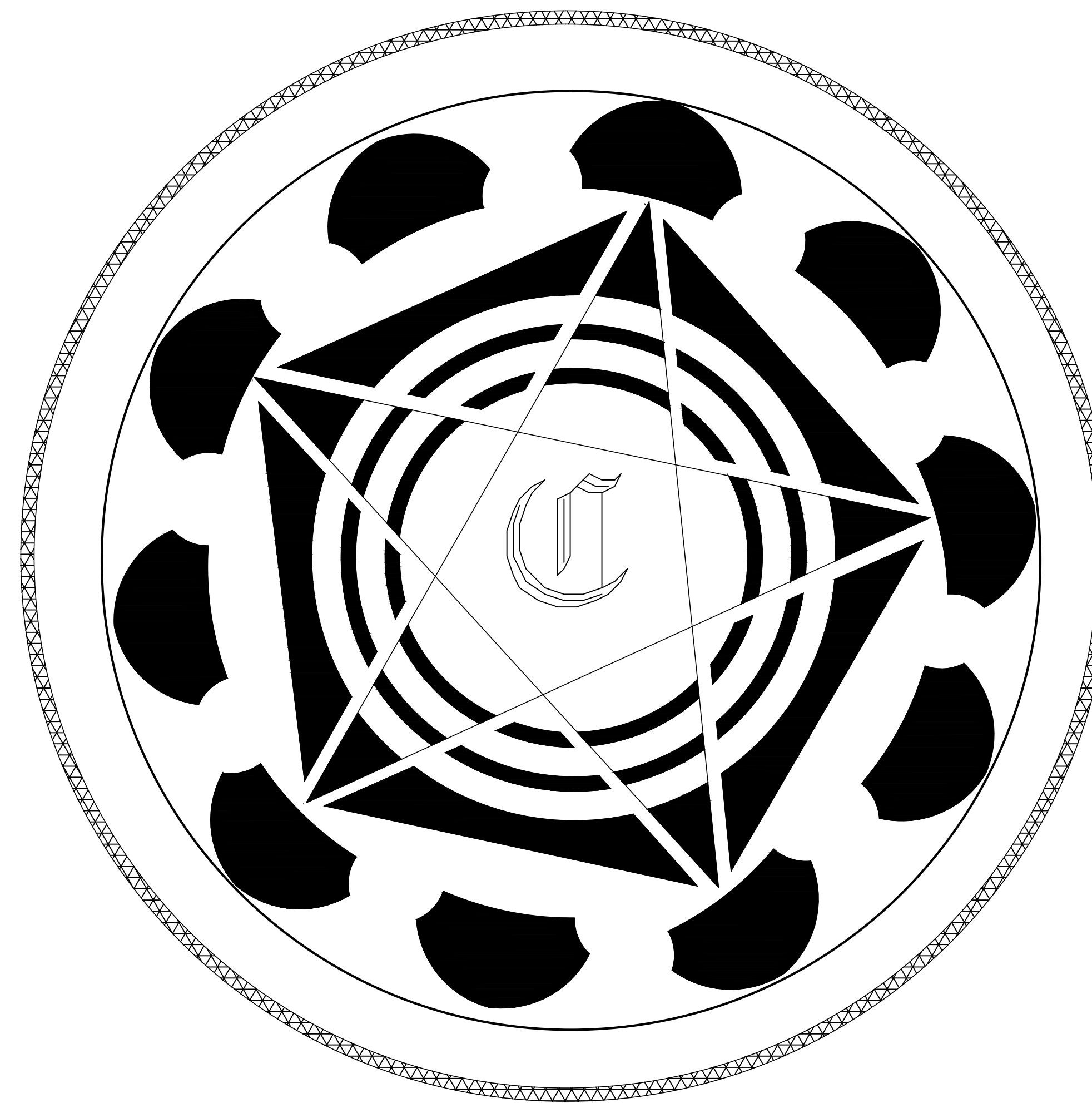


# COMMERCE LAKES WAREHOUSE

**DEVELOPER :** A GREAT HOME LLC  
751 ENTERPRISE DR STE 105  
PORT ST LUCIE, FL 34986

LIST OF CONTACTS

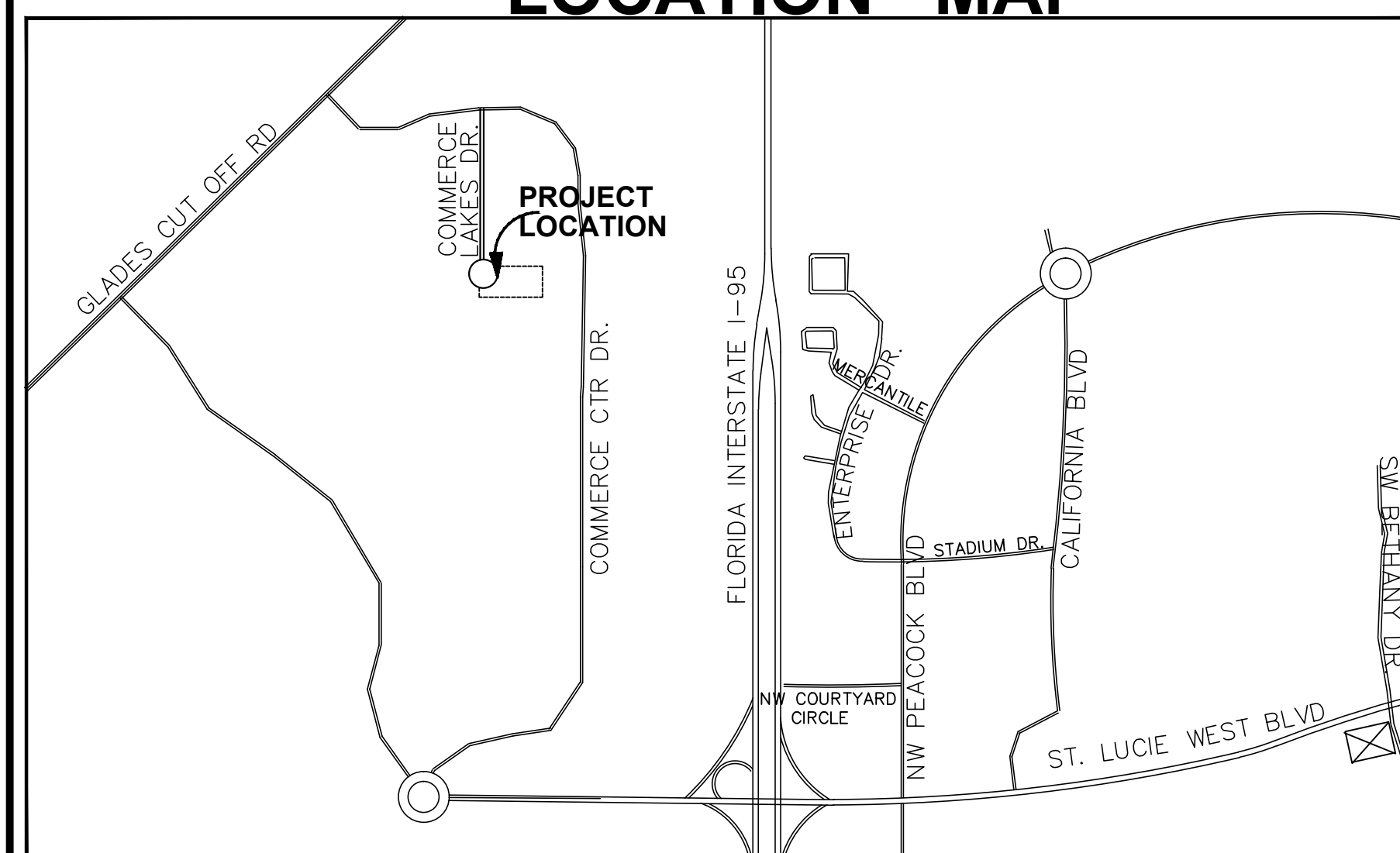
<u>PLANNING &amp; ZONING DEPARTMENT</u> 121 SW Port St. Blvd. Port St. Lucie, FL 34984 (772) 871-5213	<u>PUBLIC WORKS DEPARTMENT</u> 121 SW Port St. Blvd. Port St. Lucie, FL 34984 (772) 344-4066
<u>WATER &amp; SEWER PROVIDER</u> G.O. TEAM Utility District 2160 Reserve Park Tr Port St. Lucie, FL 34986 (772) 468-4604	<u>BUILDING DEPARTMENT</u> 121 SW Port St. Blvd. Port St. Lucie, FL 34984 (772) 871-5136



**INDEX SHEET**

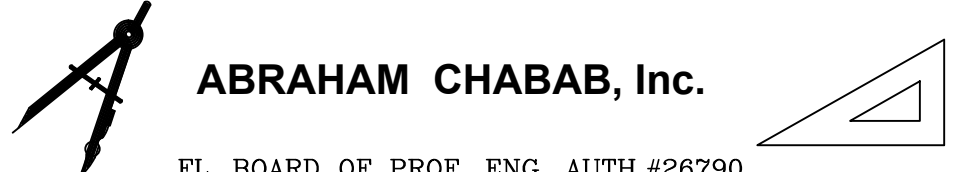
SHEET DESCRIPTION	SHEET Nb
SITE PLAN	1 OF 3
SITE PLAN W/ ADJACENT DRIVEWAYS	2 OF 3
SITE PLAN DETAILS	3 OF 3
LANDSCAPE PLAN	1 OF 1

**LOCATION MAP**

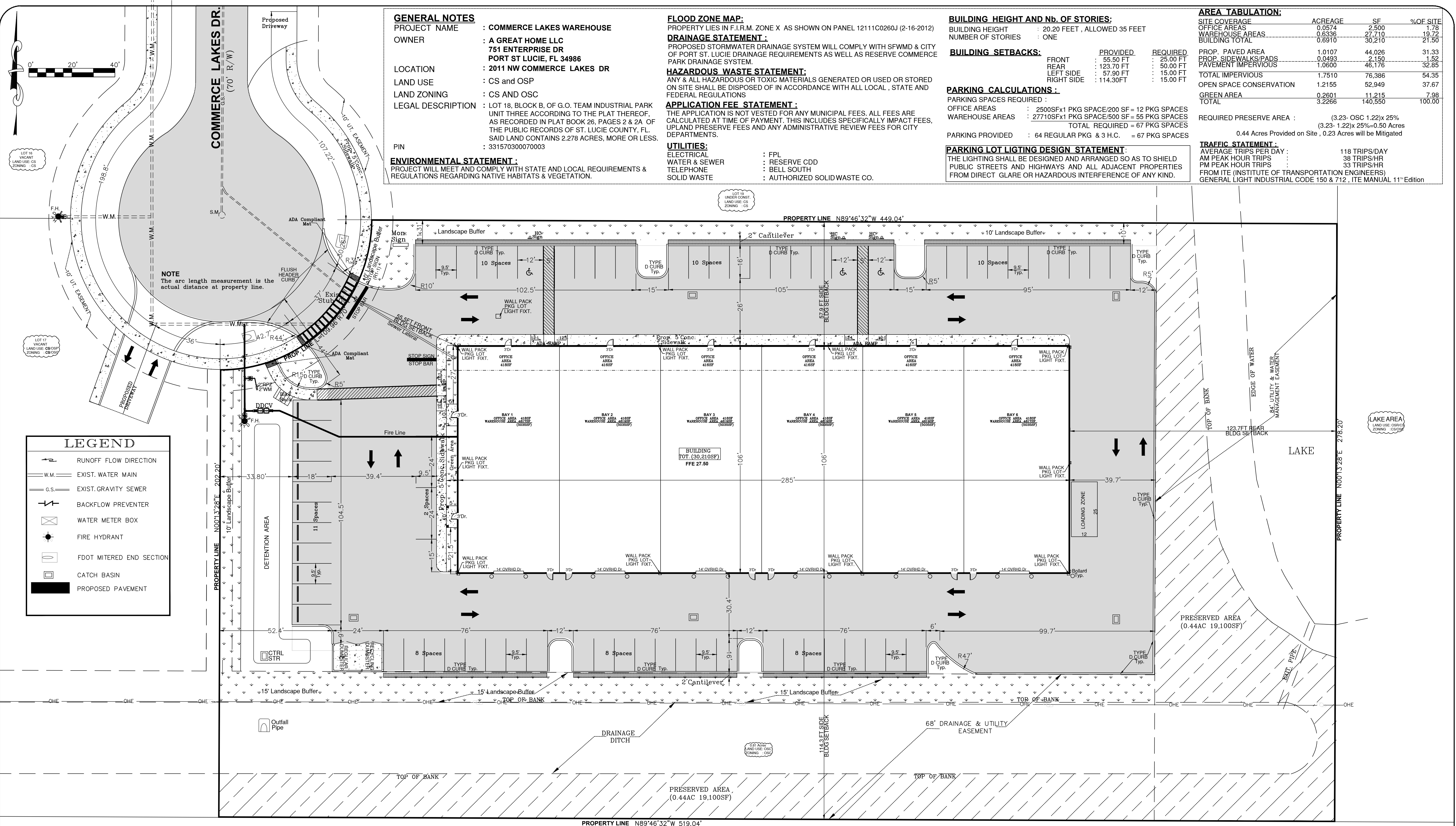


**CITY OF PORT ST. LUCIE  
PROJECT NO. P22-253**

48 HOURS BEFORE DIGGING  
CALL TOLL-FREE  
**1-800-432-4770**  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC  
UNDERGROUND UTILITIES NOTIFICATION CENTER

**ABRAHAM CHABAB, Inc.**  
FL. BOARD OF PROF. ENG. AUTH.#28790  
5019 NW Rugby Drive  
Port St. Lucie FL 34983  
Email: agchabab1@msn.com  
Ph: 772-475-6630

REVISIONS	DATE
City Staff Cmts	3.15.23
City Staff Cmts	5.15.23



**GENERAL NOTES**  
**PROJECT NAME :** COMMERCE LAKES WAREHOUSE  
**OWNER :** A GREAT HOME LLC  
**751 ENTERPRISE DR**  
**PORT ST LUCIE, FL 34986**  
**LOCATION :** 2011 NW COMMERCE LAKES DR  
**LAND USE :** CS and OSP  
**LAND ZONING :** CS AND OSC  
**LEGAL DESCRIPTION :** LOT 18, BLOCK 8, OF G.O. TEAM INDUSTRIAL PARK UNIT THREE ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 26, PAGES 2 & 2A OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FL. SAID LAND CONTAINS 2.278 ACRES, MORE OR LESS.  
**PIN :** 33157030070003

**ENVIRONMENTAL STATEMENT :**  
 PROJECT WILL MEET AND COMPLY WITH STATE AND LOCAL REQUIREMENTS & REGULATIONS REGARDING NATIVE HABITATS & VEGETATION.

**FLOOD ZONE MAP :**  
 PROPERTY LIES IN F.I.R.M. ZONE X AS SHOWN ON PANEL 12111C0260J (2-16-2012)  
**DRAINAGE STATEMENT :**  
 PROPOSED STORMWATER DRAINAGE SYSTEM WILL COMPLY WITH SFWMD & CITY OF PORT ST. LUCIE DRAINAGE REQUIREMENTS AS WELL AS RESERVE COMMERCE PARK DRAINAGE SYSTEM.

**HAZARDOUS WASTE STATEMENT :**  
 ANY & ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS  
**APPLICATION FEE STATEMENT :**  
 THE APPLICATION IS NOT VESTED FOR ANY MUNICIPAL FEES. ALL FEES ARE CALCULATED AT TIME OF PAYMENT. THIS INCLUDES SPECIFICALLY IMPACT FEES, UPLAND PRESERVE FEES AND ANY ADMINISTRATIVE REVIEW FEES FOR CITY DEPARTMENTS.

**UTILITIES :**  
 ELECTRICAL : FPL  
 WATER & SEWER : RESERVE CDD  
 TELEPHONE : BELL SOUTH  
 SOLID WASTE : AUTHORIZED SOLID WASTE CO.

**BUILDING HEIGHT AND NO. OF STORIES :**  
 BUILDING HEIGHT : 20.20 FEET , ALLOWED 35 FEET  
 NUMBER OF STORIES : ONE  
**BUILDING SETBACKS :**  
 FRONT : 55.50 FT PROVIDED  
 REAR : 123.70 FT REQUIRED  
 LEFT SIDE : 57.90 FT PROVIDED  
 RIGHT SIDE : 114.30 FT REQUIRED

**PARKING CALCULATIONS :**  
 PARKING SPACES REQUIRED :  
 OFFICE AREAS : 2500SFx1 PKG SPACE/200 SF = 12 PKG SPACES  
 WAREHOUSE AREAS : 27710SFx1 PKG SPACE/500 SF = 55 PKG SPACES  
 TOTAL REQUIRED = 67 PKG SPACES  
 PARKING PROVIDED : 64 REGULAR PKG & 3 H.C. = 67 PKG SPACES

**PARKING LOT LIGHTING DESIGN STATEMENT :**  
 THE LIGHTING SHALL BE DESIGNED AND ARRANGED SO AS TO SHIELD PUBLIC STREETS AND HIGHWAYS AND ALL ADJACENT PROPERTIES FROM DIRECT GLARE OR HAZARDOUS INTERFERENCE OF ANY KIND.

**AREA TABULATION :**

SITE COVERAGE	ACREAGE	SF	% OF SITE
OFFICE AREAS	0.0574	2,500	1.78
WAREHOUSE AREAS	0.8336	27,710	19.72
BUILDING TOTAL	0.8910	30,210	21.50
PROP. PAVED AREA	1.0107	44,026	31.33
PROP. SIDEWALKS/PADS	0.0493	2,150	1.52
PAVEMENT IMPERVIOUS	1.0600	46,176	32.85
TOTAL IMPERVIOUS	1.7510	76,386	54.35
OPEN SPACE CONSERVATION	1.2155	52,949	37.67
GREEN AREA	0.2601	11,215	7.98
TOTAL	3.2266	140,550	100.00

REQUIRED PRESERVE AREA : (3.23- 1.22)x 25% = 0.50 Acres  
 0.44 Acres Provided on Site, 0.23 Acres will be Mitigated

**TRAFFIC STATEMENT :**  
 AVERAGE TRIPS PER DAY : 118 TRIPS/DAY  
 AM PEAK HOUR TRIPS : 38 TRIPS/HR  
 PM PEAK HOUR TRIPS : 33 TRIPS/HR  
 FROM ITE (INSTITUTE OF TRANSPORTATION ENGINEERS) GENERAL LIGHT INDUSTRIAL CODE 150 & 712, ITE MANUAL 11<sup>th</sup> Edition

**LEGEND**

	RUNOFF FLOW DIRECTION
	EXIST. WATER MAIN
	EXIST. GRAVITY SEWER
	BACKFLOW PREVENTER
	WATER METER BOX
	FIRE HYDRANT
	FOOT MITERED END SECTION
	CATCH BASIN
	PROPOSED PAVEMENT

**MAINTENANCE AND CLEANING STATEMENT :**  
 THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICK UP, REMOVAL AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE SECTION 41.08(g)

PGA VILLAGE  
 RESERVE TRACT  
 (2.29AC 99,752SF)  
 LAND USE: RS  
 ZONING: PUD

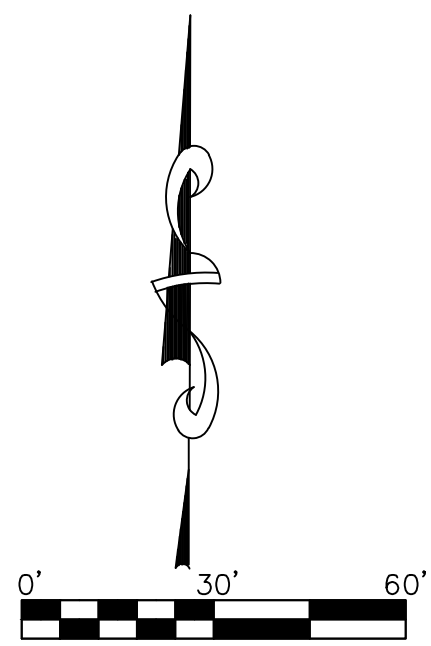
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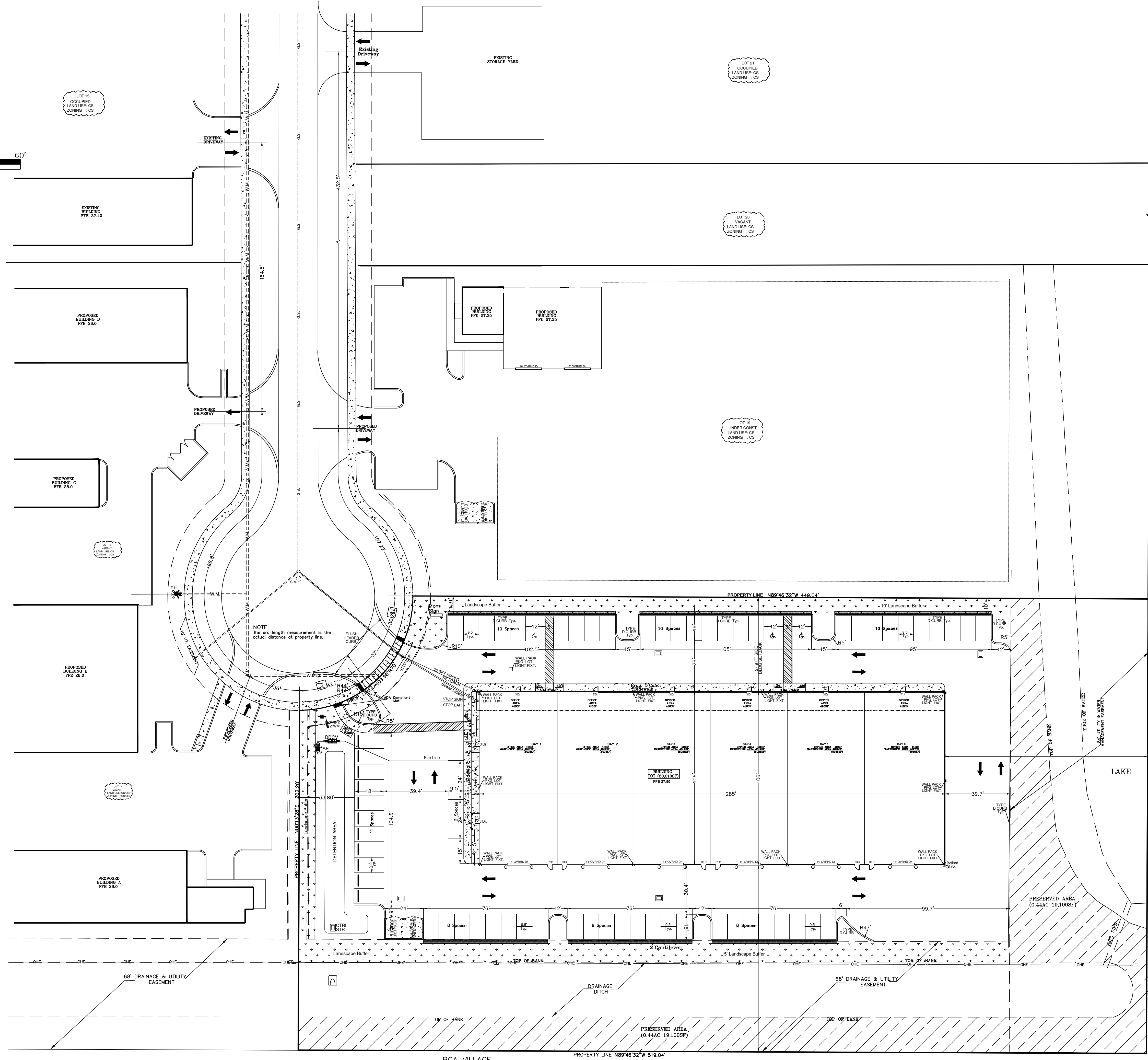
**COMMERCE LAKES WAREHOUSE**  
**SITE PLAN**

DESIGNED BY	AC	REVISIONS	DATE
DRAWN BY	AC		
DATE	May. 15, 2022		
SHEET	1 OF 3		

CITY OF PORT ST. LUCIE  
 PROJECT NO. P22-253



LEGEND	
	RUNOFF FLOW DIRECTION
	EXIST. WATER MAIN
	EXIST. GRAVITY SEWER
	BACKFLOW PREVENTER
	WATER METER BOX
	FIRE HYDRANT
	FDOT MITERED END SECTION
	CATCH BASIN
	PROPOSED PAVEMENT



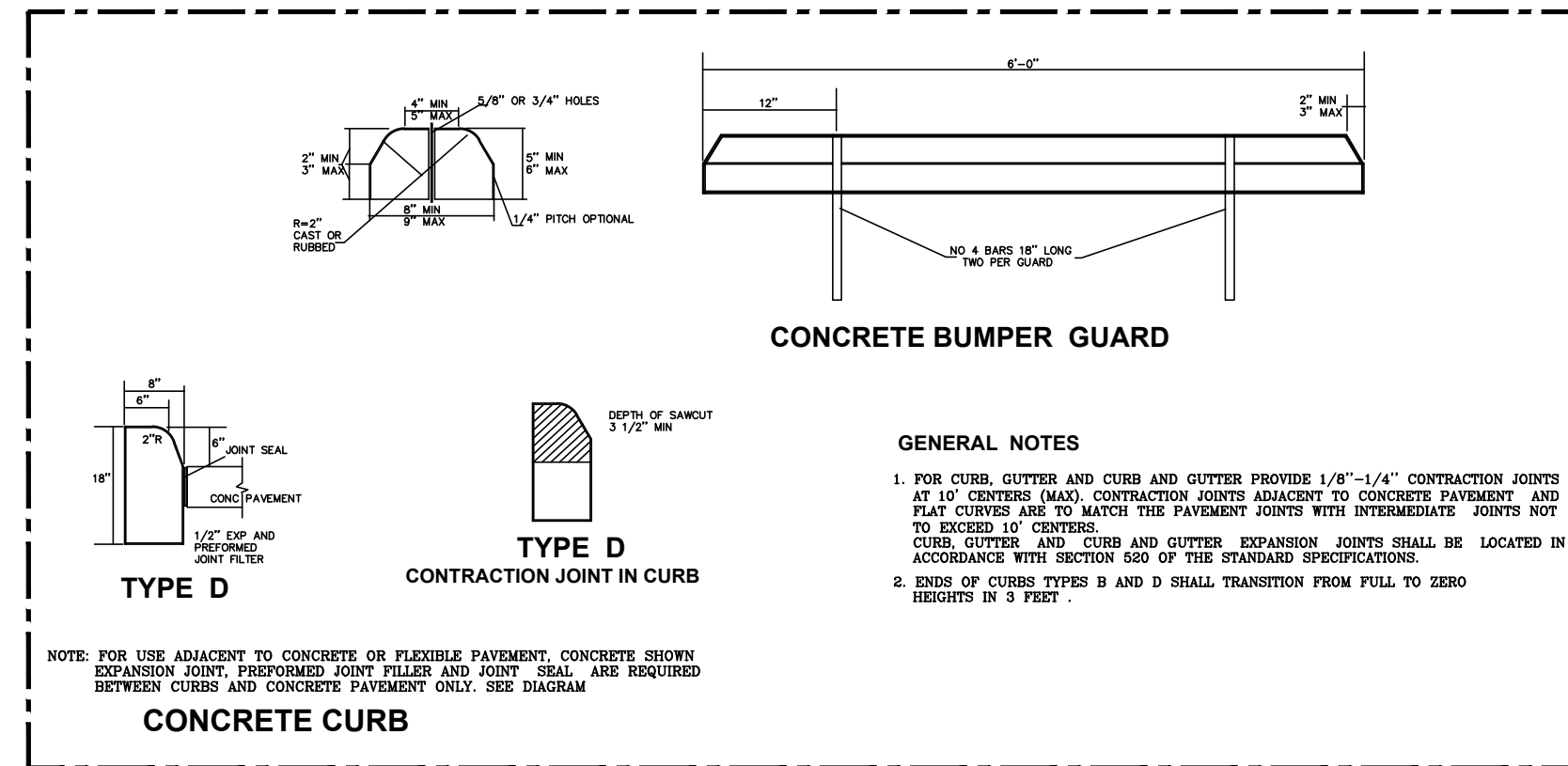
NOTE:  
The arc length measurement is the actual distance of property line.

CITY OF PORT ST. LUCIE  
PROJECT NO. P22-253

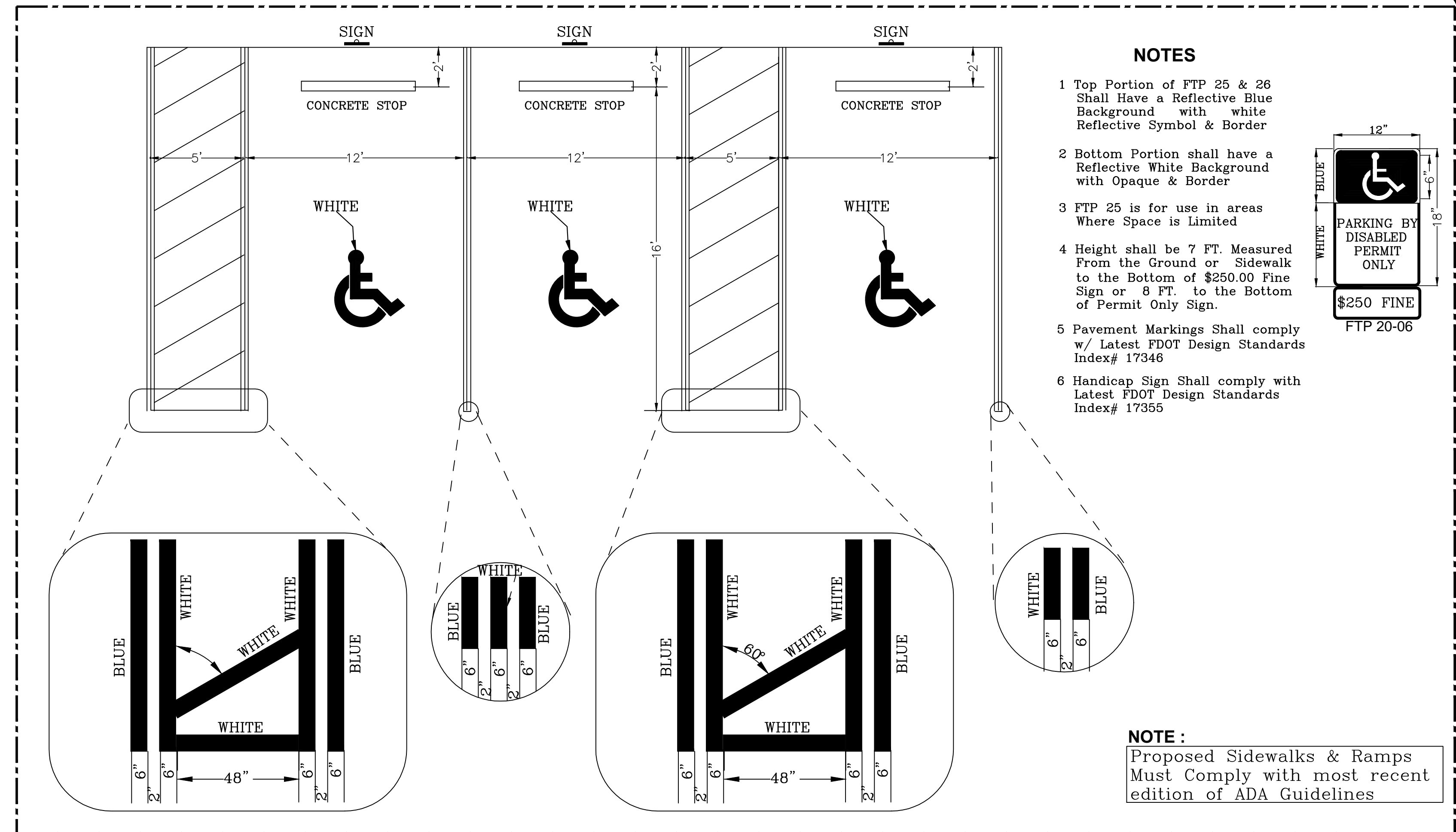
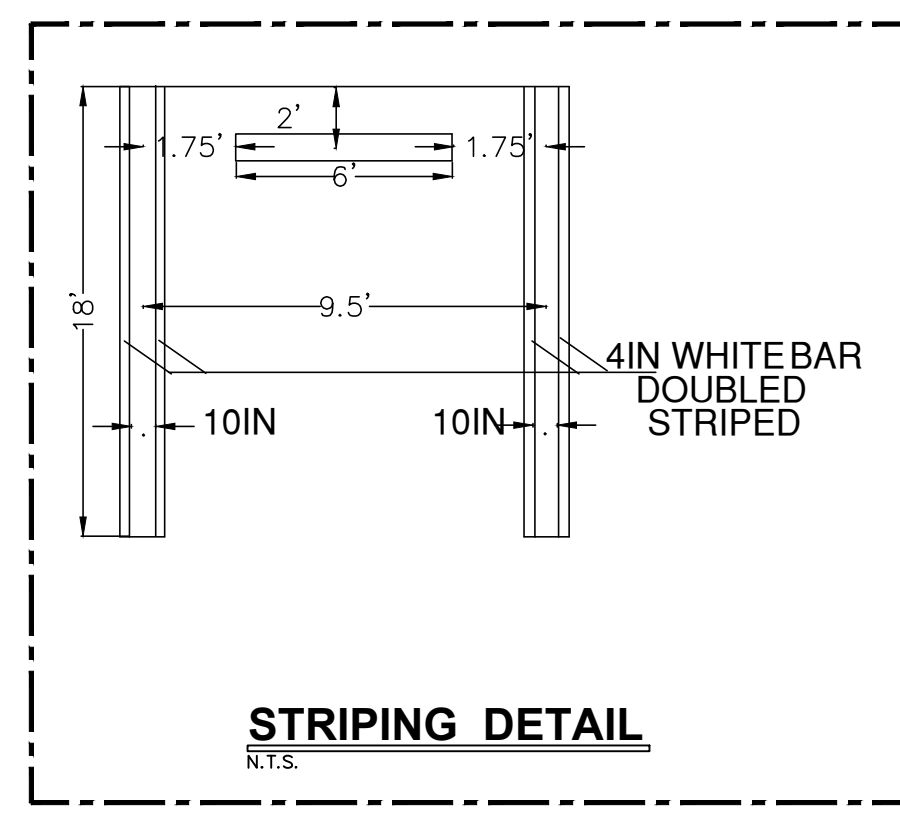
<p><b>ABRAHAM CHABAB, Inc.</b> FL. BOARD OF PROF. ENG. AUTH.#26790</p>	<p><b>COMMERCE LAKES WAREHOUSE</b></p>
	<p><b>SITE PLAN W/ ADJACENT DRIVEWAYS</b></p>
<p>5019 NW Rugby Drive Port St. Lucie FL 34983 Email: agchabab1@msn.com Ph: 772-475-6630</p>	<p>DATE: Nov. 2/2022</p>
<p>SHEET 2 OF 3</p>	

PGA VILLAGE RESERVE TRACT (2.29AC 99,7525F)  
PRESERVED AREA (0.44AC 19,1008F)  
PRESERVED AREA (0.44AC 19,1008F)

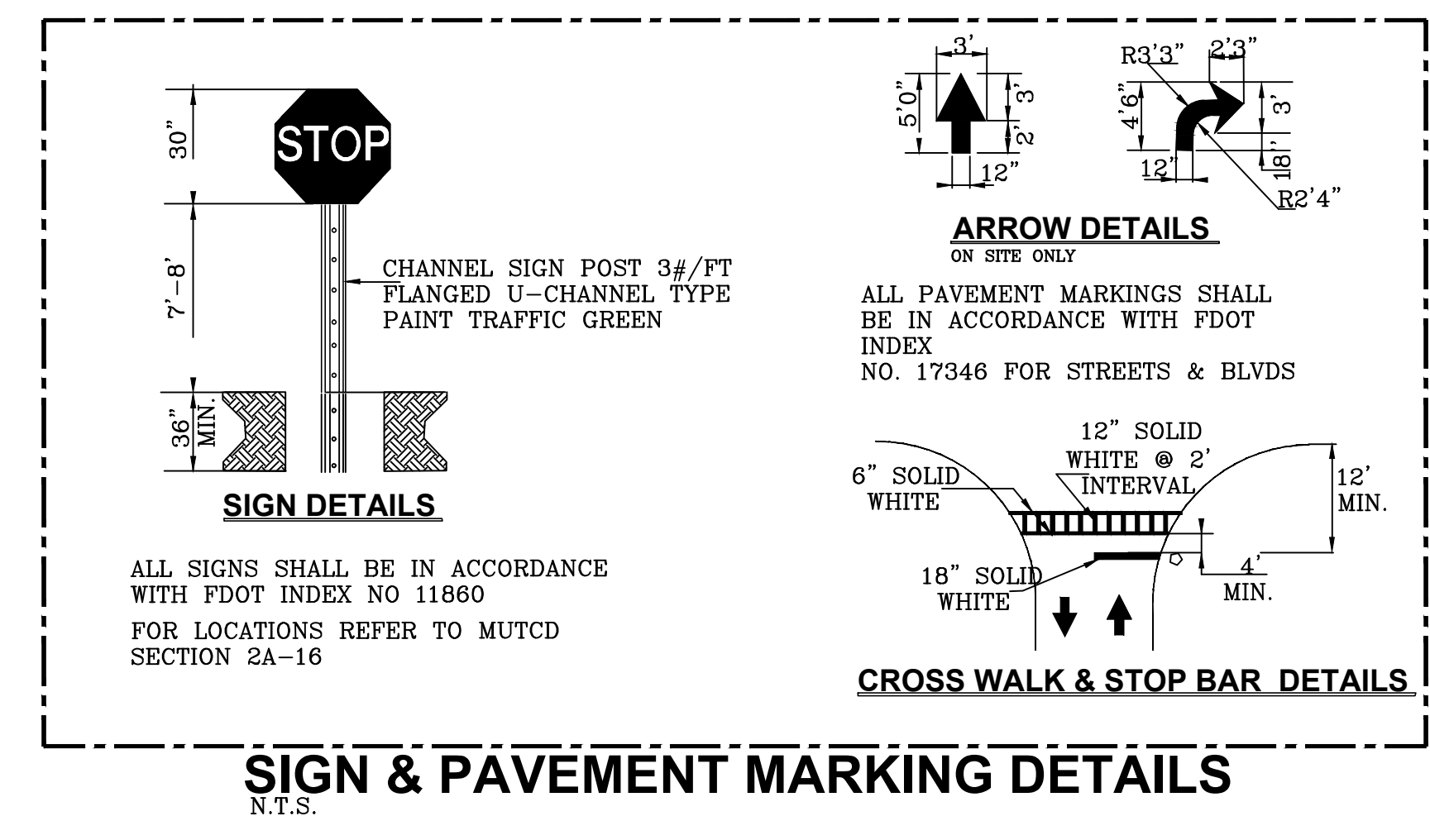
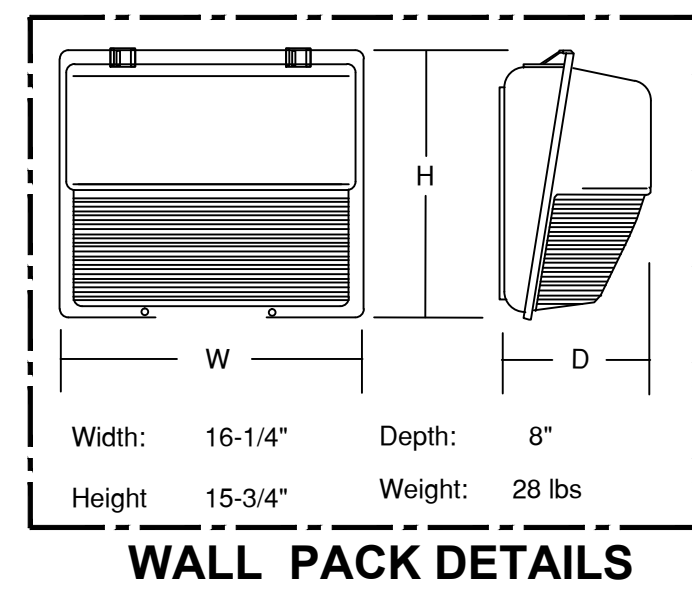
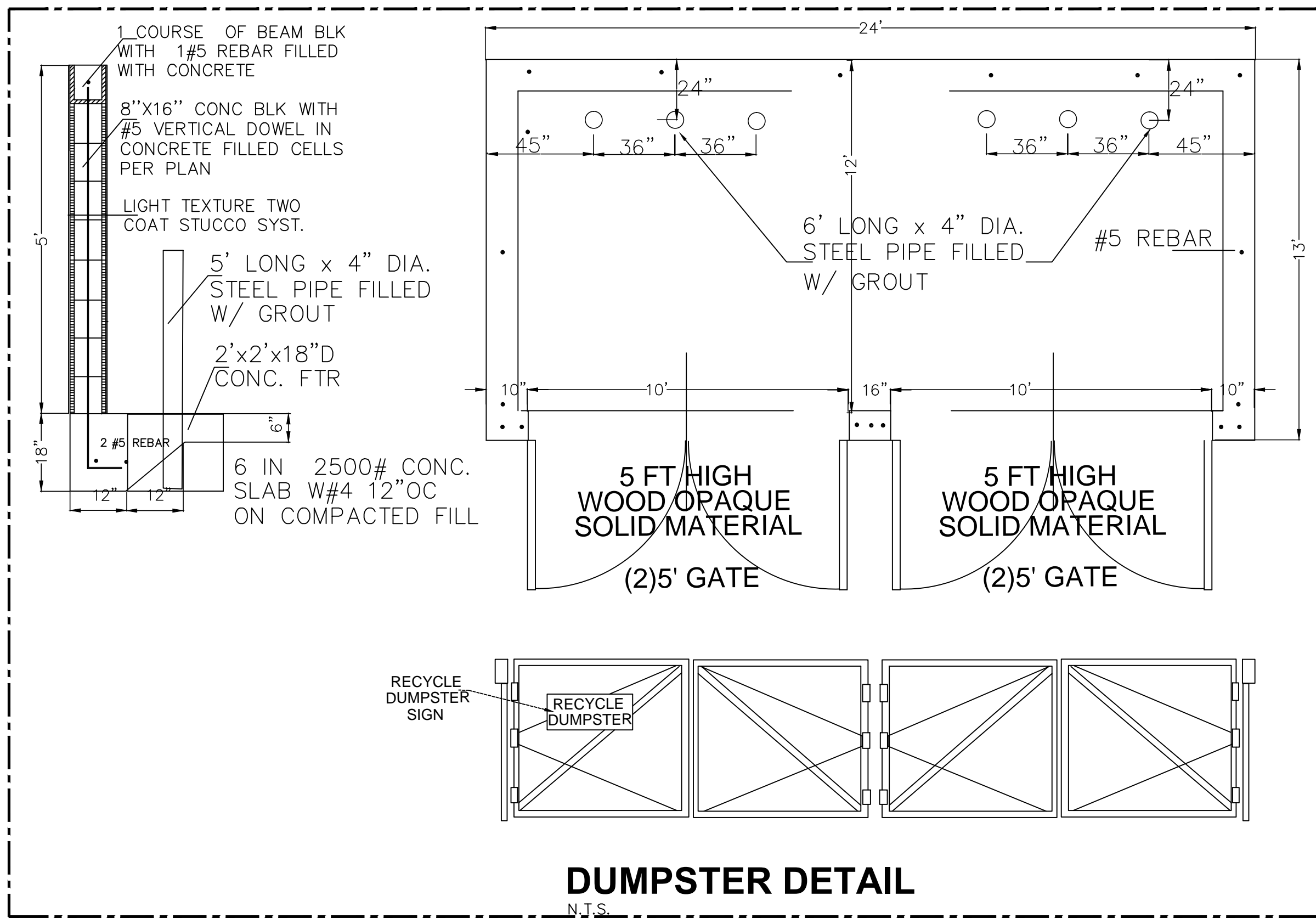




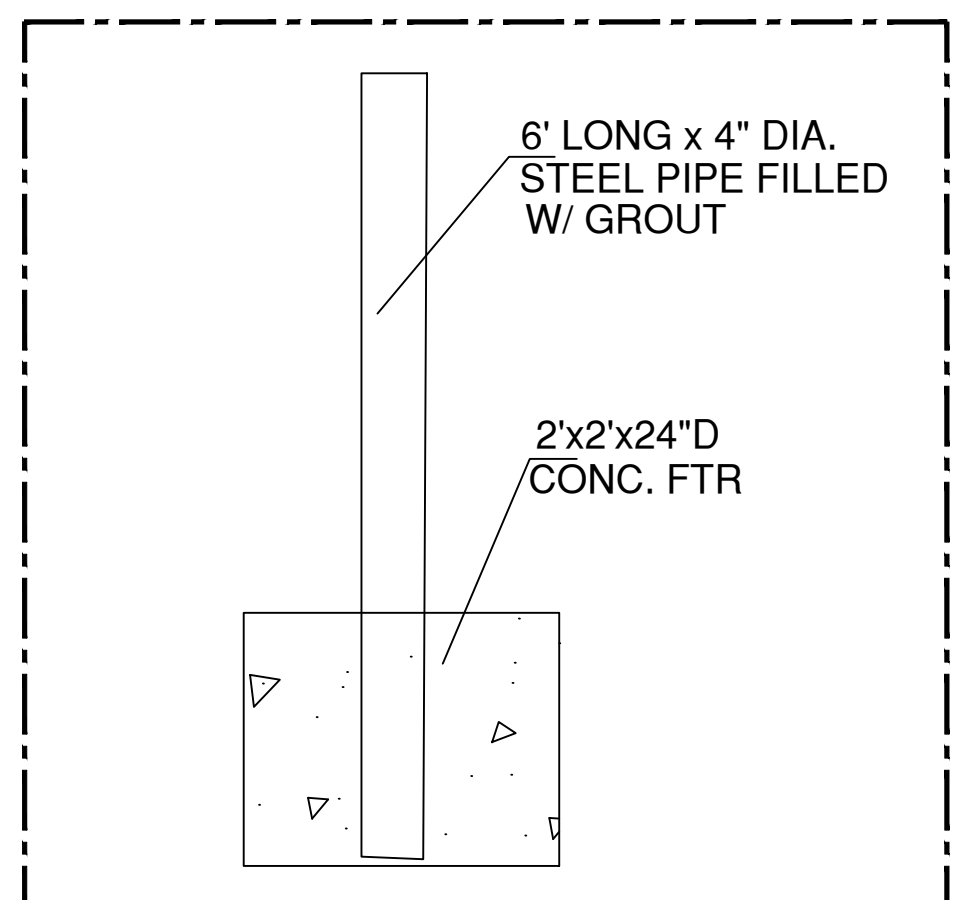
**CURB DETAIL**  
N.T.S.



H.C. Pavement Markings and Signs shall comply with Latest FDOT Standards



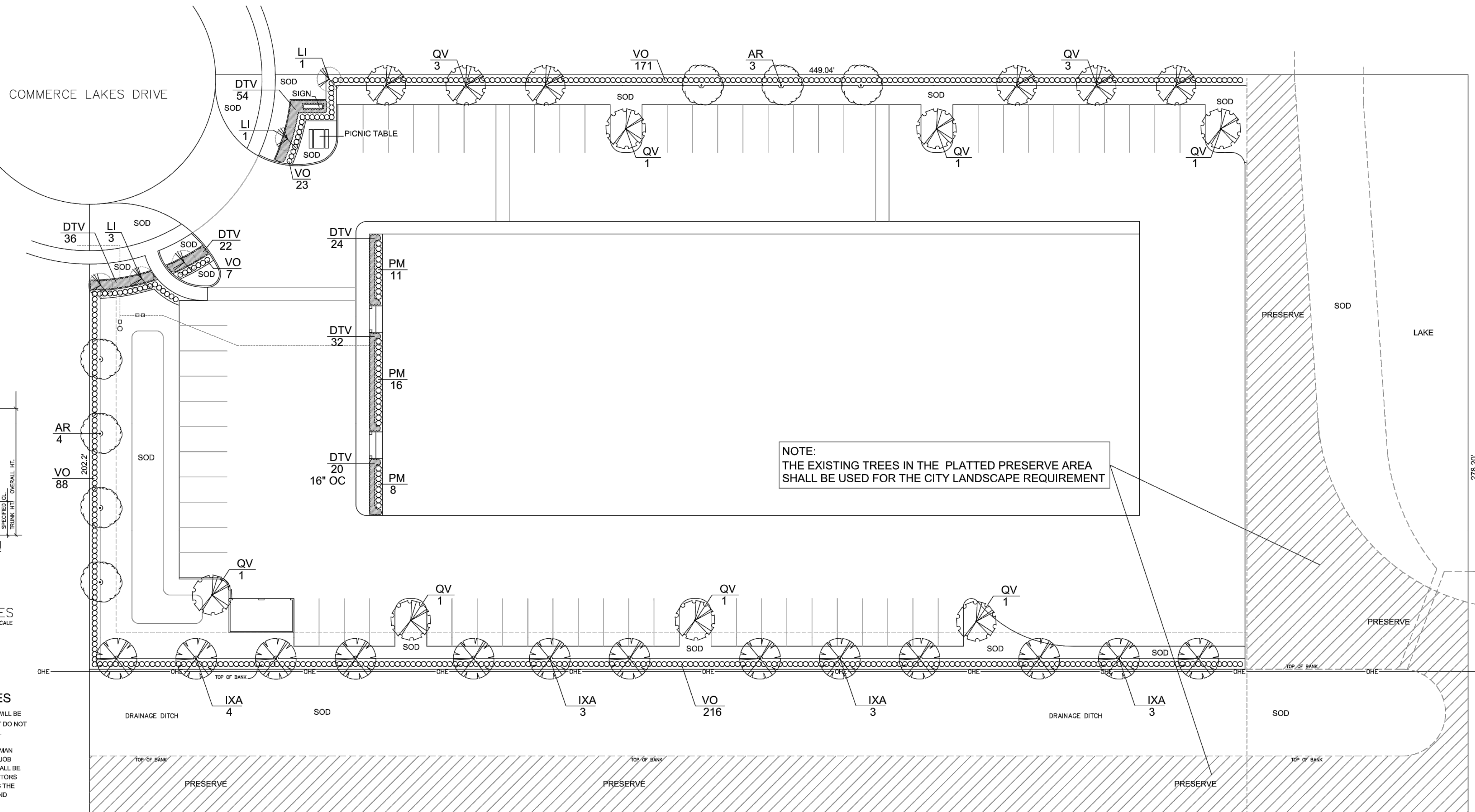
**SIGN & PAVEMENT MARKING DETAILS**  
N.T.S.



CITY OF PORT ST. LUCIE  
PROJECT NO. P22-253

<p><b>ABRAHAM CHABAB, Inc.</b> FL. BOARD OF PROF. ENG. AUTH.#26790 5019 NW Rugby Drive Port St. Lucie FL 34983 Email: agchabab1@msn.com Ph: 772-475-6630</p>	<p><b>COMMERCE LAKES WAREHOUSE</b></p>	DESIGNED BY AC	REVISIONS	DATE
		DRAWN BY AC		
<p><b>SITE PLAN DETAILS</b></p>		DATE Jly 2/2022		
		SHEET 3 OF 3		





NOTE: THE EXISTING TREES IN THE PLATTED PRESERVE AREA SHALL BE USED FOR THE CITY LANDSCAPE REQUIREMENT

REQUIRED PLANTING	PROPOSED PLANTING
1564 l. ft. of required perimeter buffer minus 30 ft. access way & 278 l. ft. (north & south pl) 168 l. ft. (2 x east & west pl) of preserve & 54 l. ft. 9 (preserve & ditch) = 1034 l. ft. of buffer. One tree for every 30' of required buffer = 34.4 = 35 required trees.	38 trees
one shrub for every 2' of required buffer = 1034 l. ft. divided by 2 = 517 shrubs	540 shrubs

ADDITIONAL REQUIREMENTS

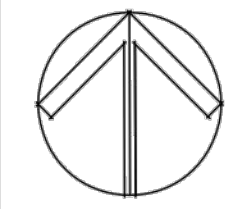
- 50% of trees shall be native varieties
- 20% of trees shall be flowering trees
- 4 varieties of trees between 31 and 40 trees required

**PLANT MATERIAL LIST**

TREES & PALMS		(* indicates native tree)		
Code Name	Quantity	Scientific Name	Common Name	Planting Size
* AR	7	ACER RUBRUM	FLORIDA RED MAPLE	14' X 6', 4'CT 2 1/2"DBH
* IXA	13	ILEX ATTENUATA	EAST PALATKA HOLLY	14' X 6', 4'CT 2 1/2"DBH
LI	5	LAGERSTROMIA INDICA	CRAPE MYRTLE	14' X 6', 4'CT 2 1/2"DBH
* QV	13	QUERCUS VIRGINIANA	LIVE OAK	14' X 6', 4'CT 2 1/2"DBH
SHRUBS & GROUNDCOVERS				
Code Name	Quantity	Scientific Name	Common Name	Planting Size
DTV	188	DIANELLA TASMANICA VARIEGATA	FLAX LILLY	12" X 12" #1, 16" OC
PM	35	PODOCARPUS MAKI	YEW PODOCARPOUS	24" X 16" #3, 24" OC
VO	505	VIBURN ODORTISSUM	SWEET VIBURNUM	24" X 20" #3, 3' OC
OTHER MATERIALS				
MULCH	43	CU. YDS. ENVIRO MULCH (EST.)	( NO CYPRESS MULCH )	
SOD	32,900	SQ. FT. BAHIA SOD (EST.)		

DATE	BY	REVISIONS
5/24/23	D.J.S.	REVISE TREES IN PARKING LOT ISLANDS & ADD NOTE ABOUT TREES IN PRESERVE

Date: 8/4/22  
 Scale: 1" = 20'  
 Design By: D.J.S.  
 Drawn By: D.J.S.  
 Check By: D.J.S.



LANDSCAPE PLAN  
 COMMERCE LAKES DRIVE WAREHOUSE  
 PREPARED FOR : A GREAT HOME

DANIEL J. SUGG, LANDSCAPE ARCHITECT, FL. LIC. #766  
 POST OFFICE BOX 335, JENSEN BEACH, FLORIDA 34958  
 TEL. 772-485-1776 danlandarch@gmail.com

DANIEL J. SUGG PLA  
 License No: 766