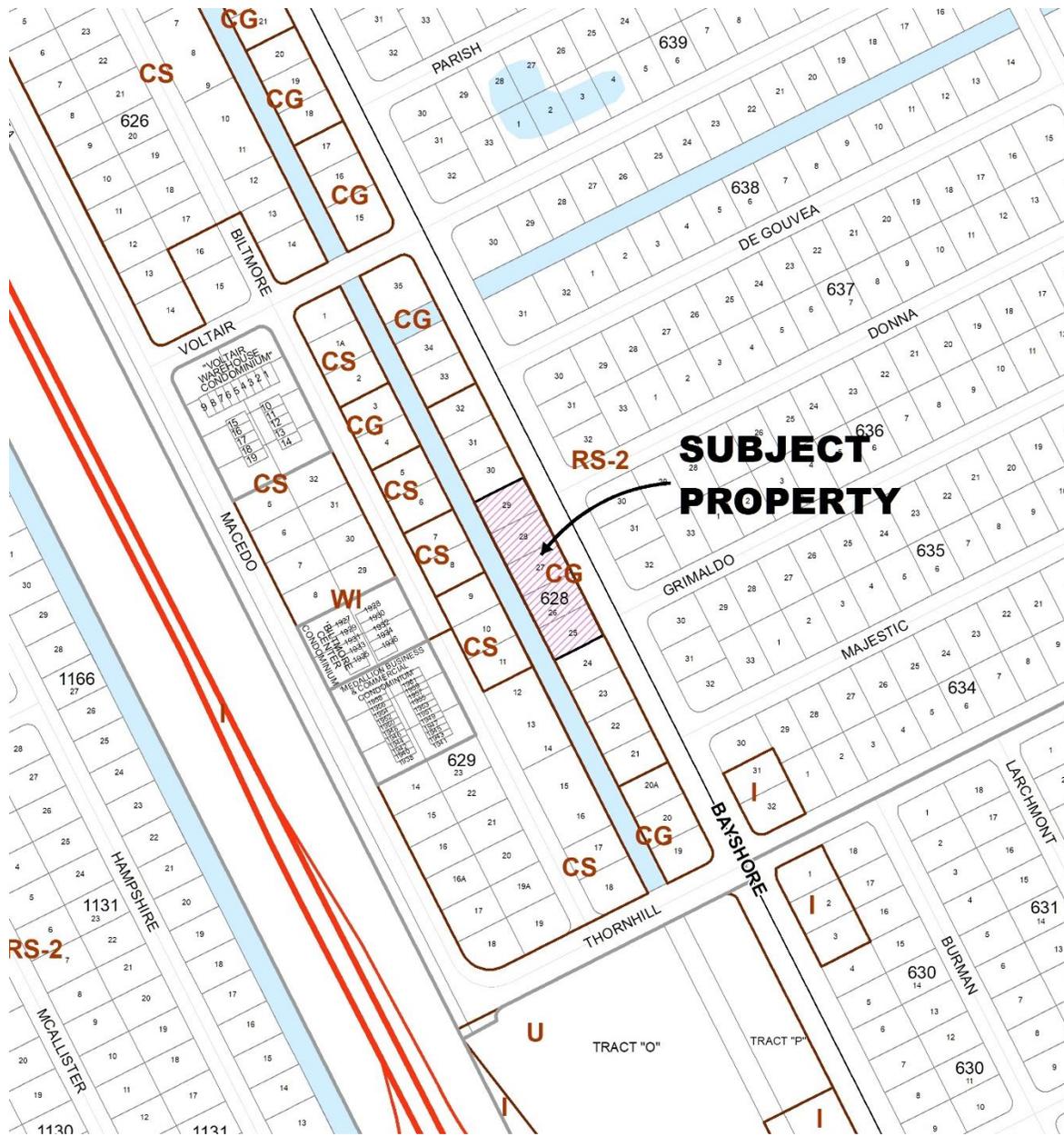
Surrounding Uses

Direction	Future Land Use	Zoning	Existing Use
North	CG	CG	Vacant
South	CG	CG	Retail
East	RL	RS-2	Residential
West	LI/CS	CS	Warehousing

CG – Commercial General CS – Service Commercial RS-2 – Single-Family Residential
RL – Low Density Residential LI/CS – Light Industrial/Service Commercial



Future Land Use Map



Zoning District Map

PROJECT ANALYSIS

Special exceptions are uses that would only be allowed under certain conditions and are reviewed to be compatible with the existing neighborhood. Approval of a special exception application shall only be granted by the City Council if it meets the criteria established under Section 158.260 (A) through (L) as noted below. The applicant's response to the criteria is attached to the application. Staff's review is provided below.

Evaluation of Special Exception Criteria (Section 158.260)

(A) Adequate ingress and egress may be obtained to and from the property, with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or other emergency.

- Staff findings: The conceptual site plan demonstrates that the site will have adequate ingress egress for vehicles and will allow for pedestrian safety and convenience. The property is located along Bayshore Boulevard and has proposed cross-access easements to the north and south to provide further ingress/egress.

(B) Adequate off-street parking and loading areas may be provided, without creating undue noise, glare, odor, or other detrimental effects upon adjoining properties.

- Staff findings: Adequate off-street parking is provided for the proposed use within the conceptual site plan. The 3,187 sq. ft. facility has been allotted 18 parking spaces for use by the proposed development. A recreational facility requires one (1) space per two hundred (200) square feet of gross floor area as per Section 158.221(C)(17). The establishment would require 18 spaces. The conceptual site plan provides a total of 33 spaces for the entire commercial plaza meeting the requirements for each proposed use.

(C) Adequate and properly located utilities are available or may be reasonably provided to serve the proposed development.

- Staff findings: Adequate utilities are available to service the proposed development.

(D) Adequate screening or buffering. Additional buffering beyond that which is required by the code may be required in order to protect and provide compatibility with adjoining properties.

- Staff findings: The conceptual landscape plan proposes adequate buffering to the surrounding uses in compliance with the city standards.

(E) Signs, if any, and proposed exterior lighting will be so designed and arranged so as to promote traffic safety and to eliminate or minimize any undue glare, incompatibility, or disharmony with adjoining properties. Light shields or other screening devices may be required.

- Staff findings: Any signs and outdoor lighting proposed for the site will comply with all the city regulations.

(F) Yards and open spaces will be adequate to properly serve the proposed development and to ensure compatibility with adjoining properties.

- Staff findings: The proposed yard setbacks and open space are adequate, to properly serve the existing development and to ensure compatibility with its adjoining properties.

(G) The use as proposed will be in conformance with all stated provisions and requirements of this chapter.

- Staff findings: The proposed Special Exception Use is permitted as defined by Section 158.124(C)(1) - CG (General Commercial) Zoning District and shall conform to all provisions of the City's Zoning Code.

(H) Establishment and operation of the proposed use upon the particular property involved will not impair the health, safety, welfare, or convenience of residents and workers in the City.

- Staff findings: By adhering to City Codes and Regulations, the establishment and operation of the proposed use is not anticipated to impair the health, safety, welfare, or convenience of residents and workers in the City.

(I) The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use the facility, or because of the hours of operation, or because of vehicular movement, noise, fume generation, or type of physical activity.

- Staff findings: The indoor recreational facility is not expected to generate noise or hazards because of the number of persons who will attend or use the facility. The establishment will operate year-round and is open 7 days a week.

J) The use as proposed for development will be compatible with the existing or permitted uses of adjacent property. The proximity or separation and potential impact of the proposed use (including size and height of buildings, access location, light and noise) on nearby property will be considered in the submittal and analysis of the request. The City may request project design changes or changes to the proposed use to mitigate the impacts upon adjacent properties and the neighborhood.

- Staff findings: The proposed use is not expected to adversely impact surrounding properties. The proposed building footprint is surrounded by retail and warehouse uses which have similar hours of operation, therefore not disturbing the residential uses on the east side of Bayshore Blvd.

(K) As an alternative to reducing the scale and/or magnitude of the project as stipulated in criteria (J) above, the City may deny the request for the proposed use if the use is considered incompatible, too intensive or intrusive upon the nearby area and would result in excessive disturbance or nuisance from the use altering the character of neighborhood.

- a) Staff findings: Acknowledged.

(L) Development and operation of the proposed use will be in full compliance with any additional conditions and safeguards which the City Council may prescribe, including but not limited to reasonable time limit within which the action for which special approval is requested shall be begun or completed or both.

- a) Staff findings: Acknowledged.

Related Projects

P22-328 – Bayshore Boulevard Plaza – Vehicle Repair & Maintenance

PLANNING AND ZONING BOARD ACTION OPTIONS

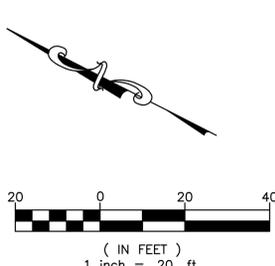
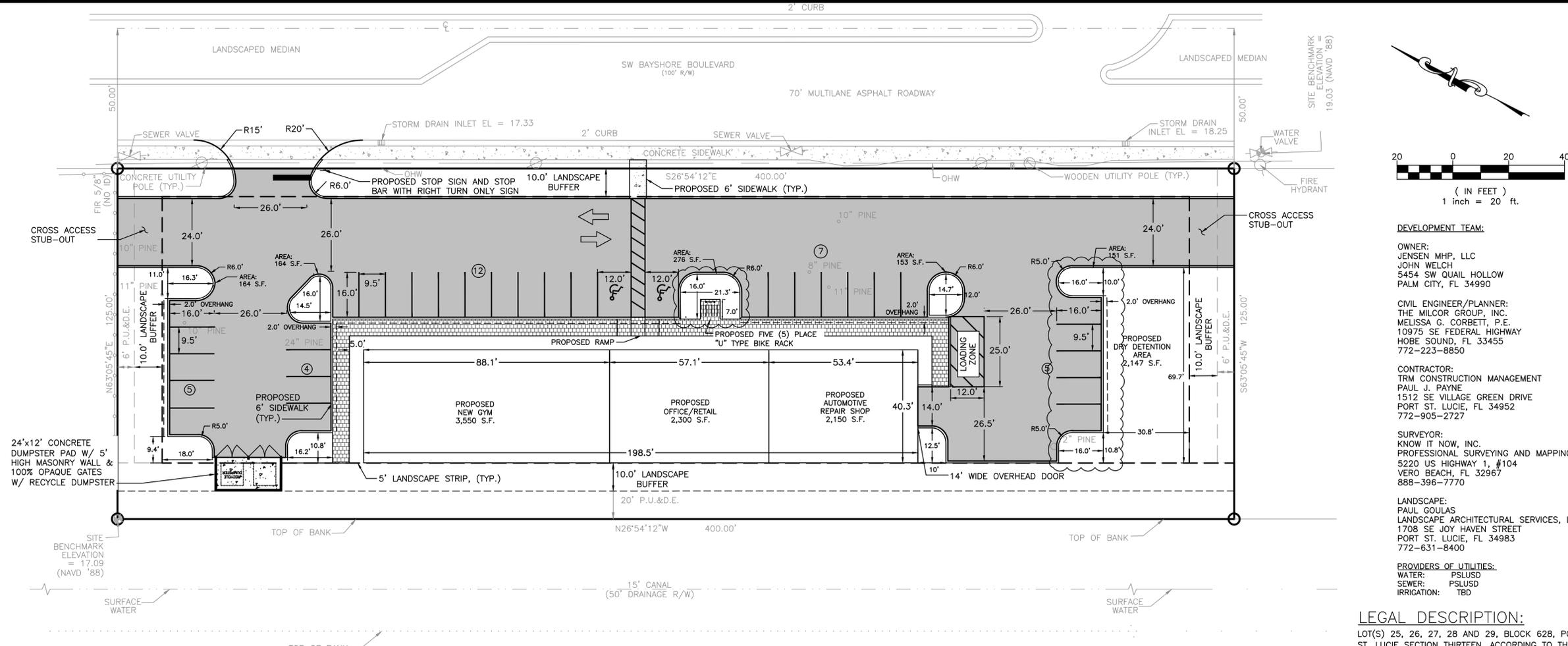
If the Board finds that the special exception use application is consistent with the criteria as listed in Section 158.260 (A) through (L) of the City code, then the Board may:

- Motion to recommend approval to the City Council
- Motion to recommend approval to the City Council with conditions as recommended by staff

If the board finds that the special exception use application is inconsistent with the criteria as listed in Section 158.260 (A) through (L) of the City code, then the Board may:

- Motion to recommend denial to the City Council

Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to table or continue the hearing or review to a future meeting.



DEVELOPMENT TEAM:
OWNER:
 JENSEN MHP, LLC
 JOHN WELCH
 5454 SW QUAL HOLLOW
 PALM CITY, FL 34990
CIVIL ENGINEER/PLANNER:
 THE MILCOR GROUP, INC.
 MELISSA G. CORBETT, P.E.
 10975 SE FEDERAL HIGHWAY
 HOBE SOUND, FL 33455
 772-223-8850
CONTRACTOR:
 TRM CONSTRUCTION MANAGEMENT
 PAUL J. PAYNE
 1512 SE VILLAGE GREEN DRIVE
 PORT ST. LUCIE, FL 34952
 772-905-2727
SURVEYOR:
 KNOW IT NOW, INC.
 PROFESSIONAL SURVEYING AND MAPPING
 5220 US HIGHWAY 1, #104
 VERO BEACH, FL 32967
 888-396-7770
LANDSCAPE:
 PAUL GOULAS
 LANDSCAPE ARCHITECTURAL SERVICES, LLC
 1708 SE JOY HAVEN STREET
 PORT ST. LUCIE, FL 34983
 772-631-8400
PROVIDERS OF UTILITIES:
 WATER: PSLUSD
 SEWER: PSLUSD
 IRRIGATION: TBD

SITE DATA:

SECTION 05, TOWNSHIP 37S, RANGE 40E
 PARCEL ID #: 3420-560-2437-000-6
 SITE ADDRESS: 1962 SW BAYSHORE BOULEVARD, PORT ST. LUCIE, FL 34984
 FUTURE LAND USE: GENERAL COMMERCIAL
 EXISTING ZONING DESIGNATION: GENERAL COMMERCIAL ZONE X, PER FIRM PANEL NO. 12111C0286K, DATED: FEBRUARY 19, 2020
 FLOOD ZONE: GENERAL COMMERCIAL
 PROPOSED USE: GENERAL COMMERCIAL

	S.F.	AC.	%
TOTAL SITE AREA	50,000	1.15	100.00
BUILDING	8,000	0.18	16.00
SIDEWALK	1,813	0.04	3.63
*PAVEMENT & CURB	21,988	0.51	43.98
TOTAL IMPERVIOUS	31,801	0.73	63.60
TOTAL PERVIOUS	18,199	0.42	36.40
*INCLUDING DUMPSTER			

DRAINAGE SYSTEM:

THE DRAINAGE SYSTEM SHALL CONSIST OF A COMBINATION OF OPEN DRY DETENTION AND UNDERGROUND STORAGE SUCH AS A CULTEC SYSTEM FOR WATER QUALITY, QUANTITY AND NUTRIENT REMOVAL, IN ACCORDANCE WITH SFWMD CRITERIA PRIOR TO DISCHARGE TO BAYSHORE BOULEVARD INLETS AND TO THE DRAINAGE CANAL LOCATED IMMEDIATELY ADJACENT TO THE REAR PROPERTY LINE (SW SIDE).

TRAFFIC STATEMENT:

TRIP GENERATION PER ITE TRIP GENERATION MANUAL, 11TH EDITION

LAND USE	ITE CODE	TRIP GENERATION UNITS	DAILY TRIPS	AM PEAK HOUR EQUATION	TRIPS	ENTERING / EXITING	PM PEAK HOUR EQUATION	TRIPS	ENTERING / EXITING
HEALTH/FITNESS CLUB	492	PER 1000 SF	3.55	FORMULA NOT PROVIDED	1,31X	5 51% / 49%	2 ENTER / 2 EXIT	3.45X	12 57% / 43%
AUTOMOTIVE CARE CENTER	942	PER 1000 SF	2.15	FORMULA NOT PROVIDED	2,25X	5 66% / 34%	2,41X + 2 EXIT	11.83	17 56% / 44%
OFFICE / RETAIL	712	PER 1000 SF	2.30	14.36X	33	4 82% / 18%	2.16X	5	34% / 66%
TOTAL					33	5 ENTER / 5 EXIT		34	19 ENTER / 15 EXIT

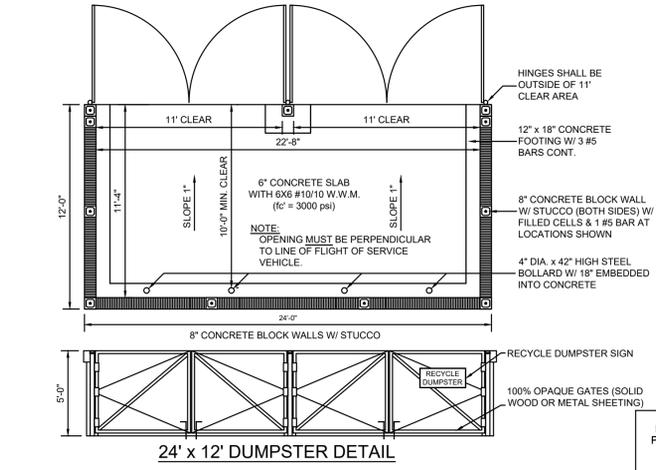
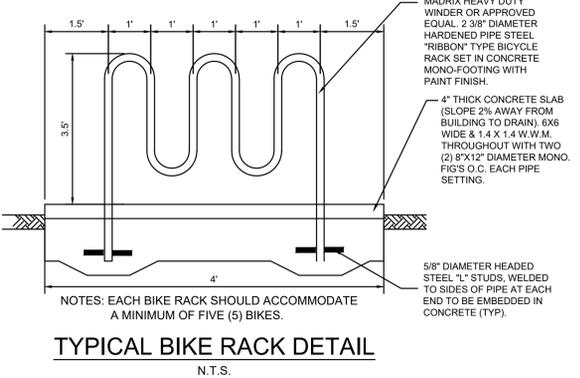
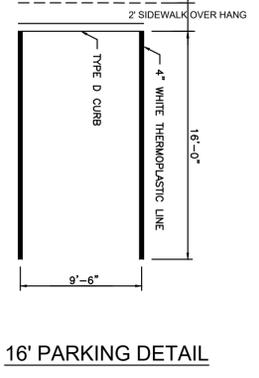
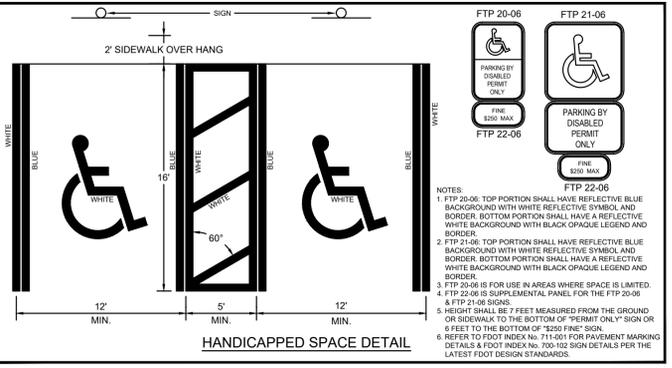
PROPOSED PARKING CALCULATIONS

VEHICLE SERVICE AND REPAIR = THREE (3) SPACES PER SERVICE AREA = (1 BAY) 3 SPACES
 OFFICE / GENERAL = ONE (1) SPACE PER 200 S.F. = 2,300 S.F. / 200 S.F. = 12 SPACES
 RECREATIONAL FACILITY = ONE (1) SPACE PER 200 S.F. = 3,550 S.F. / 200 S.F. = 18 SPACES

ADA PARKING REQUIREMENTS:

2 DISABLED SPACES REQUIRED
 2 DISABLED SPACES PROVIDED
 REQUIRED PARKING: 33 SPACES
 PROVIDED PARKING: 33 SPACES

HAZARDOUS WASTE:
 ANY AND ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
WELLFIELD PROTECTION ORDINANCE:
 THIS PROJECT IS NOT LOCATED IN A PUBLIC WATER SUPPLY WELLFIELD PROTECTION ZONE.
ENVIRONMENTAL STATEMENT:
 AN ENVIRONMENT SITE ASSESSMENT IS NOT REQUIRED FOR SITES UNDER 2 ACRES. THIS SITE IS ONLY 1.15-ACRES; THEREFORE, NO ASSESSMENT IS REQUIRED. THE SITE CONTAINS NO UPLAND PRESERVES. TREE MITIGATION WILL BE PROVIDED AS REQUIRED.
 A GOPHER TORTOISE SITE SURVEY, AS SET FORTH IN CITY CODE SECTION 157.06(B), SHALL BE PROVIDED PRIOR TO THE PRE-CONSTRUCTION MEETING FOR THE CIVIL-SITE CONSTRUCTION.



- NOTES:**
- ALL EXOTIC VEGETATION TO BE REMOVED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - THERE IS TO BE AN IRRIGATION SYSTEM INSTALLED TO ENSURE CONTINUED GROWTH OF ALL PLANTING AREAS OR XERISCAPE MATERIAL TO BE UTILIZED AND WATERED IN BY HAND UNTIL ESTABLISHED.
 - THE APPLICANT WILL NOTIFY THE PLANNING & DEVELOPMENT FOR A FIELD INSPECTION BY STAFF TO DETERMINE IF BARRICADES HAVE BEEN PROPERLY PLACED PRIOR TO ANY LAND CLEARING.
 - BARRICADES (NOT INCLUDING TURBIDITY SCREENS) WILL BE HIGH-VISIBILITY ORANGE SAFETY FENCE EXTENDING FROM THE GROUND TO A HEIGHT OF AT LEAST 4 FEET. BARRICADES WILL NOT BE ATTACHED TO VEGETATION. ALL BARRICADES AND TURBIDITY SCREENS WILL BE UPRIGHT AND MAINTAINED INTACT FOR THE DURATION OF CONSTRUCTION. DURING CONSTRUCTION ACTIVITIES, EXISTING NATIVE VEGETATION SHALL BE RETAINED TO ACT AS BUFFERS BETWEEN ADJACENT LAND USES, AND TO MINIMIZE NUISANCE DUST AND NOISE.
 - BARRICADES SHALL BE USED ON SITE TO PRESERVE THE VEGETATION TO BE RETAINED FOR THIS PURPOSE.
 - ALL BARRICADES MUST BE MAINTAINED INTACT FOR THE DURATION OF CONSTRUCTION.
 - STORAGE OF CONSTRUCTION MATERIALS IN PRESERVE AREAS IS NOT PERMITTED.
 - FILL IS NOT ALLOWED TO ENCRICH INTO PRESERVE AREAS.
 - PRESERVE BARRICADES WILL BE PLACED ON THE PRESERVE AREA PERIMETER LINE. EROSION CONTROL DEVICES (E.G. SILT FENCES) SHALL BE CONSTRUCTED 5 FT. OUTSIDE THE PERIMETER OF PRESERVE AREAS TO PREVENT ENCRICHMENT INTO THE MANDATORY CONSTRUCTION SETBACK AREA.
 - INDIVIDUAL TREES OR GROUPS OF VEGETATION THAT ARE TO BE SAVED FOR LANDSCAPE CREDIT REQUIREMENTS ARE TO BE BARRICADED.
 - ADVISORY OR WARNING SIGNS MUST BE PROVIDED ACCORDING TO THE GUIDELINES.
 - NO ALTERATION OF WETLAND PRESERVE, UPLAND PRESERVE, OR TRANSITION ZONES IS PERMITTED EXCEPT IN COMPLIANCE WITH A PRESERVE AREA MANAGEMENT PLAN APPROVED BY VILLAGE OF INDIANTOWN.
 - THIS PLAN HAS BEEN DESIGNED TO MEET WITH THE TREE PLANTING REQUIREMENTS CONTAINED WITHIN THE FPL DOCUMENT ENTITLED "PLANT THE RIGHT TREE IN THE RIGHT PLACE."
 - FOR EXISTING OR PROPOSED UTILITIES, NO TREE SHALL BE PLANTED WHERE IT COULD, AT MATURE HEIGHT, CONFLICT WITH OVERHEAD POWER LINES. LARGE TREES [HEIGHT AT MATURITY OF MORE THAN THIRTY (30) FEET] SHALL BE PLANTED NO CLOSER THAN A HORIZONTAL DISTANCE OF THIRTY (30) FEET FROM THE NEAREST OVERHEAD POWER LINE. MEDIUM HEIGHT TREE [HEIGHT AT MATURITY BETWEEN TWENTY (20) AND THIRTY (30) FEET] SHALL BE OFFSET AT LEAST TWENTY (20) FEET AND SMALL TREES [HEIGHT AT MATURITY OF LESS THAN (20) FEET] REQUIRE NO OFFSET.
 - NO TREE, SHRUBS, HEDGES OR VINES SHALL BE PLANTED WITHIN FIVE (5) FEET OF ANY EXISTING OR PROPOSED UTILITY POLE, GUY WIRE OR PAD MOUNTED TRANSFORMER. PALMS SHOULD BE PLANTED AT A DISTANCE EQUAL TO OR GREATER THAN THE AVERAGE FROND LENGTH PLUS TWO (2) FEET FROM POWER LINES.
 - THE PROPOSED DEVELOPMENT RATES AS LOW HAZARD ACCORDING TO THE MIDLAND FIRE RISK AND HAZARD SEVERITY ASSESSMENT FORM PROVIDED BY FLORIDA FIREWISE COMMUNITIES.
 - IT SHALL BE UNLAWFUL TO ALTER THE APPROVED SLOPES, CONTOURS, OR CROSS SECTIONS OR TO CHEMICALLY, MECHANICALLY, OR MANUALLY REMOVE, DAMAGE, OR DESTROY ANY PLANTS IN THE LITTORAL OR UPLAND TRANSITION ZONE BUFFER AREAS OF CONSTRUCTED LAKES EXCEPT UPON THE WRITTEN APPROVAL OF THE PLANNING AND DEVELOPMENT SERVICES DIRECTOR, AS APPLICABLE. IT IS THE RESPONSIBILITY OF THE OWNER OR PROPERTY OWNERS ASSOCIATION, ITS SUCCESSORS OR ASSIGNS TO MAINTAIN THE REQUIRED SURVIVORSHIP AND COVERAGE OF THE RECLAIMED UPLAND AND PLANTED LITTORAL AND UPLAND TRANSITION AREAS AND TO ENSURE ON-GOING REMOVAL OF PROHIBITED AND INVASIVE NON-NATIVE PLANT SPECIES FROM THESE AREAS.
 - ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.
 - ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC IN ACCORDANCE WITH SECTION 711 OF THE FDOT STANDARD SPECIFICATIONS.
 - THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (G).

CONCEPTUAL SITE PLAN
BAYSHORE PLAZA
 PORT ST. LUCIE, FLORIDA

REVISIONS PER H.P. COMMENTS
 REVISIONS PER SPRC COMMENTS
 DATE: NO. DATE: NO.

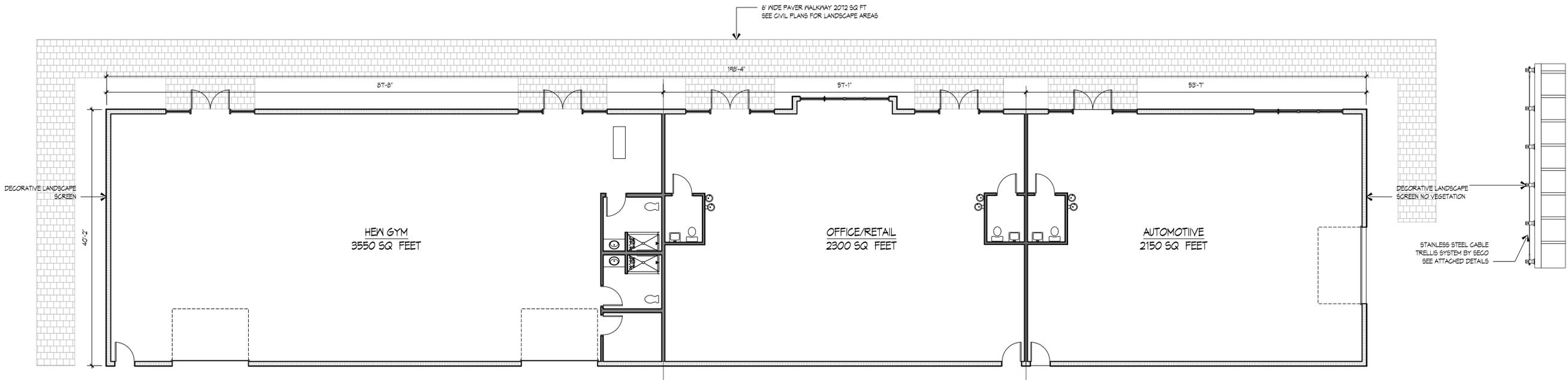
10975 SE FEDERAL HIGHWAY
 HOBE SOUND, FL 33455
 725 SE PORT ST LUCIE BLVD
 UNIT 104
 PORT ST. LUCIE, FL 34984
 PH: (772) 223-8850
 WWW.THEMILCORGROUP.COM
 WWW.HALEYWARD.COM
 CERTIFICATE OF AUTHORIZATION: 28246

HALEY WARD
 ENGINEERING | ENVIRONMENTAL | SURVEYING
 10975 SE FEDERAL HIGHWAY
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STATE OF FLORIDA
 PROFESSIONAL ENGINEERING LICENSE
 No 59292
 Feb 14 2023

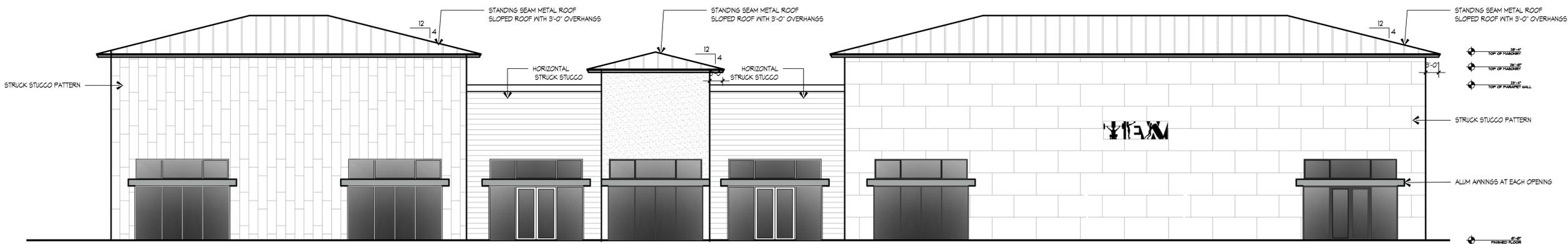
SHEET NO. 1

PSL PROJECT NO. P22-327 FITNESS CENTER & P22-328 VEHICLE REPAIR AND MAINTENANCE
 PSLUSD FILE NO. 11-915-01 & 11-915-02



PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"



PROPOSED FRONT ELEVATION

SCALE: 1/8" = 1'-0"

GLASS PERCENTAGES
EACH OPENING IS 120 SQ FT.
100 SQUARE FEET OF GLASS BETWEEN 2-8 FEET
76.1% OF EACH OPENING IS ABOVE 2 FEET TYP OF 7
OPENINGS ON FRONT ELEVATION. WINDOWS ARE
CLEAR GLASS NON TINTED

A/C EQUIPMENT ON ROOF PARAPET WALLS SHALL
HIDE ALL A/C AND OTHER EQUIPMENT ON ROOF FROM
VIEW FROM A DISTANCE OF 300 FEET AT 6 FEET
ABOVE GROUND

GLASS PERCENTAGES
EACH OPENING IS 120 SQ FT.
100 SQUARE FEET OF GLASS BETWEEN 2-8 FEET
76.1% OF EACH OPENING IS ABOVE 2 FEET TYP OF 7
OPENINGS ON FRONT ELEVATION. WINDOWS ARE
CLEAR GLASS NON TINTED

AREA CALCULATIONS	
A/C BUILDING AREA	8,000 S.F.
TOTAL:	8,000 S.F.



PROPOSED COLORED ELEVATION

SCALE: 1/8" = 1'-0"

MATERIAL LEGEND	
MATERIAL #1	STUCCO VENEER - PATTERN PER ELEVATIONS 50% HIGH REFLECTIVE WHITE
MATERIAL #2	ALUMINUM WINDOWS SN 1069 IRON ORE
MATERIAL #3	ALUMINUM CANOPIES SN 1654 GRIS
MATERIAL #4	ALUMINUM CORNICES SN 1069 IRON ORE
MATERIAL #5	STANDING SEAM METAL ROOF EXTREME METALS WEATHER XL COLOR CHARCOAL GREY

PROJECT NUMBER:
P22-328 VEHICLE REPAIR
AND MAINTENANCE

PROJECT
DOCUMENT DATE:
09.08.2022

REVISIONS:

NO.	DESCRIPTION	DATE

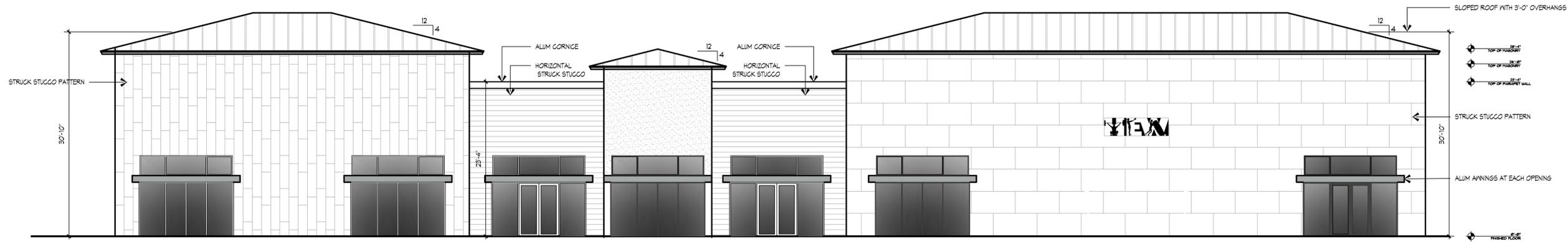
A NEW COMMERCIAL FACILITY FOR:
JENSEN MHP LLC
1962 SW BAYSHORE BLVD
PORT SAINT LUCIE FLORIDA



SHEET TITLE:
FLOOR PLAN

SHEET NUMBER:

A-1

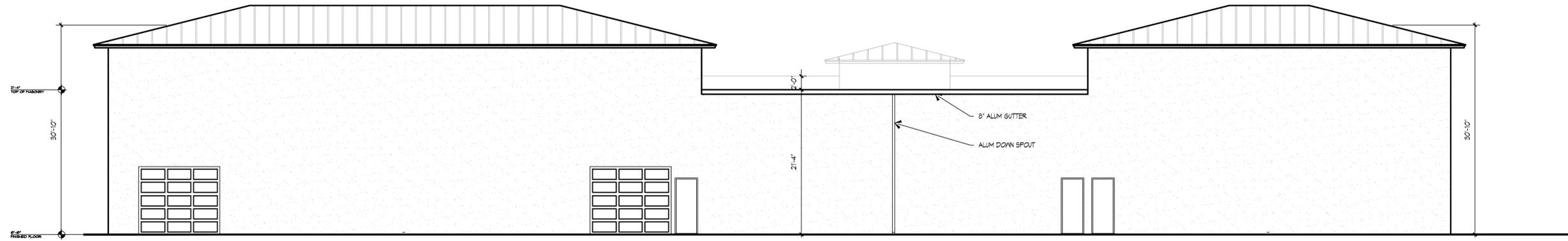


PROPOSED FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

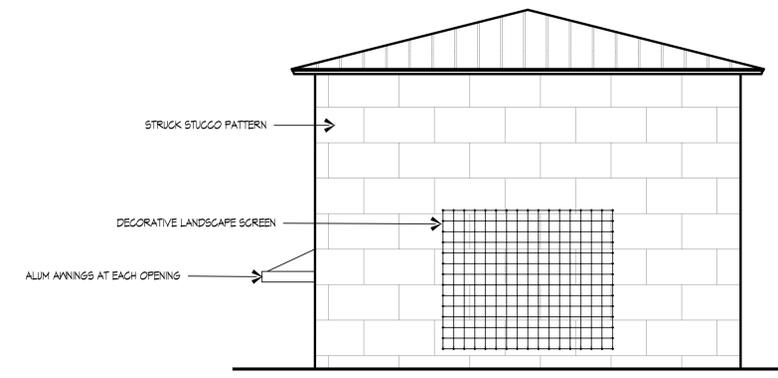
A/C EQUIPMENT ON ROOF PARAPET WALLS SHALL HIDE ALL A/C AND OTHER EQUIPMENT ON ROOF FROM VIEW FROM A DISTANCE OF 300 FEET AT 6 FEET ABOVE GROUND

GLASS PERCENTAGES
 EACH OPENING IS 120 SQ FT.
 100 SQUARE FEET OF GLASS BETWEEN 2-8 FEET
 16.7% OF EACH OPENING IS ABOVE 2 FEET TYP OF 7 OPENINGS ON FRONT ELEVATION. WINDOWS ARE CLEAR GLASS NON TINTED

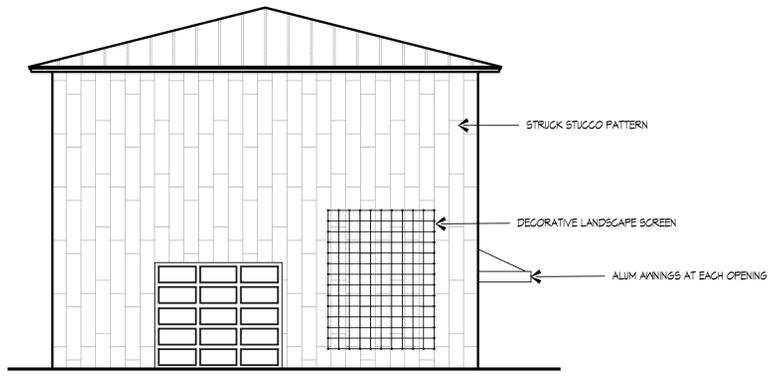
GLASS PERCENTAGES
 EACH OPENING IS 120 SQ FT.
 100 SQUARE FEET OF GLASS BETWEEN 2-8 FEET
 16.7% OF EACH OPENING IS ABOVE 2 FEET TYP OF 7 OPENINGS ON FRONT ELEVATION. WINDOWS ARE CLEAR GLASS NON TINTED



PROPOSED REAR ELEVATION
 SCALE: 1/8" = 1'-0"



PROPOSED LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



PROPOSED RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

- ARCHITECTURAL ELEMENTS**
- a) STANDING SEAM METAL ROOF
 - b) CANOPIES
 - c) HORIZONTAL SIDING (STUCCO)
 - d) DECORATIVE SCREENS
 - e) SLOPED ROOF 3-FOOT OVERHANG
 - f) STONE, CONCRETE, BRICK PAVERS 2,012 SQ FT

MATERIAL LEGEND	
MATERIAL #1	STUCCO VENEER - PATTERN PER ELEVATIONS 841151 HIGH REFLECTIVE WHITE
MATERIAL #2	ALUMINUM WINDOWS SW 1069 IRON ORE
MATERIAL #3	ALUMINUM CANOPIES SW 1654 GRIS
MATERIAL #4	ALUMINUM GORNICIE SW 1069 IRON ORE
MATERIAL #5	STANDING SEAM METAL ROOF EXTREME METALS WEATHER XL COLOR CHARCOAL GREY

PROJECT NUMBER:
 P22-328 VEHICLE REPAIR
 AND MAINTENANCE

PROJECT
 DOCUMENT DATE:
 09.08.2022

REVISIONS:

NO.	DESCRIPTION	DATE

SHEET TITLE:
ELEVATIONS

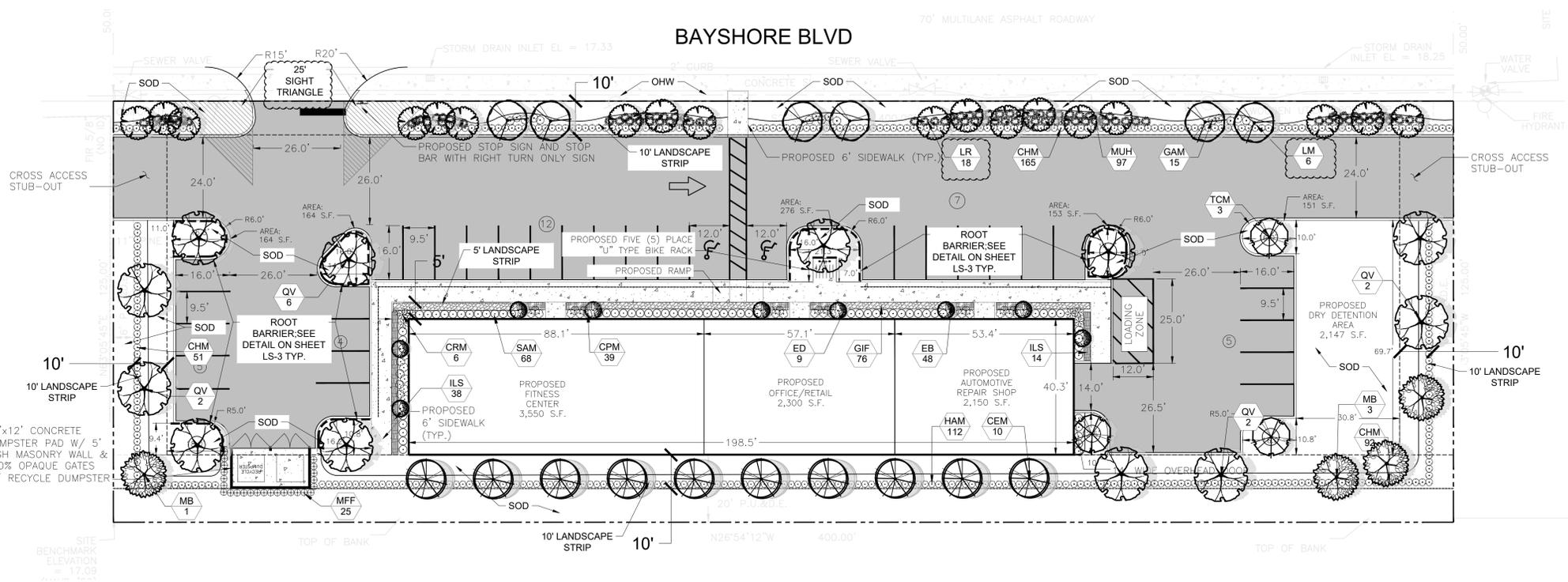
SHEET NUMBER:
A-2

General Landscape Notes

- At least 50% of all required trees shall be of a native species.
- All plant material to be Florida No. 1 or better.
- All landscape & sod areas to be irrigated by an automated system that provides 100% coverage with 100% overlap with a minimum d.u. of .70.
- All landscaping at intersection and corners complies with Section 159.204 of the Port St Lucie Code of Ordinances to provide a clear sight zone between 2' - 6' above the final road crown elevation. All hedges and shrubs with in the 25' sight triangle will be maintained at a height no higher than 2' above the crown elevation of the road. In addition, the foliage line any tree within the 25' sight triangle will be maintained at a height of no less than 6' above the road crown.

PSLUSD Notes for Landscape Plans

- All new landscaping within utility easements and within ten (10) feet of underground utility infrastructure shall comply with PSLUSD technical specifications, policies, and codes.
- No landscaping other than sod grasses may be planted within a 5' radius maintenance area of any utility appurtenances such as water meters, backflow devices, fire hydrants, sanitary sewer cleanouts, and manholes, air release valves, etc. Trees shall not be planted within ten (10) feet of any underground infrastructure.
- No landscaping shall be planted in a manner as to adversely affect utility installation, operation and maintenance.
- No landscaping shall be planted in a manner that would adversely affect utility easements. Landscaping shall be in compliance with Chapter 153 of the City of Port St. Lucie Code of Ordinances, PSLUSD technical specifications and policies.
- All landscaping within City utility easements shall comply with PSLUSD technical specifications, policies, and codes.
- All landscaping shall meet the latest PSLUSD Landscape Policy and shall not be placed in a manner that would create conflicts with the intended operation and maintenance of any existing utility.
- Trees shall not be planted within ten (10) feet of any PSLUSD underground infrastructure.
- No landscaping other than sod grasses shall be located within 5' of a PSLUSD appurtenance such as water meter assembly, backflow device, fire hydrant or sewer cleanout, etc.



Required Tree Credits:

	Native%	# of Species	Flowering%	Drought Tolerant%	Palm%	
Site Perimeter: (960' / 30)	32					
Building Foundation Perimeter: (265' / 30)	9					
Parking Lot Terminal Islands:	9					
Total:	50	50%=25	5	20%=10	50%=25	25%=12 (Max)

Provided Tree Credits:

	Native	# of Species	Flowering	Drought Tolerant	Palm	
Total:	50	26	6	10	26	9

Required Shrub Credits:

	Native	Drought Tolerant	
Site Perimeter: (960' / 2)	480	25%=120	50%=240
Building(s) Foundation Perimeter: (265' / 2)	133	25%=34	50%=67
Total:	613	154	307

Provided Shrub Credits:

	Native	Drought Tolerant	
Total:	670	542	542

Required Groundcover Credits:

	Native%	Flower%	Drought Tolerant%	
Building Foundation & Perimeters: (265'x5'x.25)	663 SF	25%=165 SF	10%=63 SF	50%=332 SF

Provided Groundcover Credits:

	Native	Flowering	Drought Tolerant	
Total:	700 SF	170 SF	120 SF	580 SF

Plant Schedule:

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	CALIPER
	CEM	10	Conocarpus erectus	Green Buttonwood	45G	12' HT	6' SPR	STD, F, SP	Native	2.5" Caliper
	ED	9	Elaeocarpus decipiens	Japanese Blueberry Tree	25G	8' HT	4' W	3' CT, STD, SP	Non-native	1" Caliper
	LM	6	Lagerstroemia indica 'Muskogee'	Muskogee Crape Myrtle	45G	12' HT	6' SPR	STD, F, SP	Non-native	2.5" Caliper
	MB	4	Magnolia grandiflora 'D.D. Blanchard'	D.D. Blanchard Southern Magnolia	45G	12' HT	5' W	FTB, SP	Native	2.5" Caliper
	QV	12	Quercus virginiana	Southern Live Oak	45G	12' HT	16' SPR	F, SP	Native	2.5" Caliper
	TCM	3	Tabebuia caraiba	Yellow Tabebuia	45G	12' HT	6' W	F, SP	Non-native	2.5" Caliper
	LR	18	Livistona decora	Ribbon Palm	FG	10' CT, 14' OA		FH, SP	Non-native	
	CHM	308	Chrysobalanus icaco 'Red Tip'	Red Tip Coccolupum	3G	24" HT	24"W	F, SP	Native	
	CPM	39	Codiaeum variegatum 'Petra'	Petra Croton	3G	24" HT	18"W	F	Non-native	
	CRM	6	Crinum sp.	Green Crinum	7G	24" HT	24"W	F, SP	Non-native	
	GAM	15	Galphimia glauca	Thryalis	3G	24" HT	18"W	F	Non-native	
	HAM	112	Hamelia patens 'Calusa'	Dwarf Firebush	3G	24" HT	24"W	FTB	Native	
	MUH	97	Muhlenbergia capillaris	Pink Muhly	3G	24" HT	24"W	F	Native	
	MFF	25	Myrcianthes fragrans	Simpson's Stopper	3G	24" HT	24"W	F	Native	
	SAM	68	Schefflera arboricola	Green Schefflera	3G	24" HT	24"W	F	Non-native	
	EB	48	Evolvulus glomeratus 'Blue Daze'	Blue Daze	1G	12" HT	12"W	F	Non-native	18" o.c.
	GIF	76	Ficus microcarpa 'Green Island'	Green Island Ficus	3G	18" HT	12"W	Full	Non-native	24" o.c.
	ILS	52	Ilex vomitoria 'Stokes Dwarf'	Dwarf Yaupon	1G	12" HT	12"W	Full	Native	18" o.c.
	SOD	TBD	Stenotaphrum secundatum 'Floratum'	Floratum St. Augustine Grass	SOD			Free of Weeds and Pests	Non-native	1" o.c.

*B TREES & PALMS COUNT AS 2:1



Fitness Center: P22-237/PSLUSD #11-915-01

Auto Shop: P22-238/PSLUSD 11-915-02

Sheet Index:

Landscape Plan, Calculations, & Plant List	LS-1
Tree Survey & Disposition Plan	LS-2
Landscape Details & Specifications	LS-3

Project Team

Landscape Architect:
 LANDSCAPE ARCHITECTURAL SERVICES, LLC
 Brandon White | Owner
 772-834-1357 | brandon@las-fl.com
 Paul Goulas | Owner
 772-631-8400 | paul@las-fl.com
 1708 SE Jay Haven Street
 Port St. Lucie, FL 34983

Civil Engineer:
 THE MILCOR GROUP, INC.
 CIVIL ENGINEERS
 1070 SE FEDERAL HIGHWAY
 HOBBS SOUND, FL 33465
 725 SE PORT ST. LUCIE BLVD
 SUITE 104
 PORT ST. LUCIE, FL 34984
 PH: (772) 223-8800
 FAX: (772) 223-8861

Bayshore Plaza
 1962 SE Bayshore Blvd,
 Port Saint Lucie, Florida 34984

Landscape Plan

Revisions

Date	Init.	Description
12.06.22	PG	Conceptual Landscape
1.23.23	PG	Revised per Comments

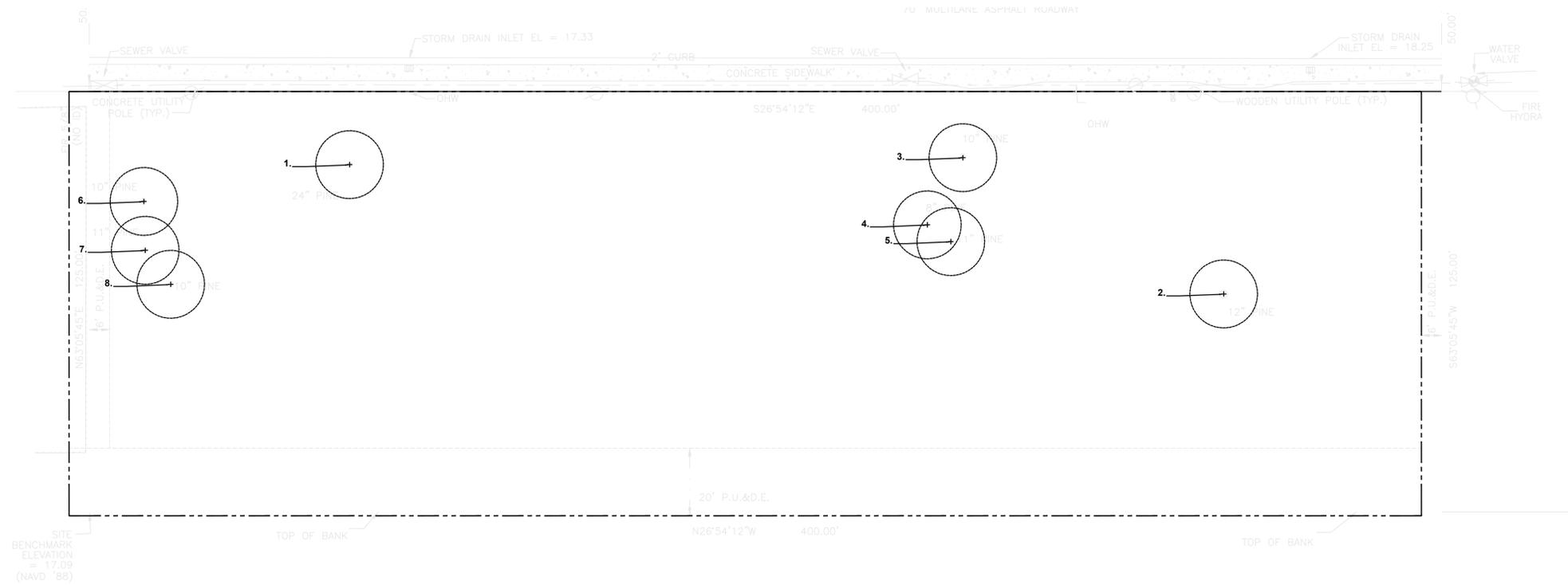


Drawn By: BW
 Checked By: PG

Scale:

SCALE: 1" = 20'

LS-1



EXISTING TREE DATA

Existing Trees:	Disposition
* 1. <i>Pinus elliottii</i> , Slash Pine, 24" DBH	To be Removed
* 2. <i>Pinus elliottii</i> , Slash Pine, 12" DBH	To be Removed
3. <i>Pinus elliottii</i> , Slash Pine, 10" DBH	To be Removed
4. <i>Pinus elliottii</i> , Slash Pine, 8" DBH	To be Removed
5. <i>Pinus elliottii</i> , Slash Pine, 11" DBH	To be Removed
6. <i>Pinus elliottii</i> , Slash Pine, 10" DBH	To be Removed
7. <i>Pinus elliottii</i> , Slash Pine, 11" DBH	To be Removed
8. <i>Pinus elliottii</i> , Slash Pine, 10" DBH	To be Removed

* TOTAL PROTECTED TREE REMOVED INCHES: 36"
 THIS SITE DOES HAVE THE CAPACITY FOR PLANTING OF MITIGATION TREES; A FEE ESTABLISHED BY THE CITY COUNCIL AT TIME OF FINAL SITE PLAN APPROVAL WILL BE PAID INTO THE CITY TREE FUND IN LIEU OF PLANTING MITIGATION TREES ON SITE.

Project Team

Landscape Architect:

LS LANDSCAPE ARCHITECTURAL SERVICES, LLC

Brandon White | Owner
 772-834-1357 | brandon@las-fl.com
 Paul Goulas | Owner
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 PORT ST. LUCIE, FL 34984
 PH: (772) 223-8800
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Bayshore Plaza
 1962 SE Bayshore Blvd,
 Port Saint Lucie, Florida 34984

Tree Survey & Disposition Plan

Revisions		
Date	Init.	Description
12.06.22	PG	Conceptual Landscape
1.23.23	PG	Revised per Comments



Drawn By: BW
 Checked By: PG

Scale:

NORTH

SCALE: 1" = 20'

0 10' 20' 40'

LS-2

Fitness Center: P22-237/PSLUSD #11-915-01
 Auto Shop: P22-238/PSLUSD 11-915-02

LANDSCAPE SPECIFICATIONS

PART 1: GENERAL CONDITIONS

- 1.01 SCOPE:
A. The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.
- 1.02 AGENCY STANDARDS:
A. Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in: Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.
- 1.03 SITE EXAMINATION:
A. The Landscape Contractor shall personally examine the site and fully acquaint him/herself with all of the existing conditions in order that no mis-understanding may afterwards arise as to the character or extent of the work to be performed, and additionally, in order to acquaint him/herself with all precautions to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unusual difficulties which may be encountered in the execution or maintenance of any portion of the work.
- 1.04 ERRORS AND OMISSIONS:
A. The plant list as a part of the drawings and is furnished as a convenience. The plant list indicates the name, size and quantities of specific plant materials as called for and is located on the drawings. The Landscape Contractor is responsible for his/her own quantity count, and any discrepancy between drawings and plant list shall be considered as correct on the drawings.
B. The Landscape Contractor shall not take advantage of errors or omissions in the specifications or contract drawings. Full instruction will be given if such errors are discovered. Upon the discovery of any discrepancies in, or omissions from, the drawings or documents, or should the Landscape Contractor be in doubt as to their meaning, the Landscape Architect shall be notified and will determine the actions necessary to each query.
C. If plans and specifications are found to disagree after the contract is awarded, the Landscape Architect shall be the judge as to which was intended.
- 1.05 EXECUTION OF THE WORK:
A. The Landscape Contractor shall have his labor crews controlled and directed by a Foreman well versed in plant materials, planting methods, reading blueprints, and coordination between job and nursery in order to execute installation correctly and in a timely manner.
B. The Landscape Contractor shall provide a competent English-speaking Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work. The Superintendent shall be capable of reading and thoroughly understanding the Plans, Specifications and other Contract Documents. If the Superintendent is deemed incompetent by the Landscape Architect, he (the superintendent) shall be immediately replaced.
C. The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implementation of the job. Any additional work or changes required as a result of failure to communicate with the Owner or Landscape Architect during implementation will be the responsibility of the Landscape Contractor.

- 1.06 PROTECTION OF PUBLIC AND PROPERTY:
A. The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public. He shall be held responsible for any damage or injury to persons or property which may occur as a result of his fault or negligence in the execution of the work, i.e. damage to underground pipes or cables.

- 1.07 CHANGES AND EXTRAS:
A. The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting forth the adjusted prices has been executed by the Owner and the Contractor. Any work performed on changes or "extras" prior to execution of a written agreement may or may not be compensated for by the Owner at his discretion.

- 1.08 GUARANTEE:
A. The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of ONE (1) YEAR from the time of completion and acceptance by the Landscape Architect and Owner. Sod shall be guaranteed to 90 calendar days after acceptance by the Landscape Architect and Owner. All plant material shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. The guaranteeing of plant material shall be construed to mean complete and immediate replacement with plant material of the same variety, type, size, quality and grade as that of the originally specified material. During the guarantee period it shall be the Landscape Contractor's responsibility to immediately replace any dead or unhealthy material as determined by the Landscape Architect. The guarantee will be null and void if plant material is damaged by lightning, hurricane force winds, or any other acts of God, as well as vandalism or lack of proper maintenance.

- B. At the end of the specified guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Landscape Architect, shall be replaced. The Landscape Contractor shall be responsible for the full replacement cost of plant materials for the first replacement and share subsequent replacement (s) costs equally with the Owner, should the replacement plant fail to survive.

- 1.09 CARE AND MAINTENANCE:
A. The Landscape Contractor shall be responsible for the care and maintenance of all plant materials and irrigation when applicable until final acceptance by the Owner or Landscape Architect.
B. The Owner agrees to execute the instructions for such care and maintenance.

- 1.10 SAFETY:
A. It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage. Adequate warning devices shall be placed and maintained during the progress of the work.
B. It shall be the contractor's responsibility to conform to all local, state, and federal safety laws and codes including the Federal Occupational Safety And Health Act (O.S.H.A.).

- 1.11 CONTRACTOR QUALIFICATION:
A. The Owner may require the apparent contractor (s) to qualify him/herself to be a responsible entity by furnishing any or all of the following documentary data:
1. A financial statement showing assets and liabilities of the company current to date.
2. A listing of not less than (3) completed projects of similar scope and nature.
3. Permanent name and address of place of business.
4. The number of regular employees of the organization and length of time the organization has been in business under the present name.

- 1.12 INSURANCE AND BONDING:
A. The contractor (s) shall submit proof of insurance for this job for the time period that the work is done. The minimum amount of insurance shall be \$300,000.00 per person and \$300,000.00 per aggregate or as required by owner and agreed to in the contract. The successful bidder shall be required to have this coverage in effect before beginning work on the site.

- B. The Owner shall have the right to require the Contractor to furnish bonds covering faithful performance of the Contract and payment obligations arising thereunder as stipulated in bidding requirements or specifically required in the Contract Documents on the date of execution of the Contract.

- 1.13 PERMITS AND CERTIFICATES:
A. All contractors shall secure and pay for all permits and certificates required for his/her class of work.

PART 2: MATERIALS

- 2.01 PLANT MATERIALS:
A. A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary. In the event discrepancies occur, the specifications on the drawings shall govern.
B. Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY upon written authorization by the Owner or the Landscape Architect. If plant material is not of sufficient size to meet applicable codes, a letter of variance from the appropriate agency must be obtained by the Contractor prior to issuance of any change order. If material of smaller size is to be accepted, the quantity of material shall be increased, at no additional cost to the Owner, to meet the intent of the drawings.
C. All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal to or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting.
D. All plant materials shall be nursery grown, unless otherwise noted, Florida #1 or better and shall comply with all required inspections, grading standards and plant regulations as set forth by the Florida Department of Agriculture's Grades and Standards for Nursery Plants, most current addition and Grades and Standards for Nursery Plants, most current addition.
E. Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.
F. The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed properly and/or approved by the Landscape Architect at no additional cost to owner.

- 2.02 INSPECTION:
A. The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size and quality. The Landscape Architect and Owner retain the right to further inspect trees and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Rejected plant materials shall be immediately removed from project site.
- 2.03 PROTECTION OF PLANT MATERIALS:
A. Balled and burlapped plants (B & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap similar materials and bound with cord, rope, or wire mesh. All collected plants shall be balled and burlapped.
B. Plants with broken, damaged or insufficient rootballs will be rejected.
C. All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage to plants.
D. Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other protection from the drying of wind and sun. All plants shall be watered as necessary by the Landscape Contractor until planted.

- 2.04 STORAGE:
A. All plant materials shall be stored on the site in designated areas, specified by the Landscape Architect or Owner's agent.
B. No plant material shall be stored longer than seventy-two (72) hours unless approved by Landscape Architect and/or owner.
C. The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.
D. All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.

- 2.05 PROTECTION DURING PLANTING:
A. Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens or other approved methods. Battens shall NOT be attached to the tree with nails.
B. Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.

- 2.06 PLANTING SOIL:
A. Planting soil for all plantings shall consist of existing native soil and shall be free of debris, roots, clay, stones, plants or other foreign materials which might be a hindrance to planting operations or be detrimental to good growth.

- 2.07 FERTILIZER:
A. Commercial fertilizer shall comply with the state fertilizer laws. Nitrogen shall not be less than 40% from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall be rejected.
B. Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.

- C. Tableted fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal. All trees and shrubs shall be fertilized with tableted fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates:
1 gallon container 1 tablet
3 gallon container 2 tablets
5 gallon container 3 tablets
7 gallon 5 tablets
Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of larger shrub material. The Landscape Architect reserves the right to inspect and review the application of fertilizer.

- 2.08 MULCH:
A. Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress Red mulch is prohibited.
B. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered, or as required by local jurisdiction. Apply 2" max on tree & palm rootballs, keep away from tree & palm trunks

PART 3: EXECUTION

- 3.01 DIGGING:
A. The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead wires, underground pipes and cables and the pipes and hydrants of watering systems. Should such overhead or underground obstructions be encountered which interferes with planting, the Owner shall be consulted and contractor will adjust the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate repair of any damage caused by his work.
3.02 GRADING:
A. Grading for drainage, swales, etc. to within 4 inches of the finished grade to be provided by others.
B. It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation so as to bring sod and planting areas to their proper elevations in relation to walks, paving, drain structures, and other site conditions. The site grading plan must be checked prior to installation of sod to insure that drainage and other conditions will NOT be modified.
3.03 PLANTING:
A. Planting shall take place during favorable weather conditions.
B. The Contractor shall call for utility locations and ascertain the location of all utilities and easements so proper precautions can be taken to not damage or encroach on them.
C. Tree Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor.
D. Excavation of holes shall extend to the required subgrades as specified on the planting diagrams located in the planting plans. Plant pits shall be circular in outline and shall have a profile which conforms to the aforementioned "Tree and Shrub Planting Diagrams".
E. A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Plan for complete testing methods and requirements.
F. Planting pits shall be excavated to the following dimensions and refilled with a mixture of (1/2) planting soil (1/2) existing native soil:
1 Gallon material (1 gal.): 12" x 12" x 12" min.
3 Gallon material (3 gal.): 20" x 20" x 18" min.
Lerio material (7 gal.): 30" x 30" x 24" min.
Field grown material and trees: 1-1/2 times width of ball and depth of ball plus 12" min.
G. No planting or laying of sod shall be initiated until the area has been cleaned of existing sod or other plant materials, rough grass, weeds, debris, stones etc. and the ground has been brought to an even grade, with positive drainage away from buildings and towards drain inlets and swales and approved by Landscape Architect or owner's rep.
H. Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.
I. All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems. All ropes, wire, stakes, etc., shall be removed from sides and top of the ball and removed from hole before filling in.
J. All flagging ribbon shall be removed from trees and shrubs before planting.
K. Excess excavation (fill) from all holes shall be removed from the site, at no additional expense to Owner.
L. All palms shall be backfilled with sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be top-dressed two (2") inches deep with topsoil raked and left in a clean, neat manner.

- 3.04 PRUNING:
A. Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as possible in a manner which will preserve the plant's natural character.
B. Make all cuts with sharp instruments flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs. Cuts made at right angles to line of growth will not be permitted.
C. Trees shall not be topped or topped.
D. Remove all trimmings from site.

- 3.05 GUYING:
A. All trees over six (6') feet in height shall, immediately after setting to proper grade, be guyed with three sets of two strands, No. 12 gauge malleable galvanized iron, in tripod fashion. See Detail.
B. Wires shall not come in direct contact with the tree but shall be covered with an approved protection device at all contact points. Wires shall be fastened in such a manner as to avoid pulling croches apart.
D. Stake & Brace all trees larger than 12" ca. See detail. Stakes shall be 2" x 2" lumber of sufficient length to satisfactorily support each tree.
E. Turnbuckles for guying trees shall be galvanized or cadmium plated and shall be of adequate size and strength to properly maintain tight guy wires.
3.06 WATER:
A. Each plant or tree shall be thoroughly watered in after planting. Watering of all newly installed plant materials shall be the responsibility of the Landscape Contractor until final acceptance by the Landscape Architect.
B. See General Notes of Landscape Plan for water source.

- 3.07 SOD:
A. The Landscape Contractor shall sod all areas indicated on the drawings.
B. It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas, eliminating all bumps, depressions, sticks, stones, and other debris.
C. The sod shall be firm, tough texture, having a compacted growth of grass with good root development. It shall contain no noxious weeds, or any other objectionable vegetation, fungus, insects, or disease. The soil embedded in the sod shall be good clean earth, free from stones and debris.
D. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.
E. 6-6-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying sod.
F. Solid sod shall be laid with closely abutting, staggered joints with a tamped or rolled, even surface.
G. The finished level of all sod areas after settlement shall be one (1") inch below the top of abutting walks, paving and wood borders to allow for building turf.
H. If in the opinion of the Landscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly washed in.

- 3.08 SEEDING:
A. The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre.
B. Application: Argentine Bahia Grass seed - 200 Pounds per acre mixed with common hulled Bermuda seed - 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions.
C. Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre.
D. Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.

- 3.09 CLEANING UP:
A. The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work.
3.10 MAINTENANCE:
A. Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead materials, resetting plants to proper grades or upright positions, spraying, restoration of planting saucer and/or any other necessary operations.
B. Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.
C. Replacement of plants during the maintenance period shall be the responsibility of the Contractor, excluding vandalism or damage on the part of others, lighting, or hurricane force winds, until final acceptance.
D. In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them.
E. Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner, the only exception being hurricane force winds.

- 3.11 COMPLETION, INSPECTION AND ACCEPTANCE:
A. Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Drawings and in the Specifications, including the complete removal of all trash, debris, soil or other waste created by the Landscape Contractor.
B. Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.
C. All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance. The rating of each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance.
D. After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

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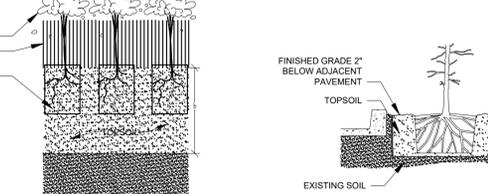
DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

- PRIOR TO PLANTING, ALL PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER:
A. DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.
B. FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED. IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.
C. WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL)
D. ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.
E. WHEN BACKFILLING PLANTING PITS WITH NATIVE TOPSOIL, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.
C. All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance. The rating of each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance.
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DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

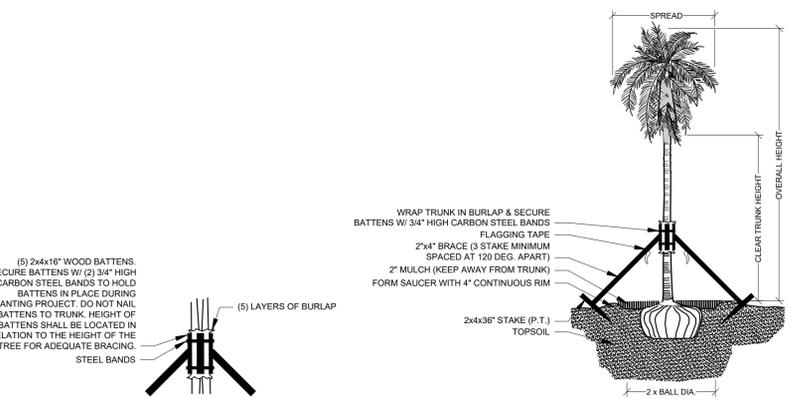
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GROUNDCOVER PLANTING DETAIL

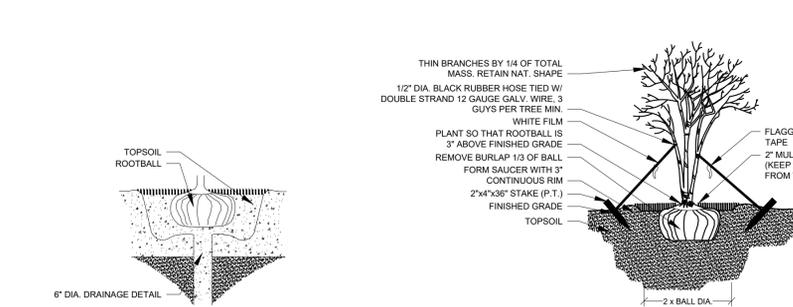


SPECIAL APPLICATIONS ROOT BARRIER DETAIL

- NOTES:
1- ROOT BARRIER SHALL BE "DEEPROOT 24" DEPTH OR APPROVED EQUAL.
2- ROOT BARRIER SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.



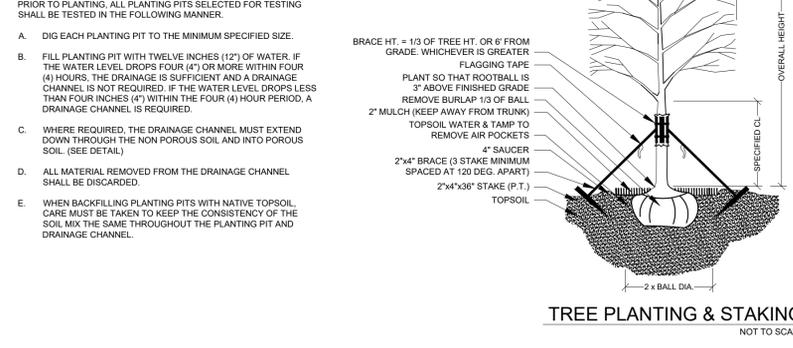
PALM PLANTING - ANGLE STAKE NOT TO SCALE



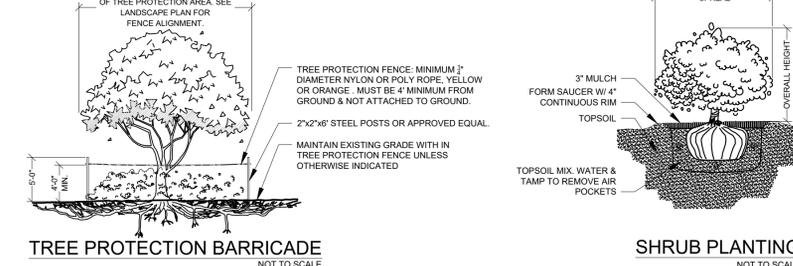
MULTI-TRUNK PLANTING & GUYING NOT TO SCALE



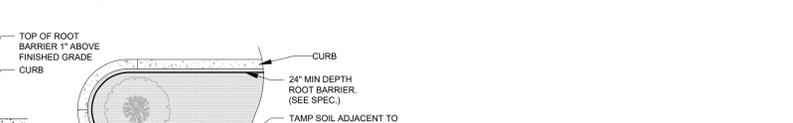
TREE PLANTING & STAKING NOT TO SCALE



TREE PROTECTION BARRICADE NOT TO SCALE



SHRUB PLANTING NOT TO SCALE



GROUNDCOVER PLANTING DETAIL NOT TO SCALE

SPECIAL APPLICATIONS ROOT BARRIER DETAIL

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Project Team
Landscape Architect:
LS LANDSCAPE ARCHITECTURAL SERVICES, LLC
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Paul Goulas | Owner
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Details & Specifications

Revisions		
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12.06.22	PG	Conceptual Landscape
1.23.23	PG	Revised per Comments

REGISTERED LANDSCAPE ARCHITECT
PAUL A. GOULAS
LA 6666807
STATE OF FLORIDA
PAUL GOULAS, RLA
FLORIDA REG. # LA6666807

Drawn By: BW
Checked By: PG
Scale:
NORTH
SCALE: 1" = NTS
0 0 0

Fitness Center:P22-237/PSLUSD #11-915-01
Auto Shop: P22-238/PSLUSD 11-915-02
LS-3

BAYSHORE BLVD PLAZA SPECIAL EXCEPTION USE APPLICATION

DATE: November 2, 2022

LOCATION: 1962 SW Bayshore Blvd

DESCRIPTION OF REQUEST:

Special Exception Use for a Fitness Center over 3,000 square feet as per the criteria contained in Section 158.260 of the City of Port St. Lucie Code of Ordinances.

INTRODUCTION:

The project site is located at 1962 SW Bayshore Blvd. It is comprised of five vacant lots under parcel ID #3420-560-2437-000-6. The 1.15 acre property is zoned General Commercial with a Future Land Use of General Commercial. It lies within the City of Port St. Lucie Land Use Conversion area. The property is on the western side of Bayshore Blvd and is bound by a drainage canal along the rear property line. Further to the west lies SW Biltmore Street, an area of Light Industrial/Commercial Service zoning, and finally the Florida Turnpike. Single family residential lies on the east side of Bayshore Boulevard.

The applicant desires to construct a single story 9,183 +/- square foot commercial plaza containing mixed uses. One of these uses, and the subject of this application, is the approval of a proposed 3,187 square foot HEW fitness center.

(A) Please explain how adequate ingress and egress will be obtained to and from the property, with particular reference to automotive and pedestrian safety and convenience, traffic flow, and control, and access in case of fire or other emergency.

The proposed development will have one (1) two-way driveway connection to Bayshore Blvd for ingress and egress per City of Port St. Lucie Code of Ordinances Section 158.222. The proposed driveway will provide ample access for St. Lucie Fire District apparatus, emergency services vehicles, and waste management trucks. The owner of the property is in discussions with the property owner to the south regarding a shared access agreement for a second connection.

(B) Please explain how adequate off-street parking and loading areas will be provided, without creating undue noise, glare, odor or other detrimental effects upon adjoining properties.

The proposed development will meet the on-site parking requirements per City of Port St. Lucie Code of Ordinances Section 158.221. The loading/unloading area will be provided at the rear of the building. No off-site parking is proposed. There will be no detrimental effects on the neighboring properties.

**BAYSHORE BLVD PLAZA
SPECIAL EXCEPTION USE APPLICATION**

(C) Please explain how adequate and properly located utilities will be available or will be reasonably provided to serve the proposed development.

Port St. Lucie Utility Systems water and wastewater facilities are available for connection along the property frontage on SW Bayshore Blvd.

(D) Please explain how additional buffering and screening, beyond that which is required by the code, will be required in order to protect and provide compatibility with adjoining properties.

The proposed fitness center is compatible with other service oriented establishments in the area. A 20 foot drainage canal lies immediately to the rear of the property. Adequate landscaping will be provided per City code; therefore, the need for screening or additional buffering is not anticipated. There is no residential development on this side of Bayshore Blvd.

(E) Please explain how signs, if any, and proposed exterior lighting will be so designed and arranged so as to promote traffic safety and to eliminate or minimize any undue glare, incompatibility, or disharmony with adjoining properties. Light shields or other screening devices may be required.

The proposed development will provide site lighting and signage that adhere to the City of Port St. Lucie Code of Ordinances.

(F) Please explain how yards and open spaces will be adequate to properly serve the proposed development and to ensure compatibility with adjoining properties.

The proposed development will be in conformance with the City of Port St. Lucie Landscape Code Chapter 154 and will be compatible with the adjoining properties.

(G) Please explain how the use, as proposed, will be in conformance with all stated provisions and requirements of the City's Land Development Regulation.

The proposed Fitness Center development is allowed in the General Commercial zoning district; however, since it is over 3,000 square feet, a Special Exception Use permit is required. The proposed development will be in conformance with the provisions of the City of Port St. Lucie Land Development Code Section 158.124.

(H) Please explain how establishment and operation of the proposed use upon the particular property involved will not impair the health, safety, welfare, or convenience of residents and workers in the city.

The development will provide efficient parking and interior traffic circulation so as not to adversely impact the surrounding street network. No health or safety concerns are anticipated with the proposed development.

BAYSHORE BLVD PLAZA SPECIAL EXCEPTION USE APPLICATION

(I) Please explain how the proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use the facility, or because of the hours of operation, or because of vehicular movement, noise, fume generation, or type of physical activity.

No adverse effects relating to visual, acoustic, or olfactory issues will be created by the proposed Fitness Center development. No obstructions will be created as the proposed development will provide sufficient parking, including two ADA parking spaces. Typical hours of operation are proposed.

(J) Please explain how the use, as proposed for development, will be compatible with the existing or permitted uses of adjacent property. The proximity or separation and potential impact of the proposed use (including size and height of buildings, access, location, light and noise) on nearby property will be considered in the submittal and analysis of the request. The City may request project design changes or changes to the proposed use to mitigate the impacts upon adjacent properties and the neighborhood.

The surrounding sites are developed with a mixture of commercial and service related establishments to the north, south and west. The character of the proposed development is appropriate and consistent with the approved development in the surrounding area. The proposed uses are compatible and are not expected to negatively impact the existing businesses in any way. In fact, this development is anticipated to increase customer interest in the area by providing a mixture of desired services.

Bayshore Blvd. Plaza – Fitness Center
1962 SW Bayshore Blvd.
Special Exception Use
Project: P22-327

Planning and Zoning Board Meeting
Francis Forman, Planner II
March 7, 2023, Meeting



PROJECT SUMMARY

- A special exception use is sought to allow an enclosed assembly area over 3,000 square feet for recreational use totaling 3,187 square feet for a proposed retail strip.
- Section 158.124(C)(1) of the General Commercial Zoning Code: Lists an enclosed assembly area over 3,000 square feet as a special exception use that may only be permitted following the review and specific approval by the City Council.



APPLICANT AND OWNER

- Agent – Melissa Corbett, The MilCor Group
- Owner – Jensen MHP, LLC

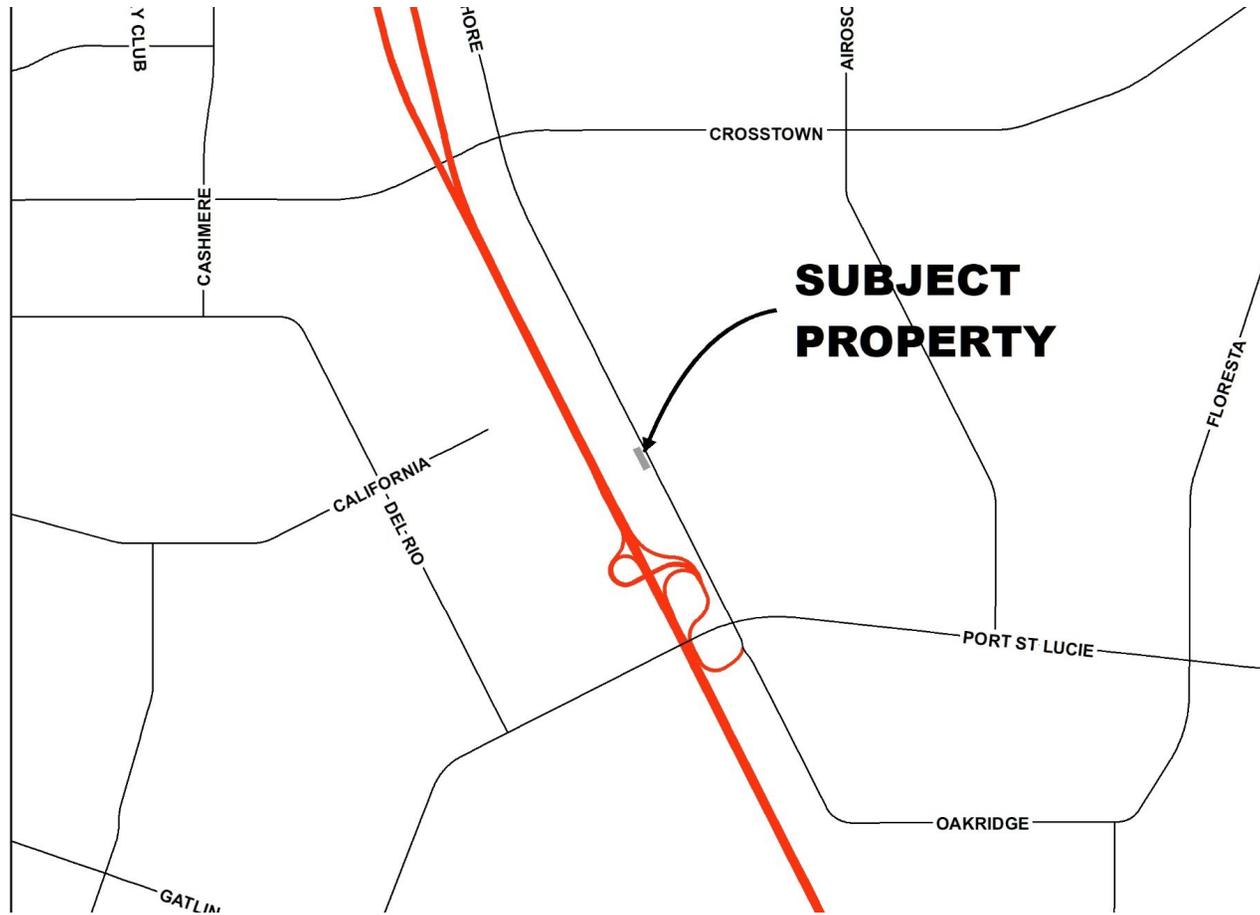


REQUEST

- Review a Special Exception Use to allow an enclosed assembly area over 3,000 square feet in the General Commercial (CG) Zoning District: for a recreational facility for fitness activities in the community.



LOCATION



AERIAL MAP

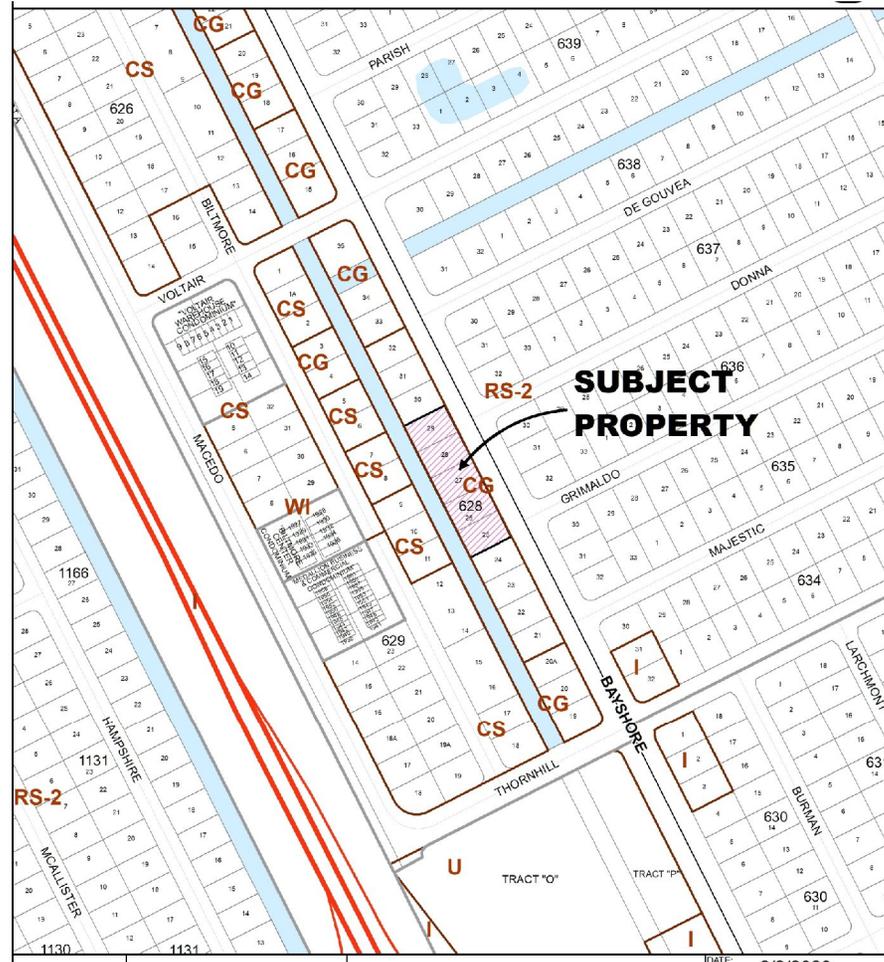


Surrounding Uses

Direction	Future Land Use	Zoning	Existing Use
North	General Commercial (CG)	General Commercial (CG)	Vacant
South	General Commercial (CG)	General Commercial (CG)	Retail
East	Low Residential (RL)	Single-Family Residential (RS-2)	Residential
West	Light Industrial/Service Commercial (LI/CS)	Service Commercial (CS)	Warehousing



Zoning Map



<u>Evaluation of SEU CRITERIA</u> (Section 158.260)	<u>FINDINGS</u>
ADEQUATE INGRESS AND EGRESS (§ 158.260 (A))	The site plan demonstrates that the site has adequate ingress and egress for vehicles, the property is developed and will allow for pedestrian safety and convenience.
ADEQUATE OFF-STREET PARKING AND LOADING AREAS (§ 158.260 (B))	Adequate off-street parking is provided for the proposed use within the proposed site. A recreational facility requires one (1) space per two hundred (200) square feet of gross floor area as per section 158.221(C)(17). The establishment requires 18 spaces. The site plan provides a total of 33 spaces for the retail strip.
ADEQUATE AND PROPERLY LOCATED UTILITIES (§ 158.260 (C))	Adequate utilities are available to service the development.
ADEQUATE SCREENING OR BUFFERING (§§ 158.260 (D) (F))	There is adequate screening and buffering for this site.
SIGNAGE AND EXTERIOR LIGHTING (§158.260 (E))	No signs or outdoor lighting is proposed for this existing site.
COMPATIBILITY WITH SURROUNDING USES (§§ 158.260 (H) (I) (J))	The establishment is not anticipated to impair the health, safety, welfare, or convenience of residents and workers in the City. The indoor recreational facility is not expected to generate noise that would constitute a nuisance or create safety hazards because of the number of persons who will attend or use the facility. The recreational facility is surrounded by retail and warehouse uses which have similar hours of operation and is not expected to adversely affect the surrounding uses.



QUESTIONS OR COMMENTS?

PLANNING AND ZONING BOARD ACTION OPTIONS:

- Make a motion to recommend approval to the City Council
- Make a motion to recommend approval to the City Council with conditions as recommended by staff
- Make a motion to recommend denial to the City Council
- Make a motion to table or continue the hearing or review to a future meeting





Agenda Summary
2023-239

Agenda Date: 3/7/2023

Agenda Item No.: 8.d

Placement: Public Hearing - Quasi Judicial

Action Requested: Motion / Vote

P22-328 Bayshore Boulevard Plaza - Special Exception Use (Vehicle Repair & Maintenance)

Location: East side of Bayshore Blvd. and north of SW Thornhill Dr.

Legal Description: Port St. Lucie Section 13, Block 628, Lots 25-29

This is a request for a Special Exception Use to allow a repair and maintenance of vehicles use within the General Commercial zoning district.

Submitted By: Francis Forman, Planner II, Planning & Zoning

Executive Summary: The applicant is requesting a special exception use to allow for the repair and maintenance of vehicles within a 9,183 square foot commercial building, as per Section 158.124(C)(10) of the General Commercial (CG) zoning district. The Zoning Code lists any repair and maintenance of vehicle use as a special exception use that may be permitted only following the review and specific approval thereof by the City Council. The proposed special exception use will allow the operation of an automobile repair shop.

Presentation Information: Staff will provide a presentation.

Planning and Zoning Board Action Options:

- Recommend approval
- Recommend approval with conditions
- Recommend denial
- Table or continue the public hearing and review to a future meeting

Background: See attached staff report.

Issues/Analysis: See attached staff report.

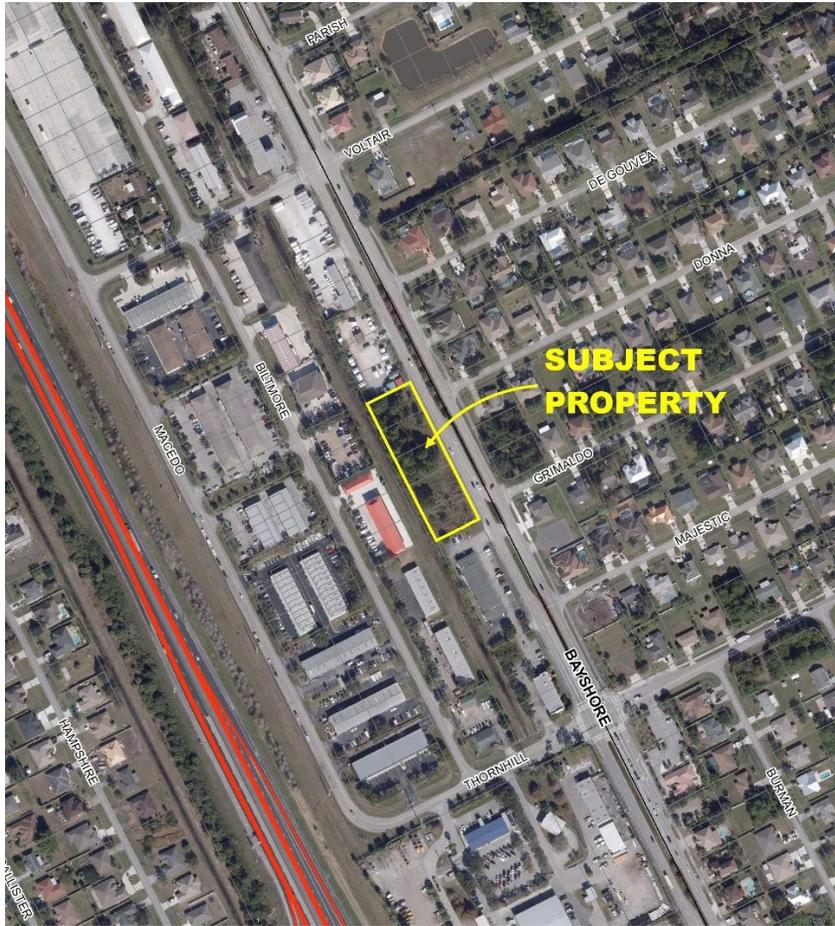
Special Consideration: N/A

Location of Project: 1962 SW Bayshore Blvd.

Attachments: 1) Staff Report, 2) Conceptual Site Plan, 3) Building Elevations, 4) Landscape Plan, 5) Response to SEU Criteria, 6) Staff Presentation.



**Bayshore Boulevard Plaza – Vehicle Repair & Maintenance
 Special Exception Use
 P22-328**



Project Location Map

SUMMARY

Applicant’s Request:	The request is for the approval of a Special Exception Use (SEU) to allow for the repair and maintenance of vehicles in the General Commercial (CG) Zoning District as per Section 158.124(C)(10) for the Zoning Code.
Agent:	Melissa Corbett, P.E., The MilCorp Group
Applicant/Property Owner:	Jensen MHP, LLC
Location:	The site is generally located on the west side of Bayshore Boulevard, north of SW Thornhill Drive.
Address:	1962 SW Bayshore Boulevard
Project Planner:	Francis Forman, Planner II

Project Description

The applicant is requesting a special exception use to allow for the repair and maintenance of vehicles within a proposed 9,183 square foot commercial building, as per Section 158.124(C)(10) of the General Commercial (CG) zoning district. The Zoning Code lists any repair and maintenance of vehicles as a special exception use that may be permitted only following the review and specific approval thereof by the City Council. The proposed special exception use will allow the operation of an automobile repair shop.

Public Notice Requirements

Notice of this request for a Special Exception Use was mailed on February 23, 2023, to owners of property within a 750-foot radius of the subject property.

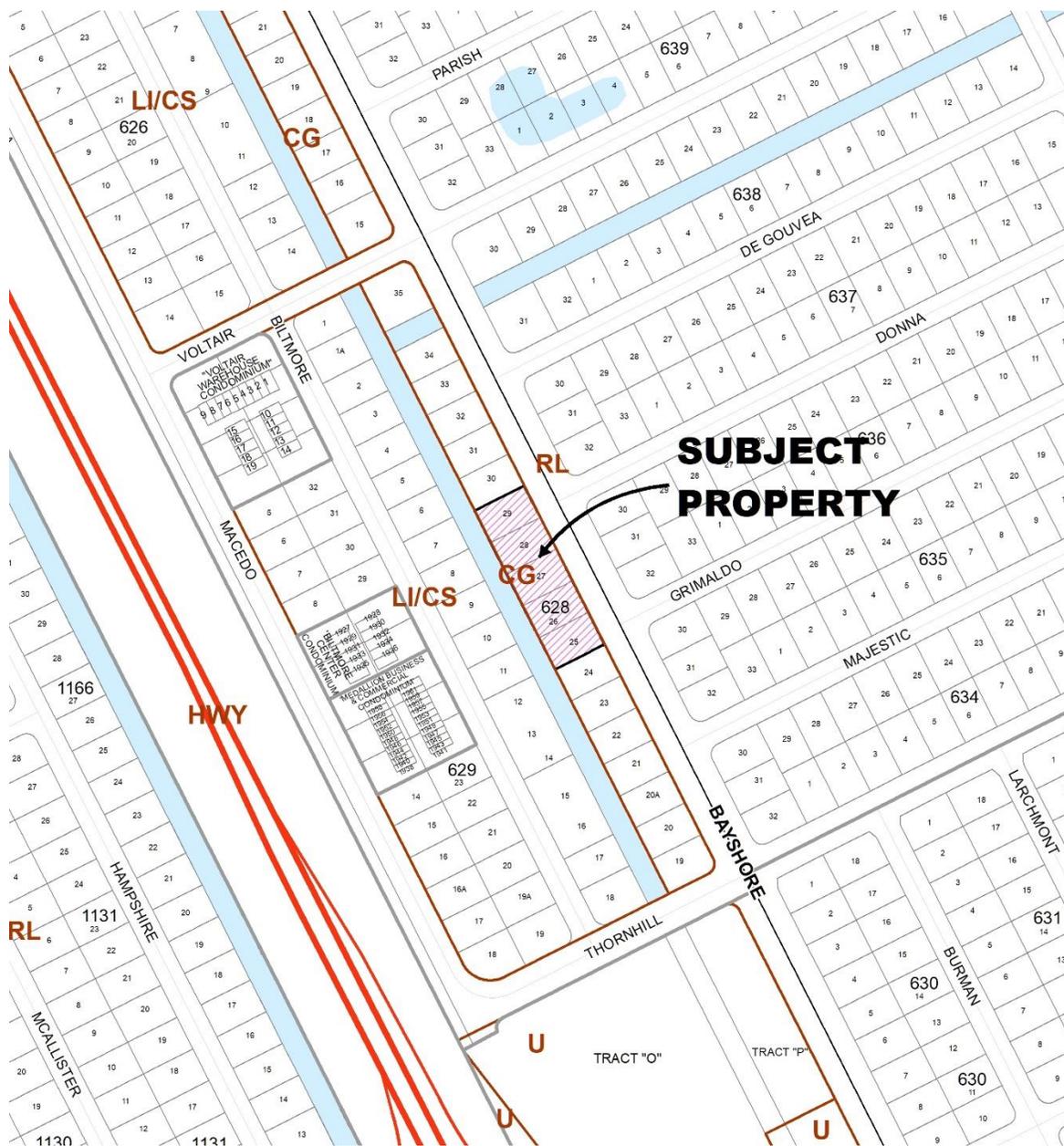
Location and Site Information

Parcel Number:	3420-560-2437-000-6
Property Size:	1.15 acres, more or less
Legal Description:	Port St. Lucie Section 13, Block 628, Lots 25-29
Future Land Use:	General Commercial (CG)
Existing Zoning:	General Commercial (CG)
Existing Use:	Vacant

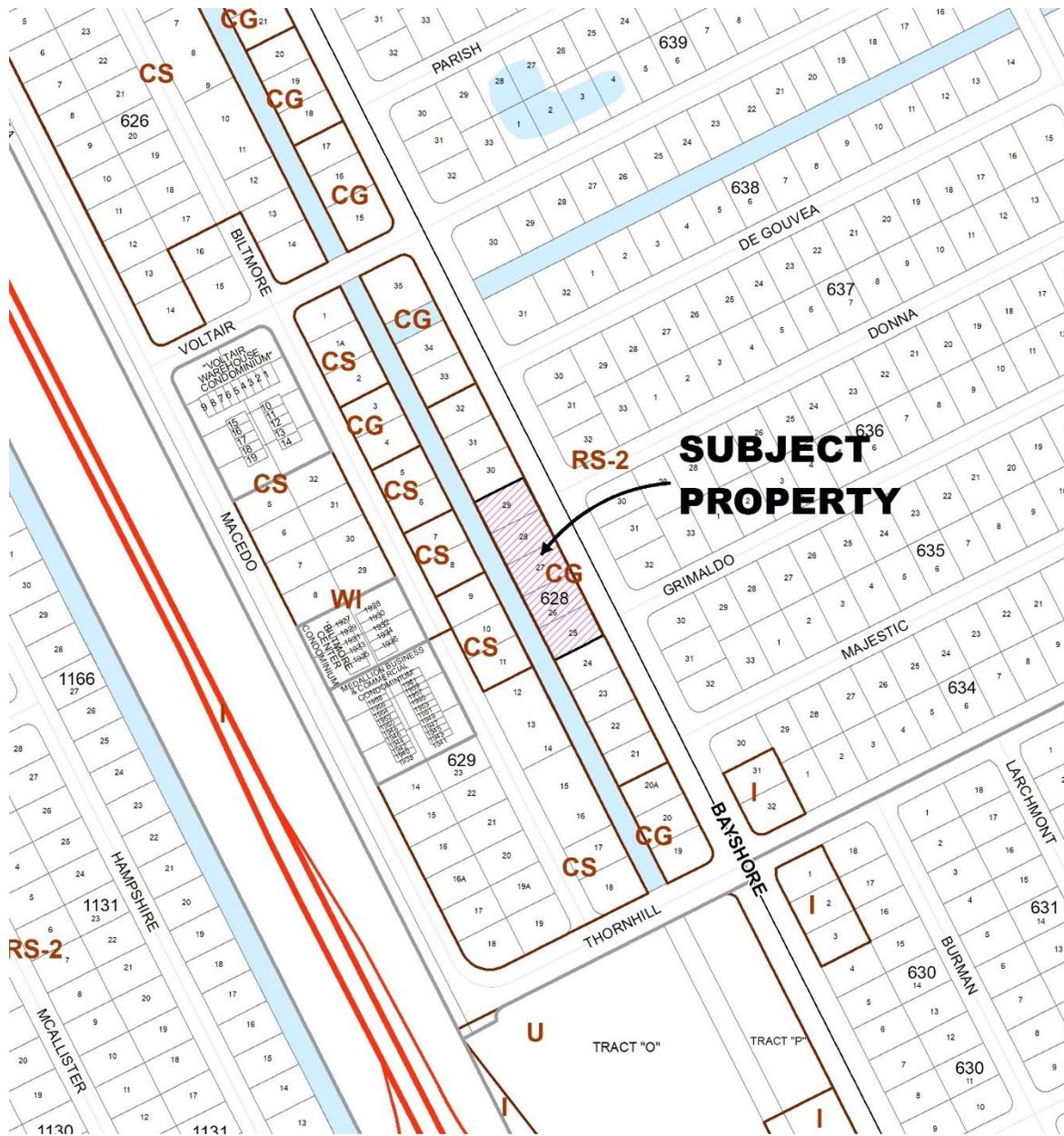
Surrounding Uses

Direction	Future Land Use	Zoning	Existing Use
North	CG	CG	Vacant
South	CG	CG	Retail
East	RL	RS-2	Residential
West	LI/CS	CS	Warehousing

CG – Commercial General CS – Service Commercial RS-2 – Single-Family Residential
 RL – Low Density Residential LI/CS – Light Industrial/Service Commercial



Future Land Use Map



Zoning District Map

PROJECT ANALYSIS

Special exceptions are uses that would only be allowed under certain conditions and are reviewed to be compatible with the existing neighborhood. Approval of a special exception application shall only be granted by the City Council if it meets the criteria established under Section 158.260 (A) through (L) as noted below. The applicant's response to the criteria is attached to the application. Staff's review is provided below.

Evaluation of Special Exception Criteria (Section 158.260)

(A) Adequate ingress and egress may be obtained to and from the property, with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or other emergency.

- Staff findings: The proposed conceptual site plan demonstrates that the site has adequate ingress egress for vehicles, the proposed property will allow for pedestrian safety and convenience. The property is located along Bayshore Boulevard and has proposed cross-access easements to the north and south to provide further ingress egress.

(B) Adequate off-street parking and loading areas may be provided, without creating undue noise, glare, odor, or other detrimental effects upon adjoining properties.

- Staff findings: Adequate off-street parking is provided for the proposed use within the proposed development. The 2,150 sq. ft. repair facility has been allotted 3 parking spaces for use. A vehicle service and repair facility requires three (3) spaces per service bay area as per Section 158.221(C) of the zoning code, therefore the establishment would require 3 spaces. The conceptual site plan provides a total of 33 spaces for the entire commercial plaza meeting the requirements for each proposed use.

(C) Adequate and properly located utilities are available or may be reasonably provided to serve the proposed development.

- Staff findings: Adequate utilities are available to service the proposed development.

(D) Adequate screening or buffering. Additional buffering beyond that which is required by the code may be required in order to protect and provide compatibility with adjoining properties.

- Staff findings: The conceptual landscape plan is proposing adequate screening and buffering for the site and providing adequate landscape buffers.

(E) Signs, if any, and proposed exterior lighting will be so designed and arranged so as to promote traffic safety and to eliminate or minimize any undue glare, incompatibility, or disharmony with adjoining properties. Light shields or other screening devices may be required.

- Staff findings: Any signs and outdoor lighting proposed for the site will be in conformance with the City Code.

(F) Yards and open spaces will be adequate to properly serve the proposed development and to ensure compatibility with adjoining properties.

- Staff findings: The proposed yard setbacks and open space are adequate, to properly serve the existing development and to ensure compatibility with its adjoining properties.

(G) The use as proposed will be in conformance with all stated provisions and requirements of this chapter.

- Staff findings: The proposed Special Exception Use is permitted as defined by Section 158.124(C)(10) - CG (General Commercial) Zoning District and shall conform to all provisions of the City's Zoning Code.

(H) Establishment and operation of the proposed use upon the particular property involved will not impair the health, safety, welfare, or convenience of residents and workers in the City.

- Staff findings: By adhering to City Codes and Regulations, the establishment and operation of the proposed use is not anticipated to impair the health, safety, welfare, or convenience of residents and workers in the City.

(I) The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use the facility, or because of the hours of operation, or because of vehicular movement, noise, fume generation, or type of physical activity.

- Staff findings: The proposed automotive repair facility is not expected to generate noise or hazards that would negatively impact the surrounding uses. The establishment will operate with typical hours of operations. The bay garage door for the proposed facility will be oriented toward the south and not face Bayshore Boulevard.

(J) The use as proposed for development will be compatible with the existing or permitted uses of adjacent property. The proximity or separation and potential impact of the proposed use (including size and height of buildings, access location, light and noise) on nearby property will be considered in the submittal and analysis of the request. The City may request project design changes or changes to the proposed use to mitigate the impacts upon adjacent properties and the neighborhood.

- Staff findings: The proposed use is not expected to adversely impact surrounding properties. The proposed building footprint is surrounded by retail and warehouse uses which have similar hours of operation. The bay door for the repair shop will face the south, therefore the use should not disturb the residential uses on the east side of Bayshore Blvd.

(K) As an alternative to reducing the scale and/or magnitude of the project as stipulated in criteria (J) above, the City may deny the request for the proposed use if the use is considered incompatible, too intensive or intrusive upon the nearby area and would result in excessive disturbance or nuisance from the use altering the character of neighborhood.

- a) Staff findings: Acknowledged.

(L) Development and operation of the proposed use will be in full compliance with any additional conditions and safeguards which the City Council may prescribe, including but not limited to reasonable time limit within which the action for which special approval is requested shall be begun or completed or both.

- a) Staff findings: Acknowledged.

Related Projects

P22-327 – Bayshore Boulevard Plaza – Fitness Center

PLANNING AND ZONING BOARD ACTION OPTIONS

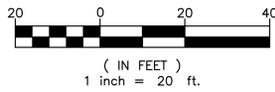
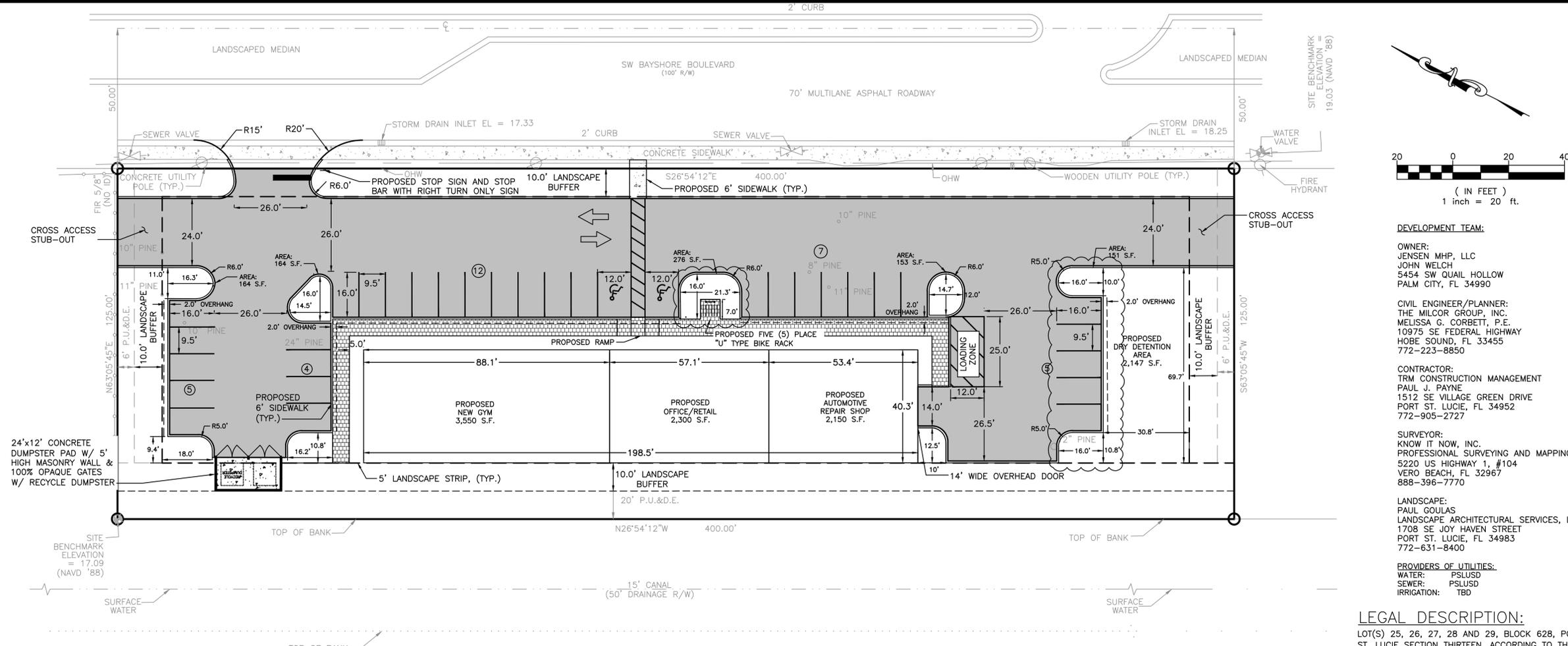
If the Board finds that the special exception use application is consistent with the criteria as listed in Section 158.260 (A) through (L) of the City code, then the Board may:

- Motion to recommend approval to the City Council
- Motion to recommend approval to the City Council with conditions as recommended by staff

If the board finds that the special exception use application is inconsistent with the criteria as listed in Section 158.260 (A) through (L) of the City code, then the Board may:

- Motion to recommend denial to the City Council

Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to table or continue the hearing or review to a future meeting.



DEVELOPMENT TEAM:
OWNER: JENSEN MHP, LLC
JOHN WELCH
5454 SW QUAIL HOLLOW
PALM CITY, FL 34990
CIVIL ENGINEER/PLANNER: THE MILCOR GROUP, INC.
MELISSA G. CORBETT, P.E.
10975 SE FEDERAL HIGHWAY
HOBE SOUND, FL 33455
772-223-8850
CONTRACTOR: TRM CONSTRUCTION MANAGEMENT
PAUL J. PAYNE
1512 SE VILLAGE GREEN DRIVE
PORT ST. LUCIE, FL 34952
772-905-2727
SURVEYOR: KNOW IT NOW, INC.
PROFESSIONAL SURVEYING AND MAPPING
5220 US HIGHWAY 1, #104
VERO BEACH, FL 32967
888-396-7770
LANDSCAPE: PAUL GOULAS
LANDSCAPE ARCHITECTURAL SERVICES, LLC
1708 SE JOY HAVEN STREET
PORT ST. LUCIE, FL 34983
772-631-8400
PROVIDERS OF UTILITIES:
WATER: PSLUSD
SEWER: PSLUSD
IRRIGATION: TBD

LEGAL DESCRIPTION:

LOT(S) 25, 26, 27, 28 AND 29, BLOCK 628, PORT ST. LUCIE SECTION THIRTEEN, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 13, PAGE(S) 4, 4A THROUGH 4M, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

SITE DATA:

SECTION 05, TOWNSHIP 37S, RANGE 40E
PARCEL ID #: 3420-560-2437-000-6
SITE ADDRESS: 1962 SW BAYSHORE BOULEVARD, PORT ST. LUCIE, FL 34984

FUTURE LAND USE: GENERAL COMMERCIAL
EXISTING ZONING DESIGNATION: GENERAL COMMERCIAL ZONE X, PER FIRM PANEL NO. 12111C0286K, DATED: FEBRUARY 19, 2020
FLOOD ZONE:
PROPOSED USE: GENERAL COMMERCIAL

HAZARDOUS WASTE:
ANY AND ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

WELLFIELD PROTECTION ORDINANCE:
THIS PROJECT IS NOT LOCATED IN A PUBLIC WATER SUPPLY WELLFIELD PROTECTION ZONE.

ENVIRONMENTAL STATEMENT:
AN ENVIRONMENT SITE ASSESSMENT IS NOT REQUIRED FOR SITES UNDER 2 ACRES. THIS SITE IS ONLY 1.15-ACRES; THEREFORE, NO ASSESSMENT IS REQUIRED. THE SITE CONTAINS NO UPLAND PRESERVES. TREE MITIGATION WILL BE PROVIDED AS REQUIRED.
A GOPHER TORTOISE SITE SURVEY, AS SET FORTH IN CITY CODE SECTION 157.06(B), SHALL BE PROVIDED PRIOR TO THE PRE-CONSTRUCTION MEETING FOR THE CIVIL-SITE CONSTRUCTION.

	S.F.	AC.	%
TOTAL SITE AREA	50,000	1.15	100.00
BUILDING	8,000	0.18	16.00
SIDEWALK	1,813	0.04	3.63
*PAVEMENT & CURB	21,988	0.51	43.98
TOTAL IMPERVIOUS	31,801	0.73	63.60
TOTAL PERVIOUS	18,199	0.42	36.40
*INCLUDING DUMPSTER			

PROPOSED PARKING CALCULATIONS
VEHICLE SERVICE AND REPAIR = THREE (3) SPACES PER SERVICE AREA = (1 BAY) 3 SPACES
OFFICE / GENERAL = ONE (1) SPACE PER 200 S.F. = 2,300 S.F. / 200 S.F. = 12 SPACES
RECREATIONAL FACILITY = ONE (1) SPACE PER 200 S.F. = 3,550 S.F. / 200 S.F. = 18 SPACES

ADA PARKING REQUIREMENTS:
2 DISABLED SPACES REQUIRED
2 DISABLED SPACES PROVIDED
REQUIRED PARKING: 33 SPACES
PROVIDED PARKING: 33 SPACES

DRAINAGE SYSTEM:

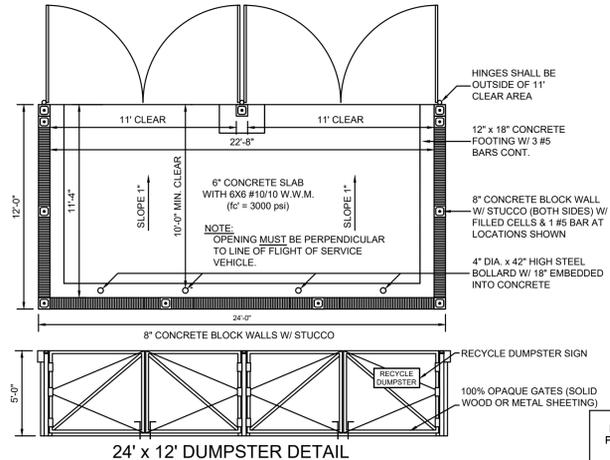
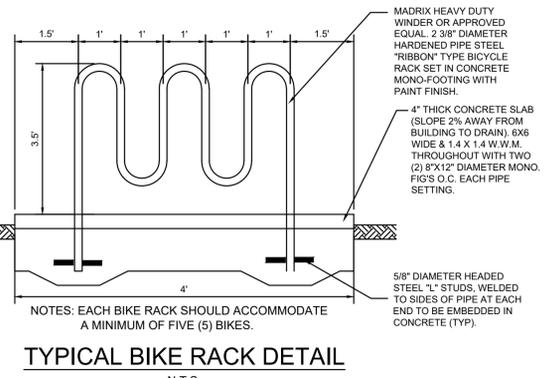
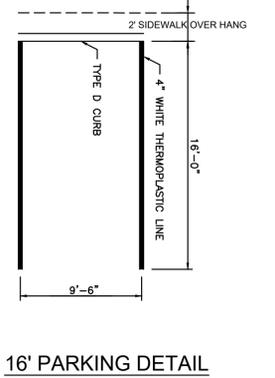
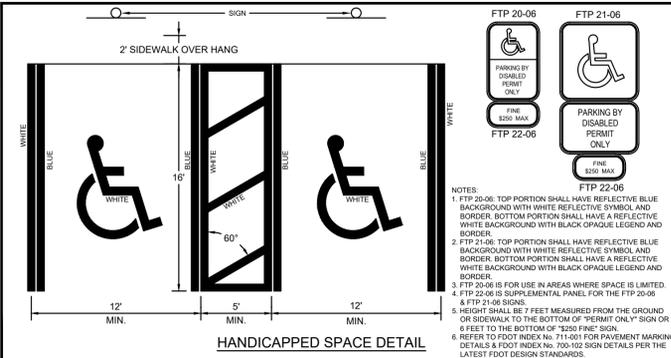
THE DRAINAGE SYSTEM SHALL CONSIST OF A COMBINATION OF OPEN DRY DETENTION AND UNDERGROUND STORAGE SUCH AS A CULTEC SYSTEM FOR WATER QUALITY, QUANTITY AND NUTRIENT REMOVAL, IN ACCORDANCE WITH SFMD CRITERIA PRIOR TO DISCHARGE TO BAYSHORE BOULEVARD INLETS AND TO THE DRAINAGE CANAL LOCATED IMMEDIATELY ADJACENT TO THE REAR PROPERTY LINE (SW SIDE).

TRAFFIC STATEMENT:
TRIP GENERATION PER ITE TRIP GENERATION MANUAL, 11TH EDITION

LAND USE	ITE CODE	TRIP GENERATION UNITS	DAILY TRIPS	AM PEAK HOUR		PM PEAK HOUR						
				EQUATION	TRIPS	EQUATION	TRIPS					
HEALTH/FITNESS CLUB	492	PER 1000 SF	3.55	FORMULA NOT PROVIDED	1,31X	5	51% / 45%	2 ENTER / 2 EXIT	3.45X	12	57% / 43%	7 ENTER / 5 EXIT
AUTOMOTIVE CARE CENTER	942	PER 1000 SF	2.15	FORMULA NOT PROVIDED	2,25X	5	66% / 34%	3 ENTER / 2 EXIT	2,41X + 11.83	17	56% / 44%	10 ENTER / 7 EXIT
OFFICE / RETAIL	712	PER 1000 SF	2.30	14.36X	33	1.67X	4	82% / 18%	2.16X	5	34% / 66%	2 ENTER / 3 EXIT
TOTAL					33							19 ENTER / 15 EXIT

NOTES:

- ALL EXOTIC VEGETATION TO BE REMOVED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THERE IS TO BE AN IRRIGATION SYSTEM INSTALLED TO ENSURE CONTINUED GROWTH OF ALL PLANTING AREAS OR XERISCAPE MATERIAL TO BE UTILIZED AND WATERED IN BY HAND UNTIL ESTABLISHED.
- THE APPLICANT WILL NOTIFY THE PLANNING & DEVELOPMENT FOR A FIELD INSPECTION BY STAFF TO DETERMINE IF BARRICADES HAVE BEEN PROPERLY PLACED PRIOR TO ANY LAND CLEARING.
- BARRICADES (NOT INCLUDING TURBIDITY SCREENS) WILL BE HIGH-VISIBILITY ORANGE SAFETY FENCE EXTENDING FROM THE GROUND TO A HEIGHT OF AT LEAST 4 FEET. BARRICADES WILL NOT BE ATTACHED TO VEGETATION. ALL BARRICADES AND TURBIDITY SCREENS WILL BE UPRIGHT AND MAINTAINED INTACT FOR THE DURATION OF CONSTRUCTION. DURING CONSTRUCTION ACTIVITIES, EXISTING NATIVE VEGETATION SHALL BE RETAINED TO ACT AS BUFFERS BETWEEN ADJACENT LAND USES, AND TO MINIMIZE NUISANCE DUST AND NOISE.
- BARRICADES SHALL BE USED ON SITE TO PRESERVE THE VEGETATION TO BE RETAINED FOR THIS PURPOSE.
- ALL BARRICADES MUST BE MAINTAINED INTACT FOR THE DURATION OF CONSTRUCTION.
- STORAGE OF CONSTRUCTION MATERIALS IN PRESERVE AREAS IS NOT PERMITTED.
- FILL IS NOT ALLOWED TO ENCRICH INTO PRESERVE AREAS.
- PRESERVE BARRICADES WILL BE PLACED ON THE PRESERVE AREA PERIMETER LINE. EROSION CONTROL DEVICES (E.G. SILT FENCES) SHALL BE CONSTRUCTED 5 FT. OUTSIDE THE PERIMETER OF PRESERVE AREAS TO PREVENT ENCRICHMENT INTO THE MANDATORY CONSTRUCTION SETBACK AREA.
- INDIVIDUAL TREES OR GROUPS OF VEGETATION THAT ARE TO BE SAVED FOR LANDSCAPE CREDIT REQUIREMENTS ARE TO BE BARRICADED.
- ADVISORY OR WARNING SIGNS MUST BE PROVIDED ACCORDING TO THE GUIDELINES.
- NO ALTERATION OF WETLAND PRESERVE, UPLAND PRESERVE, OR TRANSITION ZONES IS PERMITTED EXCEPT IN COMPLIANCE WITH A PRESERVE AREA MANAGEMENT PLAN APPROVED BY VILLAGE OF INDIANTOWN.
- THIS PLAN HAS BEEN DESIGNED TO MEET WITH THE TREE PLANTING REQUIREMENTS CONTAINED WITHIN THE FPL DOCUMENT ENTITLED "PLANT THE RIGHT TREE IN THE RIGHT PLACE."
- FOR EXISTING OR PROPOSED UTILITIES, NO TREE SHALL BE PLANTED WHERE IT COULD, AT MATURE HEIGHT, CONFLICT WITH OVERHEAD POWER LINES. LARGE TREES [HEIGHT AT MATURITY OF MORE THAN THIRTY (30) FEET] SHALL BE PLANTED NO CLOSER THAN A HORIZONTAL DISTANCE OF THIRTY (30) FEET FROM THE NEAREST OVERHEAD POWER LINE. MEDIUM HEIGHT TREE [HEIGHT AT MATURITY BETWEEN TWENTY (20) AND THIRTY (30) FEET] SHALL BE OFFSET AT LEAST TWENTY (20) FEET AND SMALL TREES [HEIGHT AT MATURITY OF LESS THAN (20) FEET] REQUIRE NO OFFSET.
- NO TREE, SHRUBS, HEDGES OR VINES SHALL BE PLANTED WITHIN FIVE (5) FEET OF ANY EXISTING OR PROPOSED UTILITY POLE, GUY WIRE OR PAD MOUNTED TRANSFORMER. PALMS SHOULD BE PLANTED AT A DISTANCE EQUAL TO OR GREATER THAN THE AVERAGE FROND LENGTH PLUS TWO (2) FEET FROM POWER LINES.
- THE PROPOSED DEVELOPMENT RATES AS LOW HAZARD ACCORDING TO THE MIDLAND FIRE RISK AND HAZARD SEVERITY ASSESSMENT FORM PROVIDED BY FLORIDA FIREWISE COMMUNITIES.
- IT SHALL BE UNLAWFUL TO ALTER THE APPROVED SLOPES, CONTOURS, OR CROSS SECTIONS OR TO CHEMICALLY, MECHANICALLY, OR MANUALLY REMOVE, DAMAGE, OR DESTROY ANY PLANTS IN THE UPLAND OR UPLAND TRANSITION ZONE BUFFER AREAS OF CONSTRUCTED LAKES EXCEPT UPON THE WRITTEN APPROVAL OF THE PLANNING AND DEVELOPMENT SERVICES DIRECTOR, AS APPLICABLE. IT IS THE RESPONSIBILITY OF THE OWNER OR PROPERTY OWNERS ASSOCIATION, ITS SUCCESSORS OR ASSIGNS TO MAINTAIN THE REQUIRED SURVIVORSHIP AND COVERAGE OF THE RECLAIMED UPLAND AND PLANTED LITTORAL AND UPLAND TRANSITION AREAS AND TO ENSURE ON-GOING REMOVAL OF PROHIBITED AND INVASIVE NON-NATIVE PLANT SPECIES FROM THESE AREAS.
- ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC IN ACCORDANCE WITH SECTION 711 OF THE FDOT STANDARD SPECIFICATIONS.
- THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (G).



NO.	DATE	REVISIONS
1	01/11/23	REVISIONS PER SPRC COMMENTS
2	02/09/23	REVISIONS PER H.P. COMMENTS

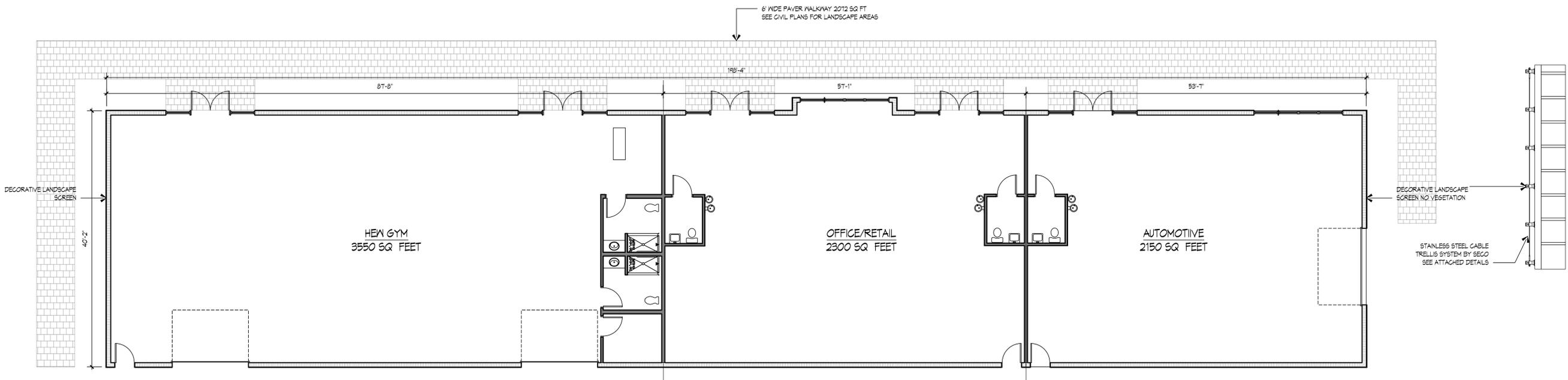
NO.	DATE	REVISIONS
1	01/11/23	REVISIONS PER SPRC COMMENTS
2	02/09/23	REVISIONS PER H.P. COMMENTS

THE MILCOR GROUP, INC.
A DIVISION OF:
HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
10975 SE FEDERAL HIGHWAY
HOBE SOUND, FL 33455
725 SE PORT ST LUCIE BLVD UNIT 104
PORT ST. LUCIE, FL 34984
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WWW.THEMILCORGROUP.COM
WWW.HALEYWARD.COM
CERTIFICATE OF AUTHORIZATION: 28246

CONCEPTUAL SITE PLAN
BAYSHORE PLAZA
PORT ST. LUCIE, FLORIDA

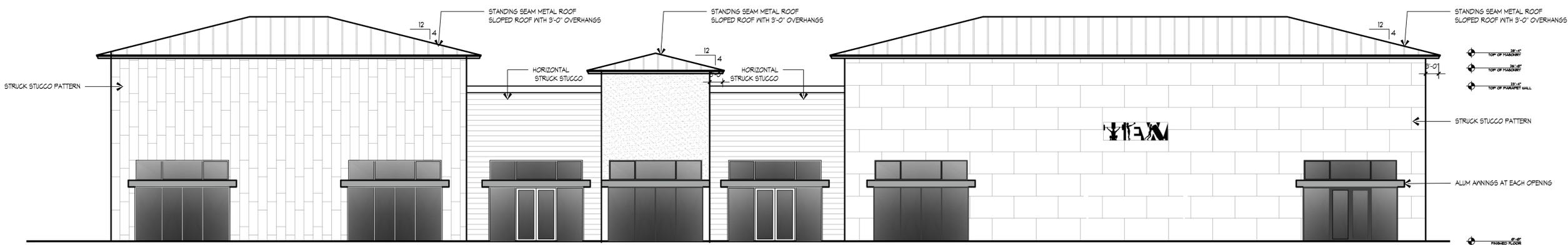
PROFESSIONAL ENGINEERING LICENSE
MELISSA G. CORBETT
No 59292
Feb 14 2023
STATE OF FLORIDA
PROFESSIONAL ENGINEERING

SHEET NO. 1
PSL PROJECT NO. P22-327 FITNESS CENTER & P22-328 VEHICLE REPAIR AND MAINTENANCE
PSLUSD FILE NO. 11-915-01 & 11-915-02



PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"



PROPOSED FRONT ELEVATION

SCALE: 1/8" = 1'-0"

GLASS PERCENTAGES
EACH OPENING IS 120 SQ FT.
100 SQUARE FEET OF GLASS BETWEEN 2-8 FEET
16.1% OF EACH OPENING IS ABOVE 2 FEET TYP OF 1
OPENINGS ON FRONT ELEVATION. WINDOWS ARE
CLEAR GLASS NON TINTED

A/C EQUIPMENT ON ROOF PARAPET WALLS SHALL
HIDE ALL A/C AND OTHER EQUIPMENT ON ROOF FROM
VIEW FROM A DISTANCE OF 300 FEET AT 6 FEET
ABOVE GROUND

GLASS PERCENTAGES
EACH OPENING IS 120 SQ FT.
100 SQUARE FEET OF GLASS BETWEEN 2-8 FEET
16.1% OF EACH OPENING IS ABOVE 2 FEET TYP OF 1
OPENINGS ON FRONT ELEVATION. WINDOWS ARE
CLEAR GLASS NON TINTED

AREA CALCULATIONS	
A/C BUILDING AREA	8,000 S.F.
TOTAL:	8,000 S.F.



PROPOSED COLORED ELEVATION

SCALE: 1/8" = 1'-0"

MATERIAL LEGEND	
MATERIAL #1	STUCCO VENEER - PATTERN PER ELEVATIONS SHINY HIGH REFLECTIVE WHITE
MATERIAL #2	ALUMINUM WINDOWS SN 1069 IRON ORE
MATERIAL #3	ALUMINUM CANOPIES SN 1654 GRIS
MATERIAL #4	ALUMINUM CORNICES SN 1069 IRON ORE
MATERIAL #5	STANDING SEAM METAL ROOF EXTREME METALS WEATHER XL COLOR CHARCOAL GREY

PROJECT NUMBER: P22-328 VEHICLE REPAIR AND MAINTENANCE	
--	--

PROJECT
DOCUMENT DATE:
09.08.2022

REVISIONS:

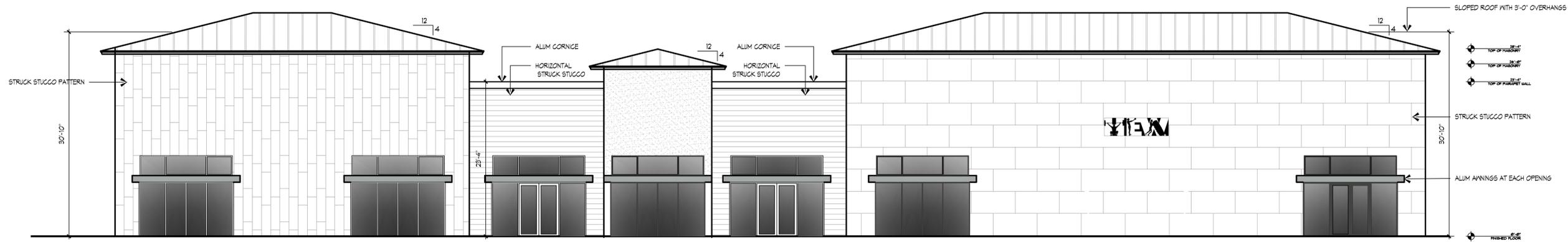
NO.	DESCRIPTION	DATE

A NEW COMMERCIAL FACILITY FOR:
JENSEN MHP LLC
1962 SW BAYSHORE BLVD
PORT SAINT LUCIE FLORIDA



SHEET TITLE:
FLOOR PLAN

SHEET NUMBER:
A-1



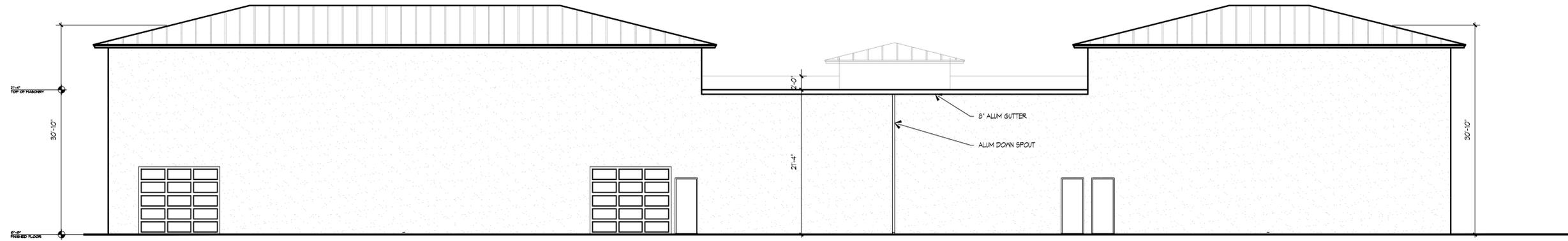
PROPOSED FRONT ELEVATION

A/C EQUIPMENT ON ROOF PARAPET WALLS SHALL HIDE ALL A/C AND OTHER EQUIPMENT ON ROOF FROM VIEW FROM A DISTANCE OF 300 FEET AT 6 FEET ABOVE GROUND

GLASS PERCENTAGES
EACH OPENING IS 120 SQ FT.
100 SQUARE FEET OF GLASS BETWEEN 2-8 FEET
16.7% OF EACH OPENING IS ABOVE 2 FEET TYP OF 7
OPENINGS ON FRONT ELEVATION. WINDOWS ARE
CLEAR GLASS NON TINTED

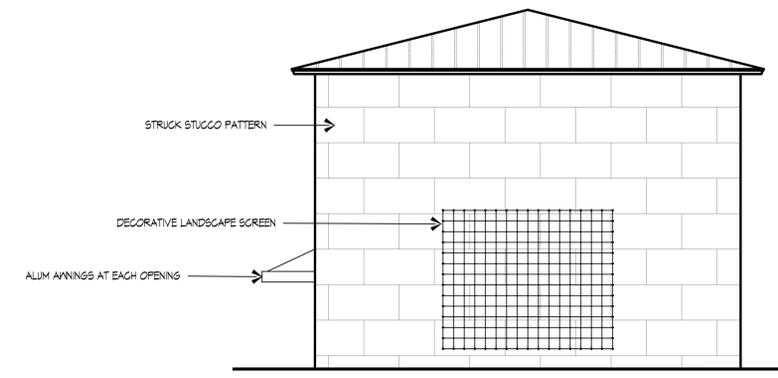
SCALE: 1/8" = 1'-0"

GLASS PERCENTAGES
EACH OPENING IS 120 SQ FT.
100 SQUARE FEET OF GLASS BETWEEN 2-8 FEET
16.7% OF EACH OPENING IS ABOVE 2 FEET TYP OF 7
OPENINGS ON FRONT ELEVATION. WINDOWS ARE
CLEAR GLASS NON TINTED



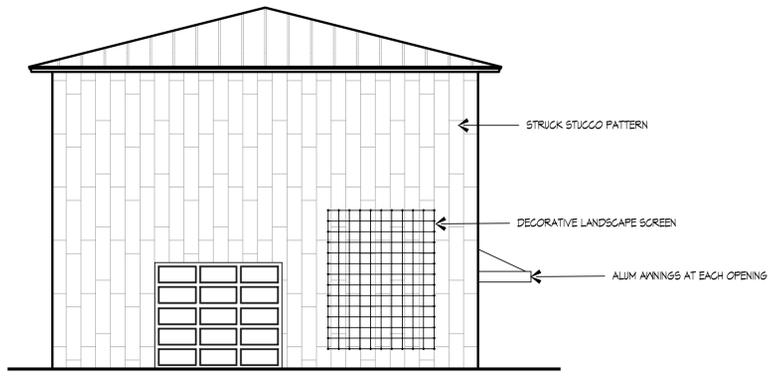
PROPOSED REAR ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED LEFT ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

- ARCHITECTURAL ELEMENTS
- a) STANDING SEAM METAL ROOF
 - b) CANOPIES
 - c) HORIZONTAL SIDING (STUCCO)
 - d) DECORATIVE SCREENS
 - e) SLOPED ROOF 3-FOOT OVERHANG
 - f) STONE, CONCRETE, BRICK PAVERS 2,012 SQ FT

MATERIAL LEGEND	
MATERIAL #1	STUCCO VENEER - PATTERN PER ELEVATIONS 841751 HIGH REFLECTIVE WHITE
MATERIAL #2	ALUMINUM WINDOWS SN 1069 IRON ORE
MATERIAL #3	ALUMINUM CANOPIES SN 1654 GRIS
MATERIAL #4	ALUMINUM GORNIC SN 1069 IRON ORE
MATERIAL #5	STANDING SEAM METAL ROOF EXTREME METALS WEATHER XL COLOR CHARCOAL GREY

PROJECT NUMBER:
P22-328 VEHICLE REPAIR
AND MAINTENANCE

PROJECT
DOCUMENT DATE:
09.08.2022

REVISIONS:

NO.	DESCRIPTION	DATE

PROJECT
A NEW COMMERCIAL FACILITY FOR:
JENSEN MHP LLC
1962 SW BAYSHORE BLVD
PORT SAINT LUCIE FLORIDA



SHEET TITLE:
ELEVATIONS

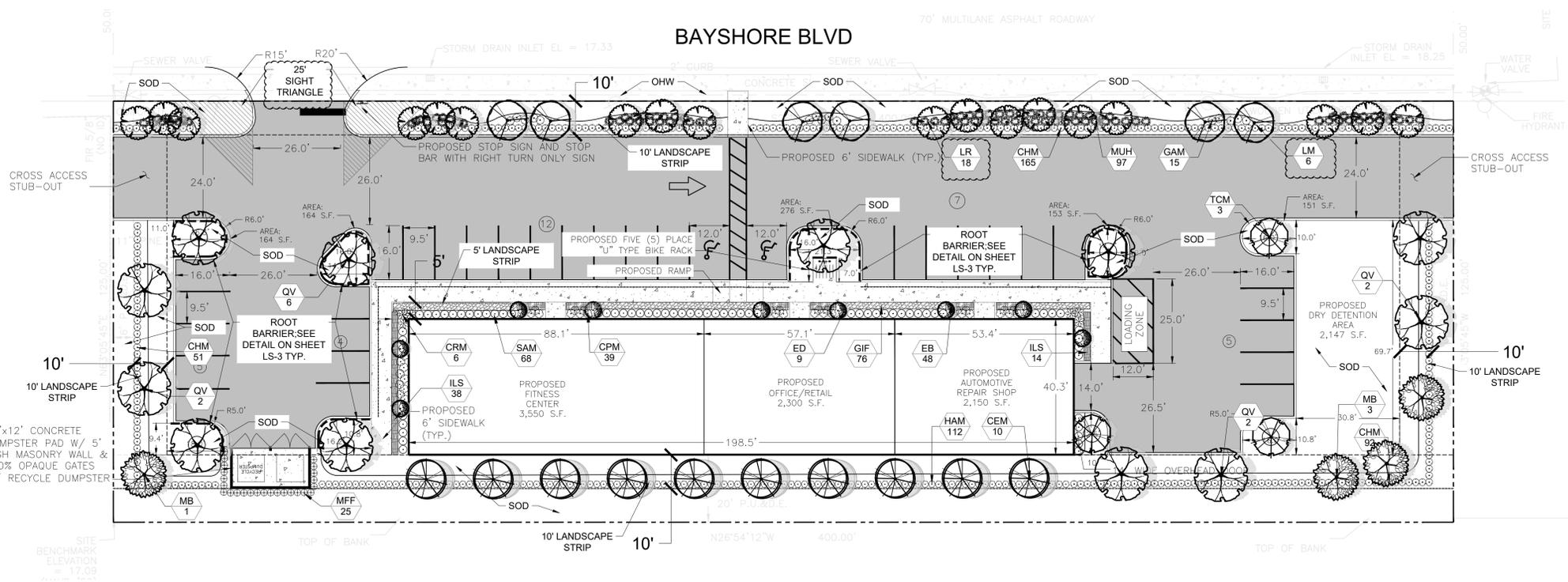
SHEET NUMBER:
A-2

General Landscape Notes

- At least 50% of all required trees shall be of a native species.
- All plant material to be Florida No. 1 or better.
- All landscape & sod areas to be irrigated by an automated system that provides 100% coverage with 100% overlap with a minimum d.u. of .70.
- All landscaping at intersection and corners complies with Section 159.204 of the Port St Lucie Code of Ordinances to provide a clear sight zone between 2' - 6' above the final road crown elevation. All hedges and shrubs with in the 25' sight triangle will be maintained at a height no higher than 2' above the crown elevation of the road. In addition, the foliage line any tree within the 25' sight triangle will be maintained at a height of no less than 6' above the road crown.

PSLUSD Notes for Landscape Plans

- All new landscaping within utility easements and within ten (10) feet of underground utility infrastructure shall comply with PSLUSD technical specifications, policies, and codes.
- No landscaping other than sod grasses may be planted within a 5' radius maintenance area of any utility appurtenances such as water meters, backflow devices, fire hydrants, sanitary sewer cleanouts, and manholes, air release valves, etc. Trees shall not be planted within ten (10) feet of any underground infrastructure.
- No landscaping shall be planted in a manner as to adversely affect utility installation, operation and maintenance.
- No landscaping shall be planted in a manner that would adversely affect utility easements. Landscaping shall be in compliance with Chapter 153 of the City of Port St. Lucie Code of Ordinances, PSLUSD technical specifications and policies.
- All landscaping within City utility easements shall comply with PSLUSD technical specifications, policies, and codes.
- All landscaping shall meet the latest PSLUSD Landscape Policy and shall not be placed in a manner that would create conflicts with the intended operation and maintenance of any existing utility.
- Trees shall not be planted within ten (10) feet of any PSLUSD underground infrastructure.
- No landscaping other than sod grasses shall be located within 5' of a PSLUSD appurtenance such as water meter assembly, backflow device, fire hydrant or sewer cleanout, etc.



Project Team

Landscape Architect:
 LANDSCAPE ARCHITECTURAL SERVICES, LLC
 Brandon White | Owner
 772-834-1357 | brandon@las-fl.com
 Paul Goulas | Owner
 772-631-8400 | paul@las-fl.com
 1708 SE Jay Haven Street
 Port St. Lucie, FL 34983

Civil Engineer:
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 CIVIL ENGINEERS
 1070 SE FEDERAL HIGHWAY
 HOBBS SOUND, FL 33455
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 PORT ST. LUCIE, FL 34984
 PH: (772) 223-8800
 FAX: (772) 223-8801

Bayshore Plaza
 1962 SE Bayshore Blvd,
 Port Saint Lucie, Florida 34984

Landscape Plan

Required Tree Credits:

	Native%	# of Species	Flowering%	Drought Tolerant%	Palm%	
Site Perimeter: (960' / 30)	32					
Building Foundation Perimeter: (265' / 30)	9					
Parking Lot Terminal Islands:	9					
Total:	50	50%=25	5	20%=10	50%=25	25%=12 (Max)

Provided Tree Credits:

	Native	# of Species	Flowering	Drought Tolerant	Palm	
Total:	50	26	6	10	26	9

Required Shrub Credits:

	Native	Drought Tolerant	
Site Perimeter: (960' / 2)	480	25%=120	50%=240
Building(s) Foundation Perimeter: (265' / 2)	133	25%=34	50%=67
Total:	613	154	307

Provided Shrub Credits:

	Native	Drought Tolerant	
Total:	670	542	542

Required Groundcover Credits:

	Native%	Flower%	Drought Tolerant%	
Building Foundation & Perimeters: (265'x5'x.25)	663 SF	25%=165 SF	10%=63 SF	50%=332 SF

Provided Groundcover Credits:

	Native	Flowering	Drought Tolerant	
Total:	700 SF	170 SF	120 SF	580 SF

Plant Schedule:

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	CALIPER
	CEM	10	Conocarpus erectus	Green Buttonwood	45G	12' HT	6' SPR	STD, F, SP	Native	2.5" Caliper
	ED	9	Elaeocarpus decipiens	Japanese Blueberry Tree	25G	8' HT	4' W	3' CT, STD, SP	Non-native	1" Caliper
	LM	6	Lagerstroemia indica 'Muskogee'	Muskogee Crape Myrtle	45G	12' HT	6' SPR	STD, F, SP	Non-native	2.5" Caliper
	MB	4	Magnolia grandiflora 'D.D. Blanchard'	D.D. Blanchard Southern Magnolia	45G	12' HT	5' W	FTB, SP	Native	2.5" Caliper
	QV	12	Quercus virginiana	Southern Live Oak	45G	12' HT	16' SPR	F, SP	Native	2.5" Caliper
	TCM	3	Tabebuia caraiba	Yellow Tabebuia	45G	12' HT	6' W	F, SP	Non-native	2.5" Caliper
PALM TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	CALIPER
	LR	18	Livistona decora	Ribbon Palm	FG	10' CT, 14' OA		FH, SP	Non-native	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	
	CHM	308	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	3G	24" HT	24"W	F, SP	Native	
	CPM	39	Codiaeum variegatum 'Petra'	Petra Croton	3G	24" HT	18"W	F	Non-native	
	CRM	6	Crinum sp.	Green Crinum	7G	24" HT	24"W	F, SP	Non-native	
	GAM	15	Galphimia glauca	Thryalis	3G	24" HT	18"W	F	Non-native	
	HAM	112	Hamelia patens 'Calusa'	Dwarf Firebush	3G	24" HT	24"W	FTB	Native	
	MUH	97	Muhlenbergia capillaris	Pink Muhly	3G	24" HT	24"W	F	Native	
	MFF	25	Myrcianthes fragrans	Simpson's Stopper	3G	24" HT	24"W	F	Native	
	SAM	68	Schefflera arboricola	Green Schefflera	3G	24" HT	24"W	F	Non-native	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	
	EB	48	Evolvulus glomeratus 'Blue Daze'	Blue Daze	1G	12" HT	12"W	F	Non-native	18" o.c.
	GIF	76	Ficus microcarpa 'Green Island'	Green Island Ficus	3G	18" HT	12"W	Full	Non-native	24" o.c.
	ILS	52	Ilex vomitoria 'Stokes Dwarf'	Dwarf Yaupon	1G	12" HT	12"W	Full	Native	18" o.c.
SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	
	SOD	TBD	Stenotaphrum secundatum 'Floritam'	Floritam St. Augustine Grass	SOD			Free of Weeds and Pests	Non-native	1" o.c.

*B TREES & PALMS COUNT AS 2:1



Fitness Center: P22-237/PSLUSD #11-915-01

Auto Shop: P22-238/PSLUSD 11-915-02

Sheet Index:

Landscape Plan, Calculations, & Plant List	LS-1
Tree Survey & Disposition Plan	LS-2
Landscape Details & Specifications	LS-3

Revisions

Date	Init.	Description
12.06.22	PG	Conceptual Landscape
1.23.23	PG	Revised per Comments

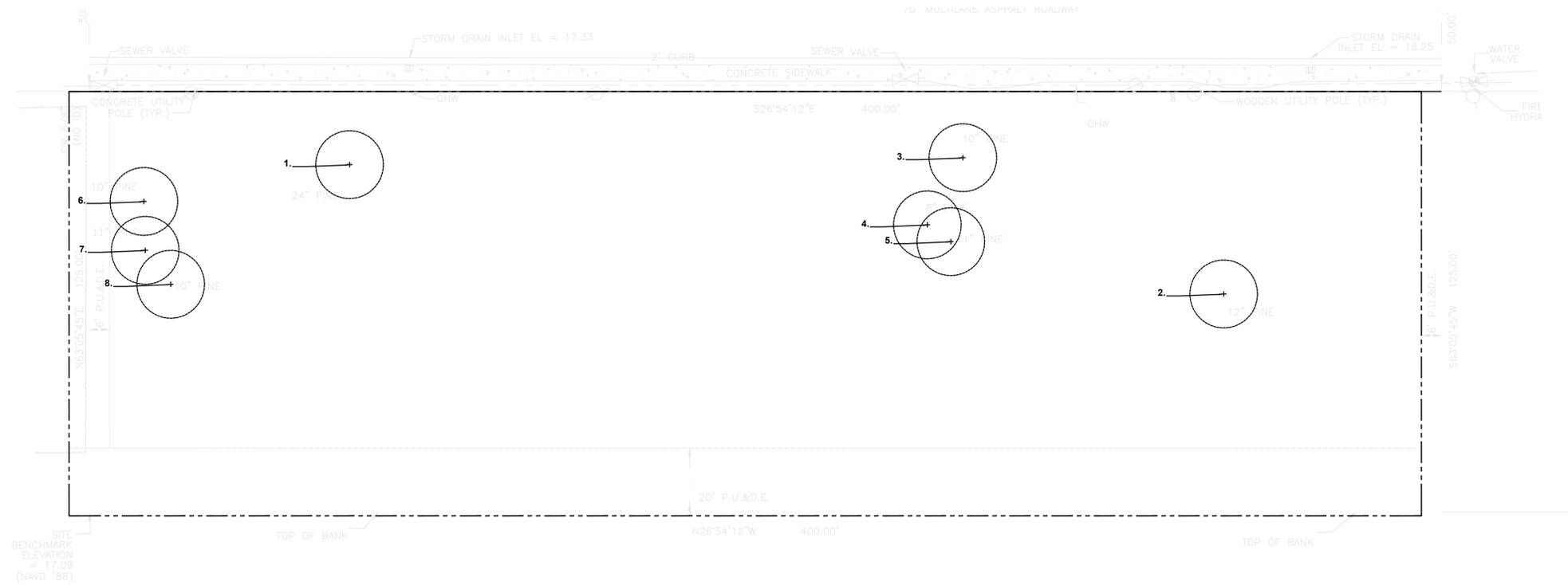


Drawn By: BW
 Checked By: PG

Scale:

SCALE: 1" = 20'

LS-1



EXISTING TREE DATA

Existing Trees:	Disposition
* 1. <i>Pinus elliottii</i> , Slash Pine, 24" DBH	To be Removed
* 2. <i>Pinus elliottii</i> , Slash Pine, 12" DBH	To be Removed
3. <i>Pinus elliottii</i> , Slash Pine, 10" DBH	To be Removed
4. <i>Pinus elliottii</i> , Slash Pine, 8" DBH	To be Removed
5. <i>Pinus elliottii</i> , Slash Pine, 11" DBH	To be Removed
6. <i>Pinus elliottii</i> , Slash Pine, 10" DBH	To be Removed
7. <i>Pinus elliottii</i> , Slash Pine, 11" DBH	To be Removed
8. <i>Pinus elliottii</i> , Slash Pine, 10" DBH	To be Removed

* TOTAL PROTECTED TREE REMOVED INCHES: 36"
 THIS SITE DOES HAVE THE CAPACITY FOR PLANTING OF MITIGATION TREES; A FEE ESTABLISHED BY THE CITY COUNCIL AT TIME OF FINAL SITE PLAN APPROVAL WILL BE PAID INTO THE CITY TREE FUND IN LIEU OF PLANTING MITIGATION TREES ON SITE.

Project Team

Landscape Architect:

LS LANDSCAPE ARCHITECTURAL SERVICES, LLC

Brandon White | Owner
 772-834-1357 | brandon@las-fl.com

Paul Goulas | Owner
 772-631-8400 | paul@las-fl.com
 1708 SE Joy Haven Street
 Port St. Lucie, FL 34983

Civil Engineer:

THE MILCOR GROUP, INC.

CIVIL ENGINEERS
 1070 SE FEDERAL HIGHWAY
 HOBBS SOUND, FL 33455

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 UNIT 104
 PORT ST. LUCIE, FL 34984
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 FAX: (772) 223-8851

Bayshore Plaza
 1962 SE Bayshore Blvd,
 Port Saint Lucie, Florida 34984

Tree Survey & Disposition Plan

Revisions		
Date	Init.	Description
12.06.22	PG	Conceptual Landscape
1.23.23	PG	Revised per Comments



Drawn By: BW
 Checked By: PG

Scale:

NORTH

SCALE: 1" = 20'

0 10' 20' 40'

LS-2

Fitness Center: P22-237/PSLUSD #11-915-01
 Auto Shop: P22-238/PSLUSD 11-915-02

LANDSCAPE SPECIFICATIONS

PART 1: GENERAL CONDITIONS

- 1.01 SCOPE:
A. The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.
- 1.02 AGENCY STANDARDS:
A. Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.
- 1.03 SITE EXAMINATION:
A. The Landscape Contractor shall personally examine the site and fully acquaint him/herself with all of the existing conditions in order that no mis-understanding may afterwards arise as to the character or extent of the work to be performed, and additionally, in order to acquaint him/herself with all precautions to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unusual difficulties which may be encountered in the execution or maintenance of any portion of the work.
- 1.04 ERRORS AND OMISSIONS:
A. The plant list as a part of the drawings and is furnished as a convenience. The plant list indicates the name, size and quantities of specific plant materials as called for and is located on the drawings. The Landscape Contractor is responsible for his/her own quantity count, and any discrepancy between drawings and plant list shall be considered as correct on the drawings.
B. The Landscape Contractor shall not take advantage of errors or omissions in the specifications or contract drawings. Full instruction will be given if such errors are discovered. Upon the discovery of any discrepancies in, or omissions from, the drawings or documents, or should the Landscape Contractor be in doubt as to their meaning, the Landscape Architect shall be notified and will determine the actions necessary to each query.
C. If plans and specifications are found to disagree after the contract is awarded, the Landscape Architect shall be the judge as to which was intended.
- 1.05 EXECUTION OF THE WORK:
A. The Landscape Contractor shall have his labor crews controlled and directed by a Foreman well versed in plant materials, planting methods, reading blueprints, and coordination between job and nursery in order to execute installation correctly and in a timely manner.
B. The Landscape Contractor shall provide a competent English-speaking Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work. The Superintendent shall be capable of reading and thoroughly understanding the Plans, Specifications and other Contract Documents. If the Superintendent is deemed incompetent by the Landscape Architect, he (the superintendent) shall be immediately replaced.
C. The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implementation of the job. Any additional work or changes required as a result of failure to communicate with the Owner or Landscape Architect during implementation will be the responsibility of the Landscape Contractor.

- 1.06 PROTECTION OF PUBLIC AND PROPERTY:
A. The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public. He shall be held responsible for any damage or injury to persons or property which may occur as a result of his fault or negligence in the execution of the work, i.e. damage to underground pipes or cables.

- 1.07 CHANGES AND EXTRAS:
A. The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting forth the adjusted prices has been executed by the Owner and the Contractor. Any work performed on changes or "extras" prior to execution of a written agreement may or may not be compensated for by the Owner at his discretion.

- 1.08 GUARANTEE:
A. The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of ONE (1) YEAR from the time of completion and acceptance by the Landscape Architect and Owner. Sod shall be guaranteed to 90 calendar days after acceptance by the Landscape Architect and Owner. All plant material shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. The guaranteeing of plant material shall be construed to mean complete and immediate replacement with plant material of the same variety, type, size, quality and grade as that of the originally specified material. During the guarantee period it shall be the Landscape Contractor's responsibility to immediately replace any dead or unhealthy material as determined by the Landscape Architect. The guarantee will be null and void if plant material is damaged by lightning, hurricane force winds, or any other acts of God, as well as vandalism or lack of proper maintenance.

- B. At the end of the specified guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Landscape Architect, shall be replaced. The Landscape Contractor shall be responsible for the full replacement cost of plant materials for the first replacement and share subsequent replacement (s) costs equally with the Owner, should the replacement plant fail to survive.

- 1.09 CARE AND MAINTENANCE:
A. The Landscape Contractor shall be responsible for the care and maintenance of all plant materials and irrigation when applicable until final acceptance by the Owner or Landscape Architect.
B. The Owner agrees to execute the instructions for such care and maintenance.

- 1.10 SAFETY:
A. It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage. Adequate warning devices shall be placed and maintained during the progress of the work.
B. It shall be the contractor's responsibility to conform to all local, state, and federal safety laws and codes including the Federal Occupational Safety And Health Act (O.S.H.A.).

- 1.11 CONTRACTOR QUALIFICATION:
A. The Owner may require the applicant contractor (s) to qualify him/herself to be a responsible entity by furnishing any or all of the following documentary data:
1. A financial statement showing assets and liabilities of the company current to date.
2. A listing of not less than (3) completed projects of similar scope and nature.
3. Permanent name and address of place of business.
4. The number of regular employees of the organization and length of time the organization has been in business under the present name.

- 1.12 INSURANCE AND BONDING:
A. The contractor (s) shall submit proof of insurance for this job for the time period that the work is done. The minimum amount of insurance shall be \$300,000.00 per person and \$300,000.00 per aggregate or as required by owner and agreed to in the contract. The successful bidder shall be required to have this coverage in effect before beginning work on the site.

- B. The Owner shall have the right to require the Contractor to furnish bonds covering faithful performance of the Contract and payment obligations arising thereunder as stipulated in bidding requirements or specifically required in the Contract Documents on the date of execution of the Contract.

- 1.13 PERMITS AND CERTIFICATES:
A. All contractors shall secure and pay for all permits and certificates required for his/her class of work.

PART 2: MATERIALS

- 2.01 PLANT MATERIALS:
A. A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary. In the event discrepancies occur, the specifications on the drawings shall govern.
B. Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY upon written authorization by the Owner or the Landscape Architect. If plant material is not of sufficient size to meet applicable codes, a letter of variance from the appropriate agency must be obtained by the Contractor prior to issuance of any change order. If material of smaller size is to be accepted, the quantity of material shall be increased, at no additional cost to the Owner, to meet the intent of the drawings.
C. All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal to or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting.
D. All plant materials shall be nursery grown, unless otherwise noted, Florida #1 or better and shall comply with all required inspections, grading standards and plant regulations as set forth by the Florida Department of Agriculture's Grades and Standards for Nursery Plants, most current addition and Grades and Standards for Nursery Plants, most current addition.
E. Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.
F. The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed properly and/or approved by the Landscape Architect at no additional cost to owner.

- 2.02 INSPECTION:
A. The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size and quality. The Landscape Architect and Owner retain the right to further inspect trees and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Rejected plant materials shall be immediately removed from project site.
2.03 PROTECTION OF PLANT MATERIALS:
A. Balled and burlapped plants (B & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap similar materials and bound with cord, rope, or wire mesh. All collected plants shall be balled and burlapped.
B. Plants with broken, damaged or insufficient rootballs will be rejected.
C. All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage to plants.
D. Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other protection from the drying of wind and sun. All plants shall be watered as necessary by the Landscape Contractor until planted.

- 2.04 STORAGE:
A. All plant materials shall be stored on the site in designated areas, specified by the Landscape Architect or Owner's agent.
B. No plant material shall be stored longer than seventy-two (72) hours unless approved by Landscape Architect and/or owner.
C. The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.
D. All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.

- 2.05 PROTECTION DURING PLANTING:
A. Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens or other approved methods. Battens shall NOT be attached to the tree with nails.
2.06 PLANTING SOIL:
A. Planting soil for all plantings shall consist of existing native soil and shall be free of debris, roots, clay, stones, plants or other foreign materials which might be a hindrance to planting operations or be detrimental to good growth.

- 2.07 FERTILIZER:
A. Commercial fertilizer shall comply with the state fertilizer laws. Nitrogen shall not be less than 40% from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall be rejected.
B. Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.

- C. Tableted fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal. All trees and shrubs shall be fertilized with tableted fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates:
1 gallon container 1 tablet
3 gallon container 2 tablets
5 gallon container 3 tablets
7 gallon 5 tablets
Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of larger shrub material. The Landscape Architect reserves the right to inspect and review the application of fertilizer.

- 2.08 MULCH:
A. Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress Red mulch is prohibited.
B. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered, or as required by local jurisdiction. Apply 2" max on tree & palm rootballs, keep away from tree & palm trunks

PART 3: EXECUTION

- 3.01 DIGGING:
A. The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead wires, underground pipes and cables and the pipes and hydrants of watering systems. Should such overhead or underground obstructions be encountered which interferes with planting, the Owner shall be consulted and contractor will adjust the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate repair of any damage caused by his work.
3.02 GRADING:
A. Grading for drainage, swales, etc. to within 4 inches of the finished grade to be provided by others.
B. It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation so as to bring sod and planting areas to their proper elevations in relation to walks, paving, drain structures, and other site conditions. The site grading plan must be checked prior to installation of sod to insure that drainage and other conditions will NOT be modified.
3.03 PLANTING:
A. Planting shall take place during favorable weather conditions.
B. The Contractor shall call for utility locations and ascertain the location of all utilities and easements so proper precautions can be taken not to damage or encroach on them.
C. Tree Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor.
D. Excavation of holes shall extend to the required subgrades as specified on the planting diagrams located in the planting plans. Plant pits shall be circular in outline and shall have a profile which conforms to the aforementioned "Tree and Shrub Planting Diagrams".
E. A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Plan for complete testing methods and requirements.
F. Planting pits shall be excavated to the following dimensions and refilled with a mixture of (1/2) planting soil (1/2) existing native soil:
1 Gallon material (1 gal.): 12" x 12" x 12" min.
3 Gallon material (3 gal.): 20" x 20" x 18" min.
Lerio material (7 gal.): 30" x 30" x 24" min.
Field grown material and trees: 1-1/2 times width of ball and depth of ball plus 12" min.
G. No planting or laying of sod shall be initiated until the area has been cleaned of existing sod or other plant materials, rough grass, weeds, debris, stones etc. and the ground has been brought to an even grade, with positive drainage away from buildings and towards drain inlets and swales and approved by Landscape Architect or owner's rep.
H. Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.
I. All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems. All ropes, wire, stakes, etc., shall be removed from sides and top of the ball and removed from hole before filling in.
J. All flagging ribbon shall be removed from trees and shrubs before planting.
K. Excess excavation (fill) from all holes shall be removed from the site, at no additional expense to Owner.
L. All palms shall be backfilled with sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be top-dressed two (2") inches deep with topsoil raked and left in a clean, neat manner.

- 3.04 PRUNING:
A. Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as possible in a manner which will preserve the plant's natural character.
B. Make all cuts with sharp instruments flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs. Cuts made at right angles to line of growth will not be permitted.
C. Trees shall not be topped or topped.
D. Remove all trimmings from site.

- 3.05 GUYING:
A. All trees over six (6') feet in height shall, immediately after setting to proper grade, be guyed with three sets of two strands, No. 12 gauge malleable galvanized iron, in tripod fashion. See Detail.
B. Wires shall not come in direct contact with the tree but shall be covered with an approved protection device at all contact points. Wires shall be fastened in such a manner as to avoid pulling croches apart.
D. Stake & Brace all trees larger than 12" ca. See detail. Stakes shall be 2" x 2" lumber of sufficient length to satisfactorily support each tree.
E. Turnbuckles for guying trees shall be galvanized or cadmium plated and shall be of adequate size and strength to properly maintain tight guy wires.
3.06 WATER:
A. Each plant or tree shall be thoroughly watered in after planting. Watering of all newly installed plant materials shall be the responsibility of the Landscape Contractor until final acceptance by the Landscape Architect.
B. See General Notes of Landscape Plan for water source.

- 3.07 SOD:
A. The Landscape Contractor shall sod all areas indicated on the drawings.
B. It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas, eliminating all bumps, depressions, sticks, stones, and other debris.
C. The sod shall be firm, tough texture, having a compacted growth of grass with good root development. It shall contain no noxious weeds, or any other objectionable vegetation, fungus, insects, or disease. The soil embedded in the sod shall be good clean earth, free from stones and debris.
D. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.
E. 6-6-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying sod.
F. Solid sod shall be laid with closely abutting, staggered joints with a tamped or rolled, even surface.
G. The finished level of all sod areas after settlement shall be one (1") inch below the top of abutting walks, paving and wood borders to allow for building turf.
H. If in the opinion of the Landscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly washed in.

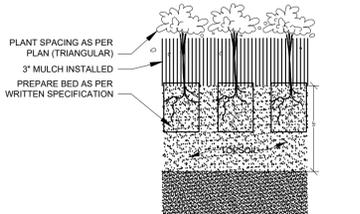
- 3.08 SEEDING:
A. The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre.
B. Application: Argentine Bahia Grass seed - 200 Pounds per acre mixed with common hulled Bermuda seed - 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions.
C. Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre.
D. Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.

- 3.09 CLEANING UP:
A. The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work.
3.10 MAINTENANCE:
A. Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead materials, resetting plants to proper grades or upright positions, spraying, restoration of planting saucer and/or any other necessary operations.
B. Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.
C. Replacement of plants during the maintenance period shall be the responsibility of the Contractor, excluding vandalism or damage on the part of others, lighting, or hurricane force winds, until final acceptance.
D. In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them.
E. Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner, the only exception being hurricane force winds.

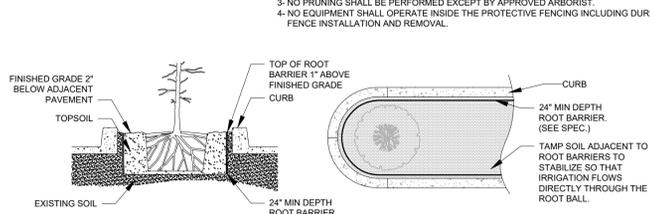
- 3.11 COMPLETION, INSPECTION AND ACCEPTANCE:
A. Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Drawings and in the Specifications, including the complete removal of all trash, debris, soil or other waste created by the Landscape Contractor.
B. Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.
C. All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance. The rating of each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance.
D. After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

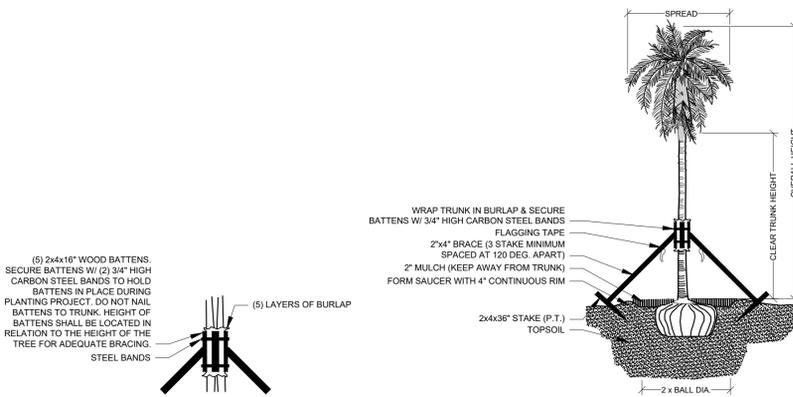
- PRIOR TO PLANTING ALL PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER
A. DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.
B. FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED. IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.
C. WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL)
D. ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.
E. WHEN BACKFILLING PLANTING PITS WITH PLANTING MIXTURE, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.



GROUNDCOVER PLANTING DETAIL NOT TO SCALE

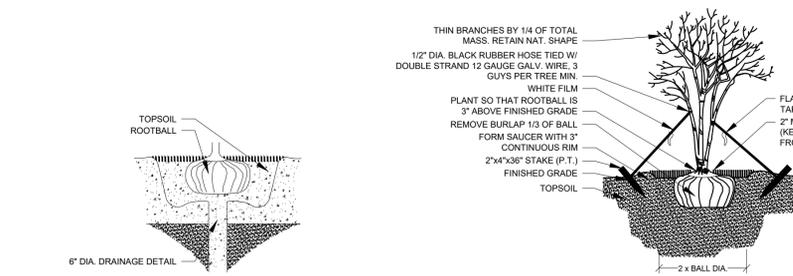


SPECIAL APPLICATIONS ROOT BARRIER DETAIL NOT TO SCALE



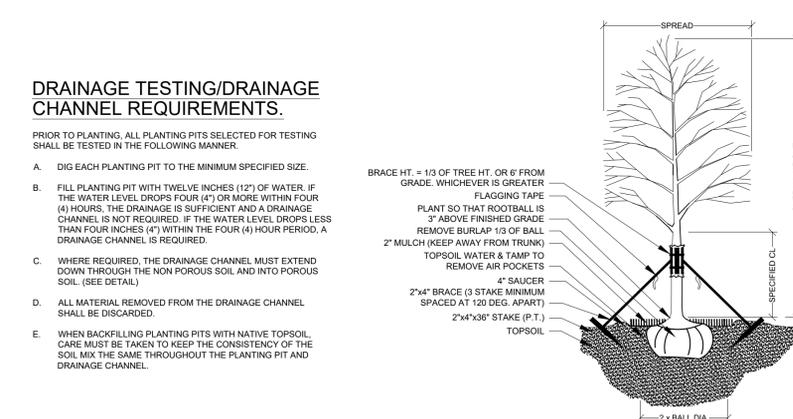
BRACING DETAIL NOT TO SCALE

PALM PLANTING - ANGLE STAKE NOT TO SCALE

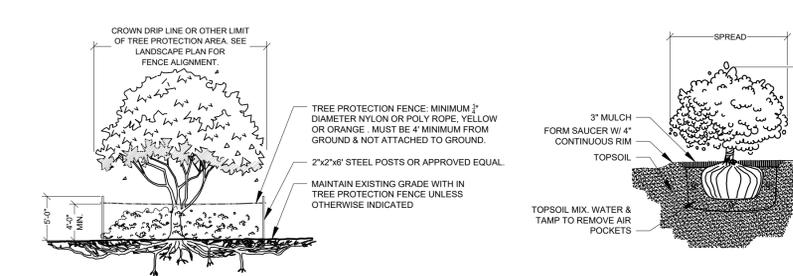


DRAINAGE TESTING DETAIL NOT TO SCALE

MULTI-TRUNK PLANTING & GUYING NOT TO SCALE



TREE PLANTING & STAKING NOT TO SCALE



TREE PROTECTION BARRICADE NOT TO SCALE

SHRUB PLANTING NOT TO SCALE

- NOTES:
1- SEE LANDSCAPE PLAN FOR FENCE ALIGNMENT.
2- NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
4- NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.

Project Team
Landscape Architect:
LS LANDSCAPE ARCHITECTURAL SERVICES, LLC
Brandon White | Owner
772-834-1357 | brandon@las-fl.com
Paul Goulas | Owner
772-631-8400 | paul@las-fl.com
1708 SE Joy Haven Street
Port St. Lucie, FL 34983
Civil Engineer:
THE MILCOR GROUP, INC.
CIVIL ENGINEERS
1070 SE FEDERAL HIGHWAY
HOBE SOUND, FL 33465
275 SE PORT ST. LUCIE BLVD
UNIT 504
PORT ST. LUCIE, FL 34984
PH: (772) 223-8600
FAX: (772) 223-8661

Bayshore Plaza
1962 SE Bayshore Blvd,
Port Saint Lucie, Florida 34984
Details & Specifications

Revisions		
Date	Init.	Description
12.06.22	PG	Conceptual Landscape
1.23.23	PG	Revised per Comments

REGISTERED LANDSCAPE ARCHITECT
PAUL A. GOULAS
LA 6666807
STATE OF FLORIDA
PAUL GOULAS, RLA
FLORIDA REG. # LA6666807

Drawn By: BW
Checked By: PG
Scale:
NORTH
SCALE: 1" = NTS
0 0 0
LS-3

Fitness Center:P22-237/PSLUSD #11-915-01

Auto Shop: P22-238/PSLUSD 11-915-02

BAYSHORE BLVD PLAZA SPECIAL EXCEPTION USE APPLICATION

DATE: November 2, 2022

LOCATION: 1962 SW Bayshore Blvd

DESCRIPTION OF REQUEST:

Special Exception Use for a Vehicle Repair & Maintenance shop as per the criteria contained in Section 158.260 of the City of Port St. Lucie Code of Ordinances.

INTRODUCTION:

The project site is located at 1962 SW Bayshore Blvd. It is comprised of five vacant lots under parcel ID #3420-560-2437-000-6. The 1.15 acre property is zoned General Commercial with a Future Land Use of General Commercial. It lies within the City of Port St. Lucie Land Use Conversion area. The property is on the western side of Bayshore Blvd and is bound by a drainage canal along the rear property line. Further to the west lies SW Biltmore Street, an area of Light Industrial/Commercial Service zoning, and finally the Florida Turnpike. Single family residential lies on the east side of Bayshore Boulevard.

The applicant desires to construct a single story 9,183 +/- square foot commercial plaza containing mixed uses. One of these uses, and the subject of this application, is the approval of a proposed 2,320 square foot automotive repair and maintenance shop. The shop will have a single serve bay located at the rear of the building so it will not be visible from the boulevard. All vehicles to be serviced will be parked in designated the rear parking area.

(A) Please explain how adequate ingress and egress will be obtained to and from the property, with particular reference to automotive and pedestrian safety and convenience, traffic flow, and control, and access in case of fire or other emergency.

The proposed development will have one (1) two-way driveway connection to Bayshore Blvd for ingress and egress per City of Port St. Lucie Code of Ordinances Section 158.222. The proposed driveway will provide ample access for St. Lucie Fire District apparatus, emergency services vehicles, and waste management trucks. The owner of the property is in discussions with the property owner to the south regarding a shared access agreement for a second connection.

(B) Please explain how adequate off-street parking and loading areas will be provided, without creating undue noise, glare, odor or other detrimental effects upon adjoining properties.

The proposed development will meet the on-site parking requirements per City of Port St. Lucie Code of Ordinances Section 158.221. The loading/unloading area will be

**BAYSHORE BLVD PLAZA
SPECIAL EXCEPTION USE APPLICATION**

provided at the rear of the building. No off-site parking is proposed. There will be no detrimental effects on the neighboring properties.

(C) Please explain how adequate and properly located utilities will be available or will be reasonably provided to serve the proposed development.

Port St. Lucie Utility Systems water and wastewater facilities are available for connection along the property frontage on SW Bayshore Blvd.

(D) Please explain how additional buffering and screening, beyond that which is required by the code, will be required in order to protect and provide compatibility with adjoining properties.

The neighboring establishments to the north, south, and west of the proposed development are similar in nature. A 20 foot drainage canal lies immediately to the rear of the property. Adequate landscaping will be provided per City code; therefore, the need for screening or additional buffering is not anticipated. There is no residential development on this side of Bayshore Blvd.

(E) Please explain how signs, if any, and proposed exterior lighting will be so designed and arranged so as to promote traffic safety and to eliminate or minimize any undue glare, incompatibility, or disharmony with adjoining properties. Light shields or other screening devices may be required.

The proposed development will provide site lighting and signage that adhere to the City of Port St. Lucie Code of Ordinances.

(F) Please explain how yards and open spaces will be adequate to properly serve the proposed development and to ensure compatibility with adjoining properties.

The proposed development will be in conformance with the City of Port St. Lucie Landscape Code Chapter 154 and will be compatible with the adjoining properties.

(G) Please explain how the use, as proposed, will be in conformance with all stated provisions and requirements of the City's Land Development Regulation.

The proposed Auto Service development (i.e. Repair & Maintenance Vehicle use) is allowed in the General Commercial zoning district with a Special Exception Use permit. The proposed development will be in conformance with the provisions of the City of Port St. Lucie Land Development Code Section 158.124.

(H) Please explain how establishment and operation of the proposed use upon the particular property involved will not impair the health, safety, welfare, or convenience of residents and workers in the city.

The development will provide efficient parking and interior traffic circulation so as not to adversely impact the surrounding street network. No health or safety concerns are anticipated with the proposed development as the proposed Auto Service will provide

**BAYSHORE BLVD PLAZA
SPECIAL EXCEPTION USE APPLICATION**

adequate solid waste management and sufficient oil interceptor capacity.

(I) Please explain how the proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use the facility, or because of the hours of operation, or because of vehicular movement, noise, fume generation, or type of physical activity.

No adverse effects relating to visual, acoustic, or olfactory issues will be created by the proposed Auto Service development. No obstructions will be created as the proposed development will provide sufficient parking, including two ADA parking spaces. Typical hours of operation are proposed.

(J) Please explain how the use, as proposed for development, will be compatible with the existing or permitted uses of adjacent property. The proximity or separation and potential impact of the proposed use (including size and height of buildings, access, location, light and noise) on nearby property will be considered in the submittal and analysis of the request. The City may request project design changes or changes to the proposed use to mitigate the impacts upon adjacent properties and the neighborhood.

The surrounding sites are developed with a mixture of commercial and service related establishments to the north and south, including similar automotive service related businesses. The character of the proposed development is appropriate and consistent with the approved development in the surrounding area. The proposed uses are compatible and are not expected to negatively impact the existing businesses in any way. In fact, this development is anticipated to increase customer interest in the area by providing a mixture of desired services.

Bayshore Blvd. Plaza – Vehicle Repair & Maintenance

1962 SW Bayshore Blvd.

Special Exception Use

Project: P22-327

Planning and Zoning Board Meeting

Francis Forman, Planner II

March 7, 2023, Meeting



PROJECT SUMMARY

- A special exception use is sought to allow a vehicle repair and maintenance use totaling 2,150 square feet for a proposed retail strip.
- Section 158.124(C)(10) of the General Commercial Zoning Code: Lists a vehicle repair and maintenance as a special exception use that may only be permitted following the review and specific approval by the City Council.



APPLICANT AND OWNER

- Agent – Melissa Corbett, The MilCor Group
- Owner – Jensen MHP, LLC

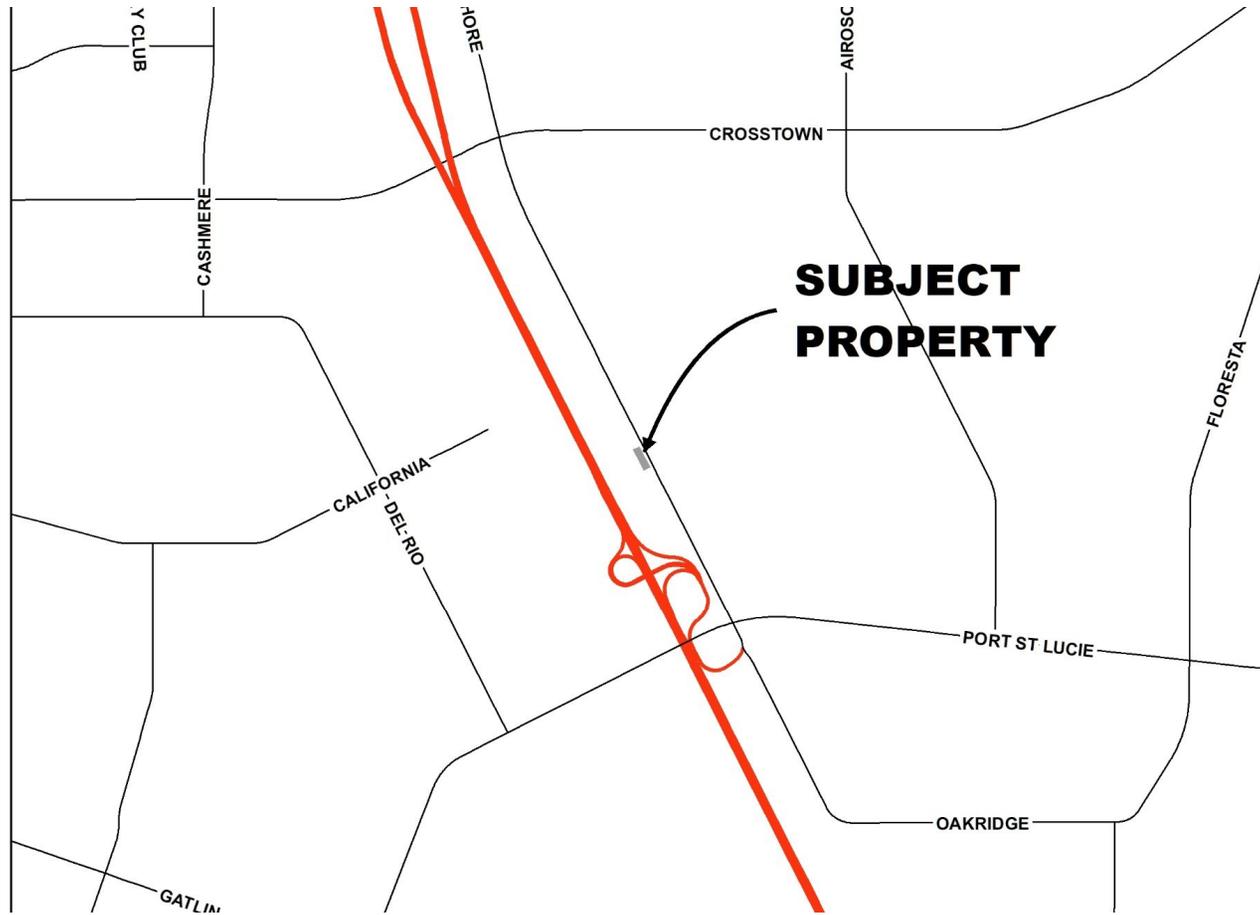


REQUEST

- Review a Special Exception Use to allow the proposed vehicle repair and maintenance use in the General Commercial (CG) Zoning District: for an auto repair shop with one bay.



LOCATION



AERIAL MAP

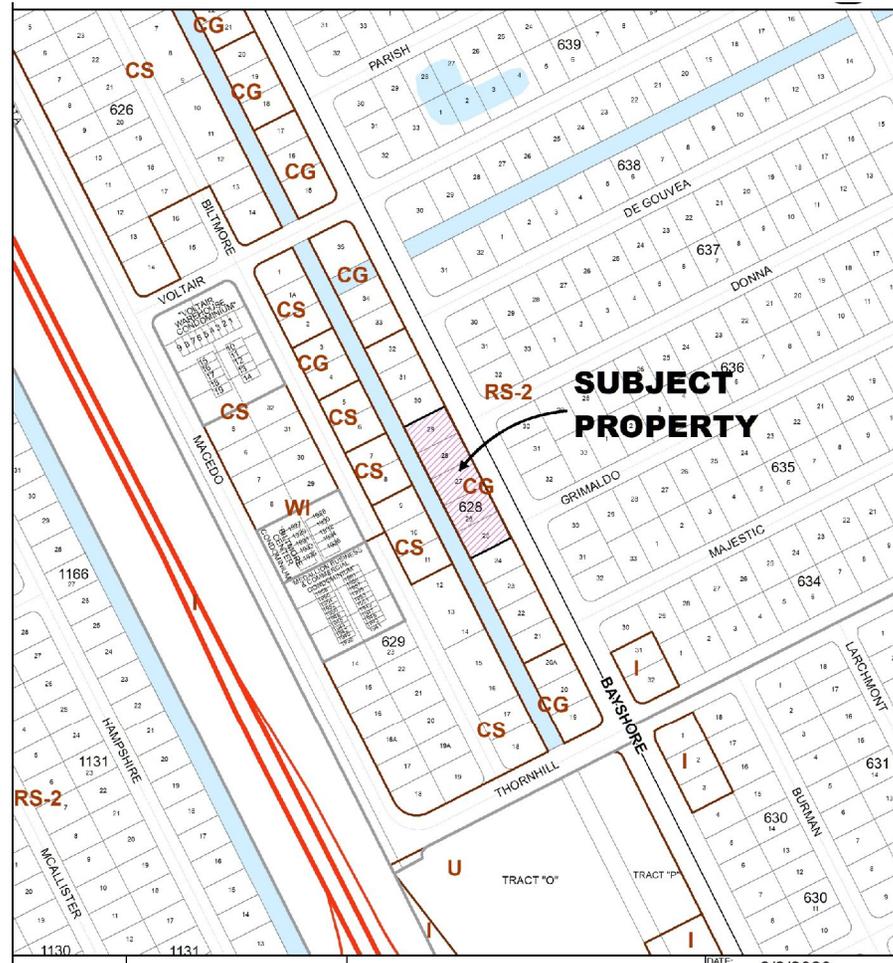


Surrounding Uses

Direction	Future Land Use	Zoning	Existing Use
North	General Commercial (CG)	General Commercial (CG)	Vacant
South	General Commercial (CG)	General Commercial (CG)	Retail
East	Low Residential (RL)	Single-Family Residential (RS-2)	Residential
West	Light Industrial/Service Commercial (LI/CS)	Service Commercial (CS)	Warehousing



Zoning Map



<u>Evaluation of SEU CRITERIA</u> (Section 158.260)	<u>FINDINGS</u>
ADEQUATE INGRESS AND EGRESS (§ 158.260 (A))	The conceptual site plan demonstrates that the site will have adequate ingress and egress for vehicles and will allow for pedestrian safety and convenience.
ADEQUATE OFF-STREET PARKING AND LOADING AREAS (§ 158.260 (B))	Adequate off-street parking is proposed for the use and site. Vehicle repair requires three (3) spaces per service bay area as per Section 158.221(C). The establishment requires 3 spaces. The conceptual site plan provides a total of 33 spaces for the site.
ADEQUATE AND PROPERLY LOCATED UTILITIES (§ 158.260 (C))	Adequate utilities are available to service the development.
ADEQUATE SCREENING OR BUFFERING (§§ 158.260 (D) (F))	There is adequate screening and buffering proposed for this site.
SIGNAGE AND EXTERIOR LIGHTING (§158.260 (E))	Signs and outdoor lighting will comply with the requirements of the City Code.
COMPATIBILITY WITH SURROUNDING USES (§§ 158.260 (H) (I) (J))	The establishment is not anticipated to impair the health, safety, welfare, or convenience of residents and workers in the City. The auto repair facility is not expected to generate noise outside of normal operational hours. The facility is surrounded by retail and warehouse uses which have similar hours of operation and is not expected to adversely affect the surrounding uses. The garage door for the bay will not face Bayshore Blvd.



QUESTIONS OR COMMENTS?

PLANNING AND ZONING BOARD ACTION OPTIONS:

- Make a motion to recommend approval to the City Council
- Make a motion to recommend approval to the City Council with conditions as recommended by staff
- Make a motion to recommend denial to the City Council
- Make a motion to table or continue the hearing or review to a future meeting





Agenda Summary

2023-230

Agenda Date: 3/7/2023

Agenda Item No.: 8.e

Placement: Public Hearing - Quasi Judicial

Action Requested: Motion / Vote

P22-365 Brizon Investments, LLC - Rezoning

Location: Generally, on the northeast corner of SW Aviation Avenue and SW Port St. Lucie Boulevard

Legal Description: Port St. Lucie Section 41, Block 2894, Lots 10, 11, 12, and 13

This is a request to rezone a 1.06-acre property from Professional Office (P) to General Commercial (CG).

Submitted By: Stephen Mayer, Planner III

Executive Summary: The Applicant, Estacado Interests, is requesting rezoning of a 1.06-acre property owned by Brizon Investments, LLC., from Professional Office (P) to Commercial General (CG). The property address is 2773 Port St. Lucie Boulevard. The property is currently vacant. The property has a future land use designation of Residential, Office and Institutional (ROI). The applicant is requesting under a separate application to change the land use to Commercial General (CG), which, if granted, will be compatible with the requesting zoning of Commercial General (CG).

Presentation Information: Staff will make a brief presentation

Staff Recommendation: Move that the Board recommend approval of the rezoning request.

Alternate Recommendations:

1. Move that the Board deny the rezoning request.

Background: The applicant is requesting the rezoning application to allow the application for a special exception use for a drive-thru coffee shop at this location, which would currently not be permitted under the Professional Office zoning district.

Issues/Analysis: N/A

Special Consideration: N/A

Location of Project: Generally located on the northeast corner of SW Aviation Avenue and SW Port St. Lucie Boulevard

Attachments: 1. Staff Report; 2. Application; 3. Warranty Deed; 4. Staff Presentation



Brizon Investments, LLC
Rezoning
P22-365



Project Location Map

SUMMARY

Applicant's Request:	Rezoning a 1.06-acre property from Professional Office (P) to Commercial General (CG).
Applicant:	Estacado Interests
Property Owner:	Brizon Investments, LLC
Location:	Northeast corner of Port St Lucie Boulevard and Aviation Avenue
Address:	2773 Port St. Lucie Boulevard
Project Planner:	Stephen Mayer, Planner III

Project Description

The Applicant, Estacado Interests, is requesting rezoning of a 1.06-acre property owned by Brizon Investments, LLC., from Professional Office (P) to Commercial General (CG). The property address is 2773 Port St. Lucie Boulevard. The property is currently vacant. The property has a future land use designation of Residential, Office, Institutional (ROI). The applicant is requesting under a separate application to change the land use to Commercial General (CG), which, if granted, will be compatible with the requested zoning of Commercial General (CG).

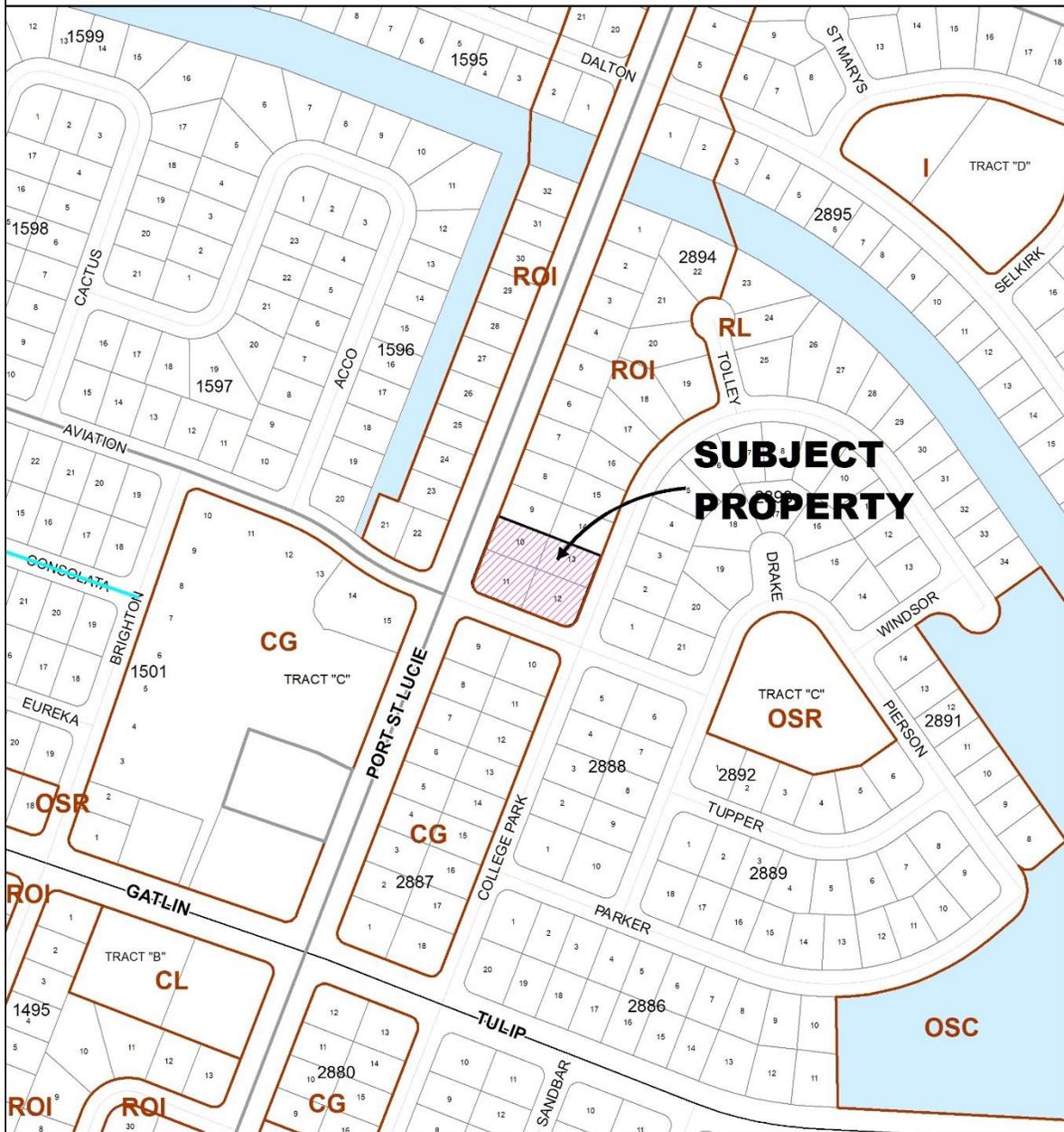
The applicant is requesting the rezoning application to allow the application for a special exception use for a drive-thru coffee shop at this location, which would currently not be permitted under the Professional Office zoning district.

Location and Site Information

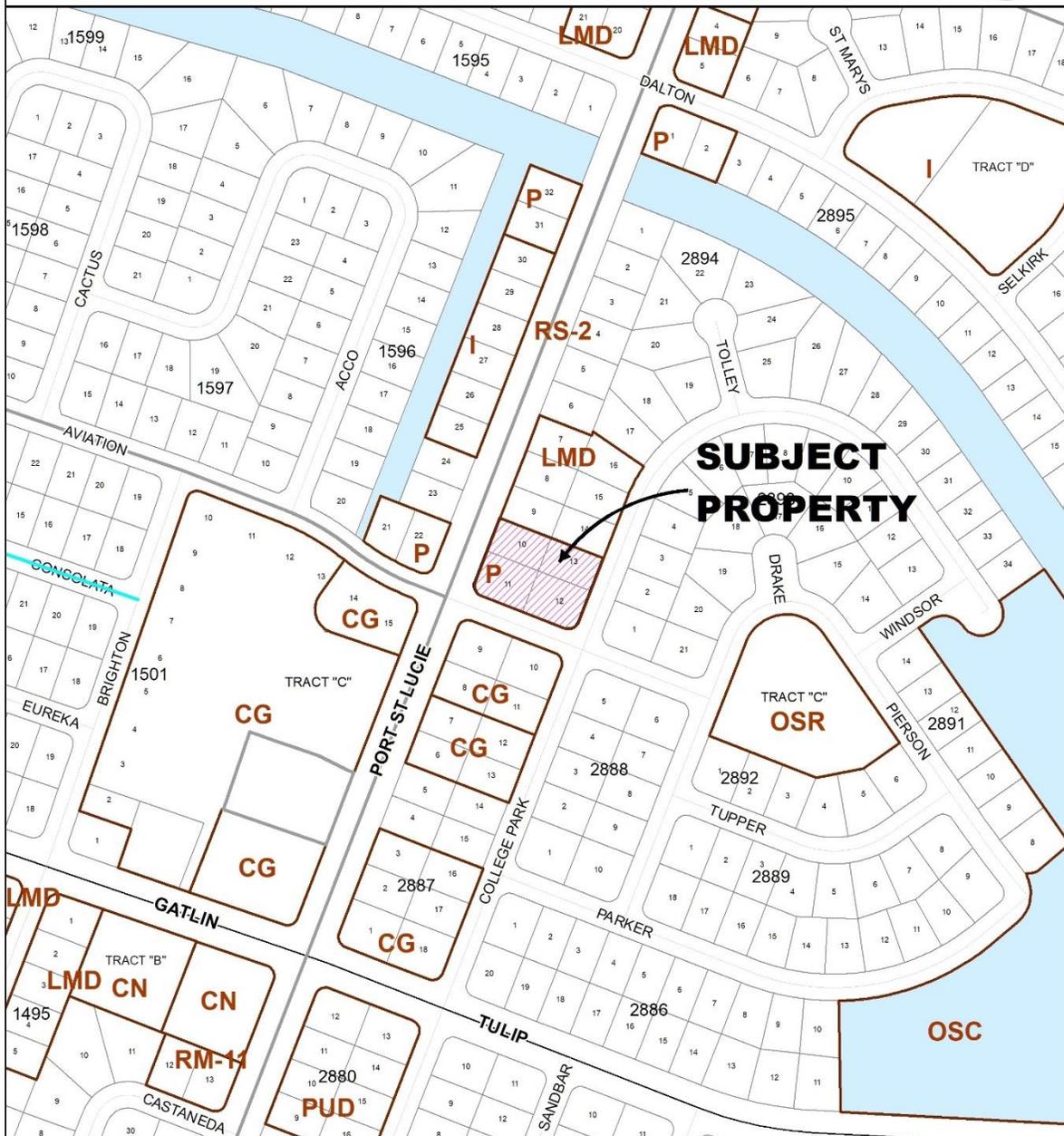
Parcel Number:	3420-705-029-9000-5
Property Size:	1.06
Legal Description:	Port St. Lucie Section 41, Block 2894, Lots 10, 11, 12 and 13
Future Land Use:	Residential, Office, Institutional (ROI)
Existing Zoning:	P (Professional Office)
Existing Use:	Vacant
Requested Zoning:	Commercial General (CG)
Proposed Use:	Coffee Shop with Drive Thru

Surrounding Uses

Direction	Future Land Use	Zoning	Existing Use
North	Residential, Office, Institutional (ROI)	Limited Mixed Use (LMD)	Institutional Use
South	Commercial General (CG)	CG	Car Wash
East	Residential Low (RL)	Residential Single Family (RS-2)	Single Family Residential
West	ROI	Professional Office (P)	Vacant



Future Land Use Map



Existing Zoning Map

IMPACTS AND FINDINGS

COMPREHENSIVE PLAN REVIEW

Land Use Consistency: The proposed rezoning is consistent with Policy 1.1.4.13 of the Future Land Use Element which establishes the compatible future land use and zoning categories. The Commercial General (CG) zoning district is listed as a compatible zoning district under the proposed General Commercial (CG) future land use classification.

FUTURE LAND USE CLASSIFICATION	COMPATIBLE ZONING DISTRICT(S)
CG (General Commercial)	CN, CG , P, GU, LMD

ZONING REVIEW

Applicant's Justification Statement: Requesting the site be rezoned to make the site compatible with the proposed future land use of General Commercial.

Staff Analysis: The applicant's proposal to rezone the subject property complies with the direction and intent of the City of Port St. Lucie Comprehensive Plan. Please note that the applicant will be required to provide a gopher tortoise survey prior to site plan approval.

RELATED PROJECTS

P22-364 - Brizon Investments, LLC Comprehensive Plan Amendment

STAFF RECOMMENDATION

The Planning and Zoning Department staff finds the request to be consistent with the direction and intent of the future land use map and policies of the City's Comprehensive Plan and recommends approval.

Planning and Zoning Board Action Options:

- Motion to recommend approval to the City Council
- Motion to recommend denial to the City Council

Please note: Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to *table* or *continue* the hearing or review to a future meeting.

REZONING APPLICATION

CITY OF PORT ST. LUCIE

Planning & Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984
(772) 871-5213

FOR OFFICE USE ONLY

Planning Dept. _____
Fee (Nonrefundable)\$ _____
Receipt # _____

Refer to "Fee Schedule" for application fee. Make checks payable to the "City of Port St. Lucie". Fee is nonrefundable unless application is withdrawn prior to the Planning and Zoning Board Meeting. **All** items on this application should be addressed, otherwise it cannot be processed. Attach proof of ownership: two copies of recorded deed. If the application includes more than one (1) lot, our Legal Department will contact you regarding execution of the required Unity of Title. Please type or print clearly in **BLACK** ink.

PRIMARY CONTACT EMAIL ADDRESS: cannon@estacadointerests.com

PROPERTY OWNER:

Name: Brizon Investments, LLC

Address: 1891 Stratford Dr., Westbury, NY 11590

Telephone No.: 772-812-9940 Email re4sale@ymail.com

AGENT OF OWNER (if any)

Name: Estacado Interests

Address: 1537 Singleton Blvd., Dallas, TX 75212

Telephone No.: 817-999-0491 Email cannon@estacadointerests.com

PROPERTY INFORMATION

Legal Description: ORT ST LUCIE-SECTION 41- BLK 2894 LOTS 10,11,12 AND 13 (MAP 44/18N) (OR 1759-71)
(Include Plat Book and Page)

Parcel I.D. Number: 3420-705-0299-000-5

Current Zoning: P - Professional

Proposed Zoning: CG - General Commercial

Future Land Use Designation: ROI Acreage of Property: 1.06

Reason for Rezoning Request: We are proposing a drive-thru coffee shop which is currently not a permitted use for professional zoning. Two other corners on this intersection are zoned general commercial.

*Signature of Owner
Cannon Maki
Hand Print Name
11/17/22
Date

Applicant


***If signature is not that of the owner, a letter of authorization from the owner is needed.**

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

02/26/20

JOANNE HOLMAN, CLERK OF THE CIRCUIT COURT - SAINT LUCIE COUNTY
File Number: 2240550 OR BOOK 1759 PAGE 71
Recorded: 07/24/03 11:07

* Doc Assump: \$ 0.00
* Doc Tax : \$ 2,065.00
* Int Tax : \$ 0.00

Prepared By and Return To:
Diane W. Palm
Fidelity National Title Insurance Company of New York
1850 SW Fountainview Blvd., Suite 103
Port St. Lucie, FL 34986

File No. 03-019-1502699

Property Appraiser's Parcel I.D.(folio) Number(s)
3420-705-0299-000/5

SS#: _____ **Return To: FIDELITY NATIONAL TITLE**
Courthouse Box 23

WARRANTY DEED

THIS WARRANTY DEED dated this 17th day of July, 2003, by Susan Tesoriero and Shirley Cherveney hereinafter called the grantor, to Brizon Investment, L.L.C., a Florida Limited Liability Company whose post office address is 2501 NW 29th Drive , Boca Raton, Florida 33434, hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all the certain land situated in St. Lucie County, Florida, viz:

Lots 10, 11, 12 and 13, Block 2894, Port St. Lucie Section Forty One, according to the plat thereof, as recorded in Plat Book 15, Page 35, 35A to 35I of the Public Records of St. Lucie County, Florida

The above described property is vacant and is not the homestead of the grantors.

Susan Tesoriero resides at 324 SE Naranja Avenue, Port St. Lucie, FL 34990.

Shirley Cherveney resides at 2278 Olympic Club Terrace, Palm City, FL 34990.

Subject to easements, restrictions, reservations, and limitations of record, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in any wise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2002.

OR BOOK 1759 PAGE 72



IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Diane W. Palm
(Witness Signature)

Diane W. Palm
(Print Name of Witness)

Celeste Fernandez
(Witness Signature)

Celeste Fernandez
(Print Name of Witness)

Shirley Cherven
Shirley Cherven

2278 Olympic Club Trce.
(Address) Palm City FL 34990

Susan Tesoriero
Susan Tesoriero

324 SE Naranja Av, PSL, FL
(Address) 34983

STATE of FLORIDA

COUNTY of ST. LUCIE

I HEREBY CERTIFY that on this day, before me, an Officer duly authorized in the State aforesaid and the County aforesaid to take acknowledgements, personally appeared Shirley Cherven and Susan Tesoriero to me known to be the person(s) described in or who has/have produced Driver licenses as identification and who executed the foregoing instrument and he/she/they acknowledged before me that he/she/they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 17th day of July, 2003.

Diane W. Palm
Notary Signature

Diane W. Palm
Printed Notary Name

My commission expires: _____



DIANE W. PALM
MY COMMISSION # DD 122067
EXPIRES June 2 2006
Funded Thru Budget Notary Services

Brizon Investments, LLC
Rezoning Request
(P22-365)

CityofPSL.com

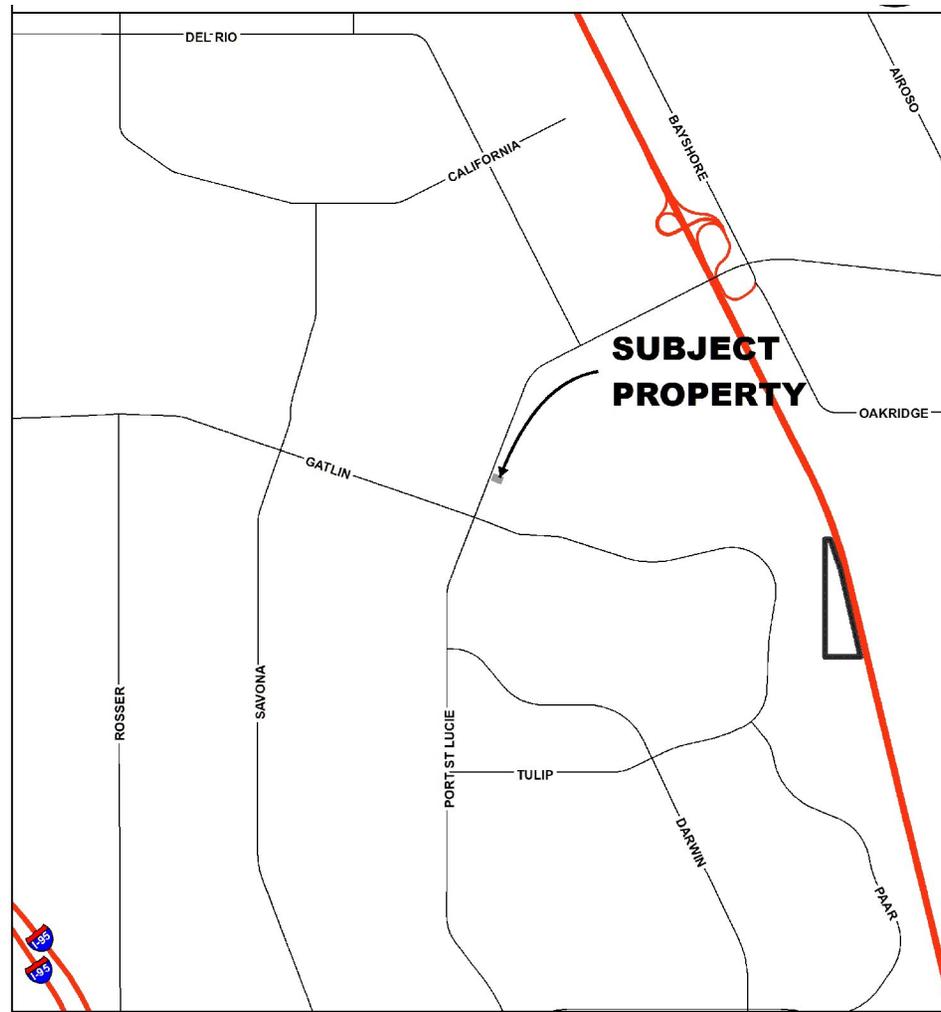


Request:

- To request approval of the rezoning of 1.06 acres, owned by Brizon Investments, LLC, from Professional Office to Commercial General; and
- The property is located on the northeast corner of Port St. Lucie Boulevard and Aviation Avenue; and
- This proposal is concurrent to a Comprehensive Plan Map Amendment for the property, which will be detailed under separate presentation; and
- Purpose of request is to allow the application for a special exception use for a drive-thru coffee shop, which would not be permitted under the Professional Office zoning district.



Location Map



CityofPSL.com



Aerial



CityofPSL.com

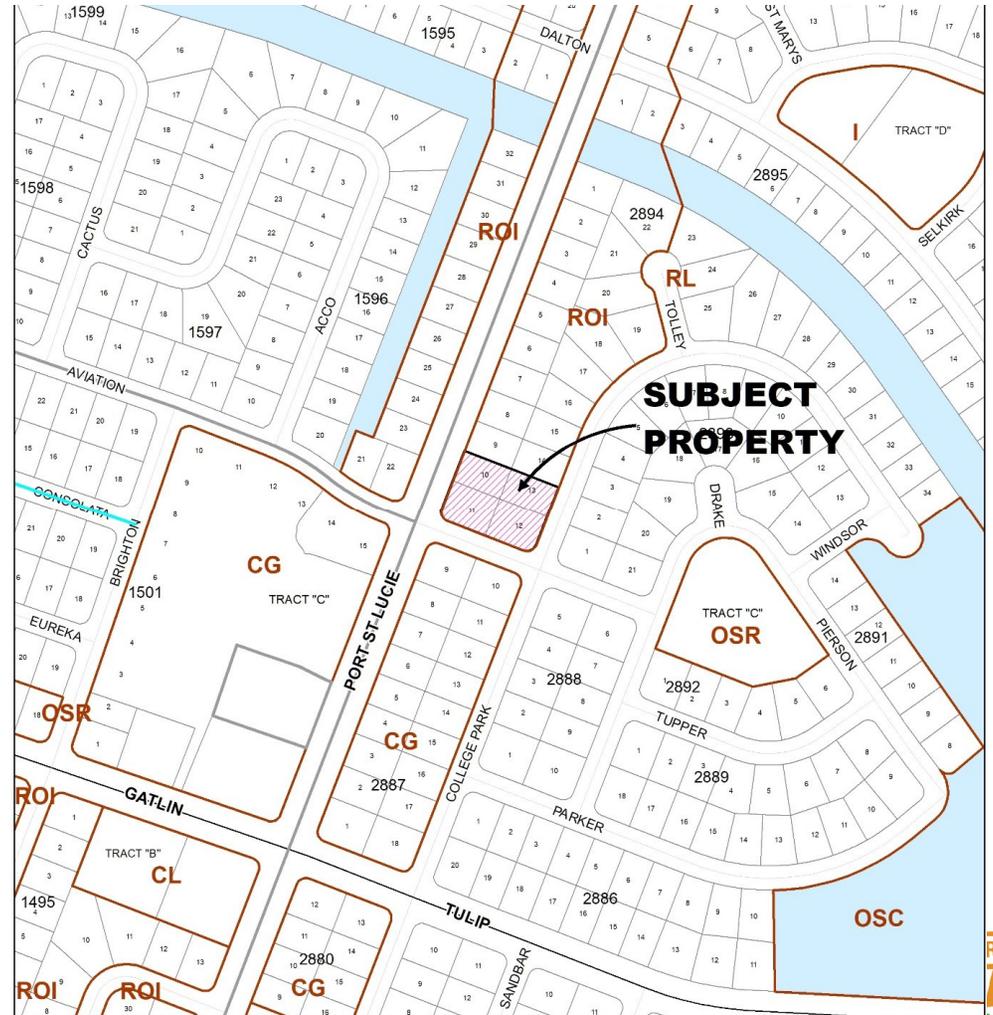
Background:

The property has an existing zoning district of Professional Office (P) and a future land use designation of Residential, Office, Institutional (ROI). In order to accommodate the proposed coffee shop with drive-thru use, the applicant is requesting to change the zoning designation to Commercial General (CG), which would allow the use as a special exception.

The four corners of this intersection are non-residential in nature, with an institutional use adjacent to the north, car wash to the south, and commercial retail to the southwest. A vacant professional office property is directly west, whereas residential single family is directly east of the site.



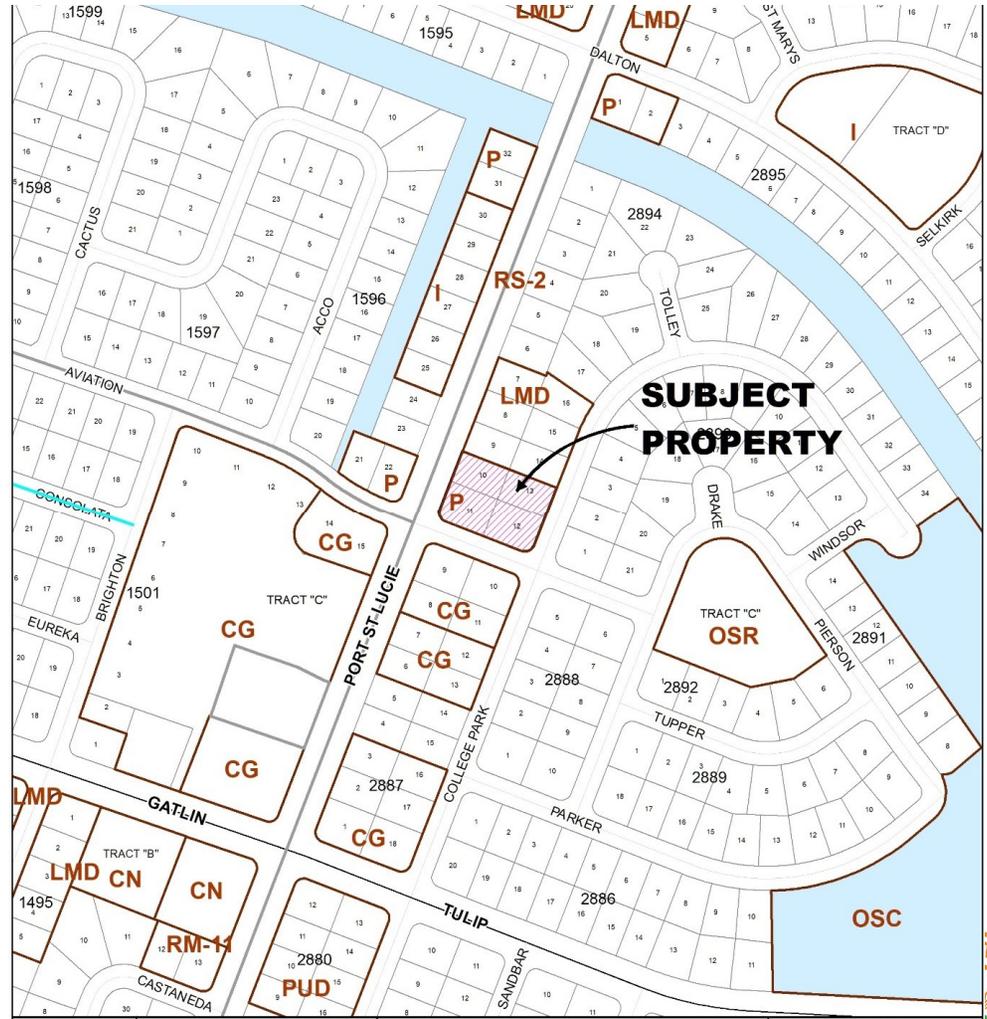
Existing
Future Land Use
Residential, Office, Institutional (ROI)



Direction	Future Land Use	Zoning	Existing Use
North	Residential, Office, Institutional (ROI)	Limited Mixed Use (LMD)	Institutional Use
South	Commercial General (CG)	CG	Car Wash
East	Residential Low (RL)	Residential Single Family (RS-2)	Single Family Residential
West	ROI	Professional Office (P)	Vacant



Existing Zoning
Professional Office (P)



Direction	Future Land Use	Zoning	Existing Use
North	Residential, Office, Institutional (ROI)	Limited Mixed Use (LMD)	Institutional Use
South	Commercial General (CG)	CG	Car Wash
East	Residential Low (RL)	Residential Single Family (RS-2)	Single Family Residential
West	ROI	Professional Office (P)	Vacant

CityofPSL.com



Policy 1.1.4.13 Future Land Use Element

<u>Future Land Use Classification</u>	<u>Compatible Zoning District</u>
CG (General Commercial)	CN, CG, P, GU, LMD



Justification

- The proposed rezoning is consistent with Policy 1.1.4.13 of the Future Land Use Element of the Comprehensive Plan which establishes the compatible future land use and zoning categories.
- The Commercial General (CG) zoning district is listed as a compatible zoning district under the proposed General Commercial (CG) future land use classification.



Planning and Zoning Staff Recommendation:

The Planning and Zoning Staff recommends approval of the rezoning request from Professional Office (P) to Commercial General (CG).





Agenda Summary

2023-243

Agenda Date: 3/7/2023

Agenda Item No.: 8.f

Placement: Public Hearing - Quasi Judicial

Action Requested: Motion / Vote

P23-005 Crb of Florida - Caribbean American Club - Special Exception Use

Location: 3771 SE Jennings Road

Legal Description: A portion of Lot 2, Block 1, of St. Lucie Gardens Plat 1

The request is for the approval of a Special Exception Use (SEU) to allow an enclosed assembly area over 3,000 square feet in the Service Commercial (CS) Zoning District as per Section 158.126(D)(2) for the Zoning Code for a 5,022 square foot cultural club.

Submitted By: Bethany Grubbs, Planner III

Executive Summary: The applicant is requesting a special exception use to allow an enclosed assembly area of over 3,000 square feet for a cultural club in the CS (Service Commercial) zoning district per Section 158.126 (D) (2) of the Zoning Code. The property is currently developed with an existing 5,022-square-foot office building and a telecommunications tower. The cultural club proposes to occupy the existing 5,022-square-foot building, which was constructed in 1988 for a radio station.

Presentation Information: Staff is requesting to table this item.

Staff Recommendation: Move the Board table the Special Exception Use application until a date uncertain.

Background: N/A

Issues/Analysis: N/A

Special Consideration: N/A

Location of Project: 3771 SE Jennings Road, on the south side of SE Jennings Road and west of SE Lennard Road.

Attachments: 1. Memo to Table

CITY OF PORT ST. LUCIE
Planning and Zoning Department
121 S.W. Port St. Lucie Blvd., Building B
Port St. Lucie, FL 34984-5099
www.cityofpsl.com



MEMORANDUM

TO: Planning and Zoning Board

VIA: Mary Savage-Dunham, Planning Director

FROM: Bethany Grubbs, Planner III *BG*

DATE: February 24, 2023

RE: Crb of Florida – Caribbean American Club – Special Exception Use (P23-005)

- The Planning and Zoning Department is requesting to **table this application to a date uncertain.**
- The Planning and Zoning Department advertised this application for the March 7, 2023 Planning and Zoning Board Meeting.



Agenda Summary

2023-242

Agenda Date: 3/7/2023

Agenda Item No.: 8.g

Placement: Public Hearing - Quasi Judicial

Action Requested: Motion / Vote

P23-015 Weun Geem, Kim - Emerald Plaza at Darwin, LLC - Landscape Modification

Location: 3201 SW Yale Street

Legal Description: Darwin Plaza Lot 1

This is a request to substitute landscaping in lieu of an architectural buffer wall per Section 154.12 of the City of Port St. Lucie Code of Ordinances.

Submitted By: Bethany Grubbs, Planner III

Executive Summary: The applicant is requesting a landscape modification to not build the 6-foot high architectural buffer wall as per Section 154.12 of the Landscape and Land Clearing Code. The subject property, approximately 1.1 acres in size, currently has a minor site plan (P23-014) under review, to construct a Hulett pest control office and flex space located at the NW corner of Darwin Boulevard and SW Yale Street.

Presentation Information: Staff will provide a presentation.

Staff Recommendation: Move that the board review the landscape modification application and vote to approve, approve with conditions, or deny the request.

Background: See attached staff report.

Issues/Analysis: See attached staff report.

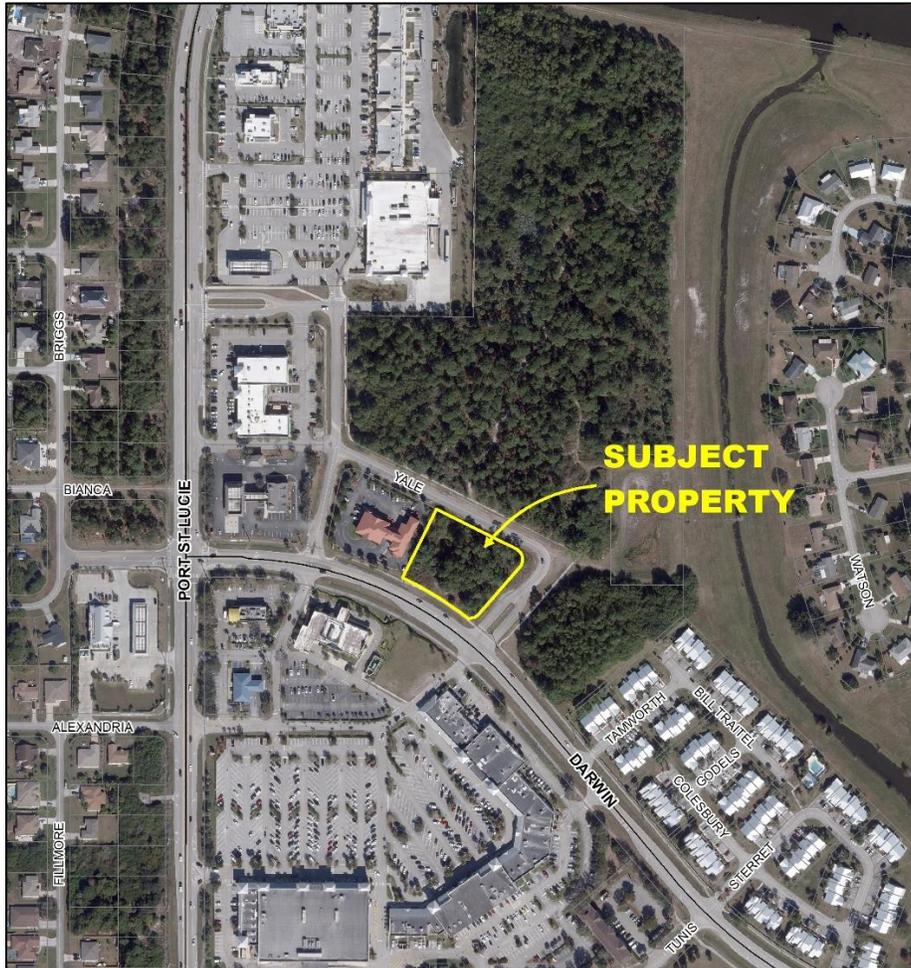
Special Consideration: See attached staff report.

Location of Project: NW corner of Darwin Boulevard and SW Yale Street

Attachments: 1. Staff Report, 2. Conceptual Landscape Plans, 3. Application, 4. Owner's Consent Form, 5. Warranty Deed, 6. Sympatico PUD 330-Unit Concept Plan, 7. Staff Presentation



**Weun Geem, Kim - Emerald Plaza at Darwin, LLC
 Landscape Modification
 P23-015**



Project Location Map

SUMMARY

Applicant's Request:	A request to substitute landscaping in lieu of an architectural buffer wall per Section 154.12 of the City of Port St. Lucie Code of Ordinances.
Agent:	Brad Currie, Engineering Design & Construction, Inc.
Applicant / Property Owner:	Emerald Plaza at Darwin, LLC
Location:	NW corner of Darwin Boulevard and SW Yale Street
Address:	3201 SW Yale Street
Project Planner:	Bethany L. Grubbs, Planner III

Project Description

The subject property, approximately 1.1 acres in size, currently has a minor site plan (P23-014) under review, to construct a 6,500-square-foot Hulett pest control office and flex space building located at the NW corner of Darwin Boulevard and SW Yale Street. Two proposed vehicular connections are planned; one for the main access to the site from Darwin Boulevard and a secondary limited access for the company vehicle storage lot from Yale Street.

The proposed 330-unit residential subdivision to be known as Sympatico PUD is located opposite the Yale right-of-way, to the north and east of the subject property. A 6-foot wall is required in a 10-foot landscape buffer strip where residential uses abut the property to the side or rear per Section 154.03(C)5 of the Landscape and Land Clearing Code. The applicant is requesting a landscape modification to not build the 6-foot high architectural buffer wall as per Section 154.12 of the Landscape and Land Clearing Code.

Previous Actions and Prior Reviews

On February 22, 2023, the Site Plan Review Committee recommended approval of the minor site plan with comments and conditions.

Review Criteria

An application for a landscape modification is reviewed for consistency with Article I of the Landscape and Land Clearing Code, Section 154.12. Pursuant to Section 154.12(F)1, the exemption or modification to landscape buffer wall requirement is exempted from City Council review.

Review by Planning and Zoning Board: Requests to substitute landscaping for an architectural wall that is a required feature of a landscape buffer strip shall be considered by the Planning and Zoning Board at a public hearing. The procedures outlined in section 154.12(B)-(E) shall be utilized for such hearings. Final action on the application (approval or denial) is in the form of an Order of the Planning and Zoning Board following a quasi-judicial public hearing.

Public Notice Requirements

Notice of the landscape modification was mailed to property owners within a maximum of 750 feet of the subject property on February 23, 2023.

Location and Site Information

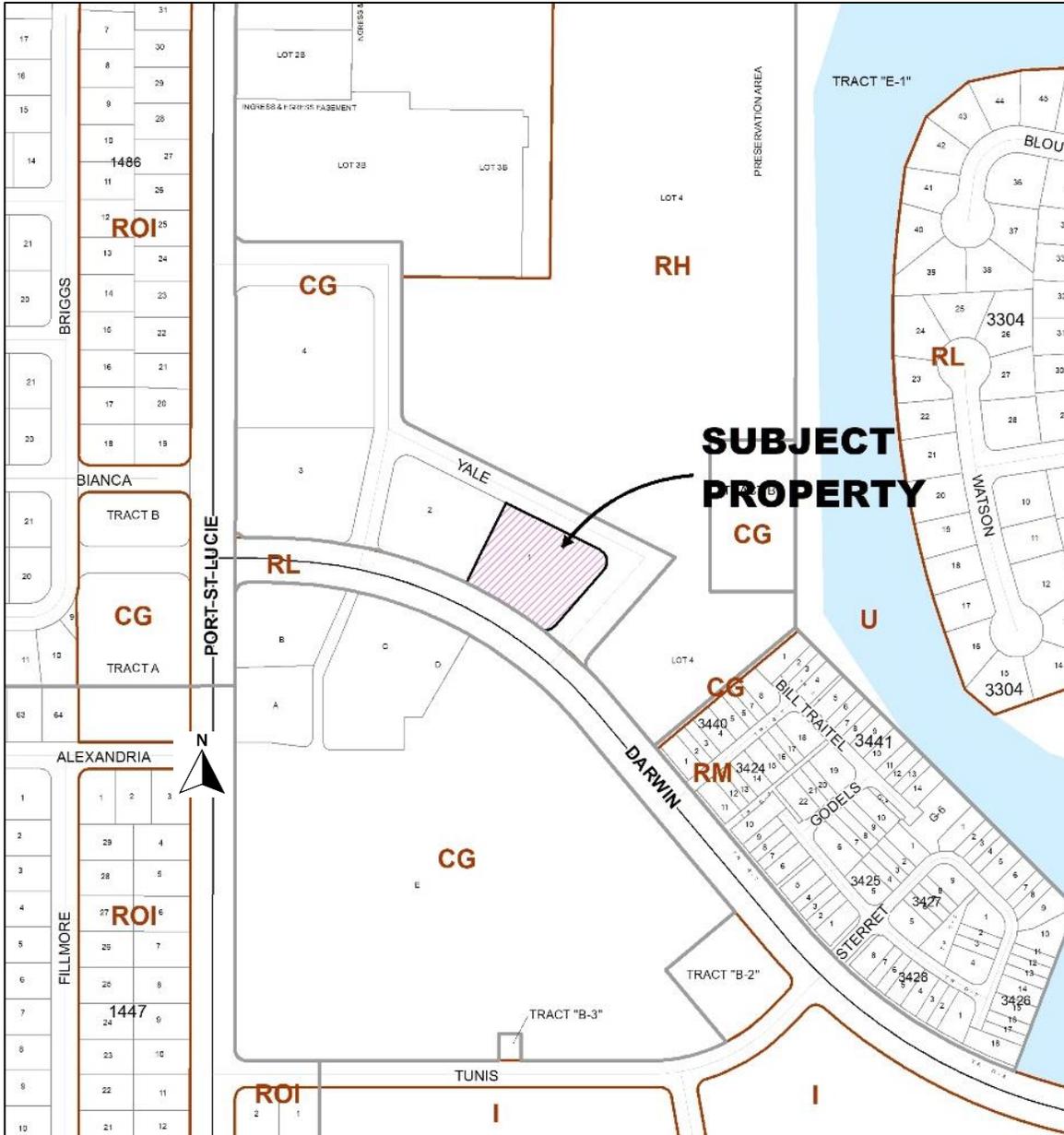
Parcel Number:	3420-714-0003-000-2
Property Size:	1.152 acres
Legal Description:	Darwin Plaza Lot 1
Existing Future Land Use:	CG (General Commercial)
Existing Zoning:	CG (General Commercial)
Existing Use:	Vacant
Proposed Use:	Hulett pest control office

Surrounding Uses

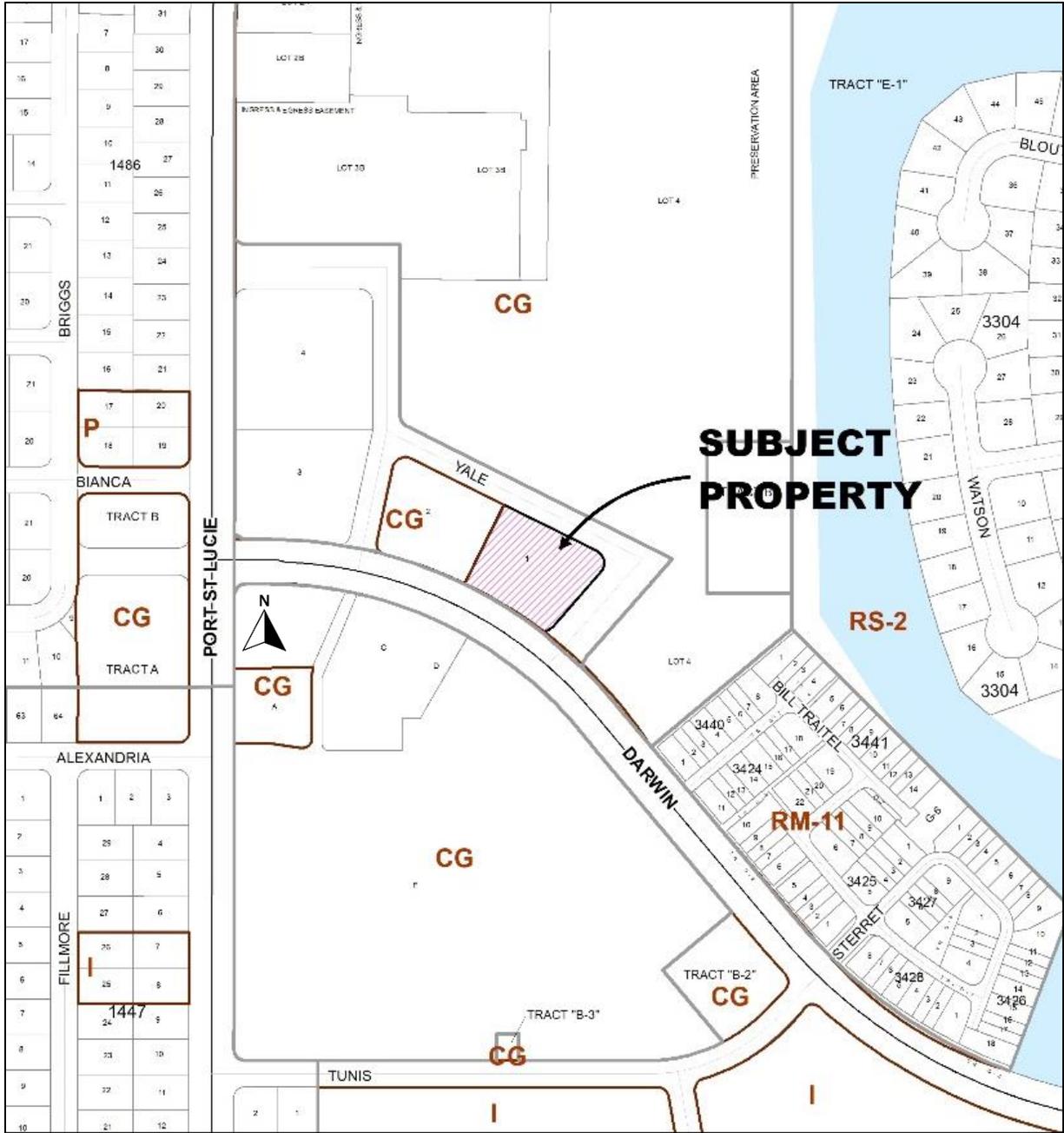
Direction	Future Land Use	Zoning	Existing Use
North	RH	CG	Vacant (<i>pending rezoning for townhomes and amenity center</i>)
South	CG	CG	Free standing emergency center and commercial shopping center

East	RH	CG	Vacant (pending rezoning for townhomes and amenity center)
West	CG	CG	Tire and automotive repair shop

CG – General Commercial, RH – High Density Residential



Land Use Map



Zoning Map

IMPACTS AND FINDINGS

Section 154.12 (B) of the Landscape and Land Clearing Code establishes the duties of the Planning and Zoning Board in authorizing a landscape modification. The Planning and Zoning Board may authorize a landscape modification from the provisions of the Landscape and Land Clearing Code. Requests for landscape exemption or modification to landscape buffer wall requirements will be based on review of detailed plans identifying the size, quantity, and location of the vegetation to be preserved and installed along the proposed site's boundaries, the use(s) proposed for the property seeking the modification or exemption, and the proposed and existing uses surrounding uses. The Planning and Zoning Board should consider the criteria listed under Section 154.12 (B) of the Landscape and Clearing Code. The applicant's response to this criterion is attached to the application. Staff's review is provided below:

Compatibility with exemption or modification to landscape buffer wall criteria Section 154.12 (B).

- 1) The total area dedicated to a buffer will be greater than what the code would impose without the modification.
 - *Staff Findings: The total area dedicated to the buffer will not be greater than what the code imposes without the modification. The proposed site and landscape plans depict the code minimum 10' landscape buffer strip.*
- 2) Outside activities and hours of operation for the proposed use(s).
 - *Staff Findings: There are no outside activities except for the parking lot for customers and the fleet of company vehicles. Hours of operation are Monday through Friday 7:00 AM – 6:00 PM, Saturday: 8:00 AM – 2:00 PM, and closed on Sunday.*
- 3) Natural and man-made features of uses that provide distance and separation from those existing uses to be buffered.
 - *Staff Findings: SW Yale Street is a 60-foot road right-of-way that bifurcates the subject property and the residential property to the north.*
- 4) Other factors that may be important to a decision.

Staff Findings: The staging area for the Hulett pest control vehicles is located on the north side of the property. The access for this lot is proposed from Yale Street, where employees will be trading their personal vehicles for company vehicles to start their daily routes, and then again when their shift ends for the day. Landscape buffers and walls are required as a means to buffer incompatible uses and improve the aesthetic quality of a community. Waiving the wall could negatively impact future residents in the Sympatico PUD by causing excess light and headlight glare and noise. The concept plan, which has been provided in the agenda packet for review, shows the proposed multi-family structures and community bus stop in close proximity to the company vehicle parking area. The main entrance to the residential development and amenity center is planned to the east, which will also be impacted.

The commercial uses adjacent to the subject property were not required to construct walls because the land use on the adjacent property was General Commercial (CG) at that time. The existing commercial buildings (gas station, tire shop, and shopping center) were constructed prior to the land use map amendment for the Sympatico PUD. (Prior to 2017, the 22-acre property held a General Commercial (CG) land use.)

RELATED PROJECTS

P23-014 A minor site plan for a 6,500-square-foot office building with flex space.

STAFF RECOMMENDATION

If the Board finds that the application is consistent with the criteria as listed in Section 154.12 (B) of the City code (listed above), then the Board may:

- Motion to approve
- Motion to approve with conditions

If the Board finds that the landscape modification application is inconsistent with the criteria as listed in Section 154.12 (B) of the City code, then the Board may:

- Motion to deny

Should the Board need further clarification or information from either the applicant and/or staff, the Board may:

- Motion to table or continue the hearing or review to a future meeting

(NOTE TO APPLICANTS: Any request that is denied by the Planning and Zoning Board may be appealed to the Board of Zoning Appeals. Appeal applications are made through the City Clerk's office and must be submitted within 15 days after the Planning and Zoning Board hearing).

Landscape Data

Perimeter Landscaping Adjacent to Road Right-of-way

Trees
 Required - (1 Tree/30 L.F.) - 684 L.F./30 = 23 Trees
 Provided - 23 Trees

Shrubs
 Required - Continuous Hedge 2' O.C. = 342 Shrubs
 Provided - 342 Shrubs

Perimeter Landscaping Adjacent to Another Property

Trees
 Required: (1 Tree/30 L.F.) - 200 L.F./30 = 7 Trees
 Provided: 7 Trees

Shrubs
 Required: Continuous Hedge 2' O.C. = 100 Shrubs
 Provided: 100 Shrubs

Parking Area Interior Landscaping

Required Terminal/Interior Island Trees - 1 Tree per Terminal/Interior Island = 12 Trees
 Total Terminal/Interior Island Trees Provided = 12 Trees

Palm Requirements

Required - No more than 25% of required trees may be palms
 Total Trees & Palms = 54
 Total Palms = 0 x 2 @ 2:1 = 0
 Provided: Palms = 0 / 2 = 0 / 54 = 0%

Total Trees:
 Total Trees Required: 54
 Total Trees Provided: 54
 54 Trees + 0 Palms @ 2:1 = 0 Trees = 54 Trees

Native Plants

Trees
 Required: 50% of all required trees shall be native
 Total Trees = 54
 Provided: Native Trees = 41 / 54 = 75%

Shrubs
 Required: 25% of all required shrubs shall be native
 Total Shrubs = 650
 Provided: Native Shrubs = 650 / 650 = 100%

Flowering Trees

Required: 20% of all required trees shall be flowering
 Total Trees = 54 (Not Including Palms) x 20% = 11
 Provided: Flowering Trees = 11 = 20%

Landscape Island Evergreen Shade Trees
 Required: 75% of all required trees located within landscape islands shall be evergreen shade trees
 Total Landscape Islands = 12 x 75% = 9 Trees
 Provided: Landscape Islands with Evergreen Shade Trees = 9 = 75%

Tree Species Mix

Required: When 41+ trees are required the minimum species mix = 5
 Provided: 9

Building Facades

Trees
 Required - 1 Tree / 30 L.F. of Building Perimeter
 352 L.F. of Building Perimeter / 30 L.F. = 12 Trees
 Provided - 12 (Some relocated to west buffer for additional screening)

Shrubs

Require - 1 Shrub / 1.5 L.F. of Building Perimeter
 Excluding Paved Access Areas = 275 L.F. / 1.5 = 184 Shrubs
 Provided - 184 Shrubs

Dumpster

Required - Hedge / Vine 2' O.C. 48 L.F. / 2 = 24 Shrubs
 Provided - 24 Shrubs

Port St. Lucie Utility Systems Department Notes

- No landscaping shall be planted in such a manner as to adversely affect drainage or utility easements.
- Trees with a maximum mature height greater than 10 feet shall not be planted below overhead power lines. Such trees with a maximum mature height less than the height of the overhead power line shall be selected from Appendix C, Table 1, Type B Trees. No tree shall be planted within 10 feet of any existing utility pole, guy wire, or pad mounted transformer (See FPL's publication "Plant the Right Tree in the Right Place" for placement and maintenance requirements).
- All landscaping within Port St. Lucie Utility Systems Department (PSLUSD) utility easements shall comply with PSLUSD technical specifications, policies, and codes.
- Trees shall not be planted within ten (10) feet of any PSLUSD underground infrastructure.
- In locations where the perimeter landscape buffers must be designed to be located in utility easements due to site constraints, the trees, palm trees and shrubs shall be selected from the list in §153.04B(3)(c) and used in these areas to meet the landscape buffer requirements. Trees and palm trees may be planted not less than seven (7) feet from the underground PSLUSD infrastructure. The remainder of the landscape strip shall be planted with grass and ground cover.

Port St. Lucie Engineering Department Notes

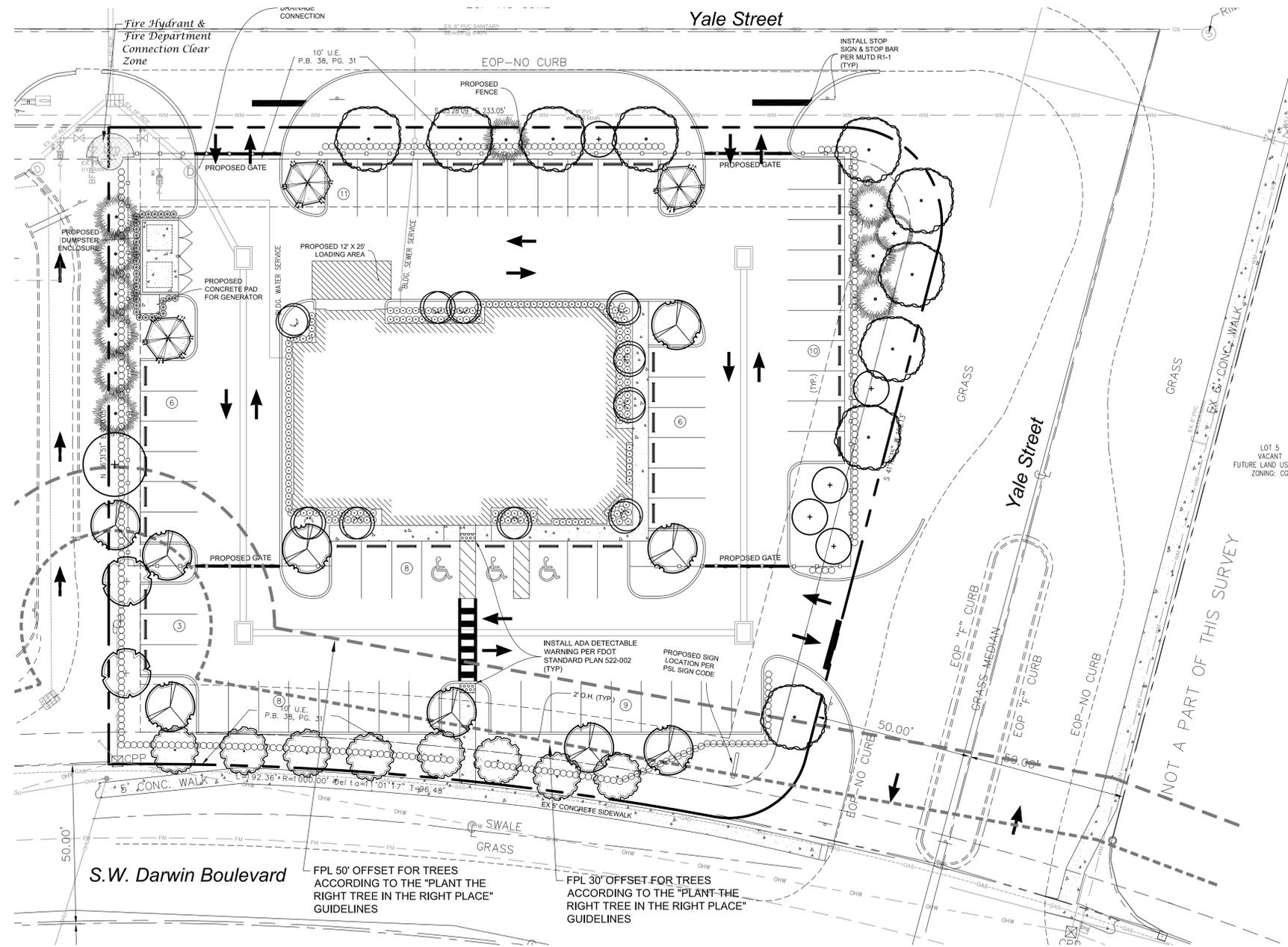
- The landscape plans meet the City's sight distance and clear zone requirements from Section 158.204 of the Code for 10' requirements.

General Notes

- No plant substitutions can be made without the City of Port St. Lucie's approval.
- All required landscape improvements must be inspected and approved by the City of Port St. Lucie prior to the issuance of a Certificate of Occupancy.
- Any existing landscaping, sod, or irrigation damaged or destroyed during the construction shall be replaced prior to the final inspection.
- All prohibited, exotic and invasive species shall be removed from the entire site prior to issuance of certificate of occupancy.
- Planting adjacent to fire hydrants is to have a minimum clear radius of 7.5' as required by the NFPA Uniform Fire Code Florida Edition 18.3.4.1 Hydrants. All fire hydrants and fire check valves shall have a minimum of 7.5' from the front and sides with 4' from the rear to all landscape material per the Florida Fire Prevention Code.

Plant List

QTY	SYM	SPECIES	COMMON NAME/DESCRIPTION	SIZE	SPACING	REMARKS	DROUGHT TOLERANCE
		CANOPY / ORNAMENTAL TREES					
1E'		ILEX x ATTENUATA 'EAGLESTON'	EAGLESTON HOLLY	12 x 5, 2.5' CAL.	A.S.	FULL CANOPY, 4' C.T. MN.	HIGH
LI		LAGERSTROEMIA INDICA 'TUSKEGEE'	CREPE MYRTLE 'RED'	12 x 6, 2.5' CAL.	A.S.	FULL CANOPY, 4' C.T. MN.	HIGH
LI		LIGUSTRUM JAPONICUM	LIGUSTRUM TREE FORM	12 x 5, 2.5' CAL.	A.S.	FULL CANOPY, 4' C.T. MN.	HIGH
MG*		MAGNOLIA GRANDIFLORA	LITTLE GEM MAGNOLIA	12 x 5, 2.5' CAL.	A.S.	FULL CANOPY, 4' C.T. MN.	HIGH
MG-1*		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA D.D. BLANCHARD	12 x 5, 2.5' CAL.	A.S.	FULL CANOPY, 4' C.T. MN.	HIGH
PE*		PINUS ELLIOTTI Densa	SOUTH FLORIDA SLASH PINE	12 x 5, 2.5' CAL.	A.S.	FULL CANOPY, 4' C.T. MN.	HIGH
QL*		QUERCUS LAURIFOLIA	LAUREL OAK	14 x 5, 2.5' CAL.	A.S.	FULL CANOPY, 4' C.T. MN.	HIGH
QV*		QUERCUS VIRGINIANA	LIVE OAK	14 x 5, 2.5' CAL.	A.S.	FULL CANOPY, 4' C.T. MN.	HIGH
TD*		TAXODIUM DISTICHUM	BALD CYPRESS	12 x 5, 2.5' CAL.	A.S.	FULL CANOPY, 4' C.T. MN.	HIGH
PT		PTYCHOSPERMA ELEGANS	ALEXANDER PALM	8' O.A.	A.S.	DOUBLE TRUNKS	HIGH
		SHRUBS / GROUNDCOVERS / VINES					
F05*		FORESTIERA SEGREGATA	FLORIDA PRIVET	#3, 2' x 2'	2' O.C.	FULL & THICK	HIGH
MYR*		MYRICANTHES FRAGRANS	SIMPSON STOPPER	#3, 2' x 2'	2' O.C.	FULL & THICK	HIGH
MYR-1*		MYRICANTHES FRAGRANS	SIMPSON STOPPER	#7, 4' x 2'	2' O.C.	FULL & THICK	HIGH
S0D-1		PASPALUM NOTATUM	BAHIA SOD	SEE SPECS			HIGH
S0D		STENOTAPHRUM SECUNDATUS	ST. AUGUSTINE SOD	SEE SPECS			LOW - MEDIUM
			* = FLORIDA NATIVE				



Conceptual Design Group, Inc.
 Landscape Architecture - Site Planning
 900 East Ocean Boulevard, Suite 130d
 Stuart, Florida 34994
 (772) 344-2340
 LC: 26000198

Hulett
 3201 S.E. Yale Street
 City of Port St. Lucie, Florida

Jeffrey W. Smith, RLA
 Florida Registration Number: LA 0001635

Job No. 22-1106
 Drawn By JWS
 Submittal Dates 1-16-2023

Revision Dates

PSLUSD Project Number:

North
 Scale: 1" = 20'

CL-1 of 1
 City Project Numbers:

Conceptual Landscape Plan

LANDSCAPE MODIFICATION APPLICATION

CITY OF PORT ST. LUCIE
Planning & Zoning Department
121 SW Port St. Lucie Blvd.
Port St. Lucie, Florida 34984
(772) 871-5213

FOR OFFICE USE ONLY

Planning Dept _____
Fee (Nonrefundable)\$ _____
Receipt # _____

Refer to "Fee Schedule" for application fee. Make check payable to the "City of Port St. Lucie. Fee is nonrefundable unless application is withdrawn prior to Planning and Zoning Board meeting. **Attach two copies of proof of ownership (e.g. warranty deed, affidavit), and a copy of recent survey.**

PRIMARY CONTACT EMAIL ADDRESS: alejandrotoro@edc-inc.com

PROPERTY OWNER:

Name: Weun Geem, Kim / Emerald Plaza at Darwin LLC
Address: 6214 Pilgrims Rest Rd. East, Warrenton, VA 20187
Telephone No. 917-903-7308 Email njkim625@gmail.com

APPLICANT (IF OTHER THAN OWNER, ATTACH AUTHORIZATION TO ACT AS AGENT):

Name: Alejandro Toro / Engineering Design & Construction, Inc (Authorized Agent)
Address: 10250 SW Village Parkway Suite 201, Port St. Lucie, FL 34987
Telephone No. 772-462-2455 Email alejandrotoro@edc-inc.com

SUBJECT PROPERTY:

Legal Description: DARWIN PLAZA LOT 1 (OR 2944-1688)
Parcel I.D. Number: 3420-714-0003-000-2
Address: 3201 SW Yale Street, Port St. Lucie , FL 34953
Current zoning classification General Commercial Zoning (CG)

Description of request and applicable conditions/circumstances justifying request (continue on separate sheet, if necessary). A landscape plan showing the proposed landscaping, prepared by a registered landscape architect, and reviewed by the site plan committee is required for City Council approval.

On Behalf of the applicant, EDC is requesting a waiver to the wall requirements associated with the development of the Hulett Office at 3201 SW Yale Street. To the west of the subject property lies parcel 3420-714-0004-000-9 which now operates as a carwash and tire shop does not have any walls or opaque fences. Parcel 3420-714-0005-000-6 which operates as a gas station is also lackign walls/fencing for screening. Lastly, parcel 3420-714-0006-000-3 which operates as a commercial plaza does not have any walls or opaque fences to screen it from any adjacent properties.

It is our professional opinion that it would be unfair for the owner/developer of 3201 SW Yale Street to require a buffer wall/fence as all other properties on SW Yale Street do not currently have one.

 Alejandro Toro 01/17/2023
Signature of Applicant Hand Print Name Date

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

EMERALD PLAZA AT DARWIN, LLC
3201 SW Yale Street
Port St. Lucie, FL 34953

AGENT CONSENT FORM

Project Name: Hulett Office – 3201 SW Yale St.

Parcel ID: 3420-714-0003-000-2

BEFORE ME THIS DAY PERSONALLY APPEARED Weun Geen Kim, WHO BEING DULY SWORN, DEPOSES AND SAYS THE FOLLOWING:

I hereby give CONSENT to Engineering Design & Construction, Inc. to act on my behalf, to submit or have submitted applications and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining all City, County and State permits for completion of the project indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application for the proposed use of a commercial development.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 5th day of Jan., 2023, by Weun Geen Kim (Name of Person Acknowledging) who is personally known to me or who has produced VA Driver's License (type of identification) as identification and who did (did not) take an oath.

Gretchen M. Shreve
Notary Signature

Weun Geen Kim
Owner's Signature

Gretchen M. Shreve
Printed Name of Notary

Weun Geen Kim
Owner's Name

(Notary Seal)
GRETCHEN M SHREVE
NOTARY PUBLIC
COMMONWEALTH OF VIRGINIA
#7807080 COMM. EXP. 07/31/2026

6214 Pilgrims Rest Rd. East
Street Address

Warrenton, VA 20187
City, State, Zip

07/31/2026
My commission expires

919-903-7308 / njkim625@gmail.com
Telephone / Email

Prepared by and return to:
Laurie Rusk Sewell, Esq.
Laurie Rusk Sewell, P.A.
3571 S.W. Corporate Parkway
Palm City, FL 34990
772-223-0106
File Number: 1322.007 Lot 1

[Space Above This Line For Recording Data]

Special Warranty Deed

This Special Warranty Deed made this 11th day of February, 2008 between **DIAMOND PLAZA, LLC**, a Florida limited liability company whose post office address is 3222 SW Yale Street, Port Saint Lucie, FL 34952, grantor, and **EMERALD PLAZA AT DARWIN, LLC**, a Florida limited liability company whose post office address is 801 Brickell Key, Suite 2908, Miami, FL 33131, grantee:

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Saint Lucie County, Florida**, to-wit:

Lot 1, DARWIN PLAZA, according to the map or plat thereof as recorded in Plat Book 38, page 31, Public Records of St. Lucie County, Florida.

(Also known as Lot 1, in DARWIN PLAZA, being a Replat of Tract "A" of the First Replat in Port ST. Lucie Scacion Forty-Two as recorded in Plat Book 18, Pages 18 and 18A-18J, in the Public records of St. Lucie County, Florida; a Subdivision lying in Section 18 and 19, Township 37 South, Range 40 East.)

Parcel Identification Number: 3420-714-0003-000/2

Subject to taxes for 2008 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record.

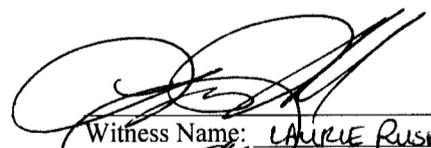
Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

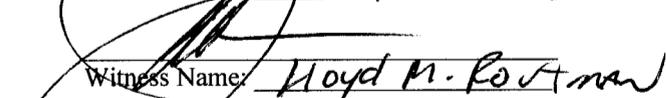
To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantors.

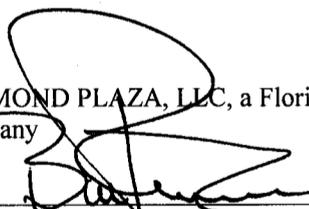
In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

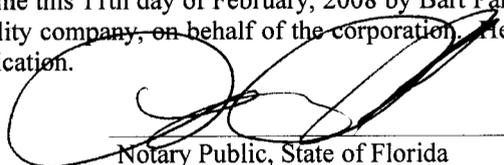

Witness Name: Laurie Rusk Sewell


Witness Name: Lloyd M. Fortman

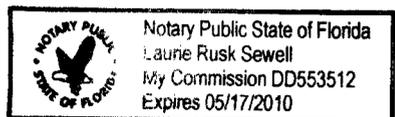
State of Florida
County of Martin


DIAMOND PLAZA, LLC, a Florida limited liability company
By: Bart Panessa, Managing Member
(corporate seal)

The foregoing instrument was acknowledged before me this 11th day of February, 2008 by Bart Panessa, Managing Member of DIAMOND PLAZA, LLC, a Florida limited liability company, on behalf of the corporation. He is personally known to me or has produced a driver's license as identification.


Notary Public, State of Florida

[Notary Seal]



Printed Name: _____

My Commission Expires: May 17, 2010

PHASE I - 17 ACRES

PHASE II - 22 ACRES







TRAIL
END

TRAIL DISTANCE: 2,674 FT

TRAIL
ENTRY

PSL SITE PLAN

COLOR SITE PLAN



*LANDSCAPE SHOWN FOR ILLUSTRATION PURPOSES ONLY.

SITE DATA		
	SF	ACRES
AREA	958,152.00	22.00
AREA LAKE	71,303.00	1.64
	#	DUA
UNITS	324	
RESIDENTIAL DENSITY		14.73
24 UNIT BLDG (5) /3 STORIES		
1 BEDROOM UNIT	30	
2 BEDROOM UNIT	60	
3 BEDROOM UNIT	30	
39 UNIT BLDG (4) /3 STORIES		
1 BEDROOM UNIT	84	
2 BEDROOM UNIT	72	
3 BEDROOM UNIT	0	
48 UNIT BLDG (1) /3 STORIES		
1 BEDROOM UNIT	24	
2 BEDROOM UNIT	24	
3 BEDROOM UNIT	0	
TOTAL 1 BEDROOM	138	
TOTAL 2 BEDROOM	156	
TOTAL 3 BEDROOM	30	
TOTAL UNITS	324	
	REQUIRED	PROVIDED
1.5 PARKING SPACES PER EACH 1 BEDROOM UNIT	207	207
2 PARKING SPACES X EACH 2 BDRM OR MORE UNIT	372	372
1 GUEST PARKING PER EVERY 5 UNITS	65	66
PARKING TOTAL	648	649
PARKING PER UNIT	2.00	2.00





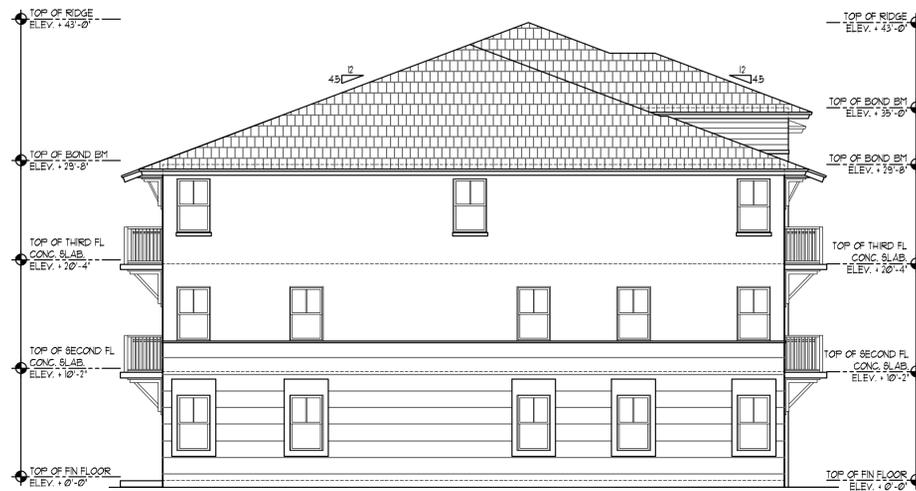






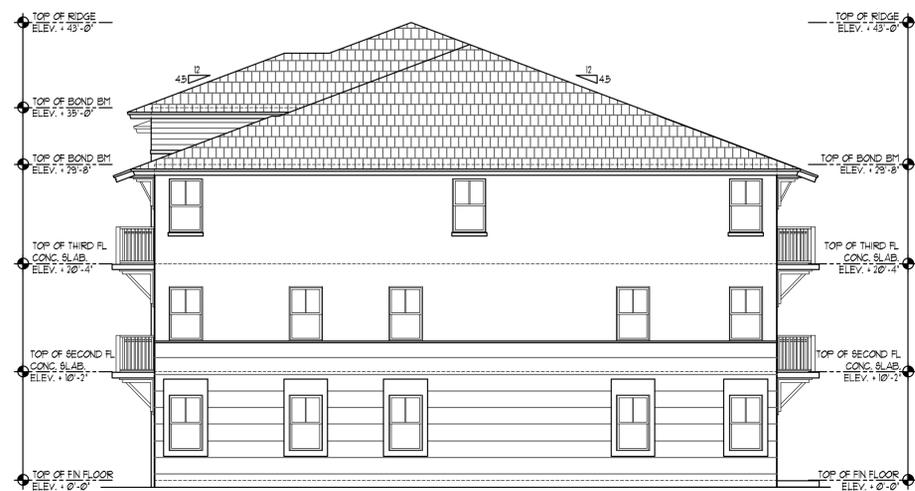






LEFT SIDE ELEVATION
SEE ENLARGE PLANS SHEET A-5.6

SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION
SEE ENLARGE PLANS SHEET A-5.5

SCALE: 1/8" = 1'-0"



REAR ELEVATION

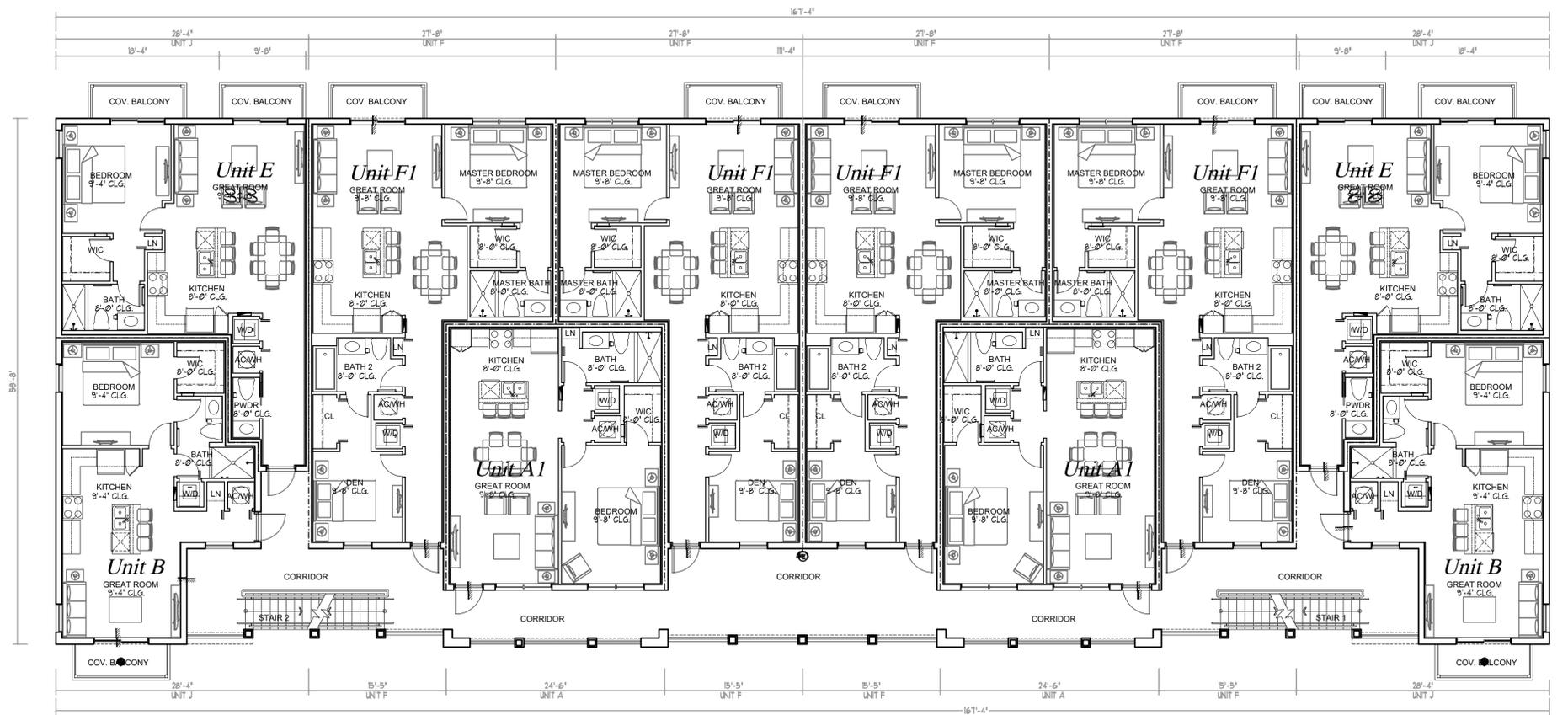
SCALE: 1/8" = 1'-0"



FRONT ELEVATION

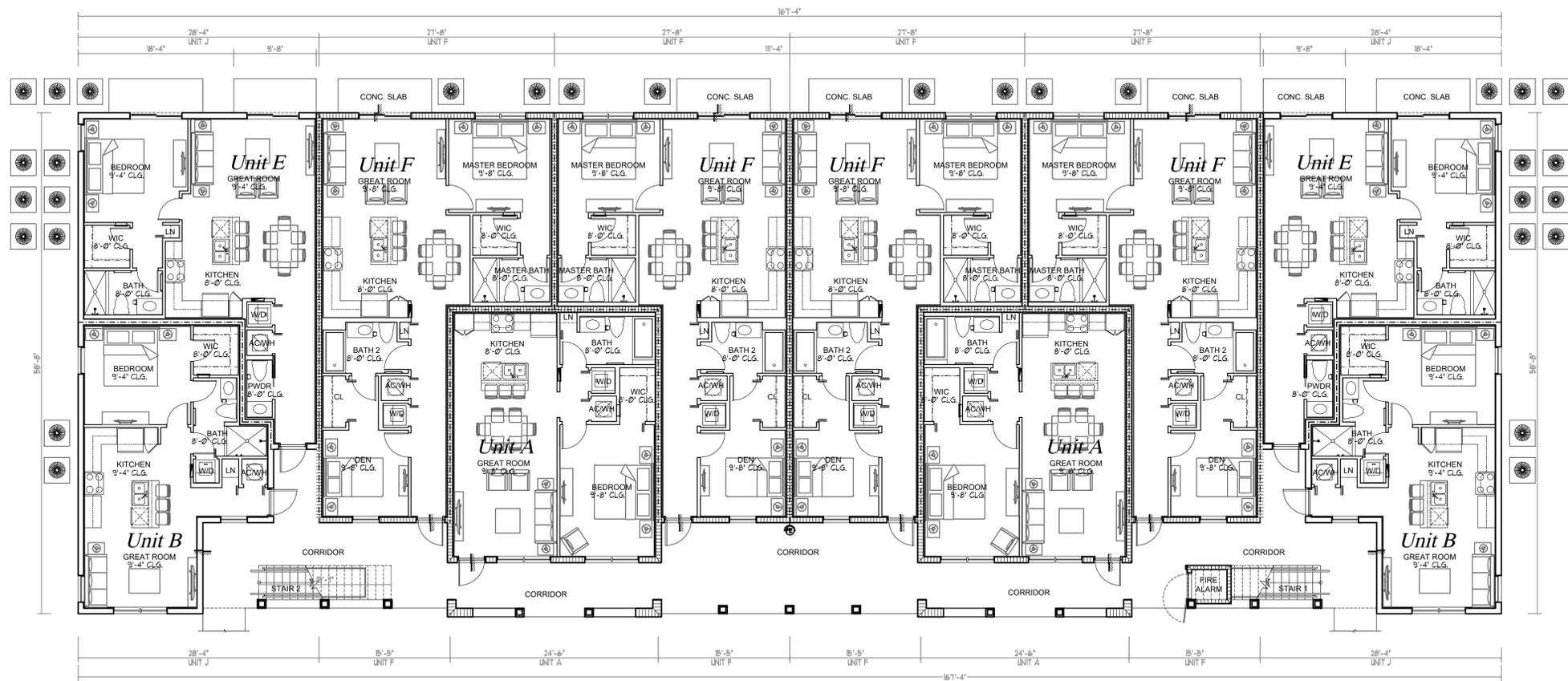
SCALE: 1/8" = 1'-0"

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SECOND FLOOR PLAN

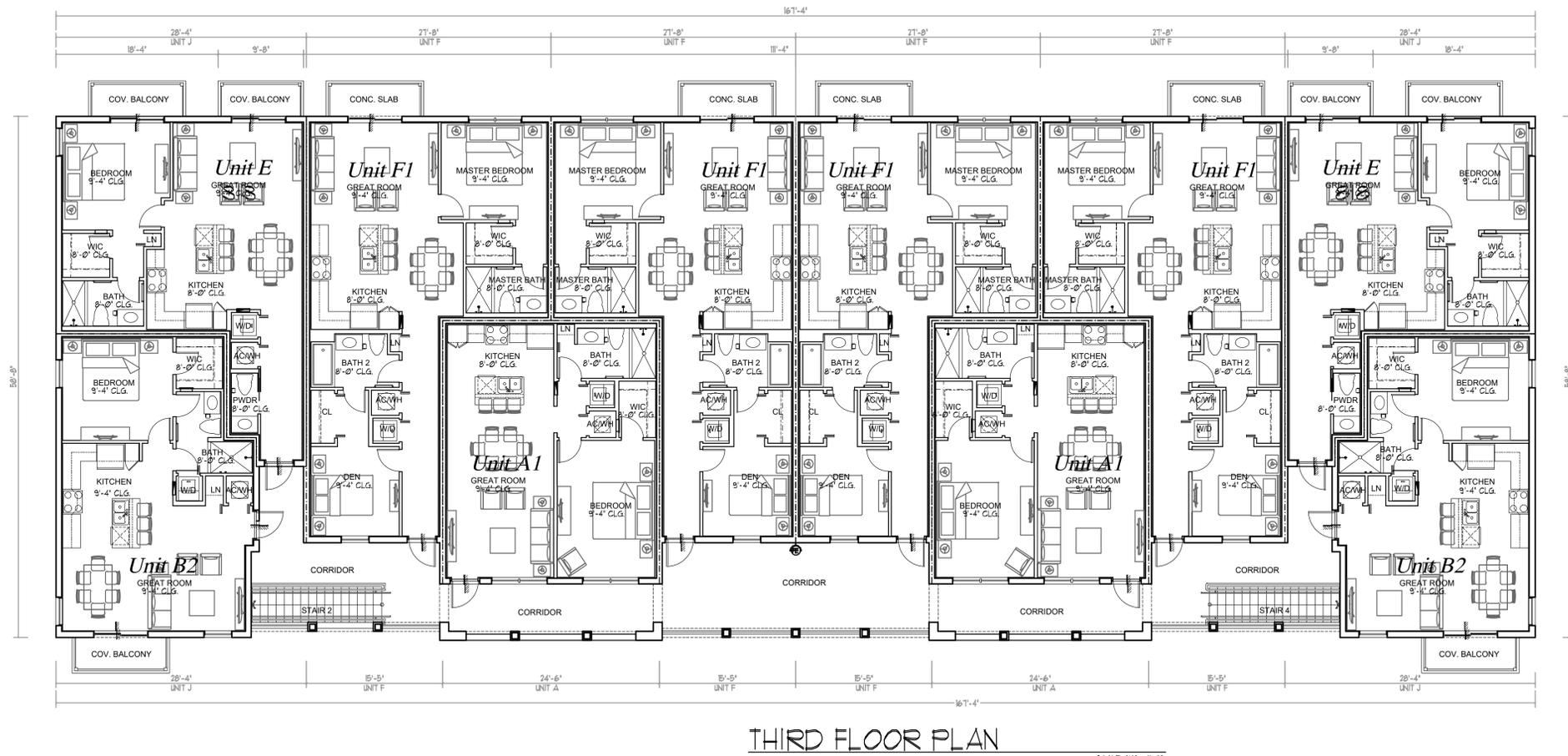
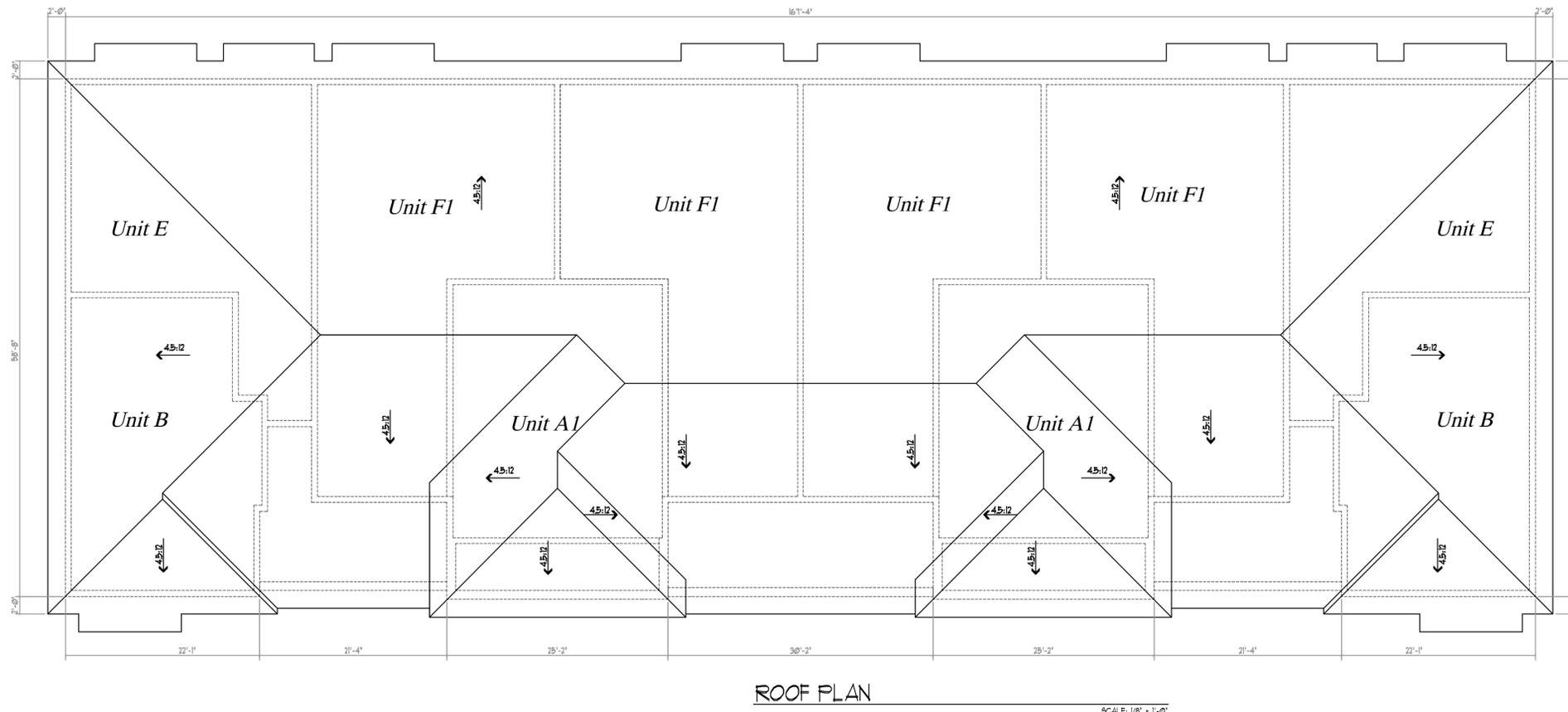
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

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Weun Geem, Kim - Emerald Plaza at
Darwin, LLC
Landscape Modification
P23-015

Planning & Zoning Board Hearing
March 7, 2023
Bethany Grubbs
Planner III

CityofPSL.com



General Information

Request - A request to substitute landscaping in lieu of an architectural buffer wall per Section 154.12 of the City of Port St. Lucie Code.

Property Owner/Applicant – Emerald Plaza at Darwin, LLC

Agent – Brad Currie, Engineering Design & Construction, Inc.

Location – The property is located at the northwest corner of Darwin Boulevard and SW Yale Street.



Project Summary

- The site is approximately 1.1 acres in size, a related project for a minor site plan (P23-014) is under review for approval to construct a 6,500-square-foot Hulett pest control office and flex space building.
- The development abuts residential property along the south side, a proposed residential subdivision to be known as Sympatico PUD.
- A wall is required in a landscape buffer strip where residential uses abut the industrial property to the side or rear per Section 154.03(C)5 of the Landscape and Land Clearing Code.



Project Summary

- This site abuts a residential development that is currently under review known as Sympatico PUD which includes over 300 units. This industrial use will be located at the main entrance.
- The intent of the requirement for a wall between these different uses is to mitigate unintended consequences or impacts on residential areas and residents and obstruct the industrial use and operation from sight, in addition to blocking lights and buffering sounds.

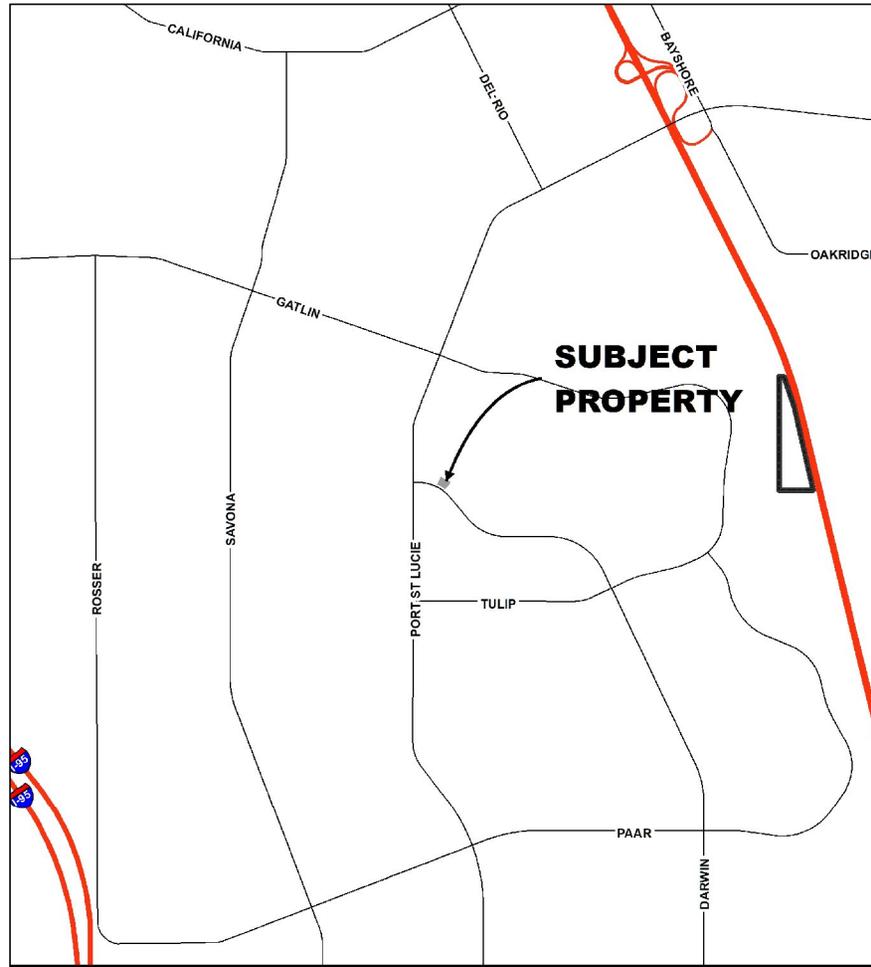


Modification Request

The applicant is proposing a landscape modification to forego a 6-foot-high masonry wall within the 10-foot-wide landscape buffer required along the north and east sides of the property per Section 154.12(F) of the Landscape and Land Clearing Code. The applicant proposes the use of landscaping in lieu of the architectural wall.



Location Map



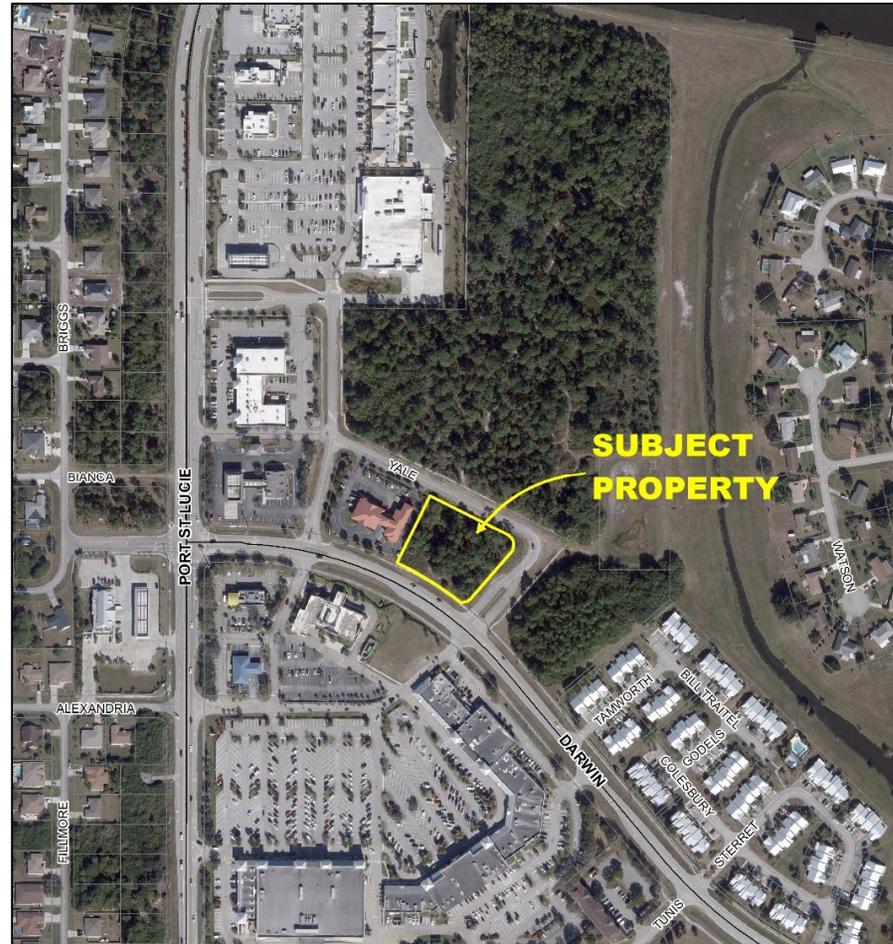
CityofPSL.com



Aerial

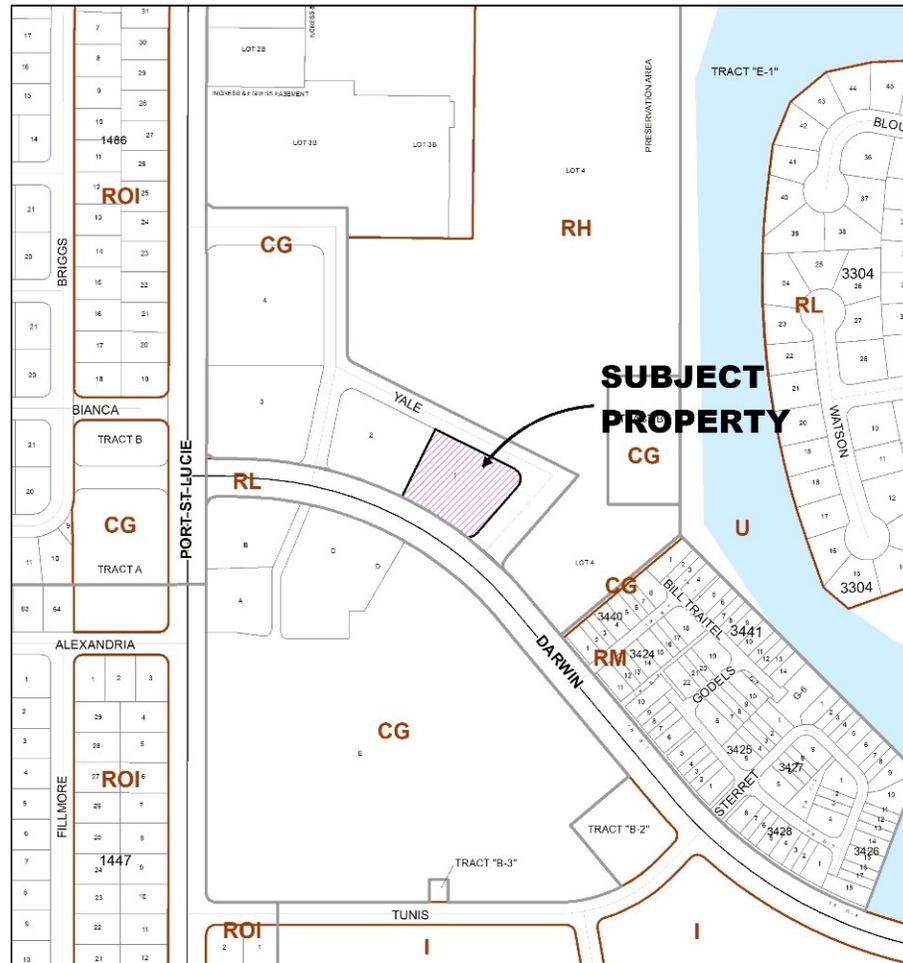
Surrounding Uses

Direction	Future Land Use	Zoning	Existing Use
North	RH	CG	Vacant (pending rezoning for townhomes and amenity center)
South	CG	CG	Free standing emergency center and commercial shopping center
East	RH	CG	Vacant (pending rezoning for townhomes and amenity center)
West	CG	CG	Tire and automotive repair shop



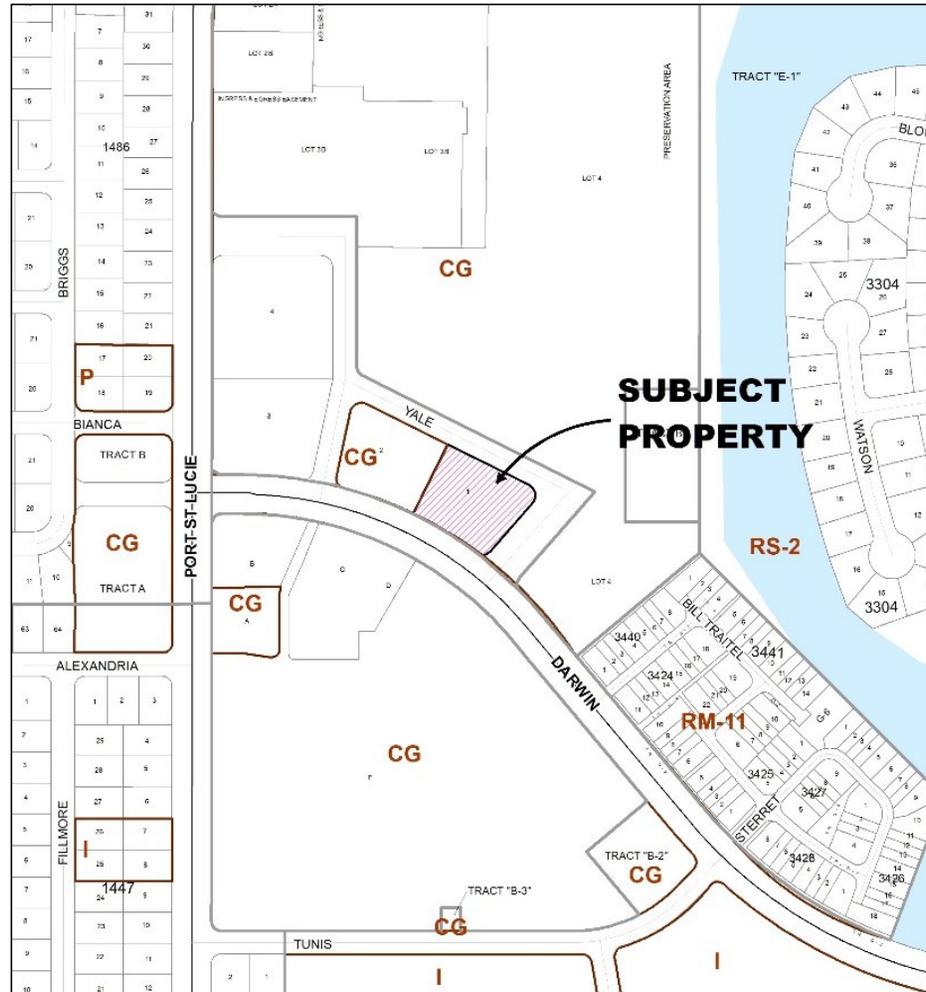
CityofPSL.com

Future Land Use CG (General Commercial)



CityofPSL.com

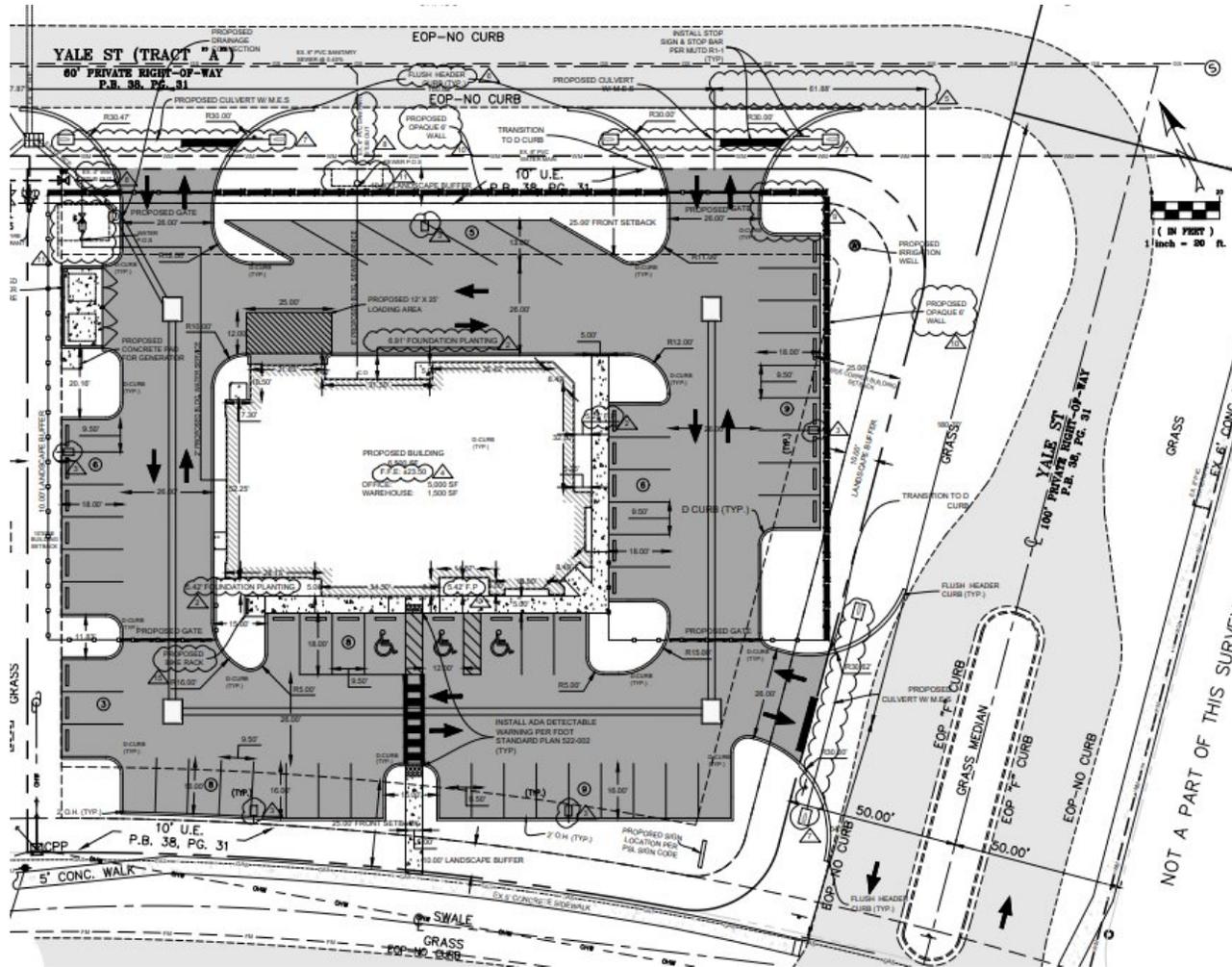
Zoning CG (General Commercial)



CityofPSL.com



Site Plan



CityofPSL.com

View Looking West Down Yale Street (Proximity)



CityofPSL.com



Residential Use & Amenity Center Concept Plan



CityofPSL.com



Staff Recommendation

Staff recommends that the board review the landscape modification application and vote to approve, approve with conditions, or deny the request.

