

EXHIBIT A

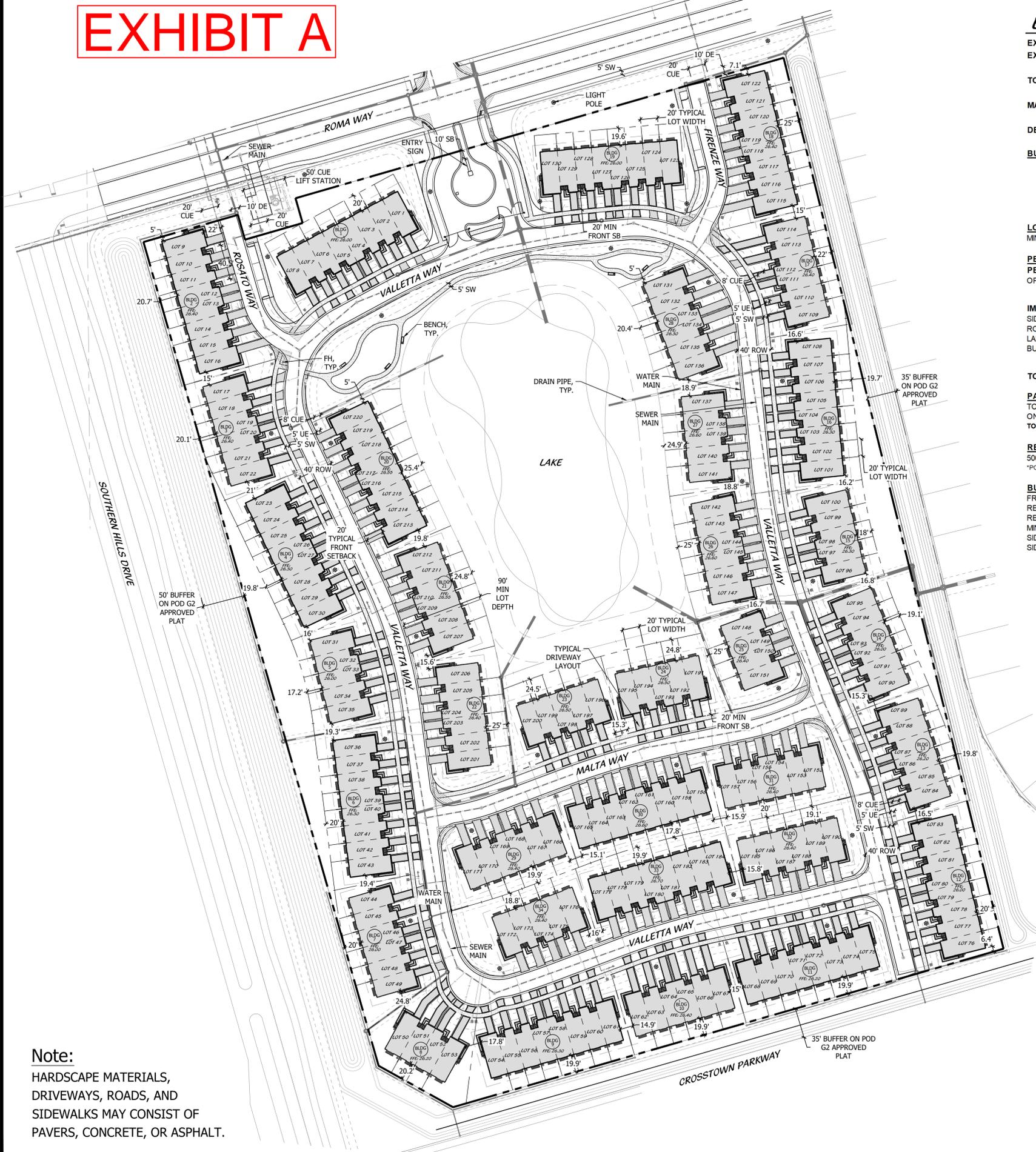
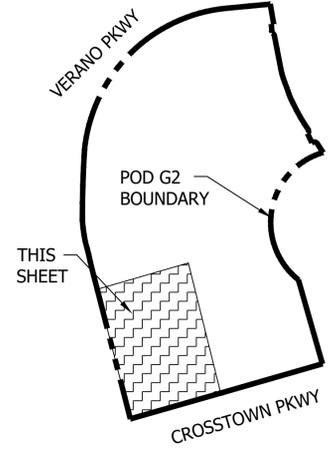


EXHIBIT DATA

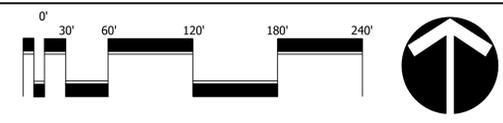
EXISTING LAND USE:	RGC	SF	ACRES			
EXISTING ZONING:	PUD					
TOTAL SITE AREA		803,950.00	18.46			
REQUIRED			PROVIDED			
MAXIMUM BUILDING HEIGHT		75'-0"	30'-0"			
REQUIRED			PROVIDED			
DENSITY		N/A	11.92			
BUILDING COVERAGE						
8 - UNIT TOWNHOME BUILDING (13 BUILDINGS, 104 UNITS, 2 STORY, 30')	BUILDING SF	15,530	BUILDING AC SF	13,444	BUILDING FOOTPRINT SF	7,872
6 - UNIT TOWNHOME BUILDING (13 BUILDINGS, 78 UNITS, 2 STORY, 30')		11,728		10,176		5,962
5 - UNIT TOWNHOME BUILDING UNIT (6 BUILDINGS, 30 UNITS, 2 STORY, 30')		9,824		8,545		4,988
4 - UNIT TOWNHOME BUILDING UNIT (2 BUILDINGS, 8 UNITS, 2 STORY, 23' 11")		7,920		6,910		4,016
TOTAL	45,002	39,075	22,838			
LOT SIZE PER PUD						
REQUIRED		1,280 SF	PROVIDED	1,800 SF (90' X 20' TYPICAL)		
PERVIOUS/IMPERVIOUS CALCULATIONS						
PERVIOUS						
OPEN SPACE	ACRES	8.51	SQUARE FEET	370,803.00	PERCENT	46.12%
SUB-TOTAL		8.51	370,803.00		46.12%	
IMPERVIOUS						
SIDEWALKS, DRIVEWAYS	1.16	50,600.00	6.29%			
ROADWAY	1.94	84,390.00	10.50%			
LAKE COVERAGE	1.84	80,355.00	10.00%			
BUILDING COVERAGE (13 X 7,872 + 13 X 5,962 + 6 X 4,988 + 2 X 4,016)	5.00	217,802.00	27.09%			
SUB-TOTAL	8.10	433,147.00	53.88%			
TOTAL	16.61	803,950.00	100%			
PARKING CALCULATIONS						
TOWNHOME PARKING (2 PER 1 UNIT REQUIRED: 2X220= 440)	REQUIRED	440	PROVIDED	440 SPACES		
ON-STREET PARKING		0		7		
TOTAL	440		447			
RECREATION OPEN SPACE						
500 SF OF RECREATION OPEN SPACE PER DWELLING UNIT (220 UNITS)	REQUIRED	2.5 AC	PROVIDED	10 AC		
POD G CENTRAL PARK COUNTED AS REC SPACE AS PART OF APPROVED PUD						
BUILDING SETBACKS						
FRONT SETBACK (FRONT LOADED)	REQUIRED PER PUD	20'	PROVIDED PER PUD	20'		
REAR SETBACK (CORNER LOT)		10'		15'		
REAR SETBACK (INTERNAL LOT)		10'		10'		
MINIMUM BUILDING-TO-BUILDING SETBACK		10'		10'		
SIDE SETBACK		5'		5'		
SIDE SETBACK (CORNER LOT)		10'		15'		

KEY MAP



PSLUSD #11-652-36J
 PSL PROJ# P23-068
POD G POD 2

TOWNHOME EXHIBIT PER SUBDIVISION PLAT



Scale: 1" = 60'-0"

North

Note:
 HARDSCAPE MATERIALS,
 DRIVEWAYS, ROADS, AND
 SIDEWALKS MAY CONSIST OF
 PAVERS, CONCRETE, OR ASPHALT.

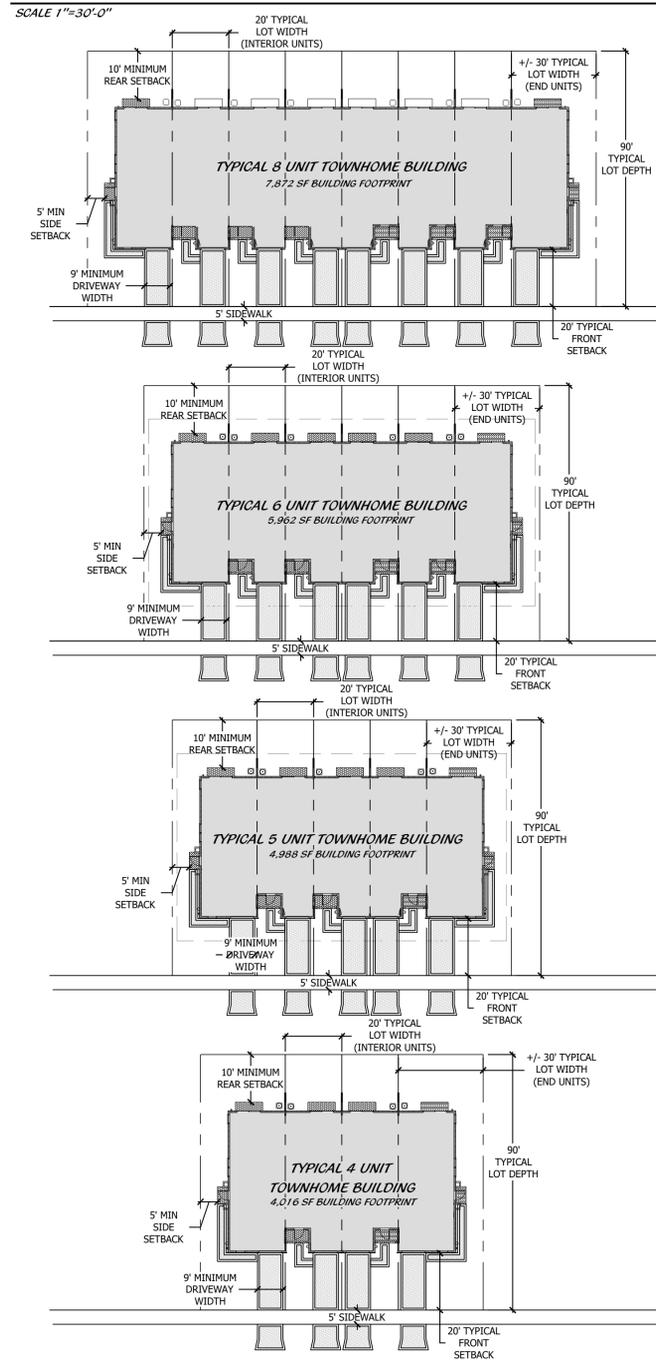
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VERANO SOUTH POD G

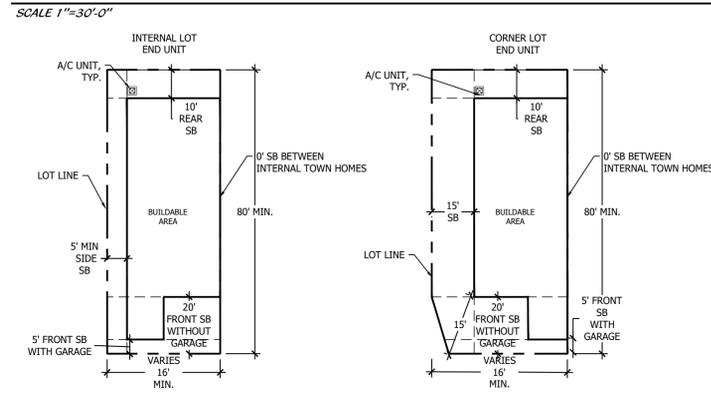
Koiter Homes
 Port St. Lucie, Florida

DESIGNED	LAH
DRAWN	LAH
APPROVED	DTS
JOB NUMBER	18-1003.03
DATE	04-04-23
REVISIONS	05-05-23

TYPICAL G2 TOWNHOME LAYOUT
(PER APPROVED PUD STANDARDS)



APPROVED PUD TYPICAL TOWNHOME LAYOUT

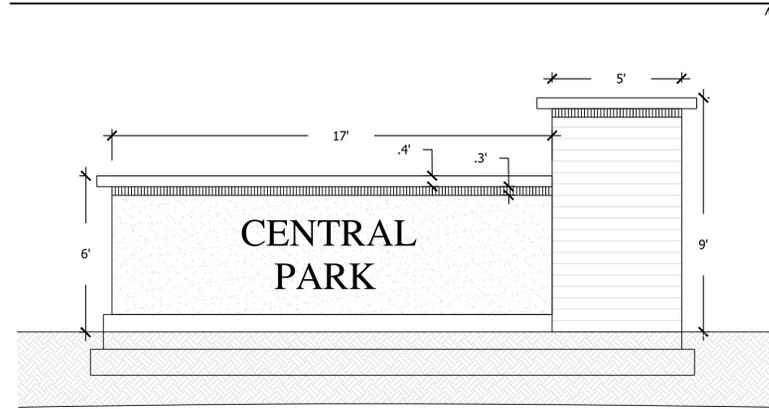


- NOTES:
1. ACCESSORY SETBACK IS 3' MIN. OR 0' IF ADJACENT TO OPEN SPACE OR LAKE.
 2. IF NO GARAGE IS PROVIDED, THE SETBACK SHALL BE 20'.
 3. IF A GARAGE IS PROVIDED, THE SETBACK SHALL BE 5'.
 4. 10' MIN. SETBACK BETWEEN BUILDINGS.
 5. THE MINIMUM WIDTH OF THE DRIVEWAY IS 9'.
 6. MINIMUM LOT AREA IS 1,280 SF.
 7. IF ADJACENT TO AN OPEN SPACE TRACT 15' IN WIDTH OR GREATER, THE SIDE CORNER LOT SETBACK CAN BE REDUCED TO 5'.
 8. WHEN NOT ADJACENT TO AN OPEN SPACE TRACT, SIDE SETBACK SHALL BE A MINIMUM OF 15' ON STREET SIDE.

APPROVED PUD SETBACK TABLE

Table 1. DEVELOPMENT USES AND STANDARDS						
DEVELOPMENT STANDARD	SINGLE-FAMILY	TOWNHOMES	VILLAS	MODEL HOMES	NON-RESIDENTIAL	RV STORAGE
PRIMARY STRUCTURE						
Minimum Lot Width	40'	20' 16'	25'	25'	-	-
Minimum Lot Depth	120'	100' 80'	100'	120'	-	-
Maximum Lot Depth	None	None	None	None	-	-
Maximum Building Lot Coverage	60%	70%	60%	60%	80%	80%
Maximum Impervious Lot Coverage	75%	80%	75%	75%	80%	80%
Minimum Open Space	25%	20%	25%	25%	20%	20%
Minimum Front Setback (Front Loaded)	20' Garage	20' Garage	20' Garage	20' Garage	-	-
Minimum Front Setback (Non-garage)	15'	15'	15'	15'	-	-
Minimum Front Setback (Side Loaded)	15'	-	-	15'	-	-
Minimum Front Setback (Rear Loaded)	13'	13'	-	13'	-	-
Minimum Side Setback (Internal Lot) (May be 0' on a zero-lot-line provided that minimum building separation of 10' is maintained between units, 4'-building-separation-for-Townhome)	5'	-	-	5'	-	-
Minimum Side Setback (Side-Entry)	-	5'	5'	-	-	-
Minimum Side Setback (Front-Entry)	-	5'	5'	-	-	-
Minimum Side Setback (Corner Lot)	15'	10'	15'	15'	-	-
If adjacent to open space tract 15' in width or greater	5'	5'	5'	5'	-	-
Minimum Rear Setback (Corner Lot)	10'	10'	10'	10'	-	-
Minimum Rear Setback (Internal Lot)	10'	10'	10'	10'	-	-
Minimum Rear Setback (Rear Loaded with garage)	5'	5'	5'	5'	-	-
Minimum Rear Setback (Rear loaded without garage)	20'	20'	20'	20'	-	-
ACCESSORY STRUCTURES						
Minimum Rear Setback (Non-Rear Loaded)	3'	3'	3'	3'	-	-
If adjacent to open space or common area tract 50' or wider	0'	0'	0'	0'	-	-
Minimum Rear Setback (Rear Loaded)	5'	5'	0' 3'	0' 3'	-	-
Minimum Side Setback (Internal Lot)	2' (2' from property line)	2'	2'	3'	-	-
Minimum Side Setback (Corner Lot)	15'	15'	13' 15'	13' 15'	-	-

CONCEPTUAL SIGN DESIGN



*NOTE: SIGN AND COLUMN DETAIL TO BE DONE BY SIGN CONTRACTOR FOR BUILDING DEPARTMENT APPROVAL.

PSLUSD #11-652-36J
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POD G POD 2
TOWNHOME EXHIBIT
PER SUBDIVISION PLAT



Scale: 1" = 60'-0"



North



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