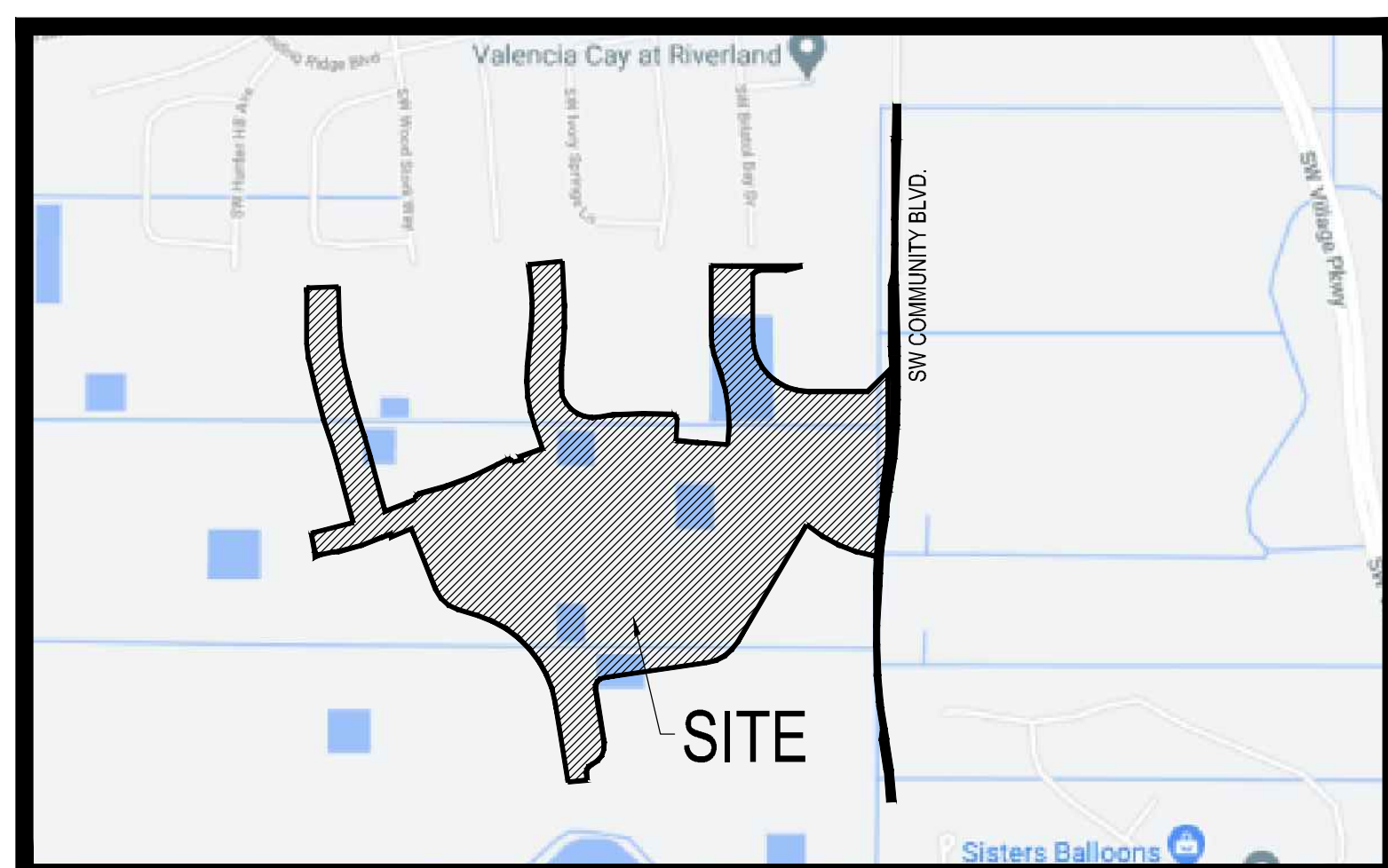


# PAVING, GRADING AND DRAINAGE IMPROVEMENTS FOR RIVERLAND PARCEL B PLAT ONE

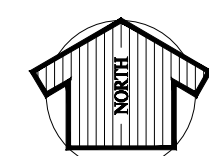
## CIVIL CONSTRUCTION PLANS & SPECIFICATIONS SECTIONS 21 AND 22, TOWNSHIP 37 S, RANGE 39 E CITY OF PORT ST. LUCIE, FLORIDA

### INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
01	COVER SHEET
02 - 18-A	PAVING, GRADING & DRAINAGE PLANS
19 - 20	PAVING, GRADING & DRAINAGE DETAILS
21 - 23	CROSS SECTIONS
24	CLEARING AND SEDIMENT & EROSION CONTROL PLAN
25	STORMWATER POLLUTION PREVENTION PLAN
26	MASTER DRAINAGE PLAN



LOCATION MAP  
N.T.S.



VICINITY AERIAL MAP  
N.T.S.

LEGAL DESCRIPTION:  
BA PARCEL OF LAND, BEING A PORTION OF SECTIONS 21 AND 22, TOWNSHIP 37 SOUTH, RANGE 39 EAST, CITY OF PORT ST. LUCIE, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE MOST EASTERLY, SOUTHEAST CORNER OF RIVERLAND PASEO PARK, AS RECORDED IN PLAT BOOK 49, PAGE 12 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, SAID POINT ALSO BEING ON THE WEST LINE OF E/W #2 RIGHT-OF-WAY AS RECORDED IN OFFICIAL RECORDS BOOK 2899, PAGE 2933, SAID PUBLIC RECORDS; THENCE ALONG SAID WEST LINE OF E/W #2 RIGHT-OF-WAY ACCORDING TO SAID OFFICIAL RECORDS BOOK 2899, PAGE 2933 AND OFFICIAL RECORDS BOOK 3902, PAGE 503, SAID PUBLIC RECORDS FOR THE FOLLOWING THREE (3) DESCRIBED COURSES: SOUTH 00°05'34" WEST, A DISTANCE OF 661.73 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE WEST, HAVING A RADIUS OF 2065.00 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 10°44'31", A DISTANCE OF 387.15 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 2215.00 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 02°12'39", A DISTANCE OF 85.44 FEET TO THE POINT OF CURVE CONCAVE TO THE SOUTHWEST, FROM WHICH THE RADIUS POINT BEARS NORTH 81°22'31" WEST, HAVING A RADIUS OF 40.00 FEET; THENCE, DEPARTING SAID WEST RIGHT-OF-WAY LINE, NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 89°04'55", A DISTANCE OF 62.19 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 825.00 FEET; THENCE WESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 30°28'09", A DISTANCE OF 438.72 FEET TO A POINT OF INTERSECTION WITH A NON-RADIAL LINE; THENCE SOUTH 30°28'54" WEST, A DISTANCE OF 797.03 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 256.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 51°25'07", A DISTANCE OF 229.74 FEET TO THE POINT OF TANGENCY; THENCE SOUTH 81°52'01" WEST, A DISTANCE OF 604.73 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 60.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°53'29", A DISTANCE OF 98.18 FEET TO THE POINT OF TANGENCY; THENCE SOUTH 09°01'25" EAST, A DISTANCE OF 513.50 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 116.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 77°14'07", A DISTANCE OF 156.37 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 50.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 73°04'47", A DISTANCE OF 84.24 FEET TO THE POINT OF NON-RADIAL INTERSECTION WITH A LINE; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 13°22'01" EAST, A DISTANCE OF 40.60 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF E/W #3, AS RECORDED IN OFFICIAL RECORD BOOK 3902 AT PAGE 465 OF SAID PUBLIC RECORDS AND A POINT OF NON-RADIAL INTERSECTION WITH A CURVE, CONCAVE SOUTHERLY, HAVING A RADIAL BEARING OF SOUTH 05°24'01" EAST, A RADIUS OF 8076.97 FEET AND A CENTRAL ANGLE OF 00°48'16"; THENCE WESTERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 112.30 FEET TO A POINT OF NON-RADIAL INTERSECTION WITH A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 188.00 FEET, A CENTRAL ANGLE OF 05°49'01"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 27.11 FEET TO A POINT OF TANGENCY; THENCE SOUTH 00°24'24" EAST, A DISTANCE OF 122.36 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 101.00 FEET, A CENTRAL ANGLE OF 18°51'55"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 32.26 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 287.00 FEET, A CENTRAL ANGLE OF 07°25'34"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 27.11 FEET TO A POINT OF TANGENCY; THENCE SOUTH 00°24'24" EAST, A DISTANCE OF 122.36 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 101.00 FEET, A CENTRAL ANGLE OF 18°51'55"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 32.26 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 287.00 FEET, A CENTRAL ANGLE OF 07°25'34"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 553.45 FEET TO THE POINT OF COMPOUND CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 83°55'21"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 43.94 FEET TO THE POINT OF COMPOUND CURVATURE OF A CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 648.00 FEET, A CENTRAL ANGLE OF 11°07'29"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 118.63 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 348.00 FEET, A CENTRAL ANGLE OF 18°32'47"; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 112.65 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°01'43" EAST, A DISTANCE OF 409.84 FEET TO A POINT OF INTERSECTION WITH SAID SOUTH LINE OF RIVERLAND PARCEL A - PLAT EIGHT AND THE POINT OF NON-RADIAL INTERSECTION WITH A CURVE, CONCAVE NORTHERLY, HAVING A RADIAL BEARING OF NORTH 01°46'36" EAST, A RADIUS OF 4010.00 FEET AND A CENTRAL ANGLE OF 01°44'52"; THENCE EASTERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 122.33 FEET TO A POINT OF TANGENCY; THENCE, ALONG SAID SOUTH LINE OF RIVERLAND PARCEL A - PLAT EIGHT AND THE SOUTH LINE RIVERLAND PARCEL A - PLAT FOURTEEN, AS RECORDED IN PLAT BOOK 87, PAGE 33 OF SAID PUBLIC RECORDS, SOUTH 89°58'17" EAST, A DISTANCE OF 410.94 FEET; THENCE, ALONG THE NORTHERLY, WESTERLY AND SOUTHERLY BOUNDARY OF RIVERLAND PASEO PARK, AS RECORDED IN PLAT BOOK 89, PAGE 12 OF SAID PUBLIC RECORDS FOR THE FOLLOWING SEVEN (7) COURSES, SOUTH 75°18'12" WEST, A DISTANCE OF 94.42 FEET; THENCE NORTH 89°58'17" WEST, A DISTANCE OF 159.40 FEET; THENCE SOUTH 59°30'05" WEST, A DISTANCE OF 44.68 FEET; THENCE SOUTH 00°01'43" WEST, A DISTANCE OF 366.84 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 325.00 FEET, A CENTRAL ANGLE OF 89°50'09"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 510.15 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°54'26" EAST, A DISTANCE OF 347.78 FEET; THENCE NORTH 45°05'34" EAST, A DISTANCE OF 172.53 FEET TO THE POINT OF BEGINNING

SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 169.10 FEET TO A POINT OF TANGENCY; THENCE SOUTH 17°30'54" EAST, A DISTANCE OF 169.10 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 2834.00 FEET, A CENTRAL ANGLE OF 02°23'18"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 118.13 FEET TO A POINT OF TANGENCY; THENCE SOUTH 15°07'36" EAST, A DISTANCE OF 334.95 FEET; THENCE NORTH 68°29'23" EAST, A DISTANCE OF 141.88 FEET; THENCE NORTH 68°10'47" EAST, A DISTANCE OF 50.57 FEET TO THE POINT OF NON-RADIAL INTERSECTION WITH A CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIAL BEARING OF NORTH 74°52'24" EAST, A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 92°21'29"; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 40.30 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 1825.00 FEET, A CENTRAL ANGLE OF 15°34'59"; THENCE EASTERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 498.36 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 978.00 FEET, A CENTRAL ANGLE OF 03°34'15"; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 60.77 FEET TO THE POINT OF COMPOUND CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 95°18'58"; THENCE EASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 41.59 FEET TO A POINT OF INTERSECTION WITH A NON-RADIAL LINE; THENCE NORTH 78°13'12" EAST, A DISTANCE OF 50.25 FEET; THENCE NORTH 19°27'53" WEST, A DISTANCE OF 22.01 FEET; THENCE NORTH 70°32'07" EAST, A DISTANCE OF 141.00 FEET; THENCE NORTH 19°27'53" WEST, A DISTANCE OF 134.54 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 834.00 FEET, A CENTRAL ANGLE OF 24°52'29"; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 362.08 FEET TO A POINT OF TANGENCY; THENCE NORTH 05°24'36" EAST, A DISTANCE OF 240.52 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 1166.00 FEET, A CENTRAL ANGLE OF 10°21'38"; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 251.53 FEET TO A POINT OF TANGENCY; THENCE NORTH 06°56'59" WEST, A DISTANCE OF 107.13 FEET TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF RIVERLAND PARCEL A - PLAT EIGHT, AS RECORDED IN PLAT BOOK 80, PAGE 10 OF SAID PUBLIC RECORDS AND THE POINT OF RADIAL INTERSECTION WITH A CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 3740.00 FEET AND A CENTRAL ANGLE OF 03°02'44"; THENCE EASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 189.88 FEET TO A POINT OF INTERSECTION WITH A NON-RADIAL LINE; THENCE SOUTH 02°20'39" EAST, A DISTANCE OF 265.05 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 1848.00 FEET, A CENTRAL ANGLE OF 07°45'15"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 250.10 FEET TO A POINT OF TANGENCY; THENCE SOUTH 05°24'36" WEST, A DISTANCE OF 95.22 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 287.00 FEET, A CENTRAL ANGLE OF 05°49'01"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 27.11 FEET TO A POINT OF TANGENCY; THENCE SOUTH 00°24'24" EAST, A DISTANCE OF 122.36 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 101.00 FEET, A CENTRAL ANGLE OF 18°51'55"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 32.26 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 287.00 FEET, A CENTRAL ANGLE OF 07°25'34"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 553.45 FEET TO THE POINT OF COMPOUND CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 83°55'21"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 43.94 FEET TO THE POINT OF COMPOUND CURVATURE OF A CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 648.00 FEET, A CENTRAL ANGLE OF 11°07'29"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, A DISTANCE OF 118.63 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 348.00 FEET, A CENTRAL ANGLE OF 18°32'47"; 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CONTAINING 93.263 ACRES, MORE OR LESS.

### PLAN FOR RIVERLAND ASSOCIATES II LLLP ENGINEER & SURVEYOR



ENGINEERING & SURVEYING, LLC.

1449 NW COMMERCE CENTRE DR  
PORT ST. LUCIE, FL 34986  
PHONE: (772) 879-0477

ENGINEER'S PROJECT NO. 21-1006

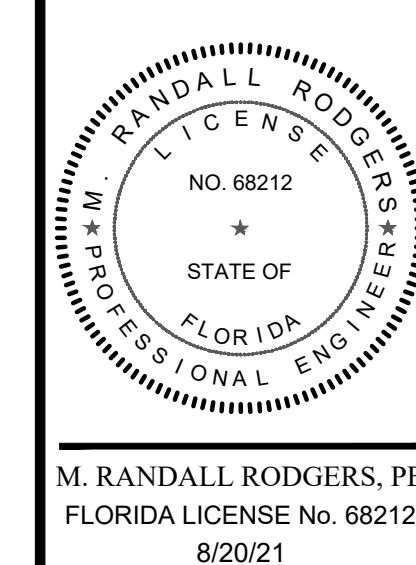
NOTE:  
PSLUSD STANDARDS AND DETAILS EFFECTIVE 2019



REVISIONS:	BY:	DATE:	COMMENT:
	SG	05/28/21	PER SPRIC COMMENTS
	SG	07/28/21	PER GLH COMMENTS

PROJECT:  
RIVERLAND PARCEL B  
PLAT ONE  
CITY OF PORT ST. LUCIE,  
FLORIDA

CLIENT:  
RIVERLAND ASSOCIATES II  
LLLP



PROJECT No.: 21-1006  
DRAWN BY: SC  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID.: 21-1006-COVER

SHEET TITLE:  
COVER SHEET

SHEET NUMBER:  
01

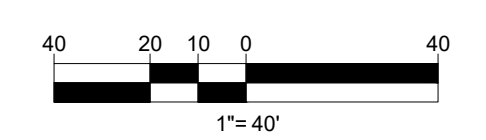
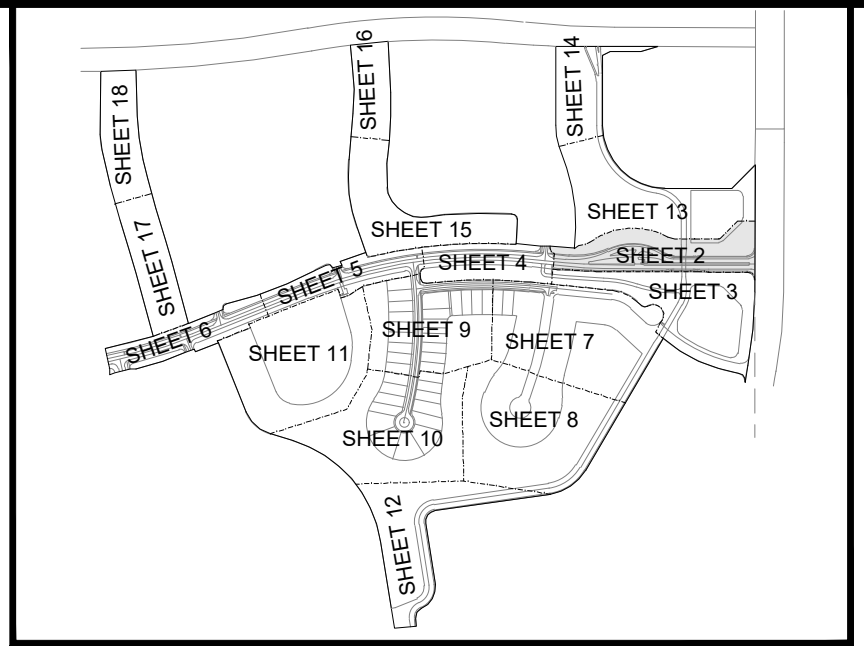


CITY OF PSL PROJECT NO. P21-094  
PSLUSD FILE NO. 5266B

NOTE:  
THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08(g).

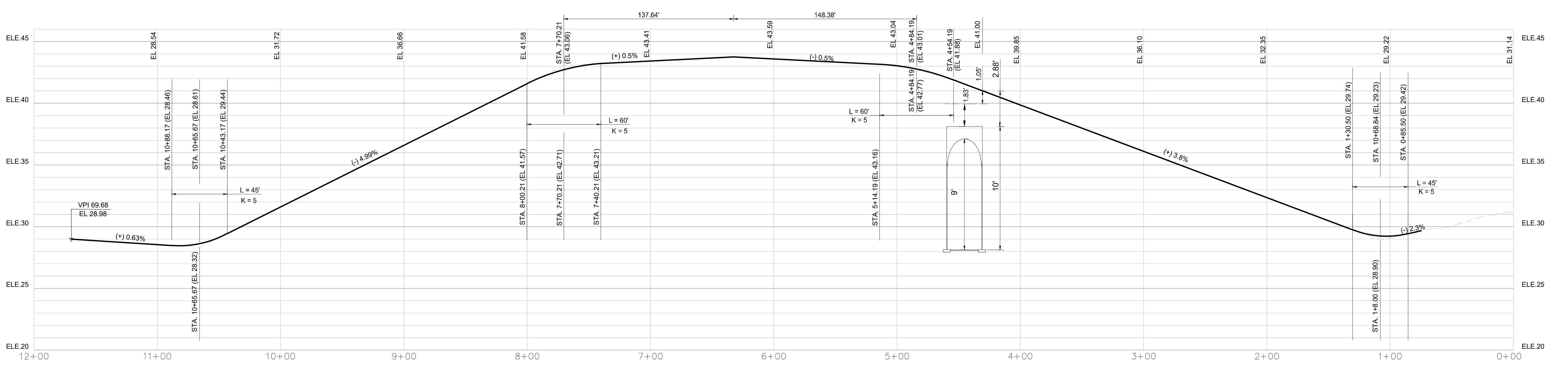
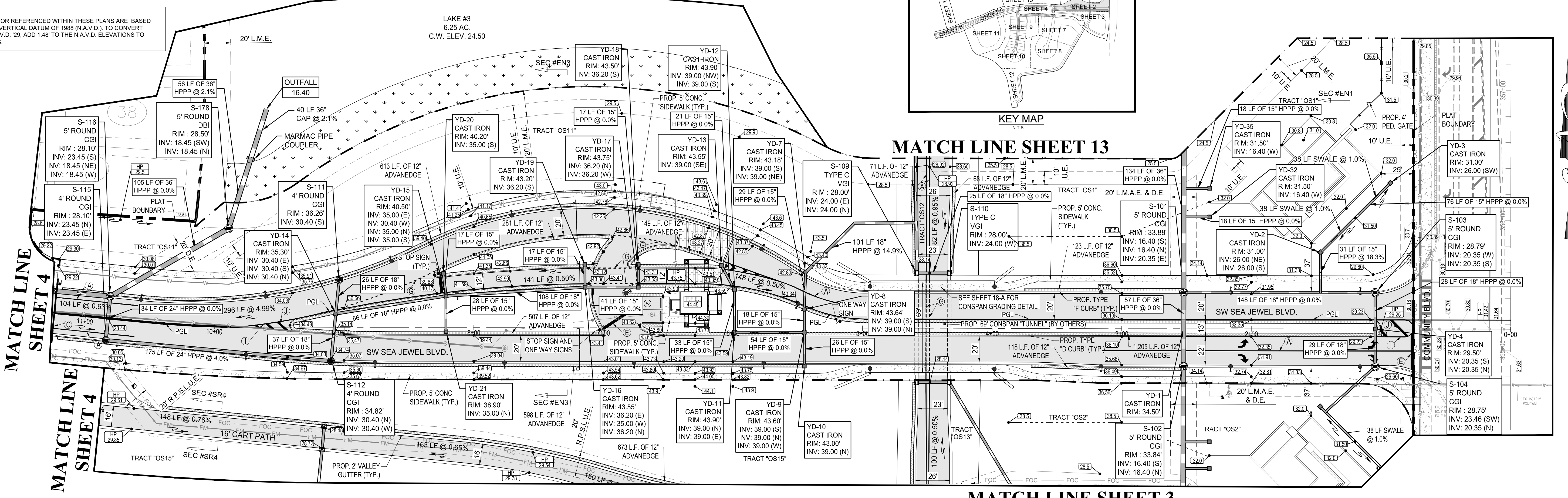
NOTE:  
ALL ELEVATIONS SHOWN OR REFERENCED WITHIN THESE PLANS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.). TO CONVERT FROM N.A.V.D. '88 TO N.G.V.D. '29, ADD 1.48' TO THE N.A.V.D. ELEVATIONS TO GET N.G.V.D. ELEVATIONS.

### MATCH LINE SHEET 13



**VELCON**  
ENGINEERING & SURVEYING, LLC  
1449 NW COMMERCIAL CENTRE DR  
PORT ST. LUCIE, FL 34986  
PHONE: (772) 879-5477  
FIRE C.O.A. #3222

REVISIONS:	DATE:	COMMENT:
SG	05/28/21	PER SPRC COMMENTS
SG	07/28/21	PER GLH COMMENTS
SG	08/11/21	PER SPRC COMMENTS



#### LEGEND

	STORM MAIN WITH CATCH BASIN AND CALL OUT
	EXISTING STORM MAIN WITH CATCH BASIN
	SANITARY SEWER MAIN WITH MANHOLE
	WATER MAIN WITH VALVE
	PROPOSED ELEVATION
	ELEVATION BY OTHERS

	EXISTING ELEVATION
	DIRECTION OF FLOW
	STREET LIGHTS
	SIGN
	LOT NUMBER
	FINISHED FLOOR ELEVATION
	BUFFER EASEMENT
	COMMUNITY DRAINAGE EASEMENT
	CONTROL WATER ELEVATION
	CORRUGATED ALUMINUM PIPE
	DRAINAGE EASEMENT
	DRAINAGE SWALE EASEMENT
	DITCH BOTTOM INLET
	DRAINAGE EASEMENT
	DRAINAGE SWALE EASEMENT

	HIGH POINT
	LIMITED ACCESS EASEMENT
	LANDSCAPE EASEMENT
	LAKE MAINTENANCE ACCESS EASEMENT
	LAKE MAINTENANCE EASEMENT
	CITY OF PORT ST. LUCIE UTILITY EASEMENT
	PORT ST. LUCIE UTILITY SYSTEMS DEPARTMENT
	OPEN SPACE
	REINFORCED CONCRETE PIPE
	UTILITY EASEMENT
	UTILITY EASEMENT - RESTRICTED AREA (SEE "U.E." PLAT DEDICATION)
	RIVERLAND DRAINAGE EASEMENT
	RIVERLAND DRAINAGE SWALE EASEMENT
	RIVERLAND LANDSCAPE EASEMENT
	RIVERLAND UTILITY EASEMENT
	RIVERLAND UTILITY EASEMENT - RESTRICTED AREA
	RIVERLAND PORT ST. LUCIE UTILITY EASEMENT

	VALLEY GUTTER INLET
	CURB GUTTER INLET
	YARD DRAIN
	PROPOSED YARD DRAIN WITH COLLAR (18" GRATE)
	PROPOSED YARD DRAIN WITHOUT COLLAR (12" STANDPIPE, GRATE SIZE TO VARY)
	PAVEMENT
	SIDEWALK
	DETECTABLE WARNING SURFACE (SEE NOTE)
	LITTORAL PLANTING AREA
	SECTION CALLOUT

#### STRIPING KEY

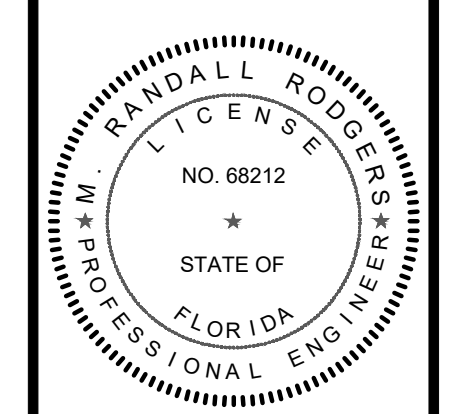
	- 6" SOLID WHITE
	- 8" SOLID WHITE
	- 12" SOLID WHITE
	- 18" SOLID WHITE
	- 24" SOLID WHITE
	- 6" SKIP WHITE TYP. (10' - 30')
	- 6" SKIP WHITE TYP. (6' - 10')

	- 6" SKIP WHITE TYP. (2' - 4')
	- 6" SOLID YELLOW
	- 18" SOLID YELLOW
	- 6" DOUBLE YELLOW
	- 6" SKIP YELLOW TYP. (10' - 30')
	- 6" SKIP YELLOW TYP. (6' - 10')
	- 6" SKIP YELLOW TYP. (2' - 4')

	- RPM BI - DIRECTIONAL YELLOW / YELLOW
	- FDP WHITE
	- FDP YELLOW
	- RPM BI - DIRECTIONAL WHITE / RED

PROJECT:  
**RIVERLAND PARCEL B**  
**PLAT ONE**  
CITY OF PORT ST. LUCIE,  
FLORIDA

CLIENT:  
**RIVERLAND ASSOCIATES II LLLP**



M. RANDALL RODGERS, PE  
FLORIDA LICENSE No. 68212  
8/20/21

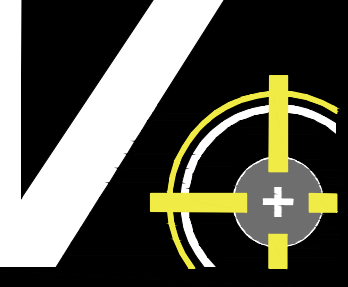
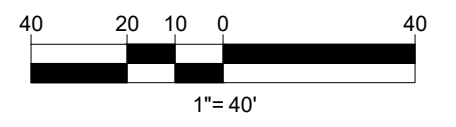
PROJECT No.: 21-1006  
DRAWN BY: SC  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID.: 21-1006-PGD PLAN

SHEET TITLE:  
**PAVING, GRADING & DRAINAGE PLAN**

SHEET NUMBER:  
**02**



CITY OF PSL PROJECT NO. P21-094  
PSLUSD FILE NO. 5266B



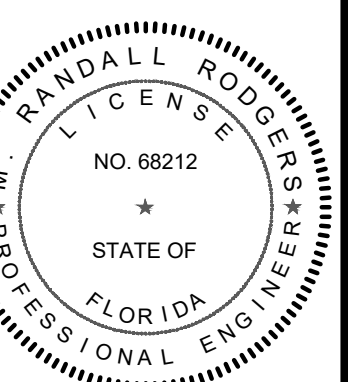
**VELCON**  
ENGINEERING & SURVEYING, LLC

1449 NW COMMERCIAL CENTRE DR  
PORT ST. LUCIE, FL 34956  
PHONE: (772) 878-0477  
FIRE: C.O.A. 93222

BY:	DATE:	COMMENT:
SG	05/28/21	PER SPRC COMMENTS
SG	07/28/21	PER GLH COMMENTS
SG	08/11/21	PER SPRC COMMENTS

PROJECT:  
**RIVERLAND PARCEL B  
PLAT ONE**  
CITY OF PORT ST. LUCIE,  
FLORIDA

CLIENT:  
**RIVERLAND  
ASSOCIATES II  
LLLP**



M. RANDALL RODGERS, PE  
FLORIDA LICENSE No. 68212  
8/20/21

PROJECT No.: 21-1006  
DRAWN BY: SC  
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CAD ID: 21-1006-PGD PLAN

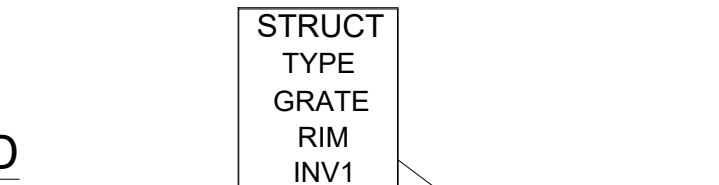
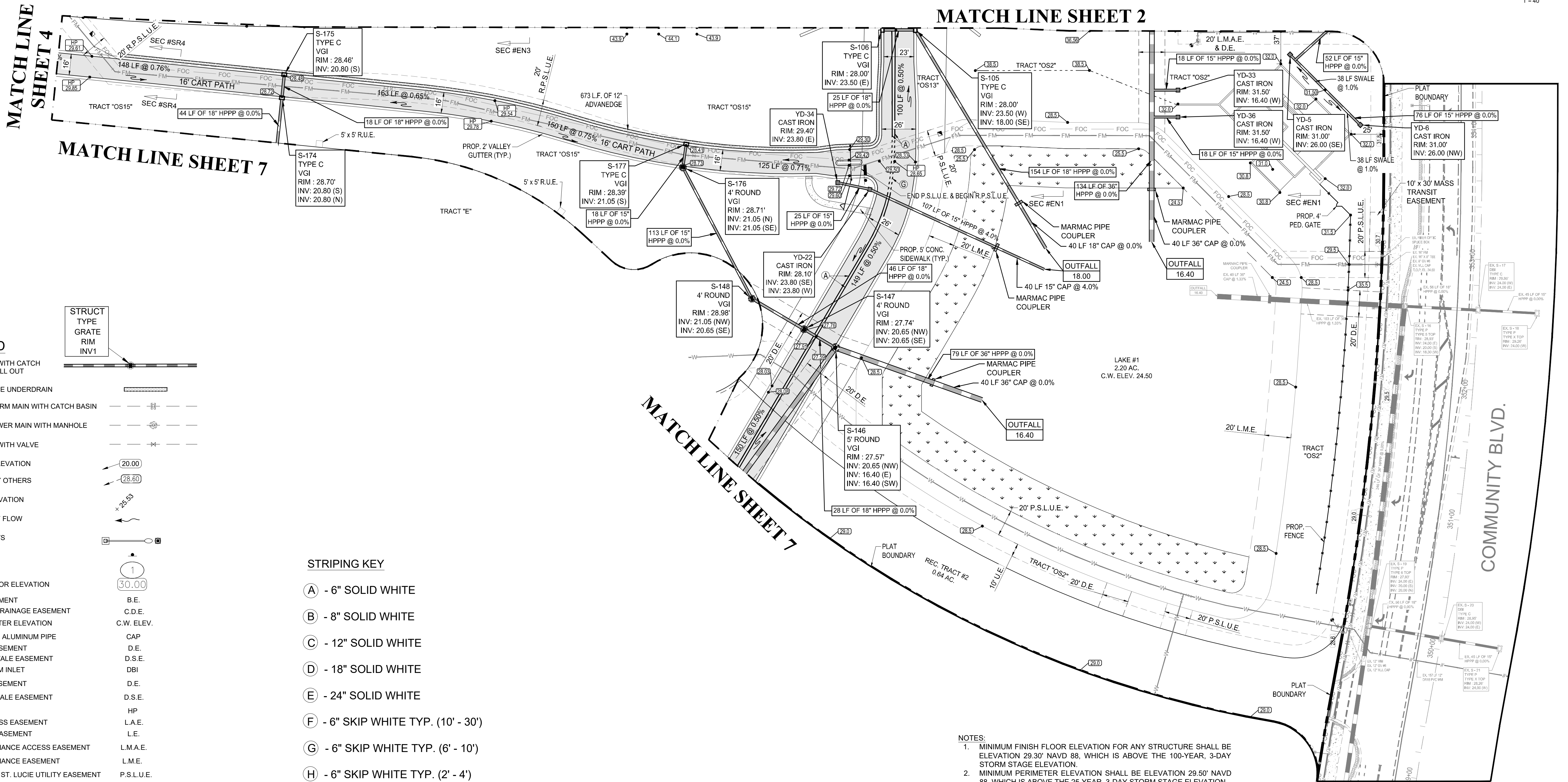
SHEET TITLE:

**PAVING, GRADING  
& DRAINAGE PLAN**

SHEET NUMBER:

**03**

# MATCH LINE SHEET 2



**LEGEND**

STORM MAIN WITH CATCH BASIN AND CALL OUT	
12" ADVANEDGE UNDERDRAIN	
EXISTING STORM MAIN WITH CATCH BASIN	
SANITARY SEWER MAIN WITH MANHOLE	
WATER MAIN WITH VALVE	
PROPOSED ELEVATION	
ELEVATION BY OTHERS	
EXISTING ELEVATION	
DIRECTION OF FLOW	
STREET LIGHTS	
SIGN	
LOT NUMBER	
FINISHED FLOOR ELEVATION	
BUFFER EASEMENT	B.E.
COMMUNITY DRAINAGE EASEMENT	C.D.E.
CONTROL WATER ELEVATION	C.W. ELEV.
CORRUGATED ALUMINUM PIPE	CAP
DRAINAGE EASEMENT	D.E.
DRAINAGE SWALE EASEMENT	D.S.E.
DITCH BOTTOM INLET	DBI
DRAINAGE EASEMENT	D.E.
DRAINAGE SWALE EASEMENT	D.S.E.
HIGH POINT	HP
LIMITED ACCESS EASEMENT	L.A.E.
LANDSCAPE EASEMENT	L.E.
LAKE MAINTENANCE ACCESS EASEMENT	L.M.A.E.
LAKE MAINTENANCE EASEMENT	L.M.E.
CITY OF PORT ST. LUCIE UTILITY EASEMENT	P.S.L.U.E.
PORT ST. LUCIE UTILITY SYSTEMS DEPARTMENT	P.S.L.U.S.D.
OPEN SPACE	O.S.
REINFORCED CONCRETE PIPE	RCP
UTILITY EASEMENT	U.E.
UTILITY EASEMENT - RESTRICTED AREA (SEE "U.E." PLAT DEDICATION)	U.E.-RA
RIVERLAND DRAINAGE EASEMENT	R.D.E.
RIVERLAND DRAINAGE SWALE EASEMENT	R.D.S.E.
RIVERLAND LANDSCAPE EASEMENT	R.L.E.
RIVERLAND UTILITY EASEMENT	R.U.E.
RIVERLAND UTILITY EASEMENT-RESTRICTED AREA	R.U.E.-RA
RIVERLAND PORT ST. LUCIE UTILITY EASEMENT	R.P.S.L.U.E.
VALLEY GUTTER INLET	VGI
CURB GUTTER INLET	CGI
YARD DRAIN	YD
PROPOSED YARD DRAIN WITH COLLAR (18" GRATE)	
PROPOSED YARD DRAIN WITHOUT COLLAR (12" STANDPIPE, GRATE SIZE TO VARY)	
PAVEMENT	
SIDEWALK	
DETECTABLE WARNING SURFACE (SEE NOTE)	
LITTORAL PLANTING AREA	
SECTION CALLOUT	
MATCH LINE	

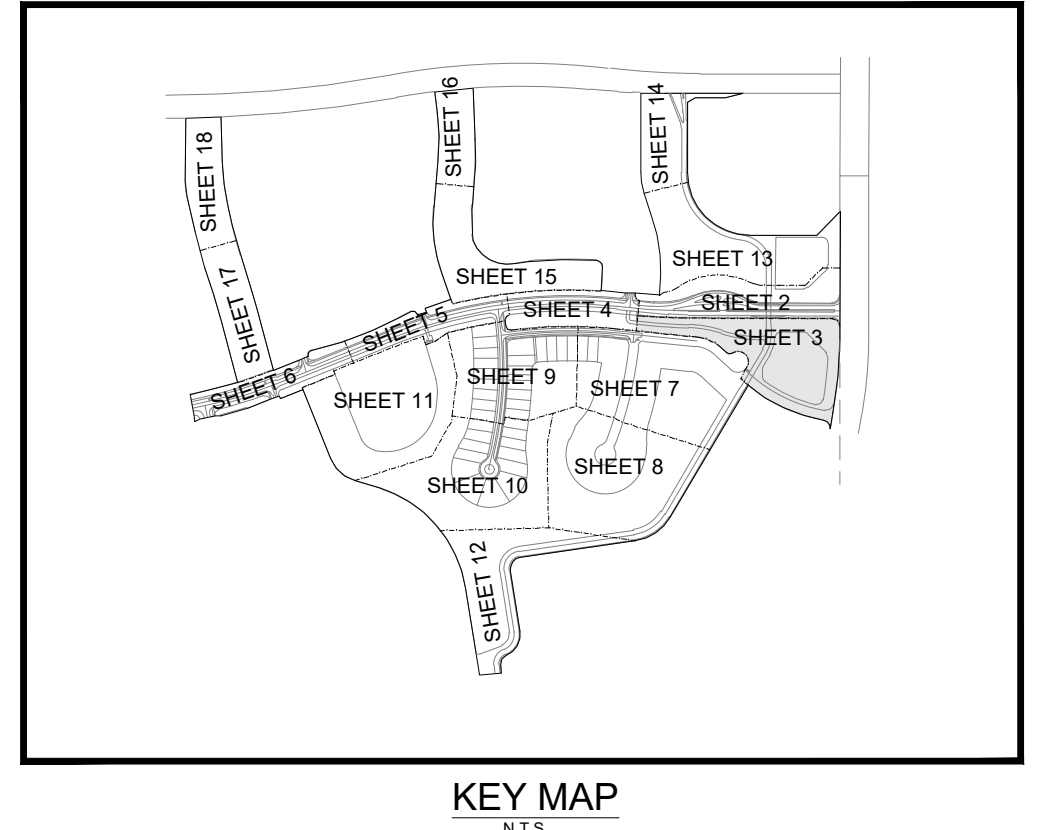
**STRIPING KEY**

(A)	- 6" SOLID WHITE
(B)	- 8" SOLID WHITE
(C)	- 12" SOLID WHITE
(D)	- 18" SOLID WHITE
(E)	- 24" SOLID WHITE
(F)	- 6" SKIP WHITE TYP. (10' - 30')
(G)	- 6" SKIP WHITE TYP. (6' - 10')
(H)	- 6" SKIP WHITE TYP. (2' - 4')
(I)	- 6" SOLID YELLOW
(J)	- 18" SOLID YELLOW
(K)	- 6" DOUBLE YELLOW
(L)	- 6" SKIP YELLOW TYP. (10' - 30')
(M)	- 6" SKIP YELLOW TYP. (6' - 10')
(N)	- 6" SKIP YELLOW TYP. (2' - 4')
(P)	- RPM BI - DIRECTIONAL YELLOW / YELLOW
(R)	- FDP WHITE
(S)	- FDP YELLOW
(T)	- RPM BI - DIRECTIONAL WHITE / RED

- NOTES:**
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  - ALL ELEVATIONS SHOWN ON THESE PLANS ARE IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). TO CONVERT ELEVATIONS TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29), ADD 1.475 FEET TO THE NAVD88 ELEVATION. FOR EXAMPLE, NAVD88 + 1.475 = NGVD 29.
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NOTE:  
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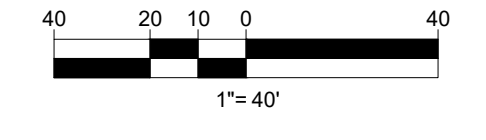
NOTE:  
ALL ELEVATIONS SHOWN OR REFERENCED WITHIN THESE PLANS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.). TO CONVERT FROM N.A.V.D. '88 TO N.G.V.D. '29, ADD 1.48' TO THE N.A.V.D. ELEVATIONS TO GET N.G.V.D. ELEVATIONS.



KEY MAP



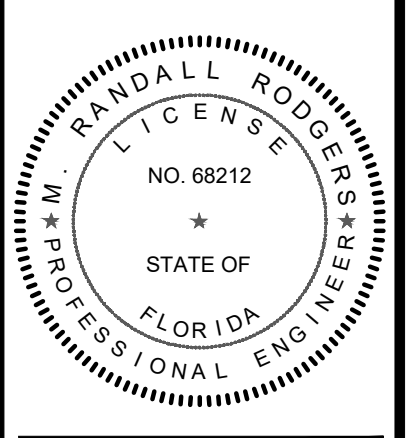
CITY OF PSL PROJECT NO. P21-094  
PSLUSD FILE NO. 5266B



BY:	DATE:	COMMENT:
SG	05/28/21	PER SPRC COMMENTS
SG	07/28/21	PER GLH COMMENTS
SG	08/11/21	PER SPRC COMMENTS

PROJECT:  
**RIVERLAND PARCEL B  
PLAT ONE**  
CITY OF PORT ST. LUCIE,  
FLORIDA

CLIENT:  
**RIVERLAND  
ASSOCIATES II  
LLLP**

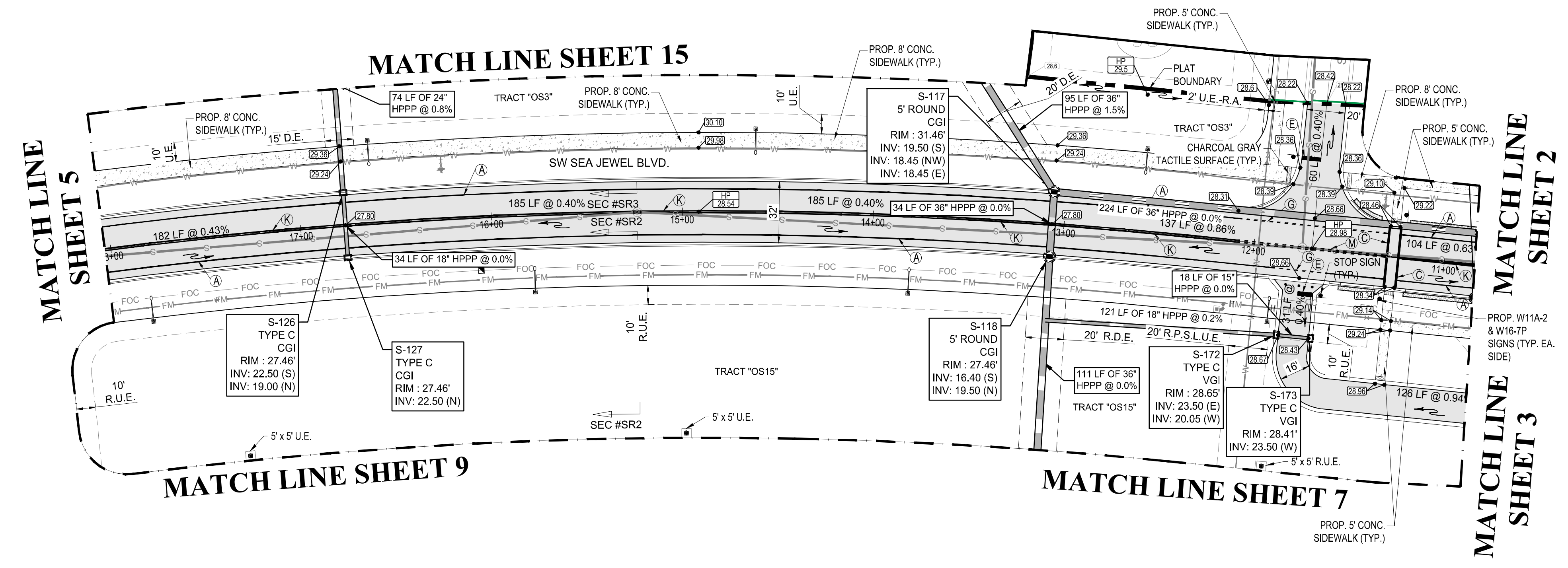


M. RANDALL RODGERS, PE  
FLORIDA LICENSE No. 68212  
8/20/21

PROJECT No.: 21-1006  
DRAWN BY: SC  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID: 21-1006 - PGD PLAN

SHEET TITLE:  
**PAVING, GRADING  
& DRAINAGE PLAN**

SHEET NUMBER:  
**04**



**LEGEND**

STORM MAIN WITH CATCH BASIN AND CALL OUT	
12" ADVANEDGE UNDERDRAIN	
EXISTING STORM MAIN WITH CATCH BASIN	
SANITARY SEWER MAIN WITH MANHOLE	
WATER MAIN WITH VALVE	
PROPOSED ELEVATION	
ELEVATION BY OTHERS	
EXISTING ELEVATION	
DIRECTION OF FLOW	
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SIGN	
LOT NUMBER	
FINISHED FLOOR ELEVATION	
BUFFER EASEMENT	B.E.
COMMUNITY DRAINAGE EASEMENT	C.D.E.
CONTROL WATER ELEVATION	C.W. ELEV.
CORRUGATED ALUMINUM PIPE	CAP
DRAINAGE EASEMENT	D.E.
DRAINAGE SWALE EASEMENT	D.S.E.
DITCH BOTTOM INLET	DBI
DRAINAGE EASEMENT	D.E.
DRAINAGE SWALE EASEMENT	D.S.E.
HIGH POINT	HP
LIMITED ACCESS EASEMENT	L.A.E.
LANDSCAPE EASEMENT	L.E.
LAKE MAINTENANCE ACCESS EASEMENT	L.M.A.E.
LAKE MAINTENANCE EASEMENT	L.M.E.
CITY OF PORT ST. LUCIE UTILITY EASEMENT	P.S.L.U.E.
PORT ST. LUCIE UTILITY SYSTEMS DEPARTMENT	P.S.L.U.S.D.
OPEN SPACE	O.S.
REINFORCED CONCRETE PIPE	RCP
UTILITY EASEMENT	U.E.
UTILITY EASEMENT - RESTRICTED AREA (SEE "U.E." PLAT DEDICATION)	U.E.-R.A.
RIVERLAND DRAINAGE EASEMENT	R.D.E.
RIVERLAND DRAINAGE SWALE EASEMENT	R.D.S.E.
RIVERLAND LANDSCAPE EASEMENT	R.L.E.
RIVERLAND UTILITY EASEMENT	R.U.E.
RIVERLAND UTILITY EASEMENT-RESTRICTED AREA	R.U.E.-R.A.
RIVERLAND PORT ST. LUCIE UTILITY EASEMENT	R.P.S.L.U.E.
VALLEY GUTTER INLET	VGI
CURB GUTTER INLET	CGI
YARD DRAIN	YD
PROPOSED YARD DRAIN WITH COLLAR (18" GRATE)	
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PAVEMENT	
SIDEWALK	
DETECTABLE WARNING SURFACE (SEE NOTE)	
LITTORAL PLANTING AREA	
SECTION CALLOUT	
MATCH LINE	

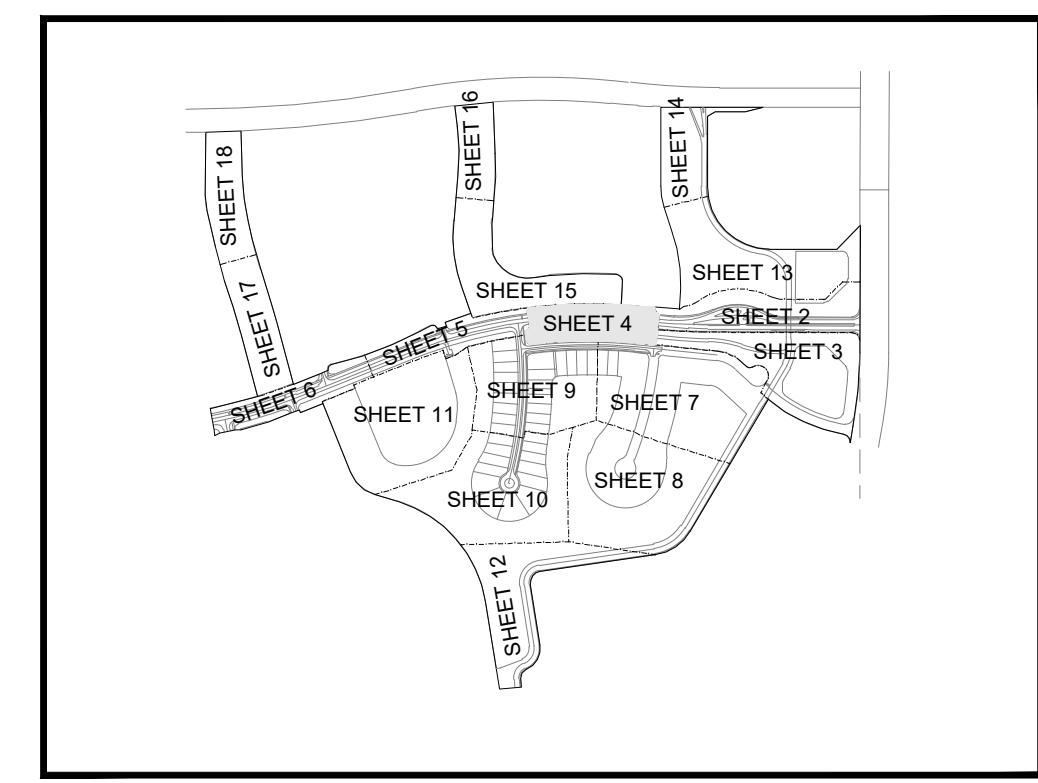
**STRIPING KEY**

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(B) - 8" SOLID WHITE
(C) - 12" SOLID WHITE
(D) - 18" SOLID WHITE
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(F) - 6" SKIP WHITE TYP. (10' - 30')
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(S) - FDP YELLOW
(T) - RPM BI - DIRECTIONAL WHITE / RED

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NOTE:  
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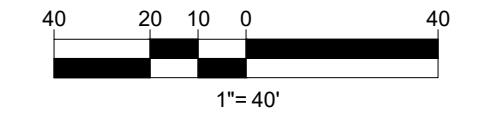
NOTE:  
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KEY MAP  
N.T.S.



CITY OF PSL PROJECT No. P21-094  
PSLUSD FILE No. 5266B



**VELCON**

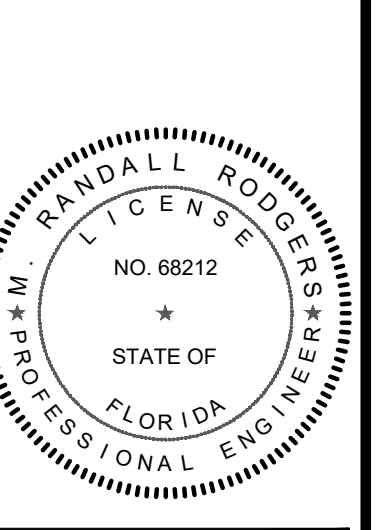
ENGINEERING & SURVEYING, LLC  
 1449 NW COMMERCIAL CENTRE DR  
 PORT ST. LUCIE, FL 34956  
 PHONE: (772) 879-5477  
 FBIR: C.O.A. # 3222

BY:	DATE:	COMMENT:
SG	05/28/21	PER SPRC COMMENTS
SG	07/28/21	PER GLH COMMENTS
SG	08/11/21	PER SPRC COMMENTS

PROJECT: RIVERLAND PARCEL B  
 PLAT ONE  
 CITY OF PORT ST. LUCIE,  
 FLORIDA

CLIENT: RIVERLAND ASSOCIATES II  
 LLLP

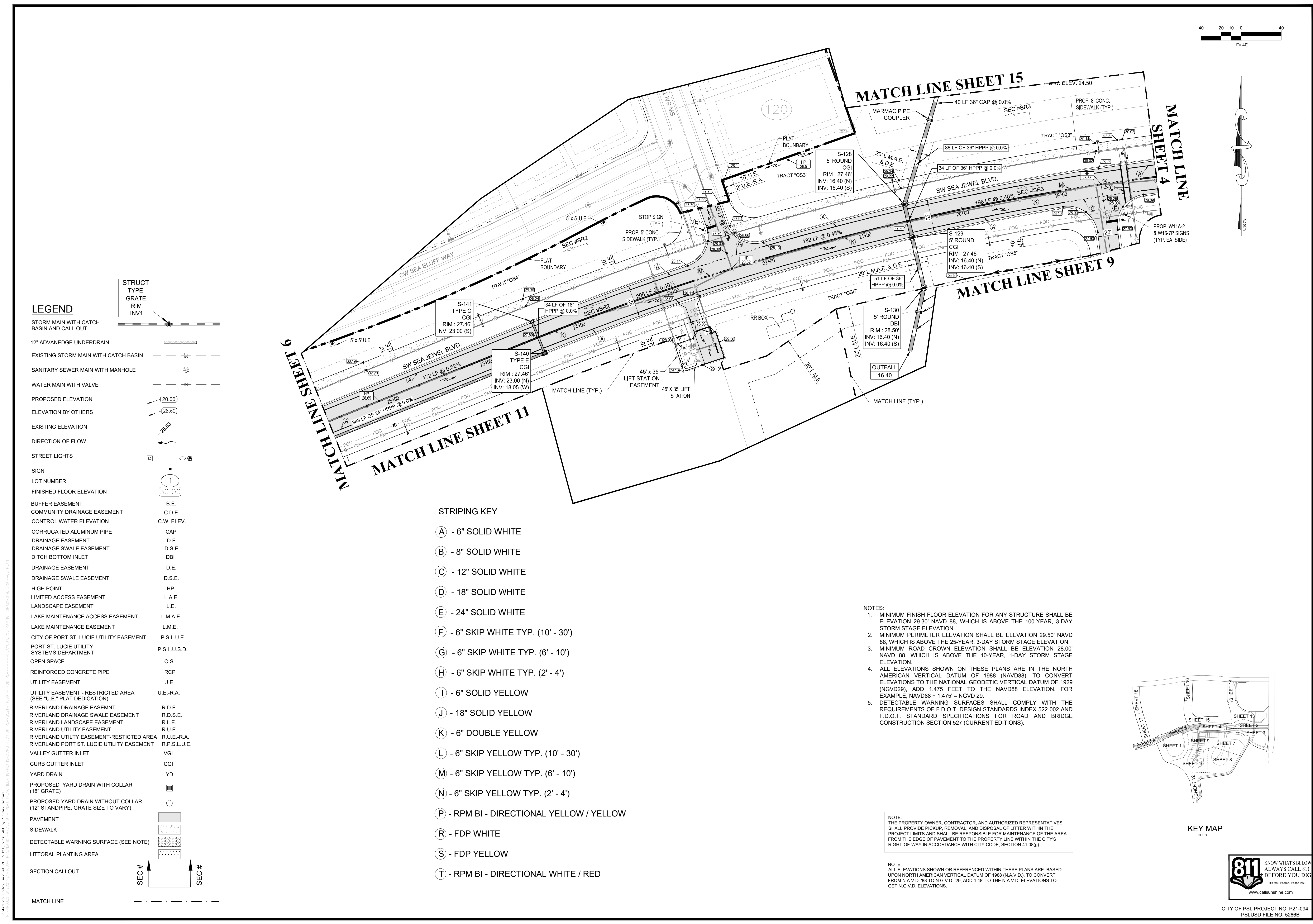
M. RANDALL RODGERS, PE  
 FLORIDA LICENSE No. 68212  
 8/20/21



PROJECT No.: 21-1006  
 DRAWN BY: SIS  
 CHECKED BY: RR  
 DATE: 8/20/2021  
 CAD ID: 21-1006 - PGD PLAN

SHEET TITLE: PAVING, GRADING & DRAINAGE PLAN

SHEET NUMBER: 05



**LEGEND**

STORM MAIN WITH CATCH BASIN AND CALL OUT	
12" ADVANEDGE UNDERDRAIN	
EXISTING STORM MAIN WITH CATCH BASIN	
SANITARY SEWER MAIN WITH MANHOLE	
WATER MAIN WITH VALVE	
PROPOSED ELEVATION	
ELEVATION BY OTHERS	
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LANDSCAPE EASEMENT	L.E.
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CITY OF PORT ST. LUCIE UTILITY EASEMENT	P.S.L.U.E.
PORT ST. LUCIE UTILITY SYSTEMS DEPARTMENT	P.S.L.U.S.D.
OPEN SPACE	O.S.
REINFORCED CONCRETE PIPE	RCP
UTILITY EASEMENT	U.E.
UTILITY EASEMENT - RESTRICTED AREA (SEE "U.E." PLAT DEDICATION)	U.E.-R.A.
RIVERLAND DRAINAGE EASEMENT	R.D.E.
RIVERLAND DRAINAGE SWALE EASEMENT	R.D.S.E.
RIVERLAND LANDSCAPE EASEMENT	R.L.E.
RIVERLAND UTILITY EASEMENT	R.U.E.
RIVERLAND UTILITY EASEMENT-RESTRICTED AREA	R.U.E.-R.A.
RIVERLAND PORT ST. LUCIE UTILITY EASEMENT	R.P.S.L.U.E.
VALLEY GUTTER INLET	VGI
CURB GUTTER INLET	CGI
YARD DRAIN	YD
PROPOSED YARD DRAIN WITH COLLAR (18" GRATE)	
PROPOSED YARD DRAIN WITHOUT COLLAR (12" STANDPIPE, GRATE SIZE TO VARY)	
PAVEMENT	
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DETECTABLE WARNING SURFACE (SEE NOTE)	
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SECTION CALLOUT	
MATCH LINE	

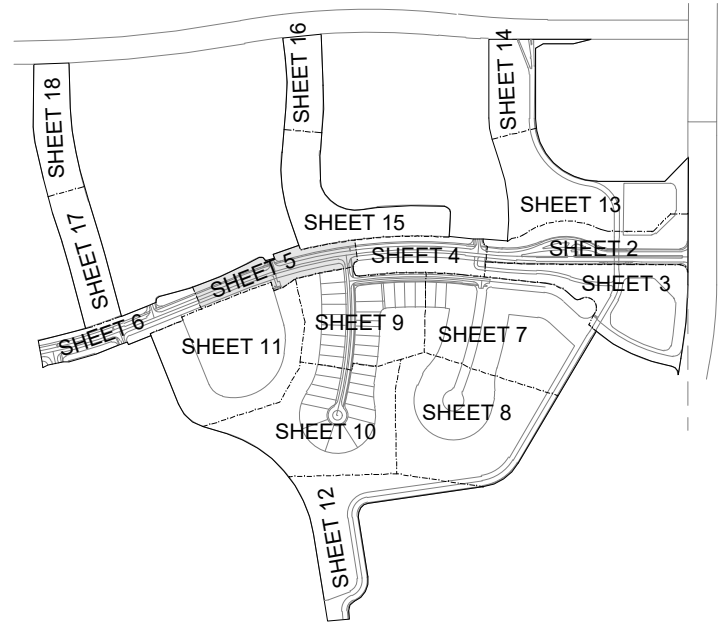
**STRIPING KEY**

- (A) - 6" SOLID WHITE
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KEY MAP  
N.T.S.



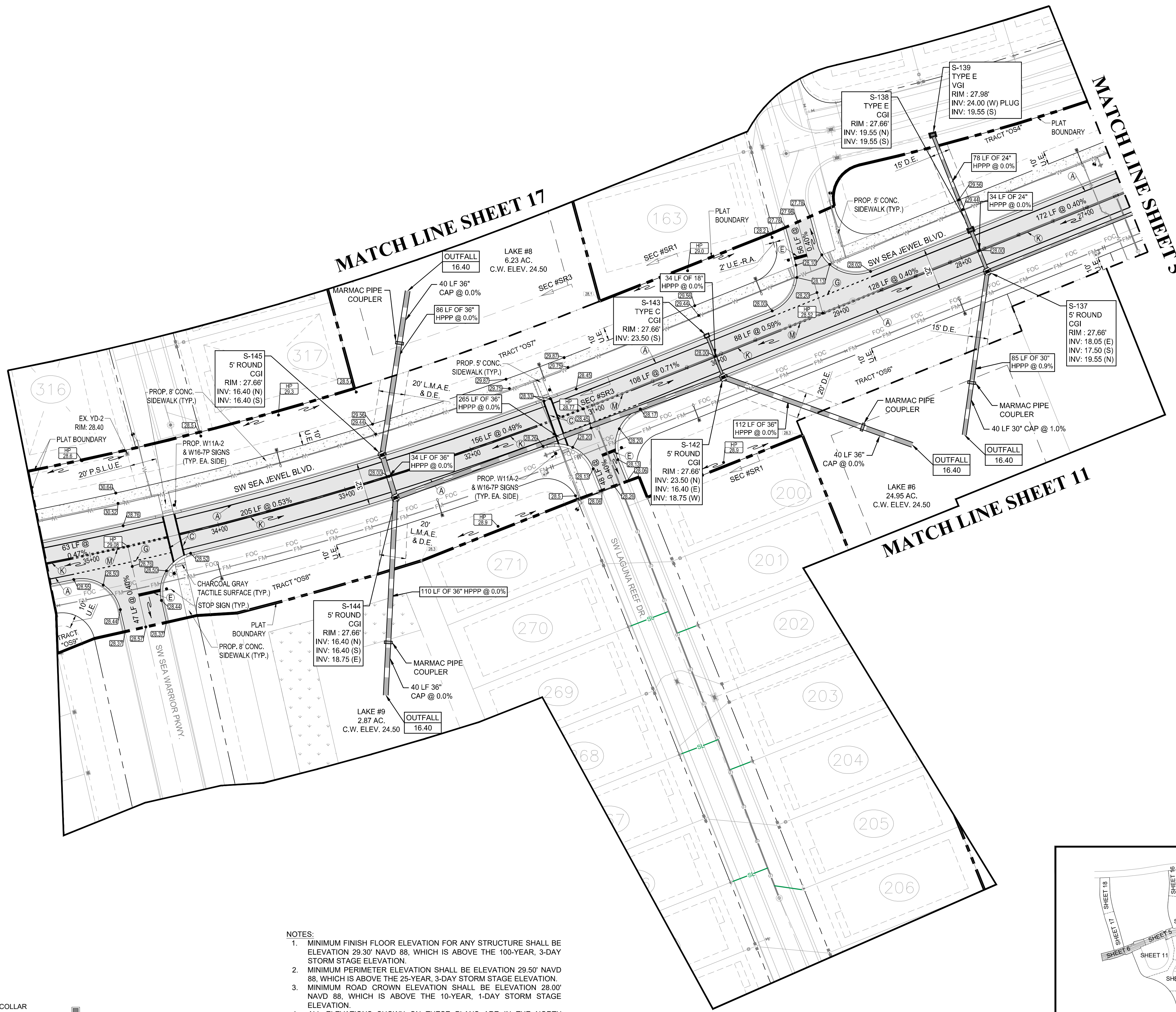
CITY OF PSL PROJECT NO. P21-094  
 PSLUSD FILE NO. 5266B

**STRIPING KEY**

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**LEGEND**

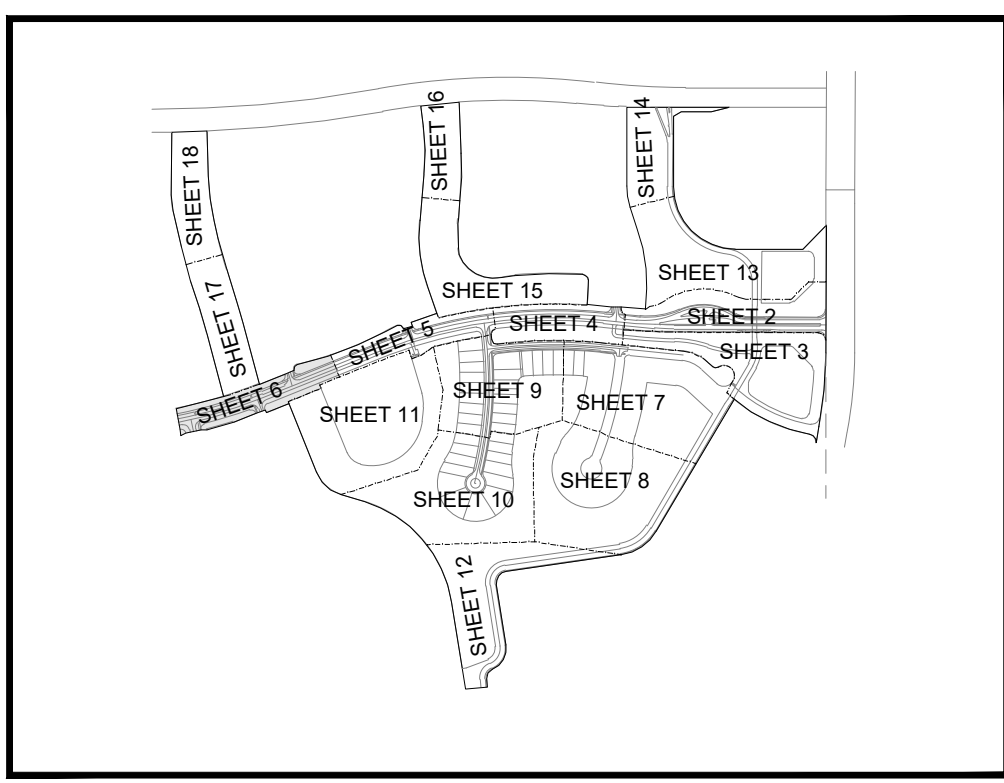
STORM MAIN WITH CATCH BASIN AND CALL OUT	
12" ADVANEDGE UNDERDRAIN	
EXISTING STORM MAIN WITH CATCH BASIN	
SANITARY SEWER MAIN WITH MANHOLE	
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PROPOSED YARD DRAIN WITHOUT COLLAR (12" STANDPIPE, GRATE SIZE TO VARY)	
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SIDEWALK	
DETECTABLE WARNING SURFACE (SEE NOTE)	
LITTORAL PLANTING AREA	
SECTION CALLOUT	
MATCH LINE	



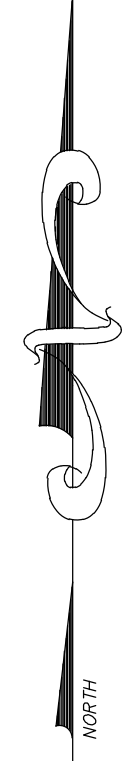
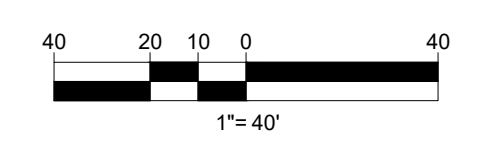
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NOTE: ALL ELEVATIONS SHOWN OR REFERENCED WITHIN THESE PLANS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.). TO CONVERT FROM N.A.V.D. '88 TO N.G.V.D. '29, ADD 1.48' TO THE N.A.V.D. ELEVATIONS TO GET N.G.V.D. ELEVATIONS.



KEY MAP

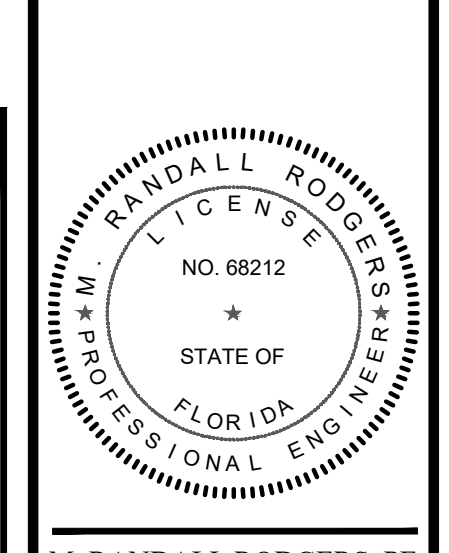


**VELCON**  
ENGINEERING & SURVEYING, LLC  
1449 NW COMMERCIAL CENTRE DR  
PORT ST. LUCIE, FL 34986  
PHONE: (772) 879-5477  
FIRE C.O.A. # 3222

REVISIONS:	BY:	DATE:	COMMENT:
SG	05/28/21		PER SPRC COMMENTS
SG	07/28/21		PER GLH COMMENTS
SG	08/11/21		PER SPRC COMMENTS

PROJECT: RIVERLAND PARCEL B  
PLAT ONE  
CITY OF PORT ST. LUCIE, FLORIDA

CLIENT: RIVERLAND ASSOCIATES II LLLP



M. RANDALL RODGERS, PE  
FLORIDA LICENSE No. 68212  
8/20/21

PROJECT No.: 21-1006  
DRAWN BY: SC  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID: 21-1006-PGD PLAN

SHEET TITLE: PAVING, GRADING & DRAINAGE PLAN

SHEET NUMBER: 06



CITY OF PSL PROJECT NO. P21-094  
PSLUSD FILE NO. 5266B

STRIPING KEY

- (A) - 6" SOLID WHITE
- (B) - 8" SOLID WHITE
- (C) - 12" SOLID WHITE
- (D) - 18" SOLID WHITE
- (E) - 24" SOLID WHITE
- (F) - 6" SKIP WHITE TYP. (10' - 30')
- (G) - 6" SKIP WHITE TYP. (6' - 10')
- (H) - 6" SKIP WHITE TYP. (2' - 4')
- (I) - 6" SOLID YELLOW
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- (P) - RPM BI - DIRECTIONAL YELLOW / YELLOW
- (R) - FDP WHITE
- (S) - FDP YELLOW
- (T) - RPM BI - DIRECTIONAL WHITE / RED

LEGEND

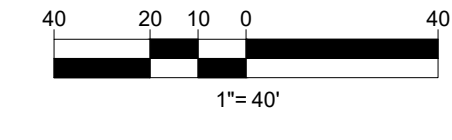
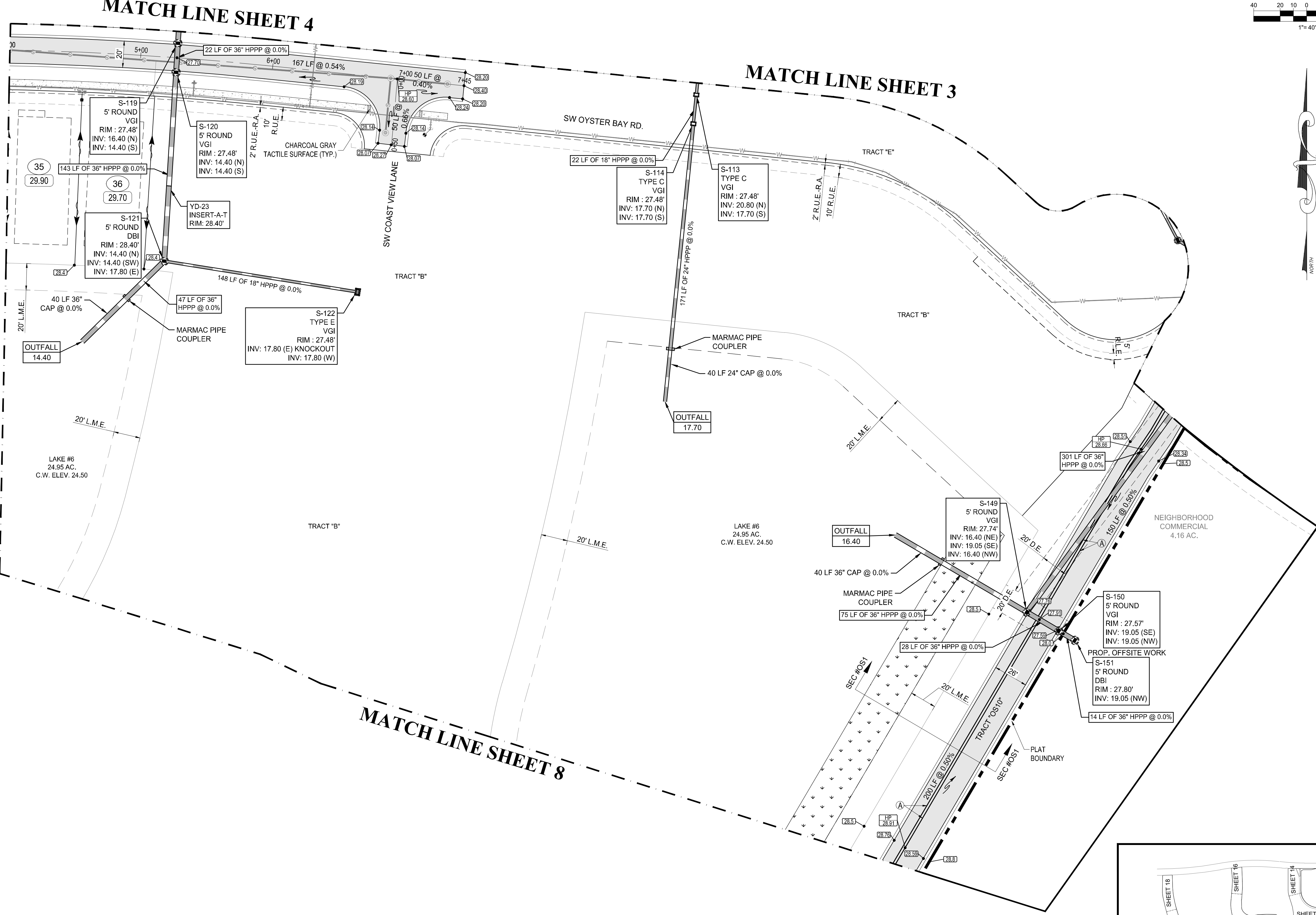
STRUCTURE TYPE	GRATE	RIM	INV1
STORM MAIN WITH CATCH BASIN AND CALL OUT			
12" ADVANEDGE UNDERDRAIN			
EXISTING STORM MAIN WITH CATCH BASIN			
SANITARY SEWER MAIN WITH MANHOLE			
WATER MAIN WITH VALVE			
PROPOSED ELEVATION			
ELEVATION BY OTHERS			
EXISTING ELEVATION			
DIRECTION OF FLOW			
STREET LIGHTS			
SIGN			
LOT NUMBER			
FINISHED FLOOR ELEVATION			
BUFFER EASEMENT			
COMMUNITY DRAINAGE EASEMENT			
CONTROL WATER ELEVATION			
CORRUGATED ALUMINUM PIPE			
DRAINAGE EASEMENT			
DRAINAGE SWALE EASEMENT			
DITCH BOTTOM INLET			
DRAINAGE EASEMENT			
DRAINAGE SWALE EASEMENT			
HIGH POINT			
LIMITED ACCESS EASEMENT			
LANDSCAPE EASEMENT			
LAKE MAINTENANCE ACCESS EASEMENT			
LAKE MAINTENANCE EASEMENT			
CITY OF PORT ST. LUCIE UTILITY EASEMENT			
PORT ST. LUCIE UTILITY SYSTEMS DEPARTMENT			
OPEN SPACE			
REINFORCED CONCRETE PIPE			
UTILITY EASEMENT			
UTILITY EASEMENT - RESTRICTED AREA (SEE "U.E." PLAT DEDICATION)			
RIVERLAND DRAINAGE EASEMENT			
RIVERLAND DRAINAGE SWALE EASEMENT			
RIVERLAND LANDSCAPE EASEMENT			
RIVERLAND UTILITY EASEMENT			
RIVERLAND UTILITY EASEMENT-RESTRICTED AREA			
RIVERLAND PORT ST. LUCIE UTILITY EASEMENT			
VALLEY GUTTER INLET			
CURB GUTTER INLET			
YD	YD		
PROPOSED YARD DRAIN WITH COLLAR (18" GRATE)			
O.S.	PROPOSED YARD DRAIN WITHOUT COLLAR (12" STANDPIPE, GRATE SIZE TO VARY)		
RCP	PAVEMENT		
U.E.	SIDEWALK		
U.E.-R.A.	DETECTABLE WARNING SURFACE (SEE NOTE)		
R.D.E.	LITTORAL PLANTING AREA		
R.D.S.E.			
R.L.E.			
R.U.E.			
R.U.E.-R.A.			
R.P.S.L.U.E.			
VGI			
CGI			

MATCH LINE SHEET 9

MATCH LINE SHEET 4

MATCH LINE SHEET 3

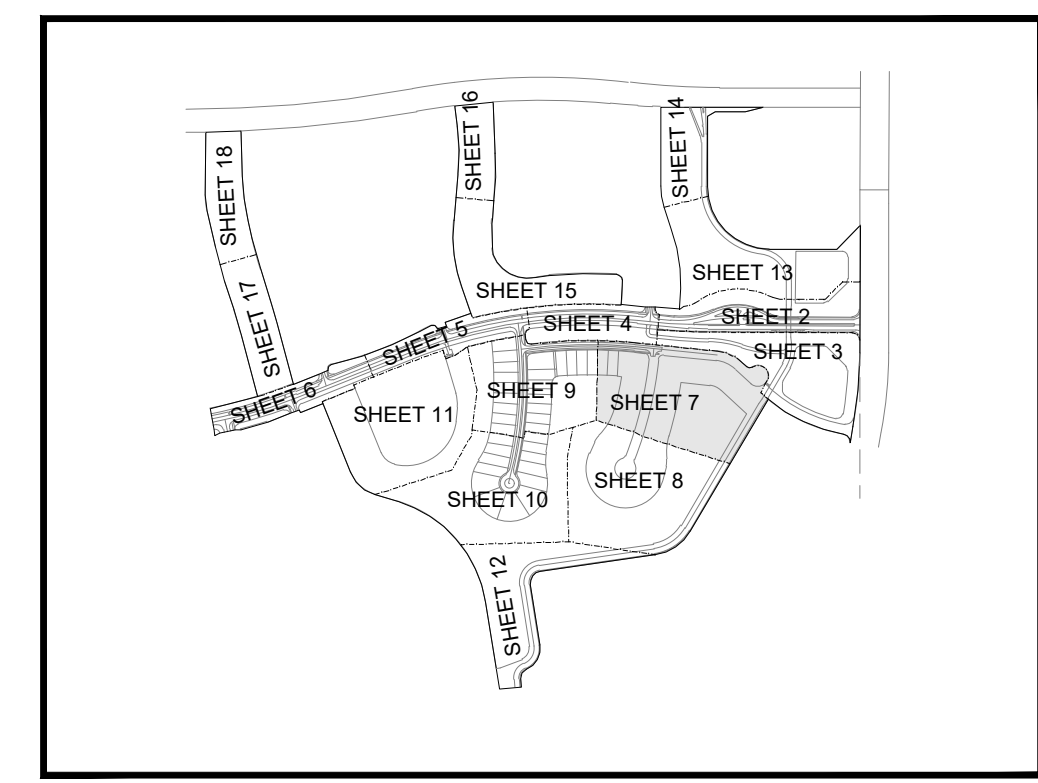
MATCH LINE SHEET 8



- NOTES:
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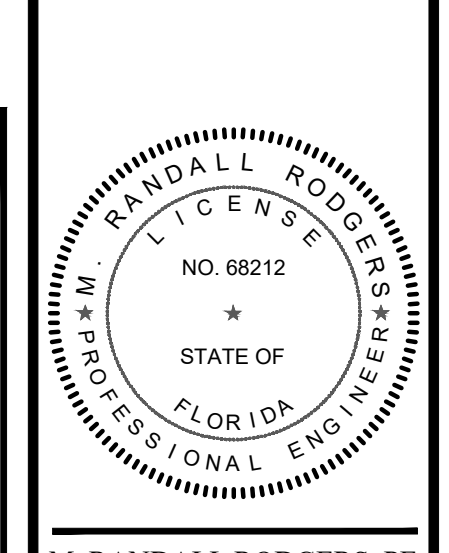


**VELCON**  
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BY:	DATE:	COMMENT:
SG	05/28/21	PER SPRC COMMENTS
SG	07/28/21	PER GLH COMMENTS
SG	08/11/21	PER SPRC COMMENTS

PROJECT:  
**RIVERLAND PARCEL B  
PLAT ONE**  
CITY OF PORT ST. LUCIE,  
FLORIDA

CLIENT:  
**RIVERLAND  
ASSOCIATES II  
LLLP**

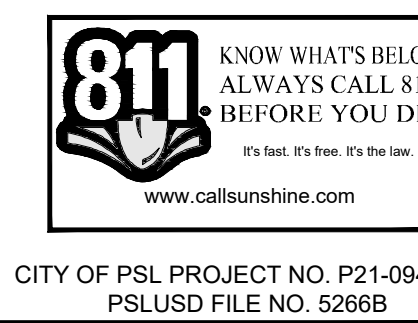


M. RANDALL RODGERS, PE  
FLORIDA LICENSE NO. 68212  
8/20/21

PROJECT No.: 21-1006  
DRAWN BY: SC  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID: 21-1006 - PSD PLAN

SHEET TITLE:  
**PAVING, GRADING  
& DRAINAGE PLAN**

SHEET NUMBER:  
**07**



CITY OF PSL PROJECT NO. P21-094  
PSLUSD FILE NO. 5266B

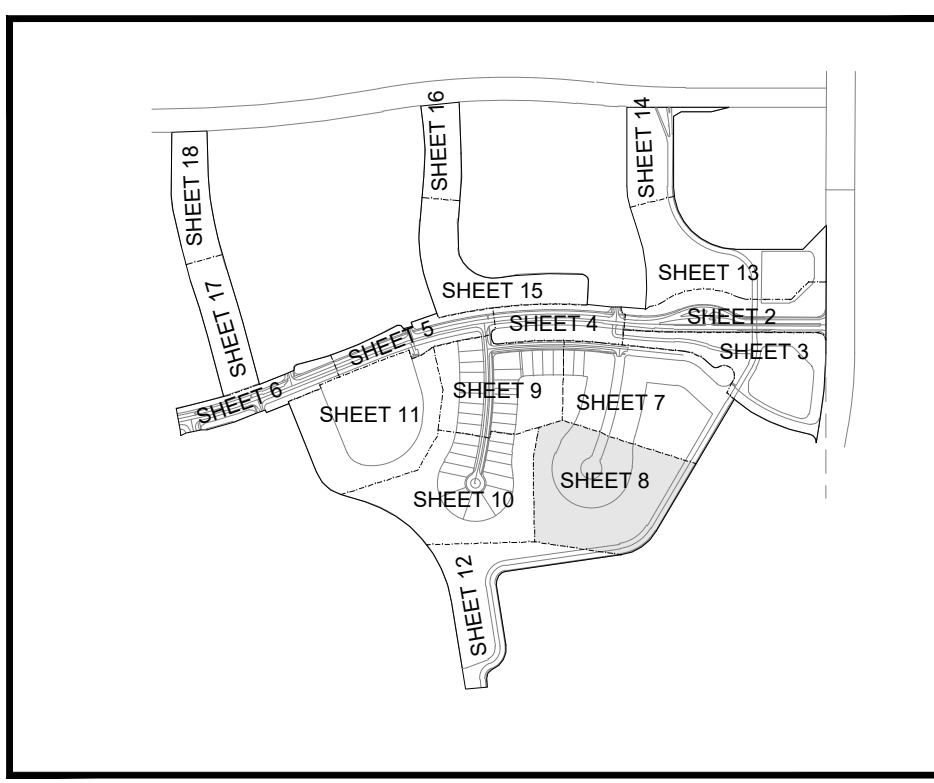
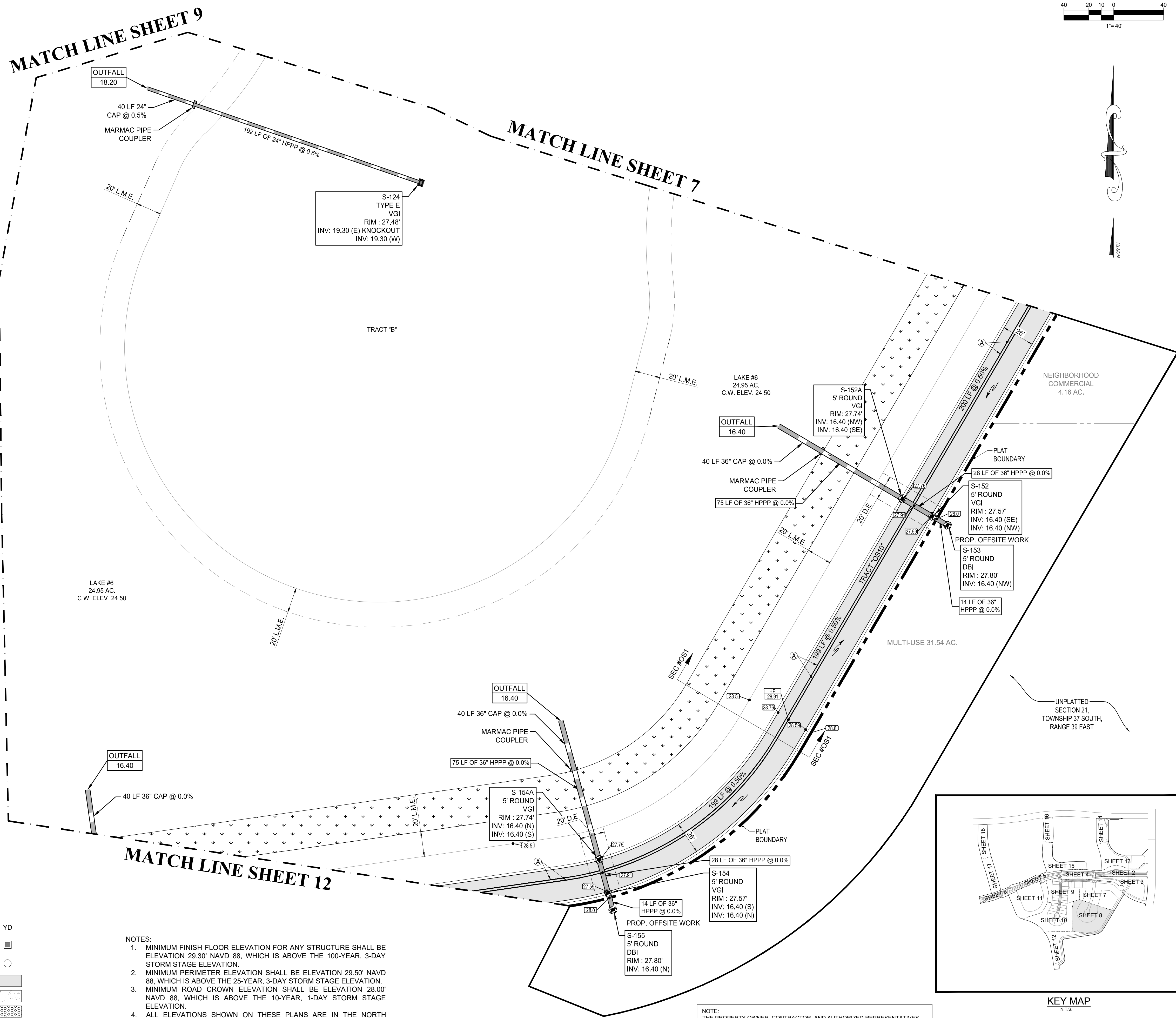
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**LEGEND**

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12" ADVANEDGE UNDERDRAIN	
EXISTING STORM MAIN WITH CATCH BASIN	
SANITARY SEWER MAIN WITH MANHOLE	
WATER MAIN WITH VALVE	
PROPOSED ELEVATION	
ELEVATION BY OTHERS	
EXISTING ELEVATION	
DIRECTION OF FLOW	
STREET LIGHTS	
SIGN	
LOT NUMBER	
FINISHED FLOOR ELEVATION	
BUFFER EASEMENT	B.E.
COMMUNITY DRAINAGE EASEMENT	C.D.E.
CONTROL WATER ELEVATION	C.W. ELEV.
CORRUGATED ALUMINUM PIPE	CAP
DRAINAGE EASEMENT	D.E.
DRAINAGE SWALE EASEMENT	D.S.E.
DITCH BOTTOM INLET	DBI
DRAINAGE EASEMENT	D.E.
DRAINAGE SWALE EASEMENT	D.S.E.
HIGH POINT	HP
LIMITED ACCESS EASEMENT	L.A.E.
LANDSCAPE EASEMENT	L.E.
LAKE MAINTENANCE ACCESS EASEMENT	L.M.A.E.
LAKE MAINTENANCE EASEMENT	L.M.E.
CITY OF PORT ST. LUCIE UTILITY EASEMENT	P.S.L.U.E.
PORT ST. LUCIE UTILITY SYSTEMS DEPARTMENT	P.S.L.U.S.D.
OPEN SPACE	O.S.
REINFORCED CONCRETE PIPE	RCP
UTILITY EASEMENT	U.E.
UTILITY EASEMENT - RESTRICTED AREA (SEE "U.E." PLAT DEDICATION)	U.E.-R.A.
RIVERLAND DRAINAGE EASEMENT	R.D.E.
RIVERLAND DRAINAGE SWALE EASEMENT	R.D.S.E.
RIVERLAND LANDSCAPE EASEMENT	R.L.E.
RIVERLAND UTILITY EASEMENT	R.U.E.
RIVERLAND UTILITY EASEMENT-RESTRICTED AREA	R.U.E.-R.A.
RIVERLAND PORT ST. LUCIE UTILITY EASEMENT	R.P.S.L.U.E.
VALLEY GUTTER INLET	VGI
CURB GUTTER INLET	CGI
YARD DRAIN	YD
PROPOSED YARD DRAIN WITH COLLAR (18" GRATE)	
PROPOSED YARD DRAIN WITHOUT COLLAR (12" STANDPIPE, GRATE SIZE TO VARY)	
PAVEMENT	
SIDEWALK	
DETECTABLE WARNING SURFACE (SEE NOTE)	
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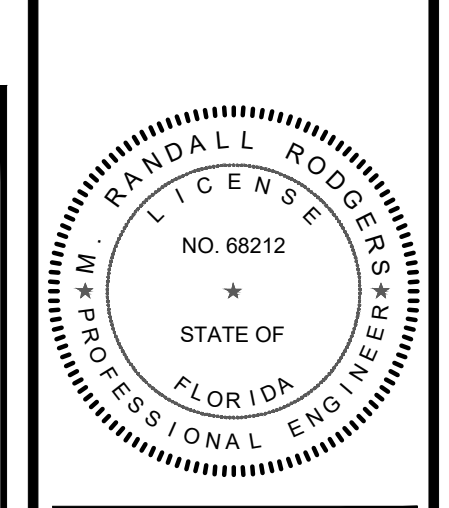
CITY OF PSL PROJECT NO. P21-094  
PSLUSD FILE NO. 5266B

**VELCON**  
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1449 NW COMMERCIAL CENTRE DR  
PORT ST. LUCIE, FL 34986  
PHONE: (772) 879-5477  
FIRE C.O.A. # 3222

REVISONS:	BY:	DATE:	COMMENT:
	SG	05/28/21	PER SPRC COMMENTS
	SG	07/28/21	PER GLH COMMENTS
	SG	08/11/21	PER SPRC COMMENTS

PROJECT:  
**RIVERLAND PARCEL B**  
**PLAT ONE**  
CITY OF PORT ST. LUCIE,  
FLORIDA

CLIENT:  
**RIVERLAND ASSOCIATES II**  
**LLLP**



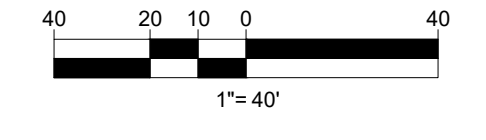
M. RANDALL RODGERS, PE  
FLORIDA LICENSE NO. 68212  
8/20/21

PROJECT No.: 21-1006  
DRAWN BY: SC  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID: 21-1006 - PSD PLAN

SHEET TITLE:  
**PAVING, GRADING & DRAINAGE PLAN**

SHEET NUMBER:  
**08**



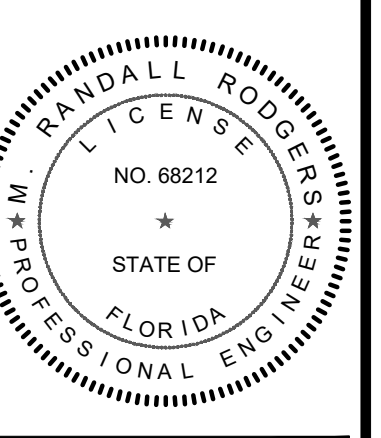


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PROJECT:  
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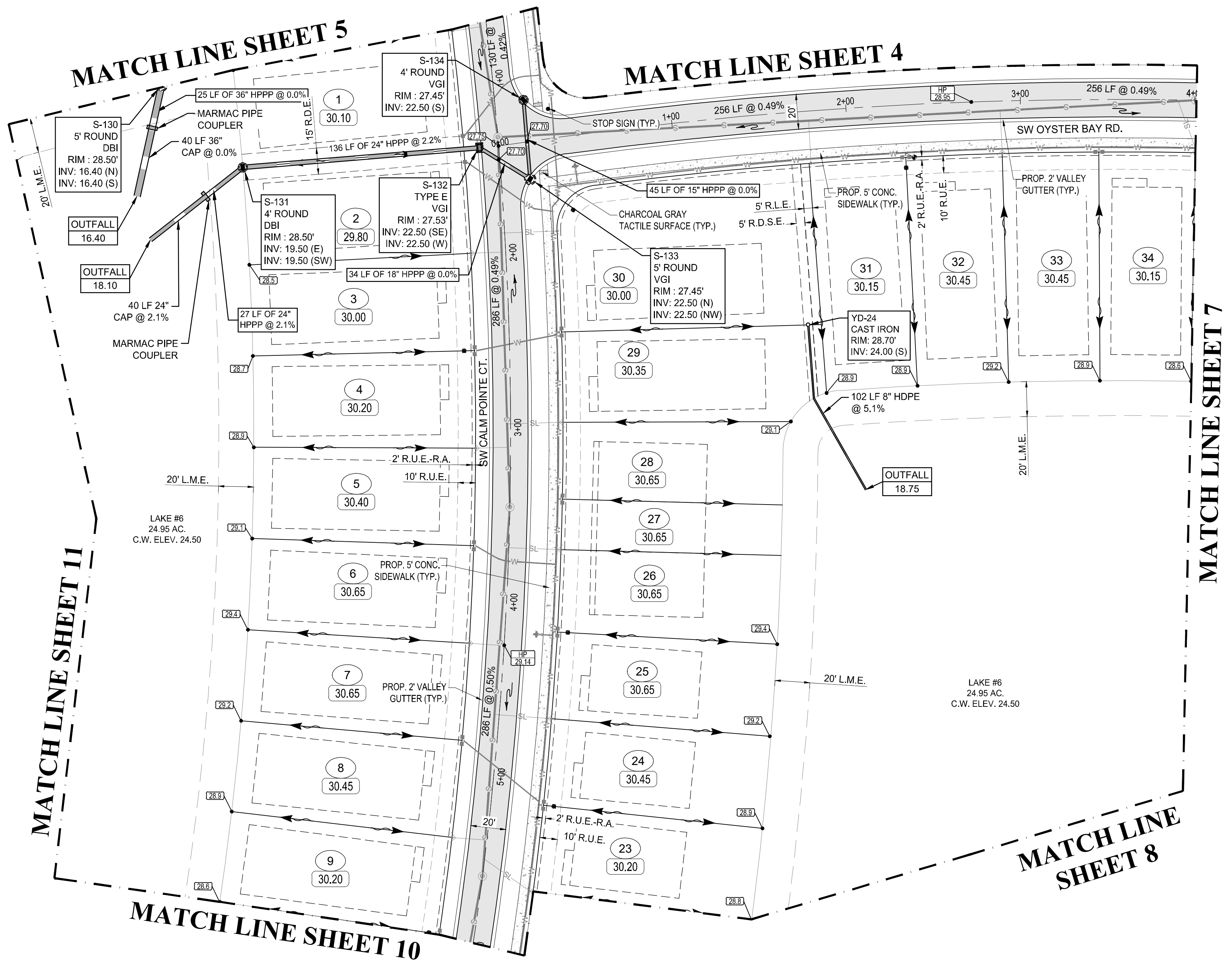


M. RANDALL RODGERS, PE  
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8/20/21

PROJECT No.: 21-1006  
DRAWN BY: SC  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID: 21-1006 - PGD PLAN

SHEET TITLE:  
**PAVING, GRADING & DRAINAGE PLAN**

SHEET NUMBER:  
**09**



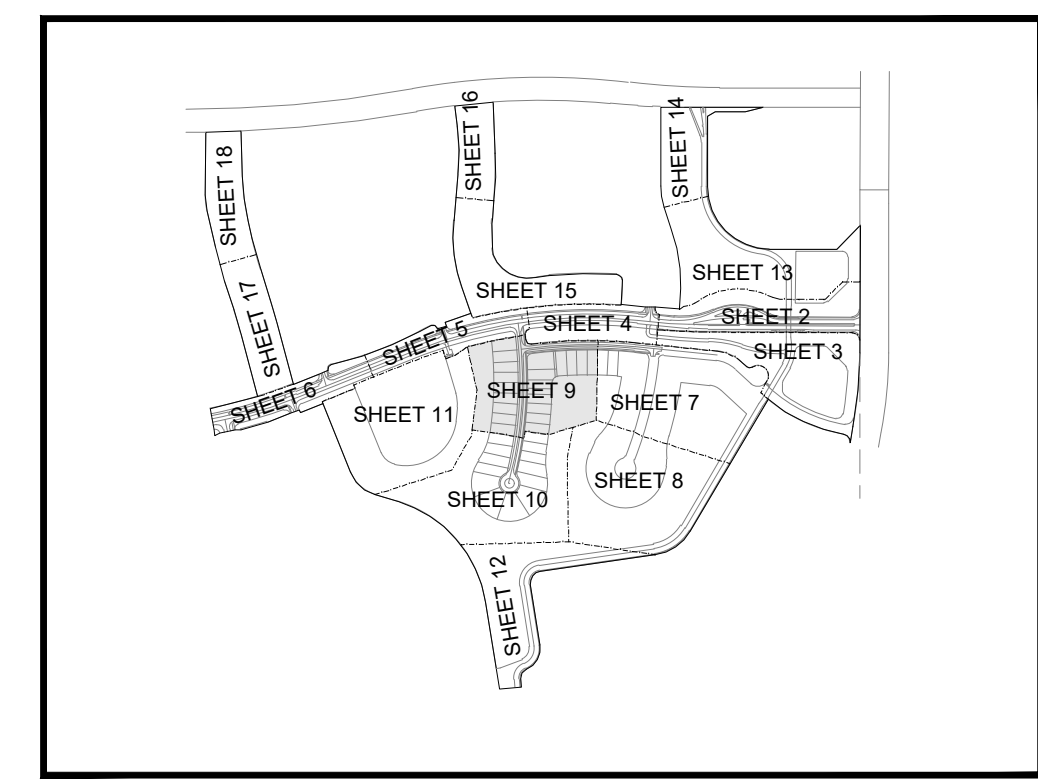
**LEGEND**

STORM MAIN WITH CATCH BASIN AND CALL OUT	
12" ADVANEDGE UNDERDRAIN	
EXISTING STORM MAIN WITH CATCH BASIN	
SANITARY SEWER MAIN WITH MANHOLE	
WATER MAIN WITH VALVE	
PROPOSED ELEVATION	
ELEVATION BY OTHERS	
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LOT NUMBER	
FINISHED FLOOR ELEVATION	
BUFFER EASEMENT	B.E.
COMMUNITY DRAINAGE EASEMENT	C.D.E.
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OPEN SPACE	O.S.
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UTILITY EASEMENT - RESTRICTED AREA (SEE "U.E." PLAT DEDICATION)	U.E.-RA
RIVERLAND DRAINAGE EASEMENT	R.D.E.
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RIVERLAND LANDSCAPE EASEMENT	R.L.E.
RIVERLAND UTILITY EASEMENT	R.U.E.
RIVERLAND UTILITY EASEMENT-RESTRICTED AREA	R.U.E.-RA
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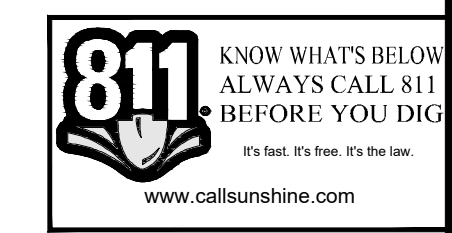
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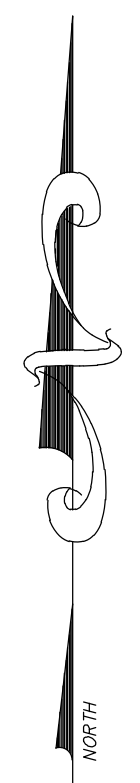
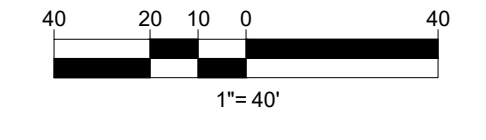
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KEY MAP  
N.T.S.



CITY OF PSL PROJECT No. P21-094  
PSLUSD FILE No. 5266B



**VELCON**

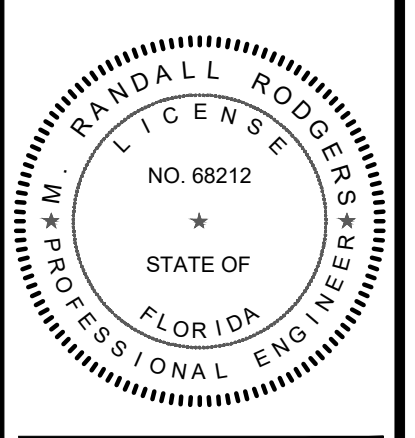
ENGINEERING & SURVEYING, LLC  
 1449 NW COMMERCIAL CENTRE DR  
 PORT ST. LUCIE, FL 34956  
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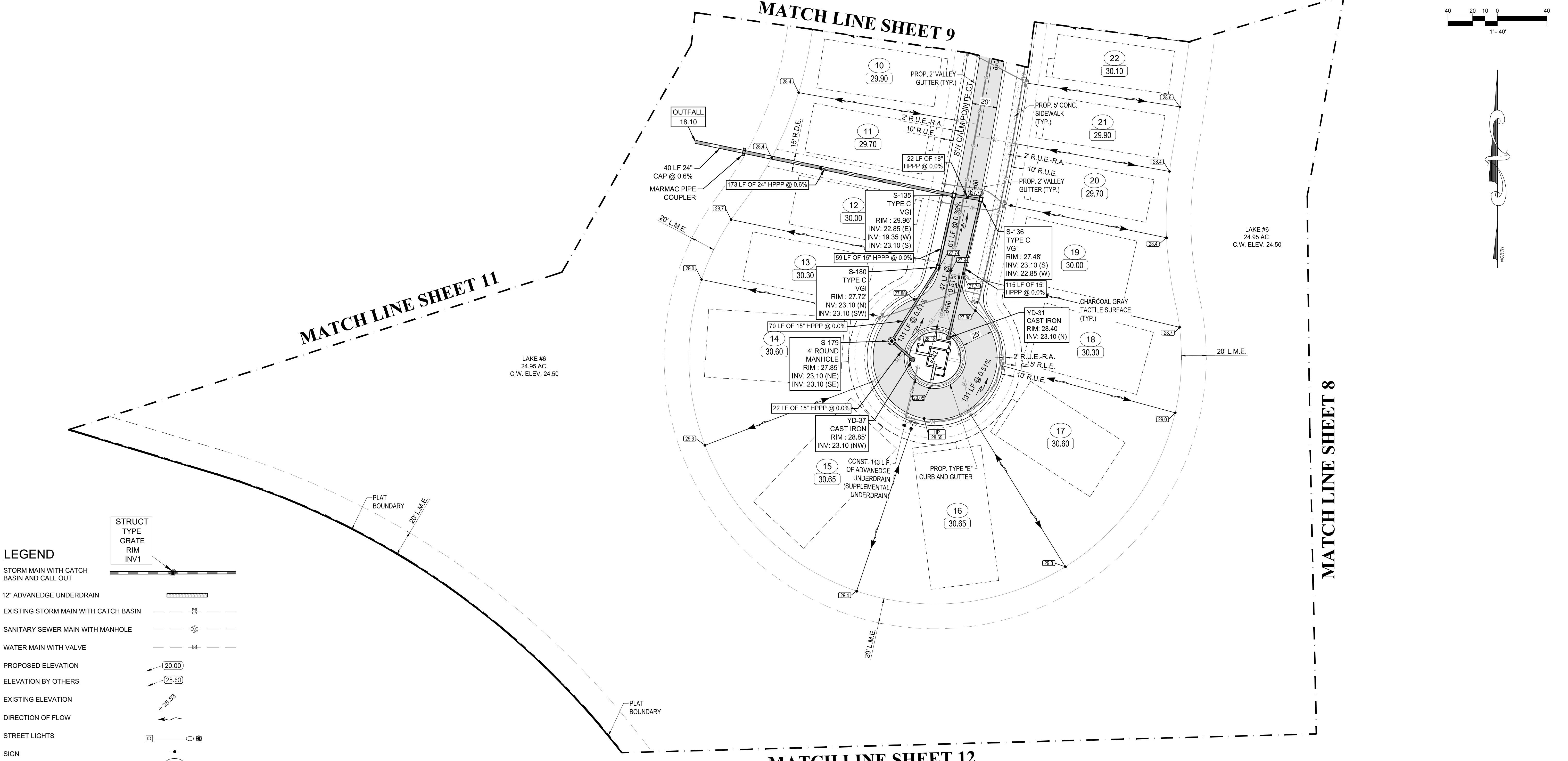


M. RANDALL RODGERS, PE  
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PROJECT No.: 21-1006  
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 DATE: 8/20/2021  
 CAD ID: 21-1006 - PGD PLAN

SHEET TITLE:  
**PAVING, GRADING & DRAINAGE PLAN**

SHEET NUMBER:  
**10**



**LEGEND**

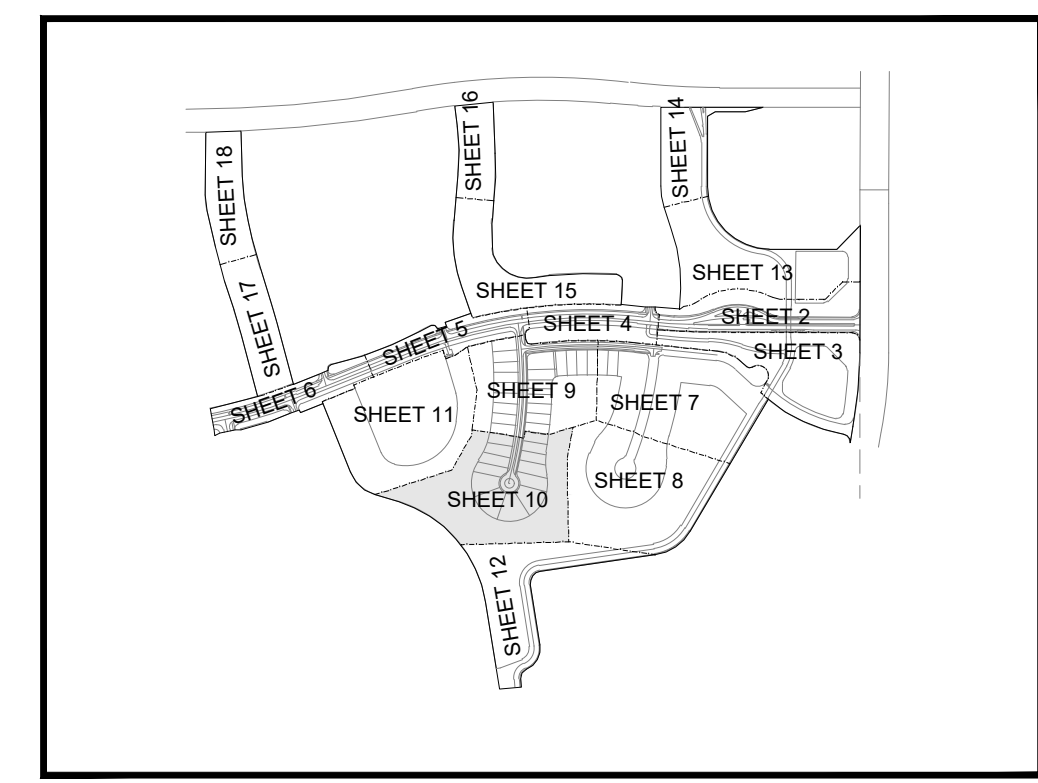
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EXISTING STORM MAIN WITH CATCH BASIN	
SANITARY SEWER MAIN WITH MANHOLE	
WATER MAIN WITH VALVE	
PROPOSED ELEVATION	
ELEVATION BY OTHERS	
EXISTING ELEVATION	
DIRECTION OF FLOW	
STREET LIGHTS	
SIGN	
LOT NUMBER	
FINISHED FLOOR ELEVATION	
BUFFER EASEMENT	B.E.
COMMUNITY DRAINAGE EASEMENT	C.D.E.
CONTROL WATER ELEVATION	C.W. ELEV.
CORRUGATED ALUMINUM PIPE	CAP
DRAINAGE EASEMENT	D.E.
DRAINAGE SWALE EASEMENT	D.S.E.
DITCH BOTTOM INLET	DBI
DRAINAGE EASEMENT	D.E.
DRAINAGE SWALE EASEMENT	D.S.E.
HIGH POINT	HP
LIMITED ACCESS EASEMENT	L.A.E.
LANDSCAPE EASEMENT	L.E.
LAKE MAINTENANCE ACCESS EASEMENT	L.M.A.E.
LAKE MAINTENANCE EASEMENT	L.M.E.
CITY OF PORT ST. LUCIE UTILITY EASEMENT	P.S.L.U.E.
PORT ST. LUCIE UTILITY SYSTEMS DEPARTMENT	P.S.L.U.S.D.
OPEN SPACE	O.S.
REINFORCED CONCRETE PIPE	RCP
UTILITY EASEMENT	U.E.
UTILITY EASEMENT - RESTRICTED AREA (SEE "U.E." PLAT DEDICATION)	U.E.-R.A.
RIVERLAND DRAINAGE EASEMENT	R.D.E.
RIVERLAND DRAINAGE SWALE EASEMENT	R.D.S.E.
RIVERLAND LANDSCAPE EASEMENT	R.L.E.
RIVERLAND UTILITY EASEMENT	R.U.E.
RIVERLAND UTILITY EASEMENT-RESTRICTED AREA	R.U.E.-R.A.
RIVERLAND PORT ST. LUCIE UTILITY EASEMENT	R.P.S.L.U.E.
VALLEY GUTTER INLET	VGI
CURB GUTTER INLET	CGI
YARD DRAIN	YD
PROPOSED YARD DRAIN WITH COLLAR (18" GRATE)	
PROPOSED YARD DRAIN WITHOUT COLLAR (12" STANDPIPE, GRATE SIZE TO VARY)	
PAVEMENT	
SIDEWALK	
DETECTABLE WARNING SURFACE (SEE NOTE)	
LITTORAL PLANTING AREA	
SECTION CALLOUT	
MATCH LINE	

**NOTES:**

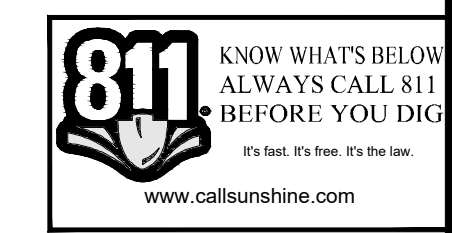
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- MINIMUM ROAD CROWN ELEVATION SHALL BE ELEVATION 28.00' NAVD 88, WHICH IS ABOVE THE 10-YEAR, 1-DAY STORM STAGE ELEVATION.
- ALL ELEVATIONS SHOWN ON THESE PLANS ARE IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). TO CONVERT ELEVATIONS TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29), ADD 1.475 FEET TO THE NAVD88 ELEVATION. FOR EXAMPLE, NAVD88 + 1.475' = NGVD 29.
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NOTE:  
 THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08(g).

NOTE:  
 ALL ELEVATIONS SHOWN OR REFERENCED WITHIN THESE PLANS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.). TO CONVERT FROM N.A.V.D. '88 TO N.G.V.D. '29, ADD 1.48' TO THE N.A.V.D. ELEVATIONS TO GET N.G.V.D. ELEVATIONS.



KEY MAP  
 N.T.S.

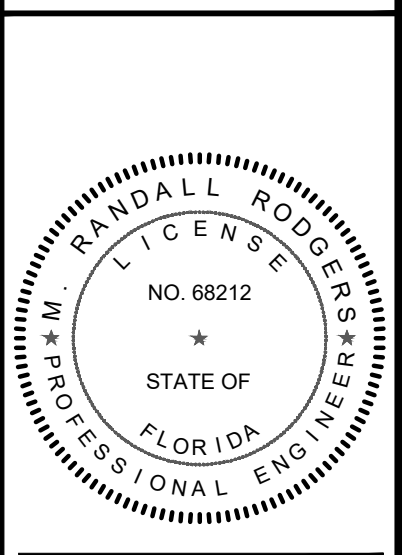


CITY OF PSL PROJECT No. P21-094  
 PSLUSD FILE No. 5266B

BY:	DATE:	COMMENT:
SG	05/28/21	PER SPRC COMMENTS
SG	07/28/21	PER GLH COMMENTS
SG	08/11/21	PER SPRC COMMENTS

PROJECT:  
**RIVERLAND PARCEL B  
PLAT ONE**  
CITY OF PORT ST. LUCIE,  
FLORIDA

CLIENT:  
**RIVERLAND  
ASSOCIATES II  
LLLP**

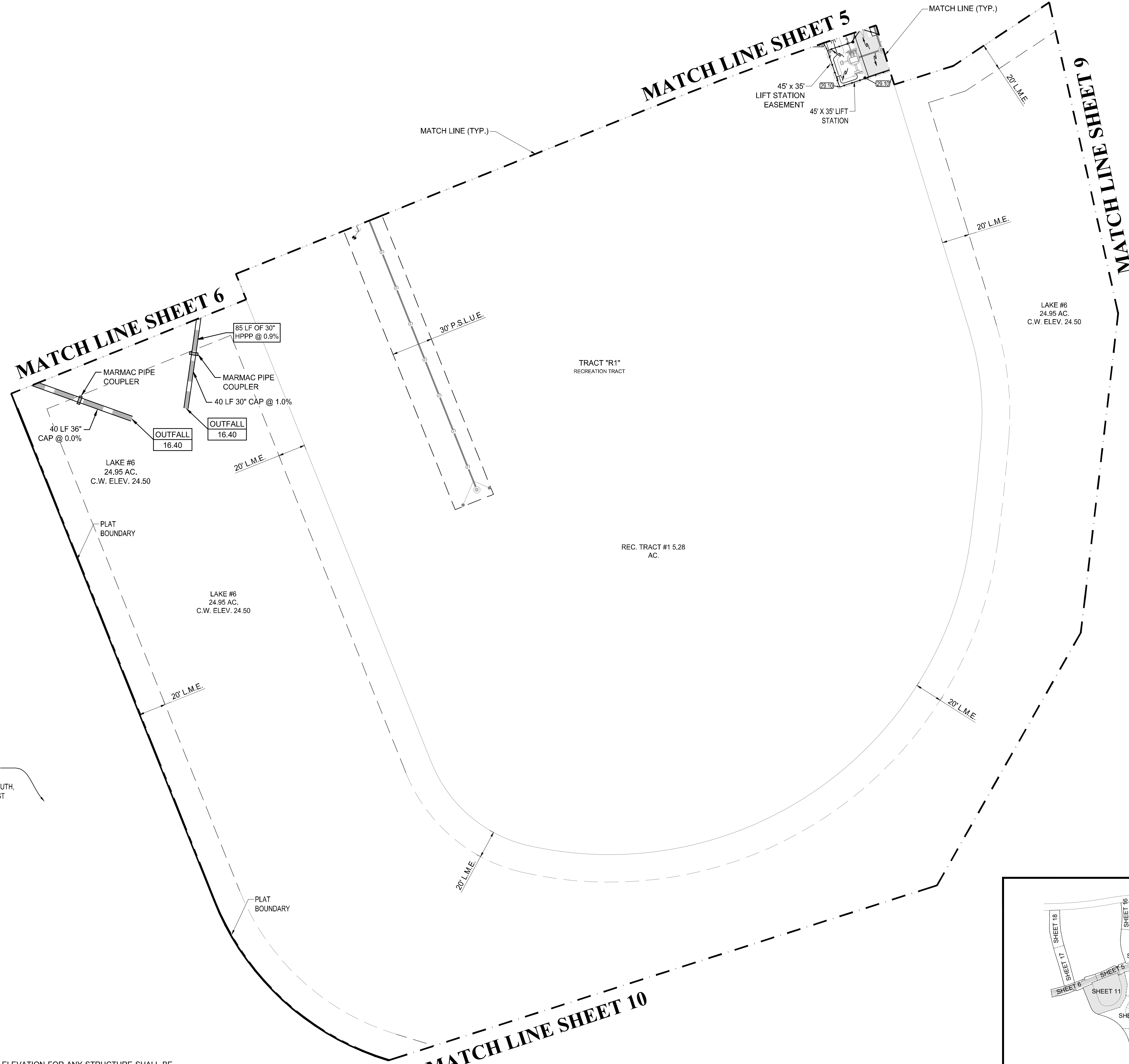
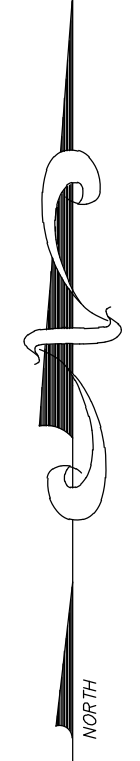
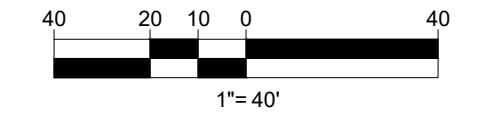


M. RANDALL RODGERS, PE  
FLORIDA LICENSE No. 68212  
8/20/21

PROJECT No.: 21-1006  
DRAWN BY: SC  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD I.D.: 21-1006 - PGD PLAN

SHEET TITLE:  
**PAVING, GRADING  
& DRAINAGE PLAN**

SHEET NUMBER:  
**11**



**LEGEND**

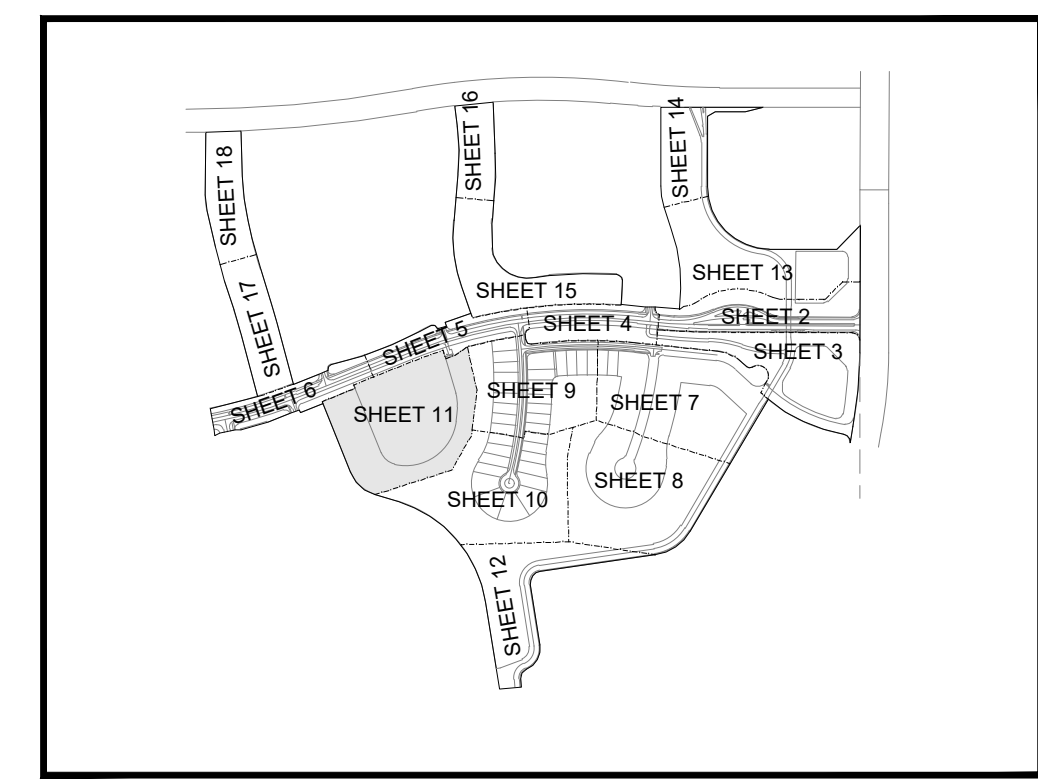
STORM MAIN WITH CATCH BASIN AND CALL OUT	
12\" ADVANEDGE UNDERDRAIN	
EXISTING STORM MAIN WITH CATCH BASIN	
SANITARY SEWER MAIN WITH MANHOLE	
WATER MAIN WITH VALVE	
PROPOSED ELEVATION	
ELEVATION BY OTHERS	
EXISTING ELEVATION	
DIRECTION OF FLOW	
STREET LIGHTS	
SIGN	
LOT NUMBER	
FINISHED FLOOR ELEVATION	
BUFFER EASEMENT	B.E.
COMMUNITY DRAINAGE EASEMENT	C.D.E.
CONTROL WATER ELEVATION	C.W. ELEV.
CORRUGATED ALUMINUM PIPE	CAP
DRAINAGE EASEMENT	D.E.
DRAINAGE SWALE EASEMENT	D.S.E.
DITCH BOTTOM INLET	DBI
DRAINAGE EASEMENT	D.E.
DRAINAGE SWALE EASEMENT	D.S.E.
HIGH POINT	HP
LIMITED ACCESS EASEMENT	L.A.E.
LANDSCAPE EASEMENT	L.E.
LAKE MAINTENANCE ACCESS EASEMENT	L.M.A.E.
LAKE MAINTENANCE EASEMENT	L.M.E.
CITY OF PORT ST. LUCIE UTILITY EASEMENT	P.S.L.U.E.
PORT ST. LUCIE UTILITY SYSTEMS DEPARTMENT	P.S.L.U.S.D.
OPEN SPACE	O.S.
REINFORCED CONCRETE PIPE	RCP
UTILITY EASEMENT	U.E.
UTILITY EASEMENT - RESTRICTED AREA (SEE \"U.E.\" PLAT DEDICATION)	U.E.-R.A.
RIVERLAND DRAINAGE EASEMENT	R.D.E.
RIVERLAND DRAINAGE SWALE EASEMENT	R.D.S.E.
RIVERLAND LANDSCAPE EASEMENT	R.L.E.
RIVERLAND UTILITY EASEMENT	R.U.E.
RIVERLAND UTILITY EASEMENT-RESTRICTED AREA	R.U.E.-R.A.
RIVERLAND PORT ST. LUCIE UTILITY EASEMENT	R.P.S.L.U.E.
VALLEY GUTTER INLET	VGI
CURB GUTTER INLET	CGI
YARD DRAIN	YD
PROPOSED YARD DRAIN WITH COLLAR (18\" GRATE)	
PROPOSED YARD DRAIN WITHOUT COLLAR (12\" STANDPIPE, GRATE SIZE TO VARY)	
PAVEMENT	
SIDEWALK	
DETECTABLE WARNING SURFACE (SEE NOTE)	
LITTORAL PLANTING AREA	
SECTION CALLOUT	
MATCH LINE	

**NOTES:**

- MINIMUM FINISH FLOOR ELEVATION FOR ANY STRUCTURE SHALL BE ELEVATION 29.30' NAVD 88, WHICH IS ABOVE THE 100-YEAR, 3-DAY STORM STAGE ELEVATION.
- MINIMUM PERIMETER ELEVATION SHALL BE ELEVATION 29.50' NAVD 88, WHICH IS ABOVE THE 25-YEAR, 3-DAY STORM STAGE ELEVATION.
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NOTE:  
THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08(g).

NOTE:  
ALL ELEVATIONS SHOWN OR REFERENCED WITHIN THESE PLANS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.). TO CONVERT FROM N.A.V.D. '88 TO N.G.V.D. '29, ADD 1.48' TO THE N.A.V.D. ELEVATIONS TO GET N.G.V.D. ELEVATIONS.



KEY MAP  
N.T.S.



CITY OF PSL PROJECT NO. P21-094  
PSLUSD FILE NO. 5266B

STRIPING KEY

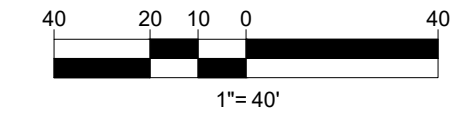
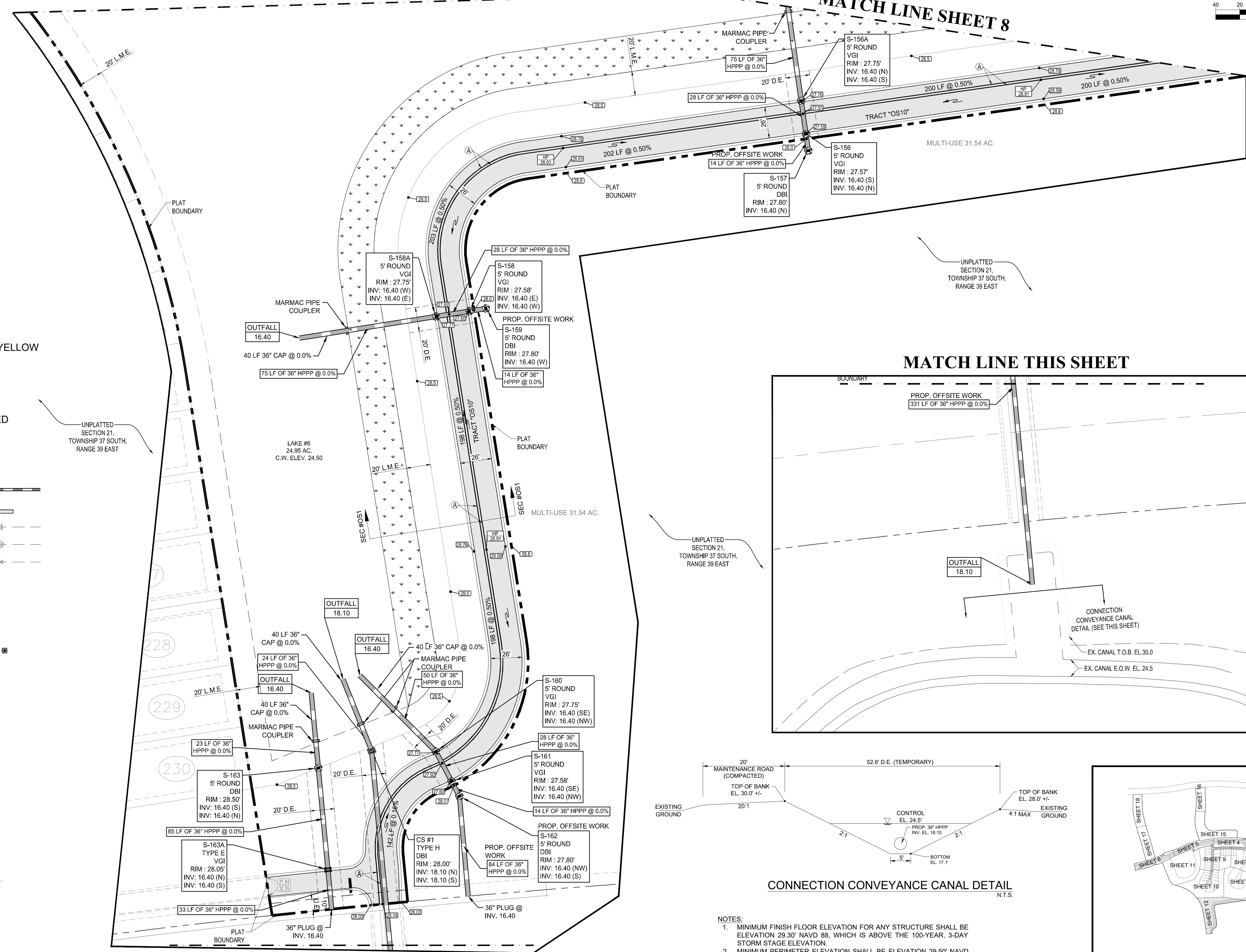
- (A) - 6" SOLID WHITE
- (B) - 8" SOLID WHITE
- (C) - 12" SOLID WHITE
- (D) - 18" SOLID WHITE
- (E) - 24" SOLID WHITE
- (F) - 6" SKIP WHITE TYP. (10' - 30')
- (G) - 6" SKIP WHITE TYP. (6' - 10')
- (H) - 6" SKIP WHITE TYP. (2' - 4')
- (I) - 6" SOLID YELLOW
- (J) - 18" SOLID YELLOW
- (K) - 6" DOUBLE YELLOW
- (L) - 6" SKIP YELLOW TYP. (10' - 30')
- (M) - 6" SKIP YELLOW TYP. (6' - 10')
- (N) - 6" SKIP YELLOW TYP. (2' - 4')
- (P) - RPM BI - DIRECTIONAL YELLOW / YELLOW
- (R) - FDP WHITE
- (S) - FDP YELLOW
- (T) - RPM BI - DIRECTIONAL WHITE / RED

LEGEND

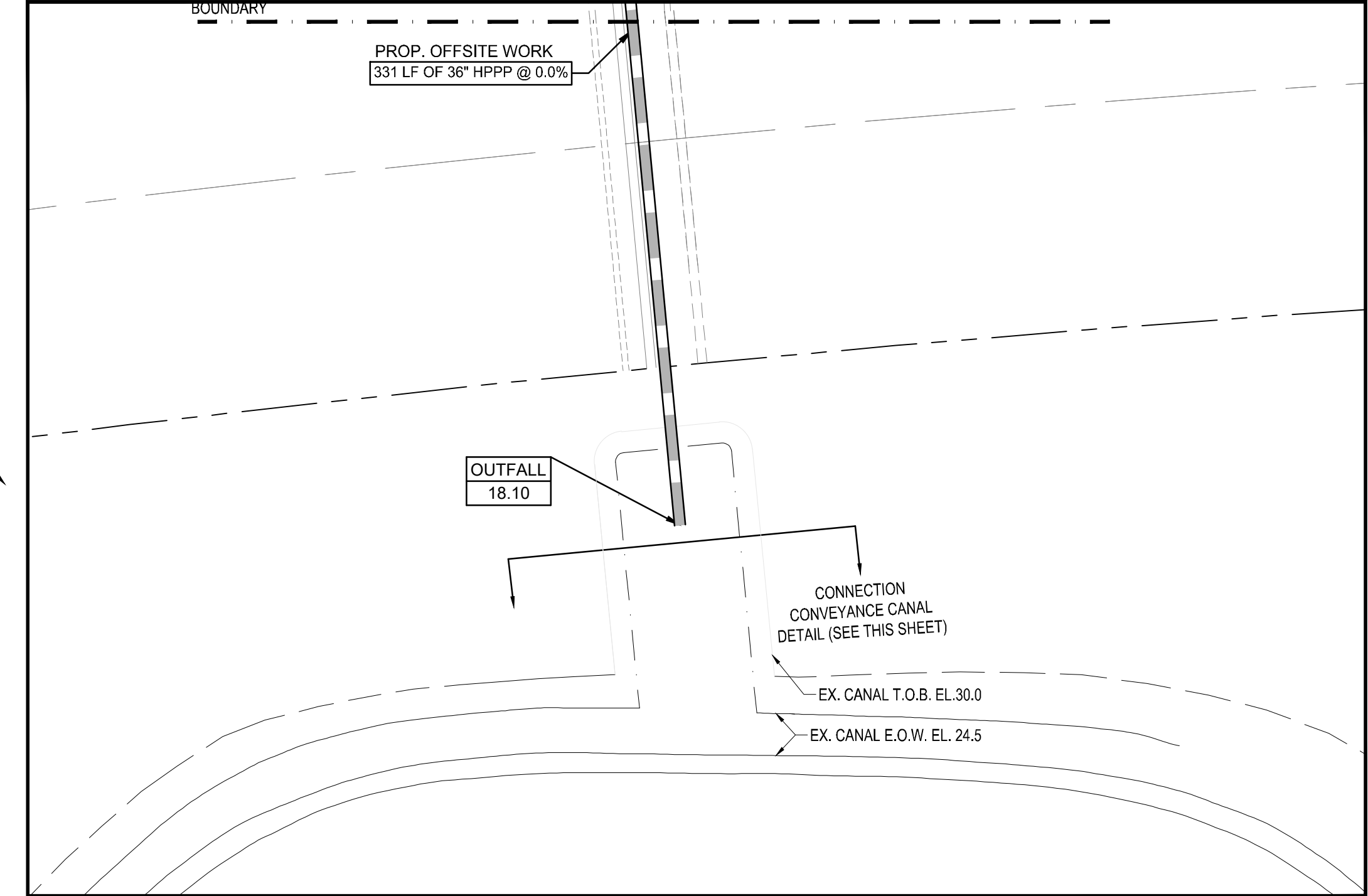
- |   |              |
|---|--------------|
| STORM MAIN WITH CATCH BASIN AND CALL OUT                        |              |
| 12" ADVANEDGE UNDERDRAIN  |              |
| EXISTING STORM MAIN WITH CATCH BASIN                            |              |
| SANITARY SEWER MAIN WITH MANHOLE                                |              |
| WATER MAIN WITH VALVE   |              |
| PROPOSED ELEVATION  |              |
| ELEVATION BY OTHERS   |              |
| EXISTING ELEVATION  |              |
| DIRECTION OF FLOW   |              |
| STREET LIGHTS   |              |
| SIGN  |              |
| LOT NUMBER  |              |
| FINISHED FLOOR ELEVATION  |              |
| BUFFER EASEMENT   | B.E.         |
| COMMUNITY DRAINAGE EASEMENT                                     | C.D.E.       |
| CONTROL WATER ELEVATION   | C.W. ELEV.   |
| CORRUGATED ALUMINUM PIPE  | CAP          |
| DRAINAGE EASEMENT   | D.E.         |
| DRAINAGE SWALE EASEMENT   | D.S.E.       |
| DITCH BOTTOM INLET  | DBI          |
| DRAINAGE EASEMENT   | D.E.         |
| DRAINAGE SWALE EASEMENT   | D.S.E.       |
| HIGH POINT  | HP           |
| LIMITED ACCESS EASEMENT   | L.A.E.       |
| LANDSCAPE EASEMENT  | L.E.         |
| LAKE MAINTENANCE ACCESS EASEMENT                                | L.M.A.E.     |
| LAKE MAINTENANCE EASEMENT                                       | L.M.E.       |
| CITY OF PORT ST. LUCIE UTILITY EASEMENT                         | P.S.L.U.E.   |
| PORT ST. LUCIE UTILITY SYSTEMS DEPARTMENT                       | P.S.L.U.S.D. |
| OPEN SPACE  | O.S.         |
| REINFORCED CONCRETE PIPE  | RCP          |
| UTILITY EASEMENT  | U.E.         |
| UTILITY EASEMENT - RESTRICTED AREA (SEE "U.E." PLAT DEDICATION) | U.E.-R.A.    |
| RIVERLAND DRAINAGE EASEMENT                                     | R.D.E.       |
| RIVERLAND DRAINAGE SWALE EASEMENT                               | R.D.S.E.     |
| RIVERLAND LANDSCAPE EASEMENT                                    | R.L.E.       |
| RIVERLAND UTILITY EASEMENT                                      | R.U.E.       |
| RIVERLAND UTILITY EASEMENT-RESTRICTED AREA                      | R.U.E.-R.A.  |
| RIVERLAND PORT ST. LUCIE UTILITY EASEMENT                       | R.P.S.L.U.E. |
| VALLEY GUTTER INLET   | VGI          |
| CURB GUTTER INLET   | CGI          |
| YARD DRAIN  | YD           |
| PROPOSED YARD DRAIN WITH COLLAR (18" GRATE)                     |              |
| MATCH LINE  |              |

MATCH LINE SHEET 10

MATCH LINE SHEET 8



MATCH LINE THIS SHEET

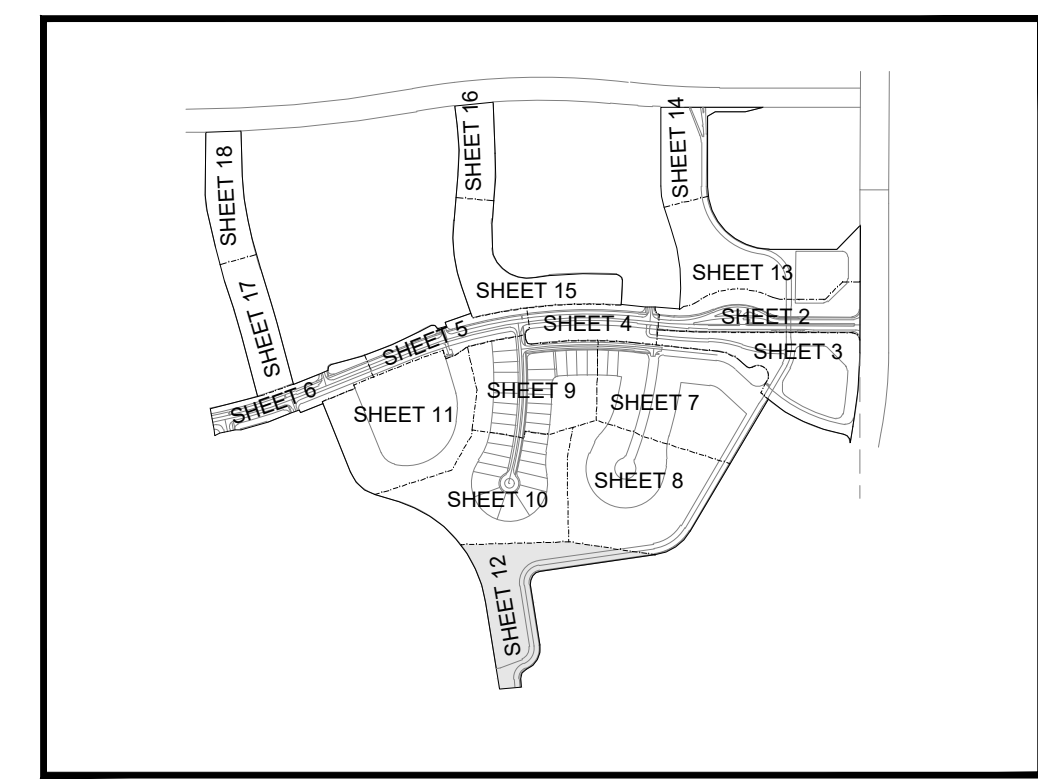


CONNECTION CONVEYANCE CANAL DETAIL

- NOTES:
1. MINIMUM FINISH FLOOR ELEVATION FOR ANY STRUCTURE SHALL BE ELEVATION 29.30' NAVD 88, WHICH IS ABOVE THE 100-YEAR, 3-DAY STORM STAGE ELEVATION.
  2. MINIMUM PERIMETER ELEVATION SHALL BE ELEVATION 29.50' NAVD 88, WHICH IS ABOVE THE 25-YEAR, 3-DAY STORM STAGE ELEVATION.
  3. MINIMUM ROAD CROWN ELEVATION SHALL BE ELEVATION 28.00' NAVD 88, WHICH IS ABOVE THE 10-YEAR, 1-DAY STORM STAGE ELEVATION.
  4. ALL ELEVATIONS SHOWN ON THESE PLANS ARE IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). TO CONVERT ELEVATIONS TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29), ADD 1.475 FEET TO THE NAVD88 ELEVATION. FOR EXAMPLE, NAVD88 + 1.475' = NGVD 29.
  5. DETECTABLE WARNING SURFACES SHALL COMPLY WITH THE REQUIREMENTS OF F.D.O.T. DESIGN STANDARDS INDEX 522-002 AND F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 527 (CURRENT EDITIONS).

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NOTE: ALL ELEVATIONS SHOWN OR REFERENCED WITHIN THESE PLANS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.). TO CONVERT FROM N.A.V.D. 88 TO N.G.V.D. 29, ADD 1.475' TO THE N.A.V.D. ELEVATIONS TO GET N.G.V.D. ELEVATIONS.



KEY MAP

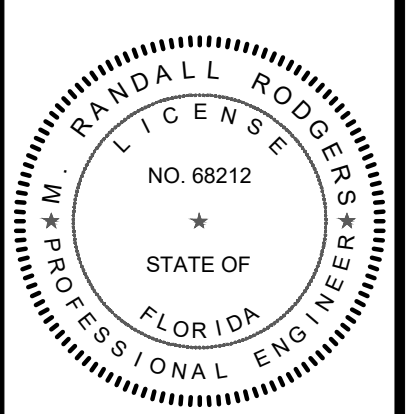


**VELCON**  
ENGINEERING & SURVEYING, LLC  
1449 NW COMMERCIAL CENTRE DR  
PORT ST. LUCIE, FL 34956  
PHONE: (772) 878-5477  
FIRE: C.O.A. # 3222

REVISONS:	BY:	DATE:	COMMENT:
	SG	05/28/21	PER SPRC COMMENTS
	SG	07/13/21	PER SFVMD COMMENTS
	SG	07/28/21	PER GLH COMMENTS
	SG	08/11/21	PER SPRC COMMENTS

PROJECT:  
**RIVERLAND PARCEL B**  
**PLAT ONE**  
CITY OF PORT ST. LUCIE,  
FLORIDA

CLIENT:  
**RIVERLAND ASSOCIATES II**  
**LLLP**



M. RANDALL RODGERS, PE  
FLORIDA LICENSE NO. 68212  
8/20/21

PROJECT No.: 21-1006  
DRAWN BY: SC  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID: 21-1006-P&D PLAN

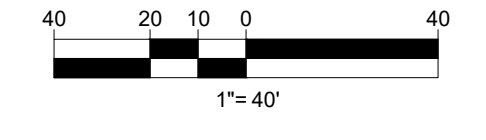
SHEET TITLE:  
**PAVING, GRADING & DRAINAGE PLAN**

SHEET NUMBER:  
**12**



CITY OF PSL PROJECT NO. P21-094  
PSLUSD FILE NO. 5266B

MATCH LINE SHEET 14

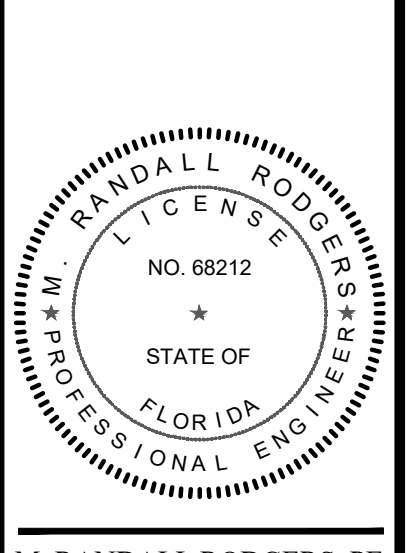


**VELCON**  
ENGINEERING & SURVEYING, LLC  
1449 NW COMMERCIAL CENTRE DR  
PORT ST. LUCIE, FL 34956  
PHONE: (772) 878-0477  
FIRE C.O.A. # 3222

BY:	DATE:	COMMENT:
SG	05/28/21	PER SPRC COMMENTS
SG	07/28/21	PER GLH COMMENTS
SG	08/11/21	PER SPRC COMMENTS

PROJECT: RIVERLAND PARCEL B  
PLAT ONE  
CITY OF PORT ST. LUCIE, FLORIDA

CLIENT: RIVERLAND ASSOCIATES II LLLP

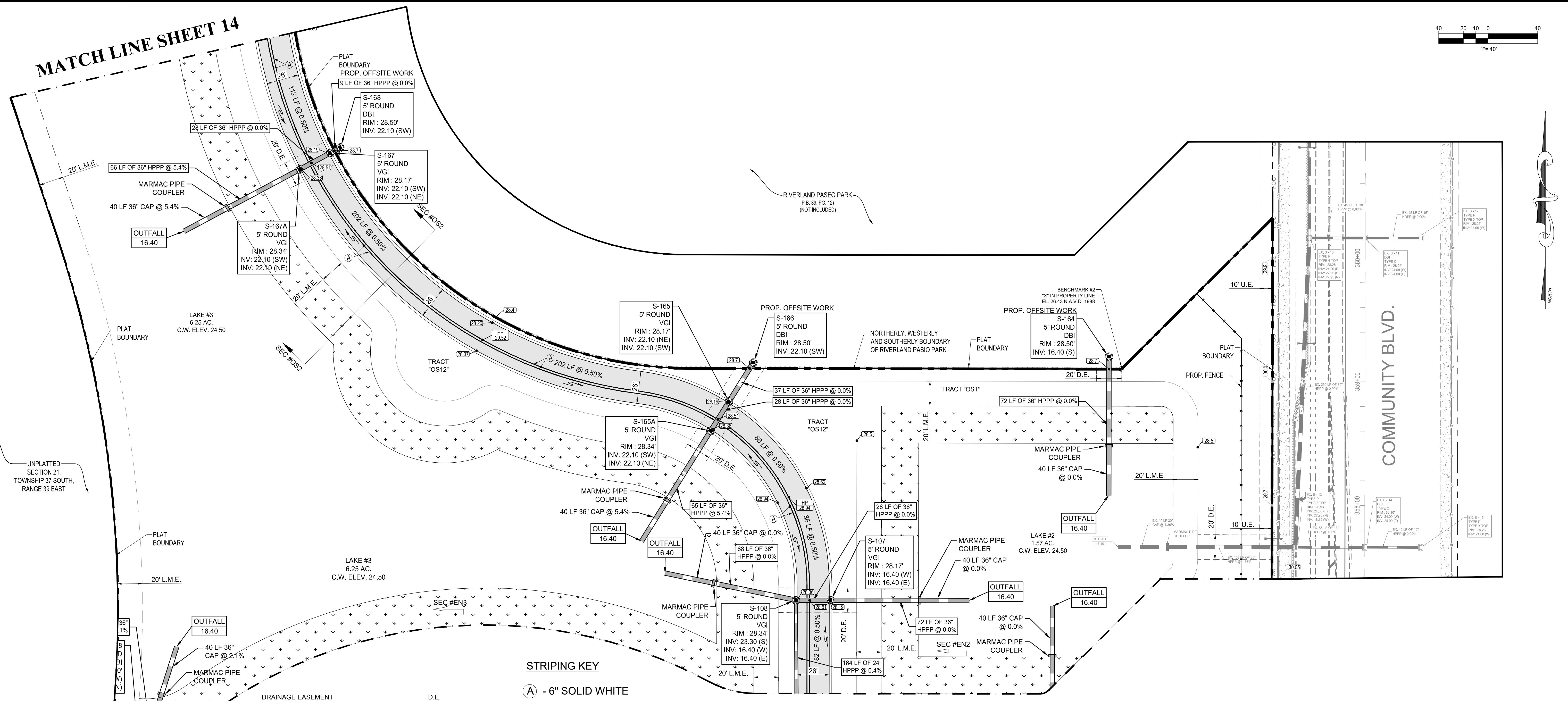


M. RANDALL RODGERS, PE  
FLORIDA LICENSE No. 68212  
8/20/21

PROJECT No.: 21-1006  
DRAWN BY: SC  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID: 21-1006-PGD PLAN

SHEET TITLE: PAVING, GRADING & DRAINAGE PLAN

SHEET NUMBER: 13



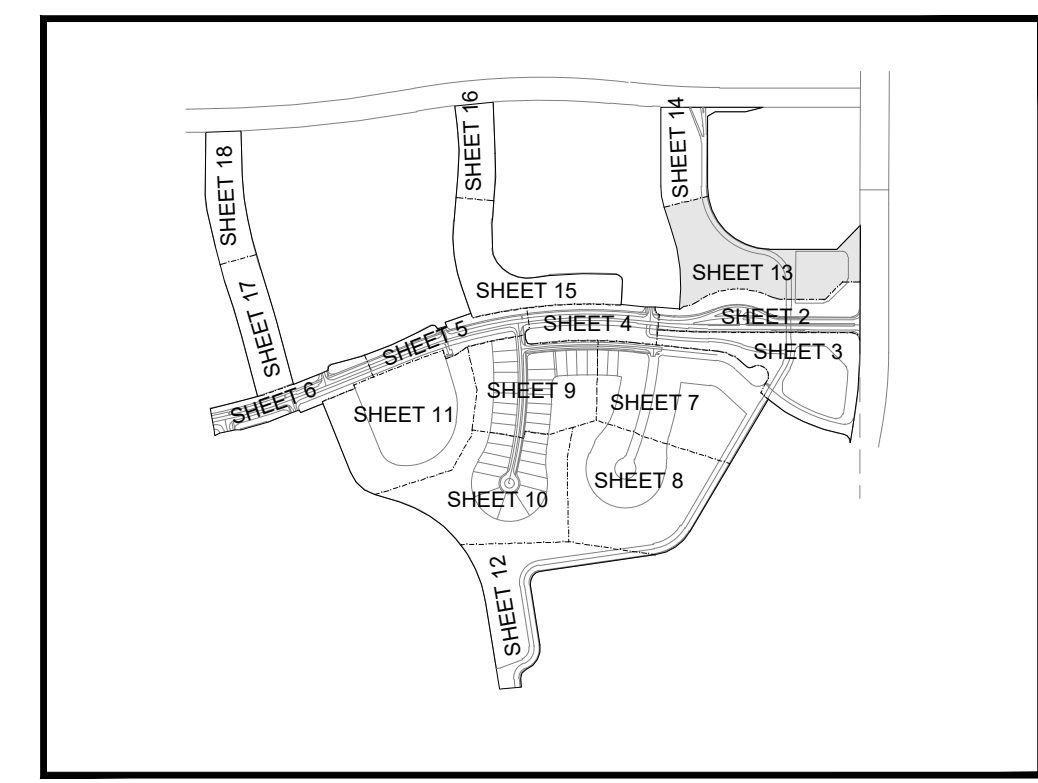
MATCH LINE SHEET 2

- STRIPING KEY**
- (A) - 6" SOLID WHITE
  - (B) - 8" SOLID WHITE
  - (C) - 12" SOLID WHITE
  - (D) - 18" SOLID WHITE
  - (E) - 24" SOLID WHITE
  - (F) - 6" SKIP WHITE TYP. (10' - 30')
  - (G) - 6" SKIP WHITE TYP. (6' - 10')
  - (H) - 6" SKIP WHITE TYP. (2' - 4')
  - (I) - 6" SOLID YELLOW
  - (J) - 18" SOLID YELLOW
  - (K) - 6" DOUBLE YELLOW
  - (L) - 6" SKIP YELLOW TYP. (10' - 30')
  - (M) - 6" SKIP YELLOW TYP. (6' - 10')
  - (N) - 6" SKIP YELLOW TYP. (2' - 4')
  - (P) - RPM BI - DIRECTIONAL YELLOW / YELLOW
  - (R) - FDP WHITE
  - (S) - FDP YELLOW
  - (T) - RPM BI - DIRECTIONAL WHITE / RED

- NOTES:**
- MINIMUM FINISH FLOOR ELEVATION FOR ANY STRUCTURE SHALL BE ELEVATION 29.30' NAVD 88, WHICH IS ABOVE THE 100-YEAR, 3-DAY STORM STAGE ELEVATION.
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NOTE: THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08(g).

NOTE: ALL ELEVATIONS SHOWN OR REFERENCED WITHIN THESE PLANS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD). TO CONVERT FROM N.A.V.D. '88 TO N.G.V.D. '29, ADD 1.48' TO THE N.A.V.D. ELEVATIONS TO GET N.G.V.D. ELEVATIONS.

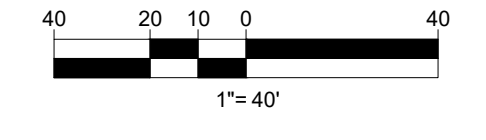


KEY MAP



CITY OF PSL PROJECT NO. P21-094  
PSLUSD FILE NO. 5266B

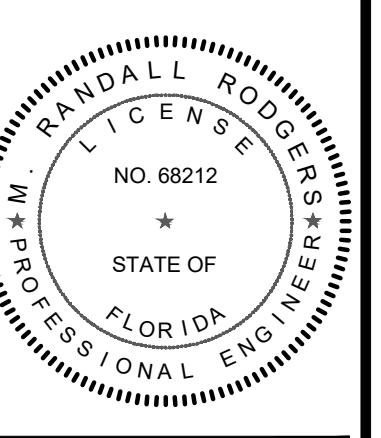
Printed on Friday, August 20, 2021, 9:29 AM by Shiny Gomez



BY:	DATE:	COMMENT:
SG	05/28/21	PER SPRC COMMENTS
SG	07/28/21	PER GLH COMMENTS
SG	08/11/21	PER SPRC COMMENTS

PROJECT: RIVERLAND PARCEL B  
PLAT ONE  
CITY OF PORT ST. LUCIE, FLORIDA

CLIENT: RIVERLAND ASSOCIATES II  
LLLP

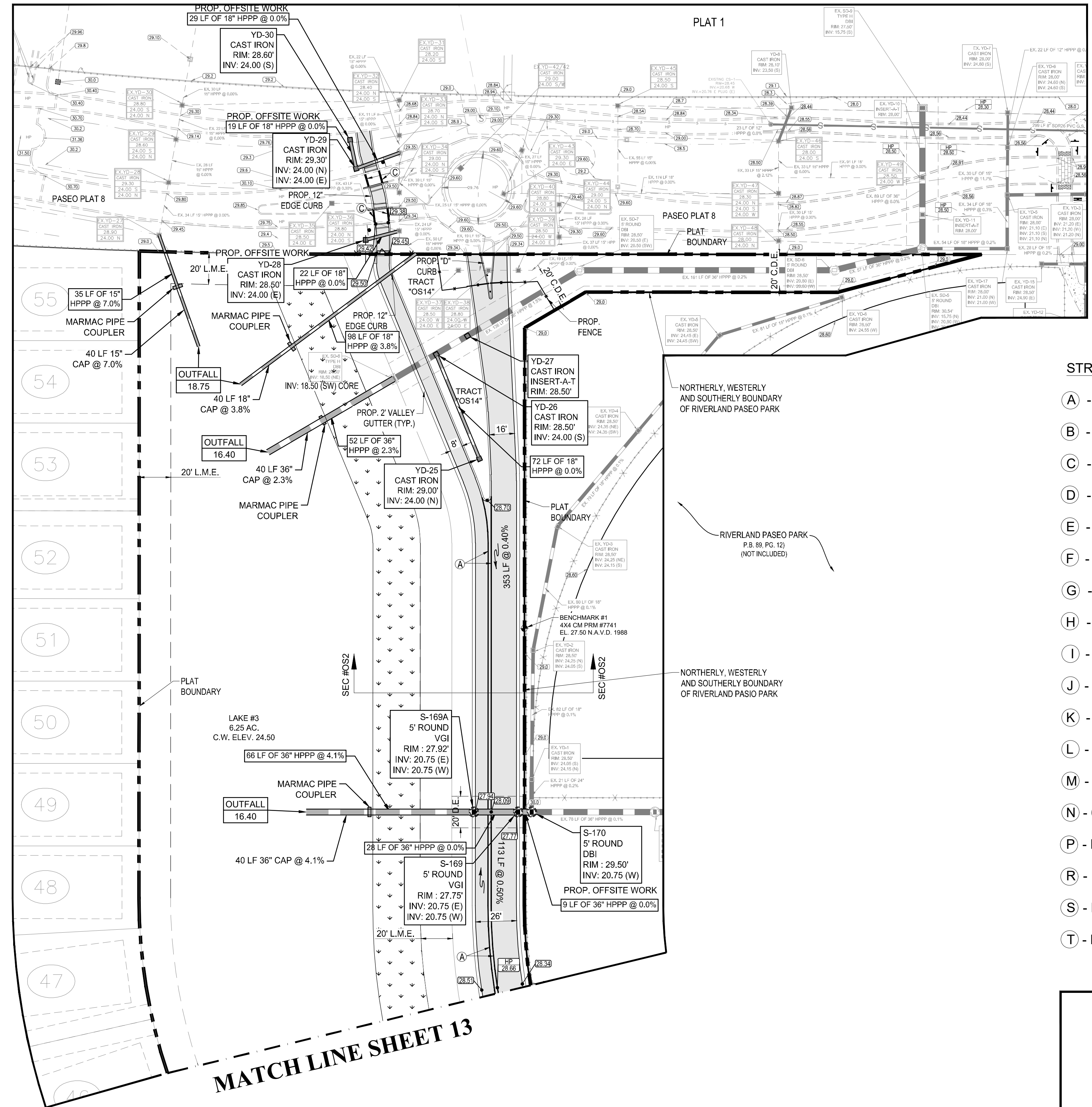


M. RANDALL RODGERS, PE  
FLORIDA LICENSE No. 68212  
8/20/21

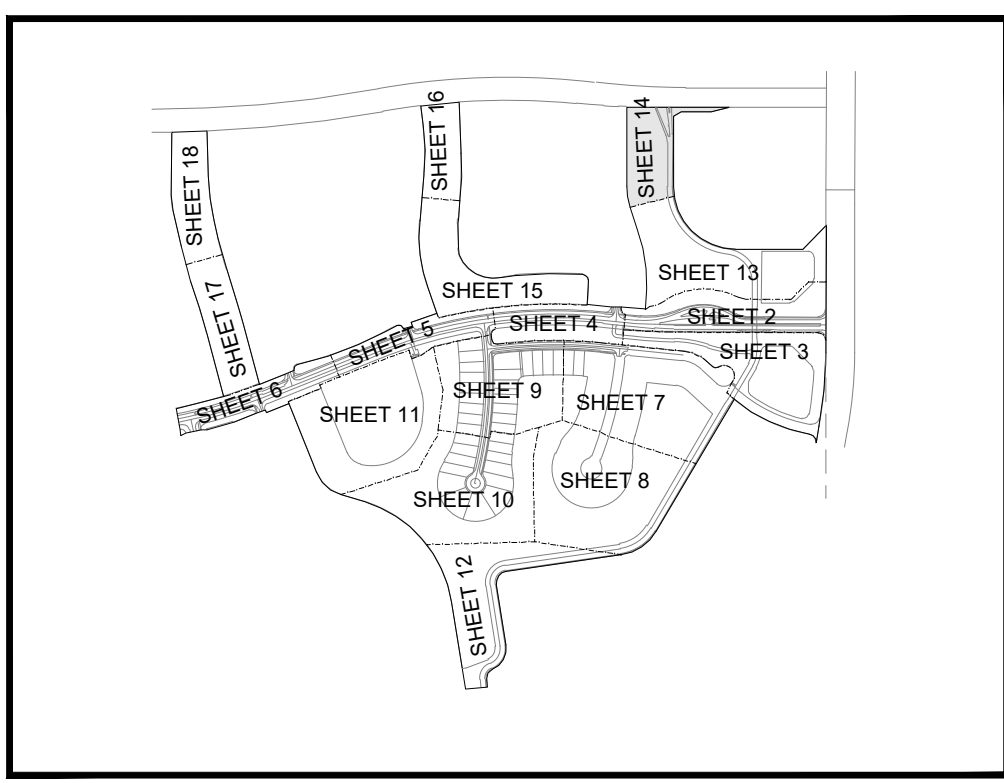
PROJECT No.: 21-1006  
DRAWN BY: SC  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID: 21-1006 - PGD PLAN

SHEET TITLE: PAVING, GRADING & DRAINAGE PLAN

SHEET NUMBER: 14



- STRIPING KEY**
- (A) - 6" SOLID WHITE
  - (B) - 8" SOLID WHITE
  - (C) - 12" SOLID WHITE
  - (D) - 18" SOLID WHITE
  - (E) - 24" SOLID WHITE
  - (F) - 6" SKIP WHITE TYP. (10' - 30')
  - (G) - 6" SKIP WHITE TYP. (6' - 10')
  - (H) - 6" SKIP WHITE TYP. (2' - 4')
  - (I) - 6" SOLID YELLOW
  - (J) - 18" SOLID YELLOW
  - (K) - 6" DOUBLE YELLOW
  - (L) - 6" SKIP YELLOW TYP. (10' - 30')
  - (M) - 6" SKIP YELLOW TYP. (6' - 10')
  - (N) - 6" SKIP YELLOW TYP. (2' - 4')
  - (P) - RPM BI - DIRECTIONAL YELLOW / YELLOW
  - (R) - FDP WHITE
  - (S) - FDP YELLOW
  - (T) - RPM BI - DIRECTIONAL WHITE / RED



KEY MAP  
N.T.S.

- NOTES:**
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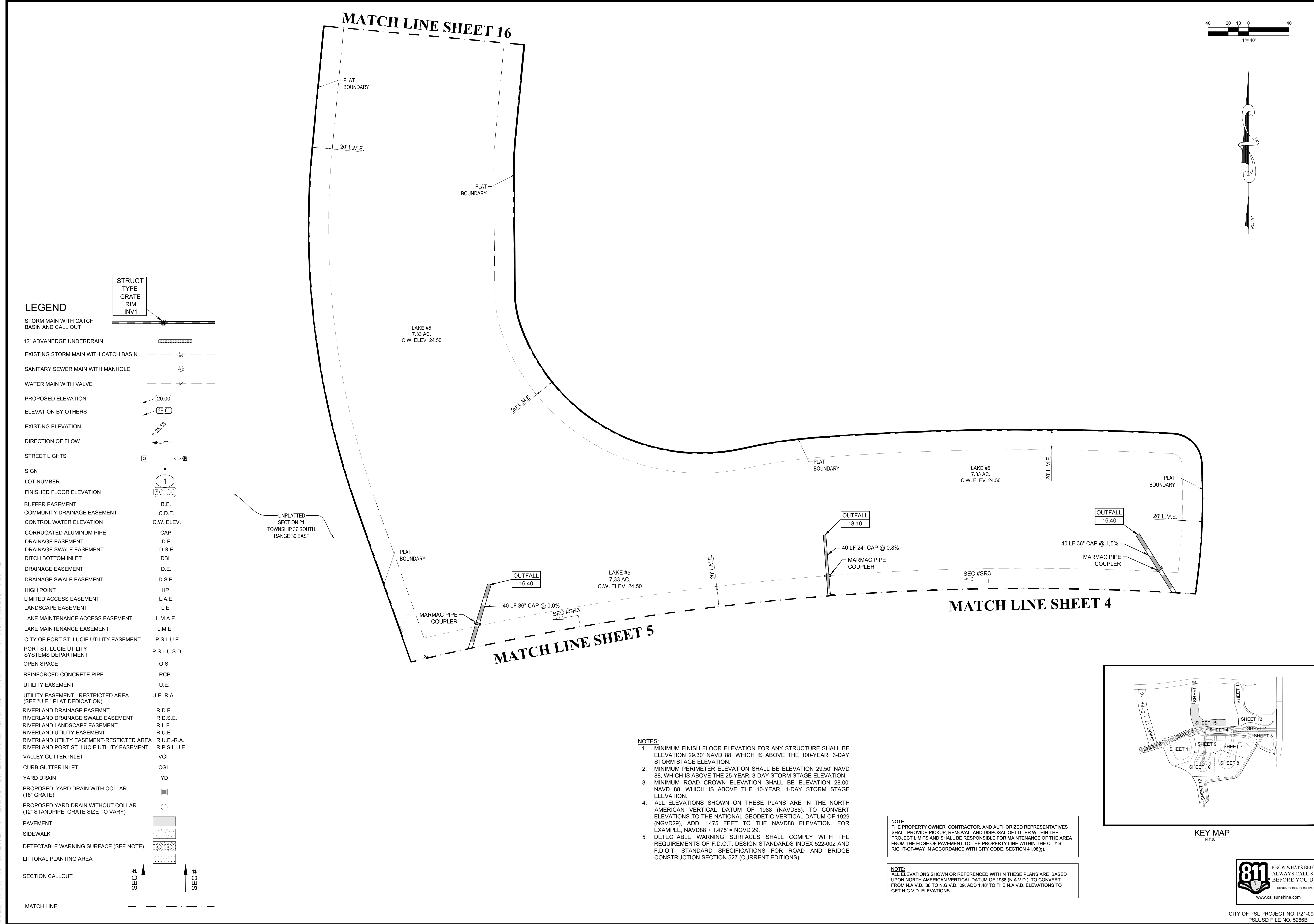
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**LEGEND**

STORM MAIN WITH CATCH BASIN AND CALL OUT	
12" ADVANEDGE UNDERDRAIN	
EXISTING STORM MAIN WITH CATCH BASIN	
SANITARY SEWER MAIN WITH MANHOLE	
WATER MAIN WITH VALVE	
PROPOSED ELEVATION	
ELEVATION BY OTHERS	
EXISTING ELEVATION	
DIRECTION OF FLOW	
STREET LIGHTS	
SIGN	
LOT NUMBER	
FINISHED FLOOR ELEVATION	
BUFFER EASEMENT	B.E.
COMMUNITY DRAINAGE EASEMENT	C.D.E.
CONTROL WATER ELEVATION	C.W. ELEV.
CORRUGATED ALUMINUM PIPE	CAP
DRAINAGE EASEMENT	D.E.
DRAINAGE SWALE EASEMENT	D.S.E.
DITCH BOTTOM INLET	DBI
DRAINAGE EASEMENT	D.E.
DRAINAGE SWALE EASEMENT	D.S.E.
HIGH POINT	HP
LIMITED ACCESS EASEMENT	L.A.E.
LANDSCAPE EASEMENT	L.E.
LAKE MAINTENANCE ACCESS EASEMENT	L.M.A.E.
LAKE MAINTENANCE EASEMENT	L.M.E.
CITY OF PORT ST. LUCIE UTILITY EASEMENT	P.S.L.U.E.
PORT ST. LUCIE UTILITY SYSTEMS DEPARTMENT	P.S.L.U.S.D.
OPEN SPACE	O.S.
REINFORCED CONCRETE PIPE	RCP
UTILITY EASEMENT	U.E.
UTILITY EASEMENT - RESTRICTED AREA (SEE "U.E." PLAT DEDICATION)	U.E.-RA
RIVERLAND DRAINAGE EASEMENT	R.D.E.
RIVERLAND DRAINAGE SWALE EASEMENT	R.D.S.E.
RIVERLAND LANDSCAPE EASEMENT	R.L.E.
RIVERLAND UTILITY EASEMENT	R.U.E.
RIVERLAND UTILITY EASEMENT-RESTRICTED AREA	R.U.E.-RA
RIVERLAND PORT ST. LUCIE UTILITY EASEMENT	R.P.S.L.U.E.
VALLEY GUTTER INLET	VGI
CURB GUTTER INLET	CGI
YARD DRAIN	YD
PROPOSED YARD DRAIN WITH COLLAR (18" GRATE)	
PROPOSED YARD DRAIN WITHOUT COLLAR (12" STANDPIPE, GRATE SIZE TO VARY)	
PAVEMENT	
SIDEWALK	
DETECTABLE WARNING SURFACE (SEE NOTE)	
LITTORAL PLANTING AREA	
SECTION CALLOUT	
MATCH LINE	

Printed on Friday, August 20, 2023, 9:29 AM by Sherry Gomez



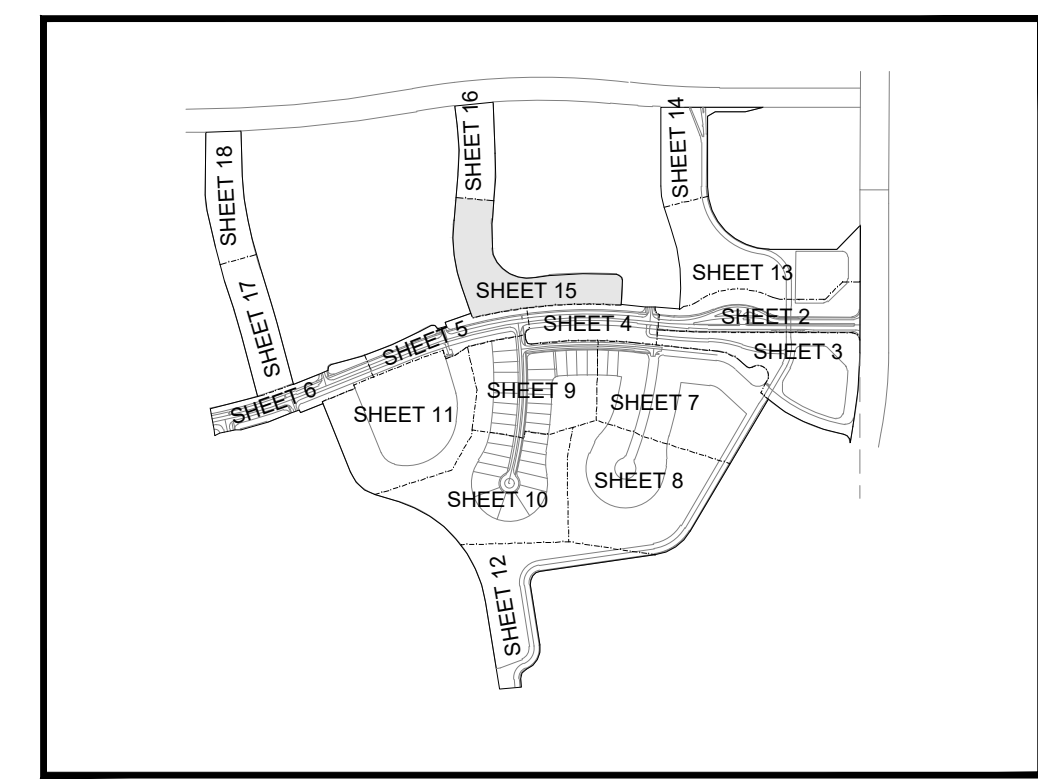
**LEGEND**

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12" ADVANEDGE UNDERDRAIN	
EXISTING STORM MAIN WITH CATCH BASIN	
SANITARY SEWER MAIN WITH MANHOLE	
WATER MAIN WITH VALVE	
PROPOSED ELEVATION	
ELEVATION BY OTHERS	
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KEY MAP  
N.T.S.



CITY OF PSL PROJECT NO. P21-094  
PSLUSD FILE NO. 5266B

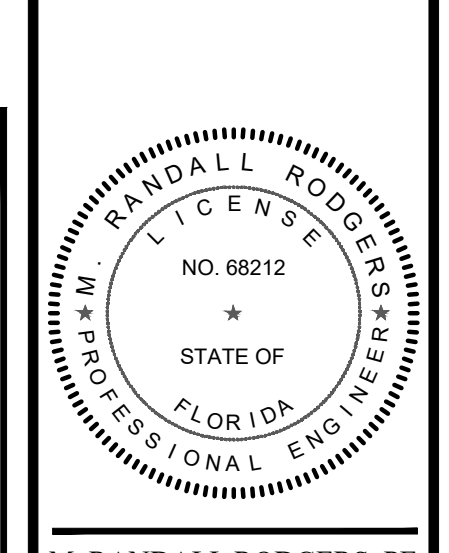
**VELCON**  
ENGINEERING & SURVEYING, LLC  
1449 NW COMMERCIAL CENTRE DR  
PORT ST. LUCIE, FL 34986  
PHONE: (772) 879-5477  
FIRE C.O.A. # 3222

**REVISIONS:**

BY:	DATE:	COMMENT:
SG	05/28/21	PER SPRC COMMENTS
SG	08/11/21	PER SPRC COMMENTS

PROJECT:  
**RIVERLAND PARCEL B**  
**PLAT ONE**  
CITY OF PORT ST. LUCIE,  
FLORIDA

CLIENT:  
**RIVERLAND ASSOCIATES II**  
**LLLP**

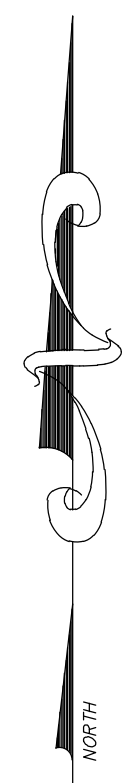
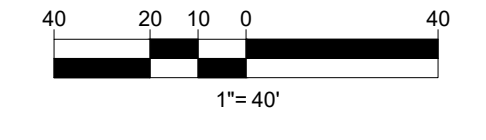


M. RANDALL RODGERS, PE  
FLORIDA LICENSE No. 68212  
8/20/21

PROJECT No.: 21-1006  
DRAWN BY: SC  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID.: 21-1006 - PGD PLAN

SHEET TITLE:  
**PAVING, GRADING & DRAINAGE PLAN**

SHEET NUMBER:  
**15**



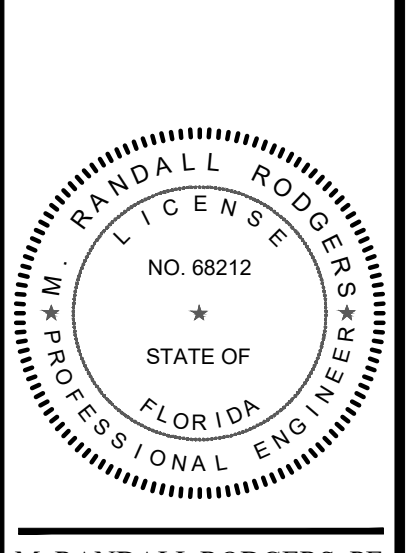
**ENGINEERING & SURVEYING, L.L.C.**  
 1449 NW COMMERCIAL CENTRE DR  
 PORT ST. LUCIE, FL 34956  
 PHONE: (772) 873-5477  
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M. RANDALL RODGERS, PE  
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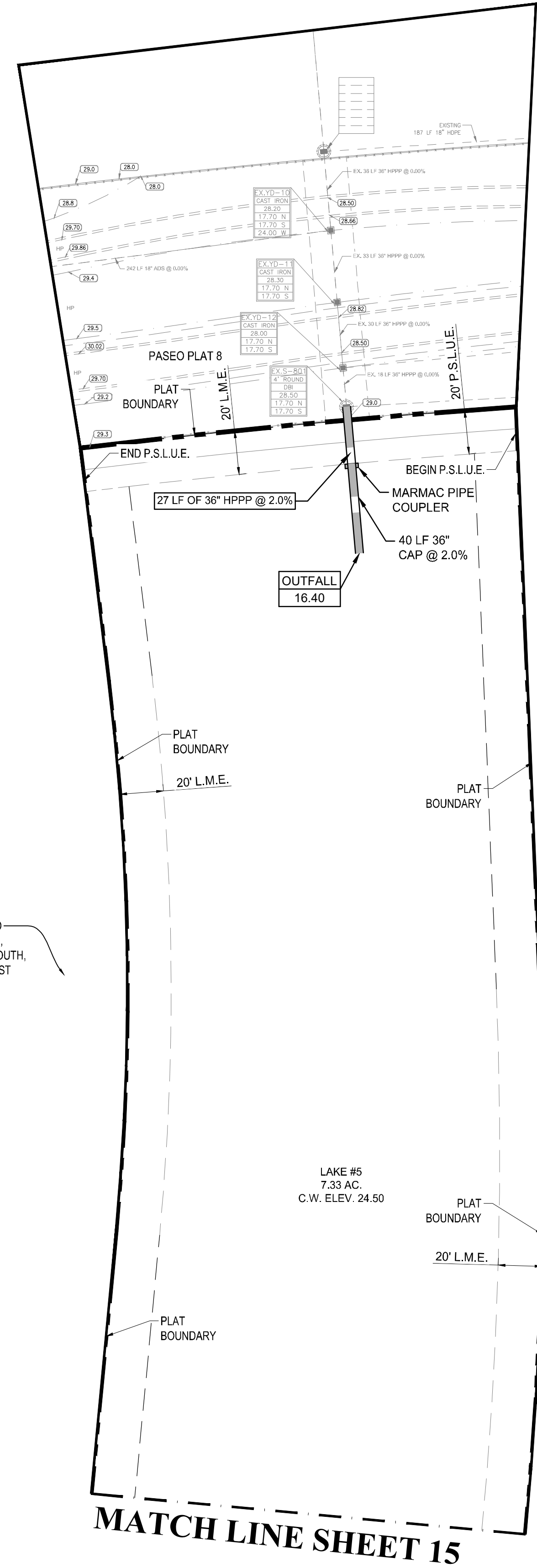
PROJECT No.: 21-1006  
 DRAWN BY: SC  
 CHECKED BY: RR  
 DATE: 8/20/2021  
 CAD ID.: 21-1006 - PGD PLAN

SHEET TITLE:  
**PAVING, GRADING & DRAINAGE PLAN**

SHEET NUMBER:  
**16**

**LEGEND**

STORM MAIN WITH CATCH BASIN AND CALL OUT	
12" ADVANEDGE UNDERDRAIN	
EXISTING STORM MAIN WITH CATCH BASIN	
SANITARY SEWER MAIN WITH MANHOLE	
WATER MAIN WITH VALVE	
PROPOSED ELEVATION	
ELEVATION BY OTHERS	
EXISTING ELEVATION	
DIRECTION OF FLOW	
STREET LIGHTS	
SIGN	
LOT NUMBER	
FINISHED FLOOR ELEVATION	
BUFFER EASEMENT	B.E.
COMMUNITY DRAINAGE EASEMENT	C.D.E.
CONTROL WATER ELEVATION	C.W. ELEV.
CORRUGATED ALUMINUM PIPE	CAP
DRAINAGE EASEMENT	D.E.
DRAINAGE SWALE EASEMENT	D.S.E.
DITCH BOTTOM INLET	DBI
DRAINAGE EASEMENT	D.E.
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HIGH POINT	HP
LIMITED ACCESS EASEMENT	L.A.E.
LANDSCAPE EASEMENT	L.E.
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SIDEWALK	
DETECTABLE WARNING SURFACE (SEE NOTE)	
LITTORAL PLANTING AREA	
SECTION CALLOUT	
MATCH LINE	



UNPLATTED SECTION 21, TOWNSHIP 37 SOUTH, RANGE 39 EAST

UNPLATTED SECTION 21, TOWNSHIP 37 SOUTH, RANGE 39 EAST

LAKE #5  
 7.33 AC  
 C.W. ELEV. 24.50

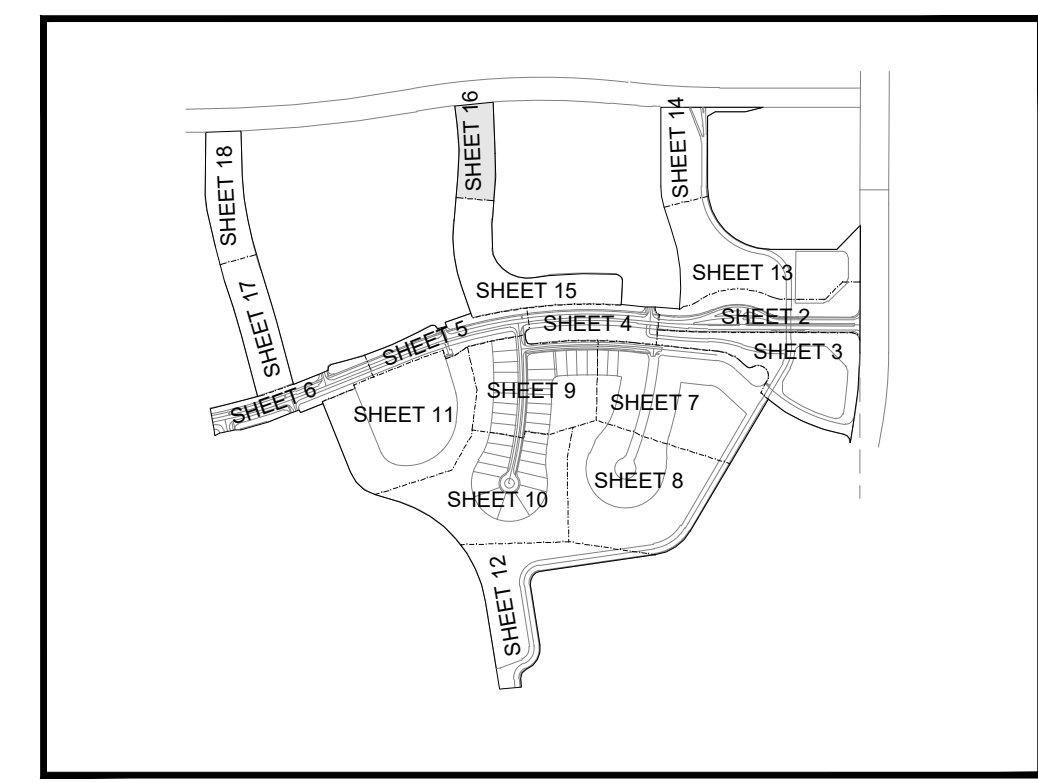
**MATCH LINE SHEET 15**

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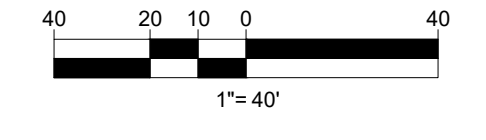


KEY MAP  
 N.T.S.



CITY OF PSL PROJECT No. P21-094  
 PSLUSD FILE No. 5266B



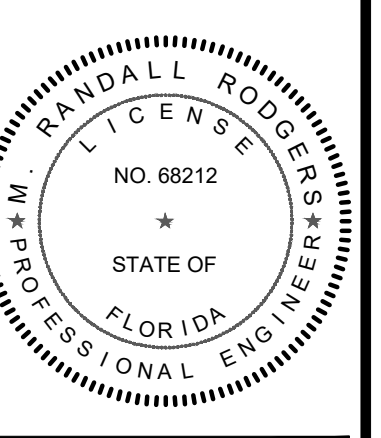


REVISIONS:	
BY:	DATE:
SG	05/28/21
SG	08/11/21

COMMENT:
PER SPRC COMMENTS
PER SPRC COMMENTS

PROJECT:  
**RIVERLAND PARCEL B  
PLAT ONE**  
CITY OF PORT ST. LUCIE,  
FLORIDA

CLIENT:  
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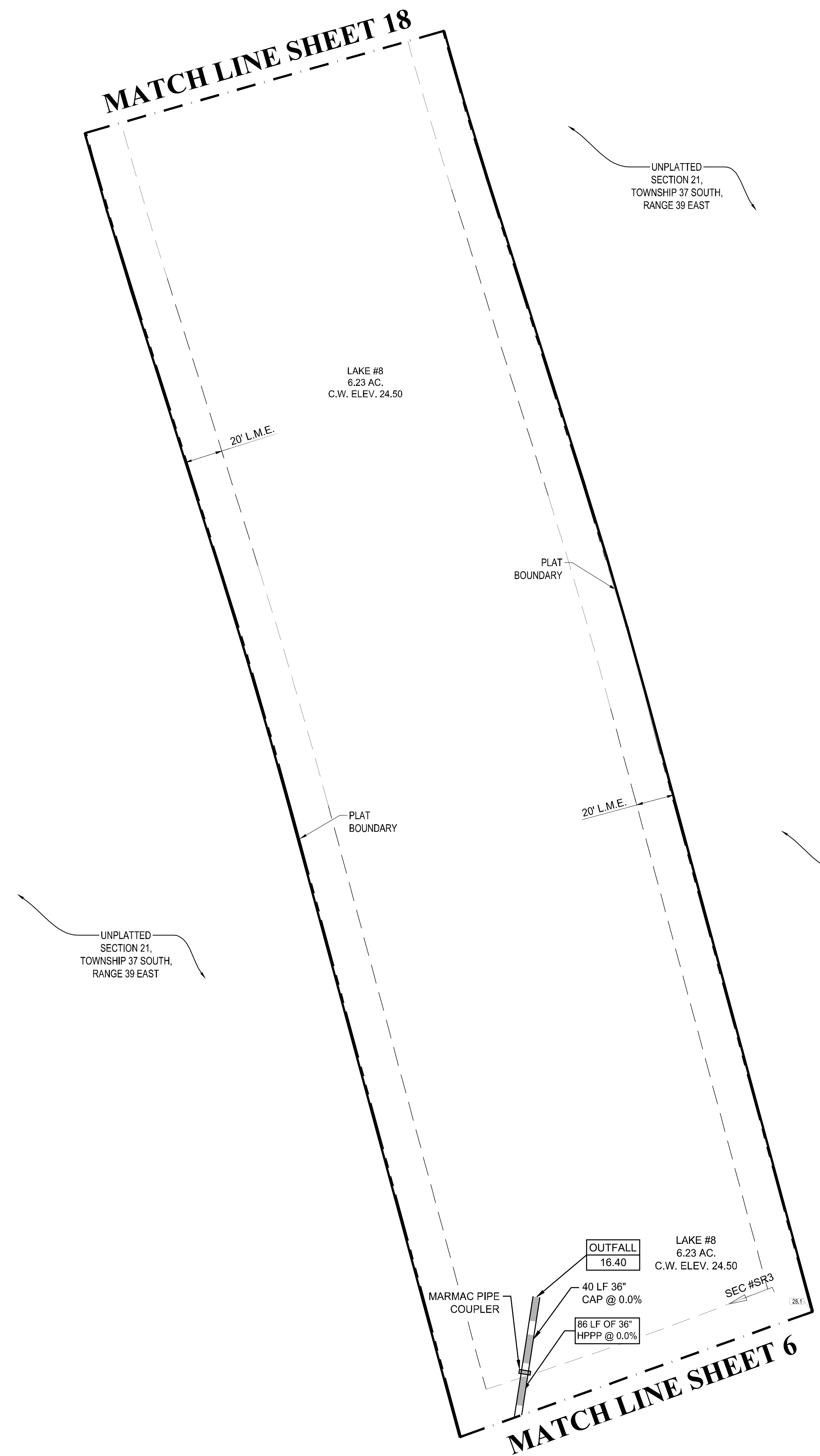
M. RANDALL RODGERS, PE  
FLORIDA LICENSE No. 68212  
8/20/21

PROJECT No.: 21-1006  
DRAWN BY: SC  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID.: 21-1006 - PGD PLAN

SHEET TITLE:  
**PAVING, GRADING  
& DRAINAGE PLAN**

SHEET NUMBER:  
**17**

**MATCH LINE SHEET 18**



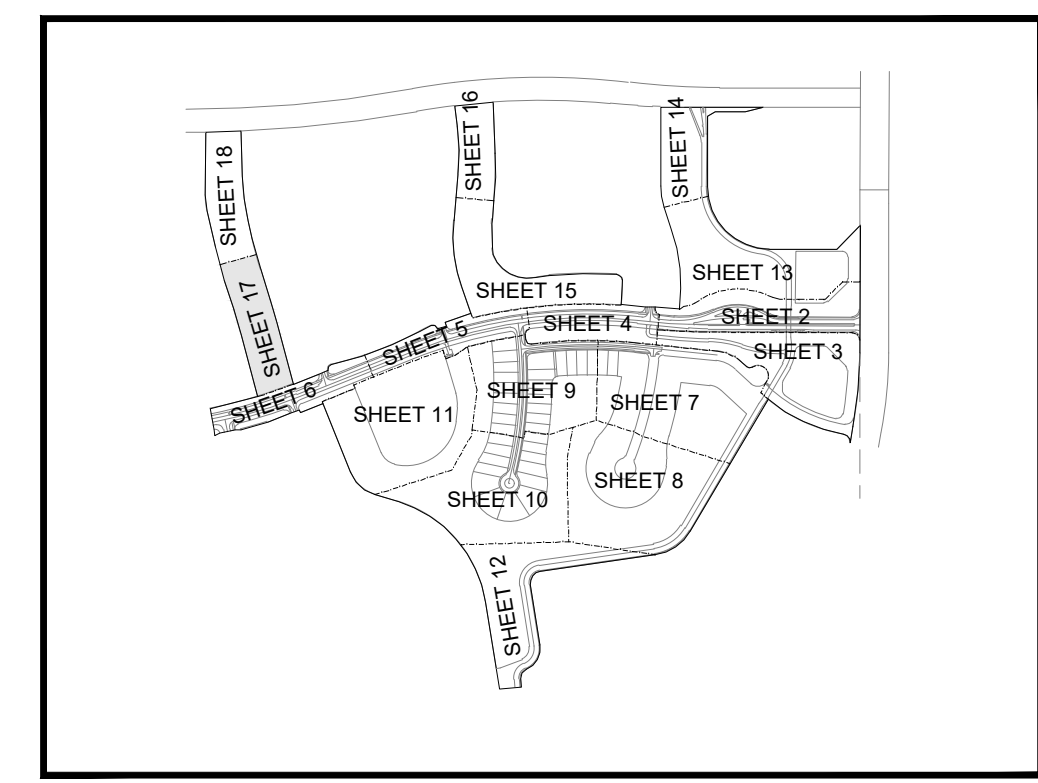
**LEGEND**

STORM MAIN WITH CATCH BASIN AND CALL OUT	
12\"/>	

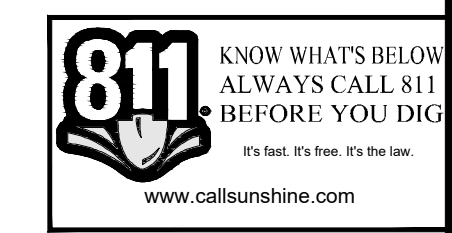
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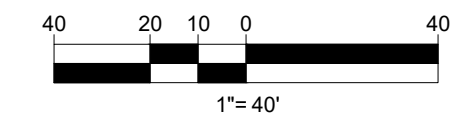
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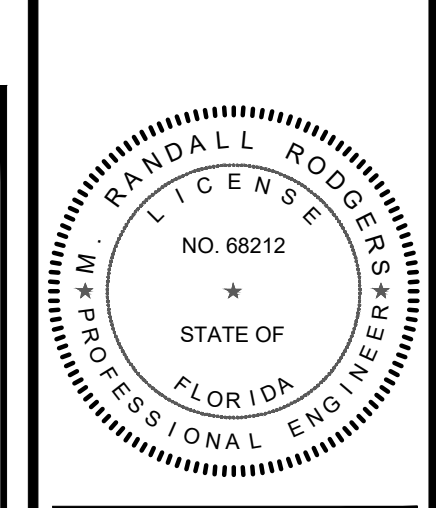
CITY OF PSL PROJECT NO. P21-094  
PSLUSD FILE NO. 5266B



REVISIONS:	
BY:	DATE:
SG	05/28/21
SG	08/11/21

PROJECT: RIVERLAND PARCEL B  
PLAT ONE  
CITY OF PORT ST. LUCIE,  
FLORIDA

CLIENT: RIVERLAND ASSOCIATES II  
LLLP

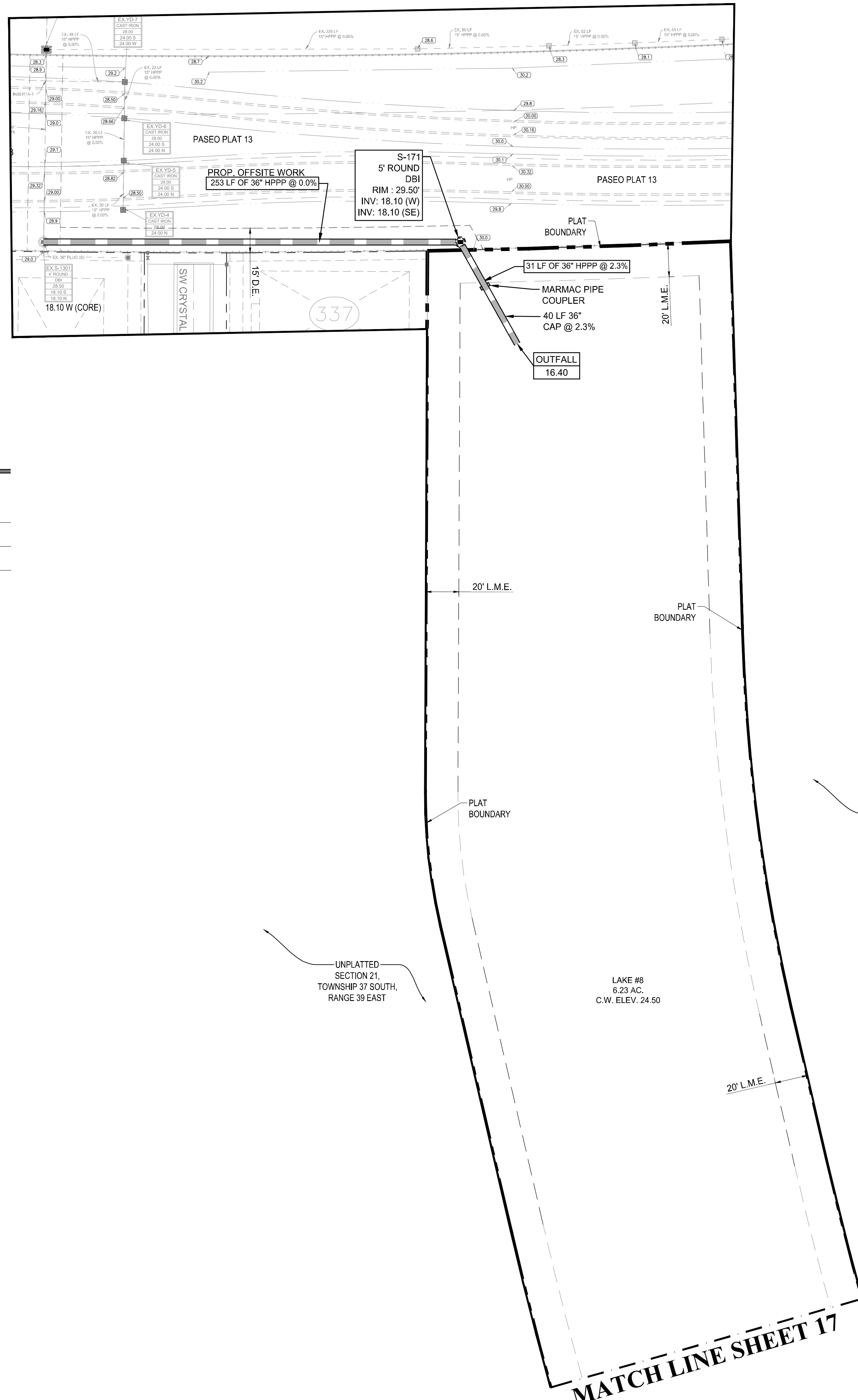


M. RANDALL RODGERS, PE  
FLORIDA LICENSE No. 68212  
8/20/21

PROJECT No.: 21-1006  
DRAWN BY: SC  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID: 21-1006 - PGD PLAN

SHEET TITLE: PAVING, GRADING & DRAINAGE PLAN

SHEET NUMBER: 18



**LEGEND**

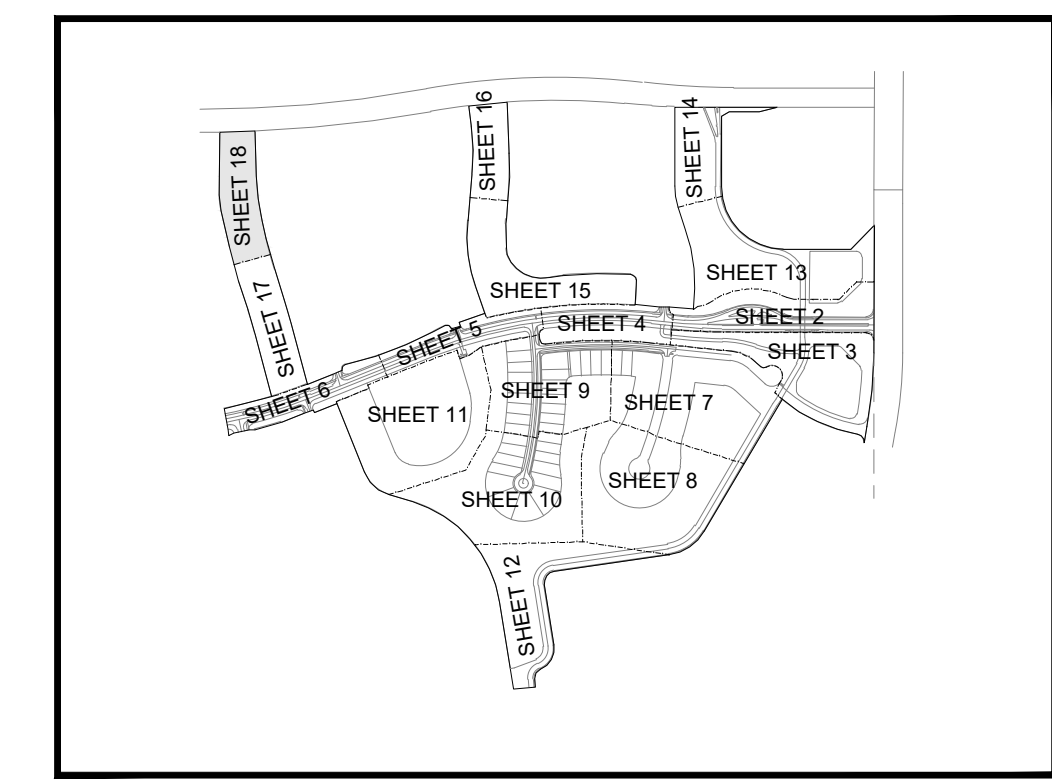
STORM MAIN WITH CATCH BASIN AND CALL OUT	
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OPEN SPACE	O.S.
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UTILITY EASEMENT	U.E.
UTILITY EASEMENT - RESTRICTED AREA (SEE "U.E." PLAT DEDICATION)	U.E.-RA
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YARD DRAIN	YD
PROPOSED YARD DRAIN WITH COLLAR (18" GRATE)	
PROPOSED YARD DRAIN WITHOUT COLLAR (12" STANDPIPE, GRATE SIZE TO VARY)	
PAVEMENT	
SIDEWALK	
DETECTABLE WARNING SURFACE (SEE NOTE)	
LITTORAL PLANTING AREA	
SECTION CALLOUT	
MATCH LINE	

**NOTES:**

- MINIMUM FINISH FLOOR ELEVATION FOR ANY STRUCTURE SHALL BE ELEVATION 29.30' NAVD 88, WHICH IS ABOVE THE 100-YEAR, 3-DAY STORM STAGE ELEVATION.
- MINIMUM PERIMETER ELEVATION SHALL BE ELEVATION 29.50' NAVD 88, WHICH IS ABOVE THE 25-YEAR, 3-DAY STORM STAGE ELEVATION.
- MINIMUM ROAD CROWN ELEVATION SHALL BE ELEVATION 28.00' NAVD 88, WHICH IS ABOVE THE 10-YEAR, 1-DAY STORM STAGE ELEVATION.
- ALL ELEVATIONS SHOWN ON THESE PLANS ARE IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). TO CONVERT ELEVATIONS TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29), ADD 1.475 FEET TO THE NAVD88 ELEVATION. FOR EXAMPLE, NAVD88 + 1.475' = NGVD 29.
- DETECTABLE WARNING SURFACES SHALL COMPLY WITH THE REQUIREMENTS OF F.D.O.T. DESIGN STANDARDS INDEX 522-002 AND F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 527 (CURRENT EDITIONS).

NOTE: THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08(g).

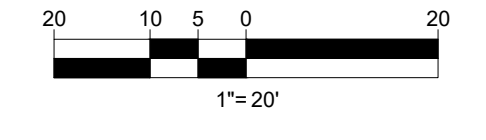
NOTE: ALL ELEVATIONS SHOWN OR REFERENCED WITHIN THESE PLANS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.). TO CONVERT FROM N.A.V.D. '88 TO N.G.V.D. '29, ADD 1.48' TO THE N.A.V.D. ELEVATIONS TO GET N.G.V.D. ELEVATIONS.



KEY MAP  
N.T.S.

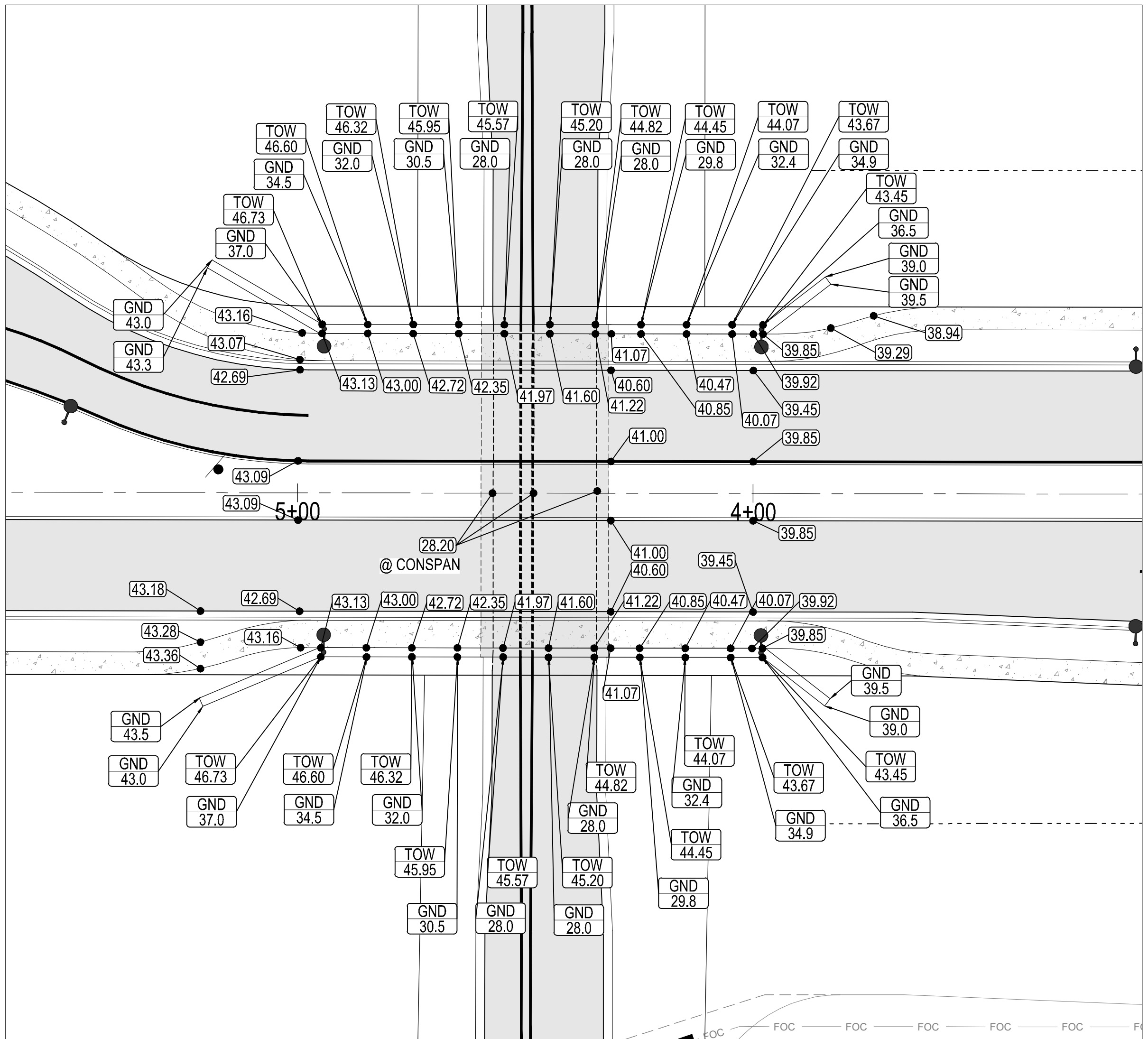


CITY OF PSL PROJECT No. P21-094  
PSLUSD FILE No. 5266B



REVISIONS:	
BY:	DATE:
SG	05/28/21
SG	08/11/21

# CONSPAN TUNNEL GRADING DETAIL

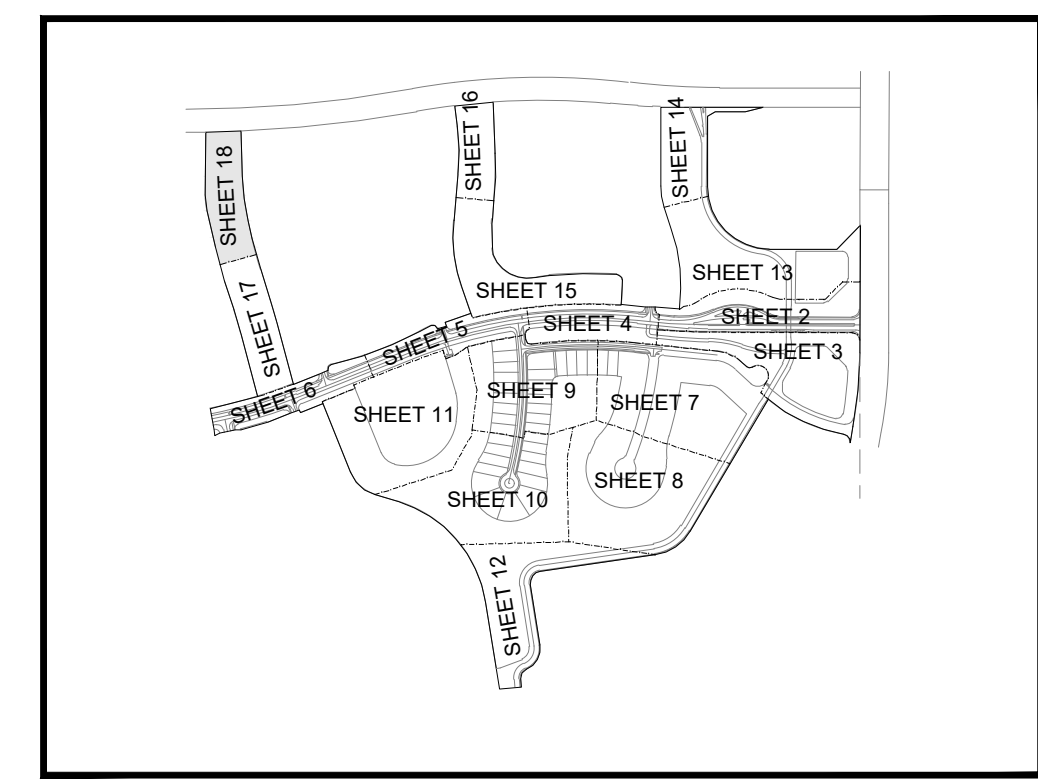


**SEE SHEET 2 & 3 FOR SURROUNDING INFO**

## LEGEND

STORM MAIN WITH CATCH BASIN AND CALL OUT	
12" ADVANEDGE UNDERDRAIN	
EXISTING STORM MAIN WITH CATCH BASIN	
SANITARY SEWER MAIN WITH MANHOLE	
WATER MAIN WITH VALVE	
PROPOSED ELEVATION	
ELEVATION BY OTHERS	
EXISTING ELEVATION	
DIRECTION OF FLOW	
STREET LIGHTS	
SIGN	
LOT NUMBER	
FINISHED FLOOR ELEVATION	
BUFFER EASEMENT	B.E.
COMMUNITY DRAINAGE EASEMENT	C.D.E.
CONTROL WATER ELEVATION	C.W. ELEV.
CORRUGATED ALUMINUM PIPE	CAP
DRAINAGE EASEMENT	D.E.
DRAINAGE SWALE EASEMENT	D.S.E.
DITCH BOTTOM INLET	DBI
DRAINAGE EASEMENT	D.E.
DRAINAGE SWALE EASEMENT	D.S.E.
HIGH POINT	HP
LIMITED ACCESS EASEMENT	L.A.E.
LANDSCAPE EASEMENT	L.E.
LAKE MAINTENANCE ACCESS EASEMENT	L.M.A.E.
LAKE MAINTENANCE EASEMENT	L.M.E.
CITY OF PORT ST. LUCIE UTILITY EASEMENT	P.S.L.U.E.
PORT ST. LUCIE UTILITY SYSTEMS DEPARTMENT	P.S.L.U.S.D.
OPEN SPACE	O.S.
REINFORCED CONCRETE PIPE	RCP
UTILITY EASEMENT	U.E.
UTILITY EASEMENT - RESTRICTED AREA (SEE "U.E." PLAT DEDICATION)	U.E.-RA
RIVERLAND DRAINAGE EASEMENT	R.D.E.
RIVERLAND DRAINAGE SWALE EASEMENT	R.D.S.E.
RIVERLAND LANDSCAPE EASEMENT	R.L.E.
RIVERLAND UTILITY EASEMENT	R.U.E.
RIVERLAND UTILITY EASEMENT-RESTRICTED AREA	R.U.E.-RA
RIVERLAND PORT ST. LUCIE UTILITY EASEMENT	R.P.S.L.U.E.
VALLEY GUTTER INLET	VGI
CURB GUTTER INLET	CGI
YARD DRAIN	YD
PROPOSED YARD DRAIN WITH COLLAR (18" GRATE)	
PROPOSED YARD DRAIN WITHOUT COLLAR (12" STANDPIPE, GRATE SIZE TO VARY)	
PAVEMENT	
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DETECTABLE WARNING SURFACE (SEE NOTE)	
LITTORAL PLANTING AREA	
SECTION CALLOUT	
MATCH LINE	

- NOTES:**
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  4. ALL ELEVATIONS SHOWN ON THESE PLANS ARE IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). TO CONVERT ELEVATIONS TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29), ADD 1.475 FEET TO THE NAVD88 ELEVATION. FOR EXAMPLE, NAVD88 + 1.475' = NGVD 29.
  5. DETECTABLE WARNING SURFACES SHALL COMPLY WITH THE REQUIREMENTS OF F.D.O.T. DESIGN STANDARDS INDEX 522-002 AND F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 527 (CURRENT EDITIONS).



**NOTE:**  
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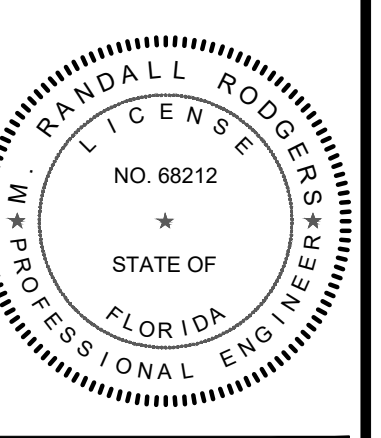
**NOTE:**  
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CITY OF PSL PROJECT NO. P21-094  
PSLUSD FILE NO. 5266B

PROJECT:  
**RIVERLAND PARCEL B  
PLAT ONE**  
CITY OF PORT ST. LUCIE,  
FLORIDA

CLIENT:  
**RIVERLAND  
ASSOCIATES II  
LLLP**



M. RANDALL RODGERS, PE  
FLORIDA LICENSE No. 68212  
8/20/21

PROJECT No.: 21-1006  
DRAWN BY: SG  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID.: 21-1006 - PGD PLAN

SHEET TITLE:  
**PAVING, GRADING  
& DRAINAGE  
DETAILS**

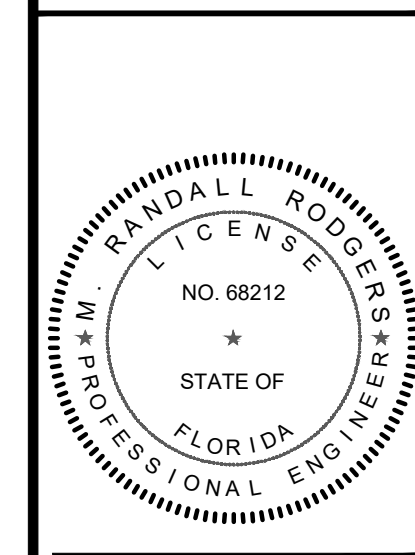
SHEET NUMBER:  
**18-A**



REVISIONS:		DATE:	COMMENT:
BY:	DATE:		
SG	07/28/21		PER GLH COMMENTS

PROJECT: RIVERLAND PARCEL B  
PLAT ONE  
CITY OF PORT ST. LUCIE, FLORIDA

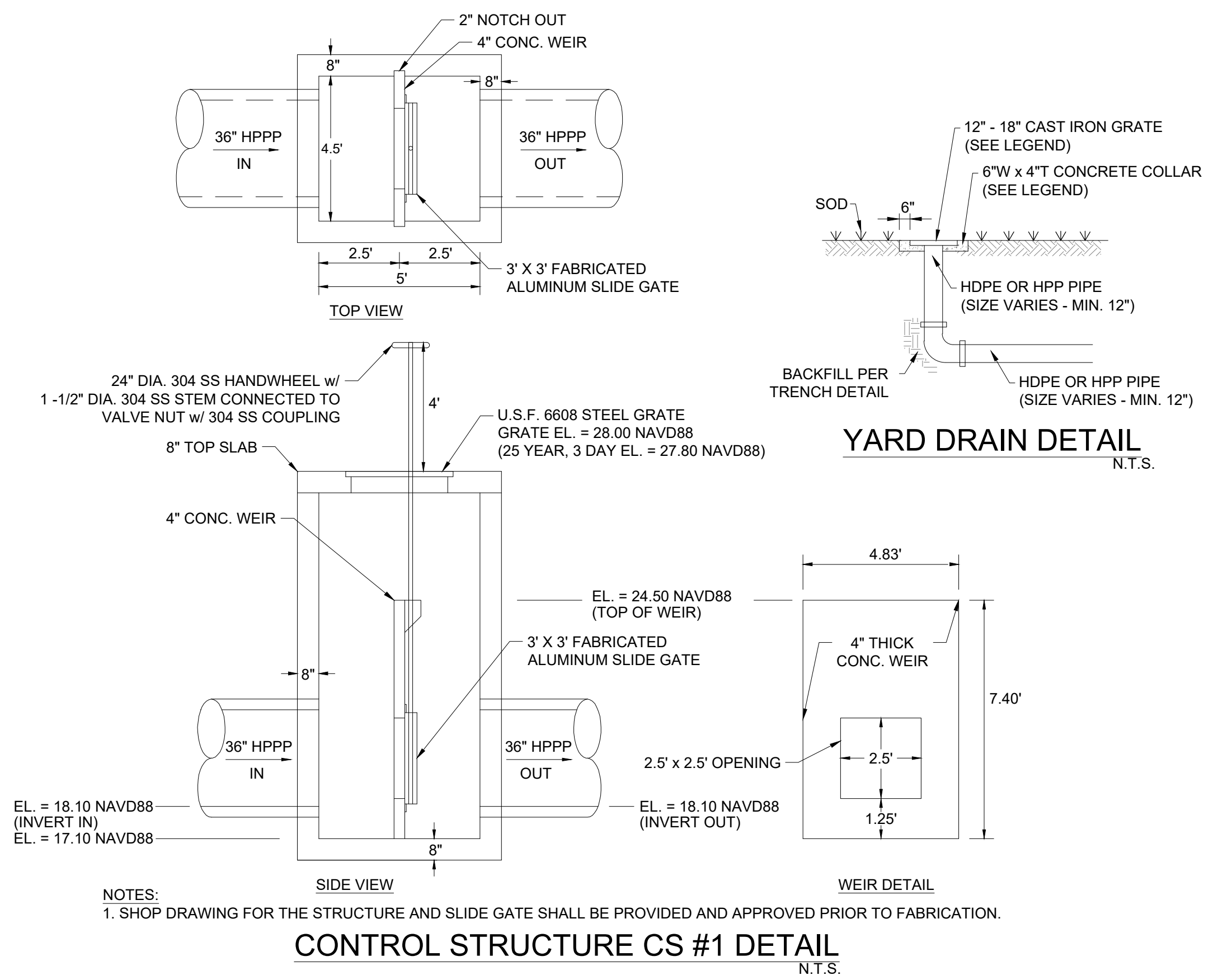
CUSTOMER: RIVERLAND ASSOCIATES II LLLP



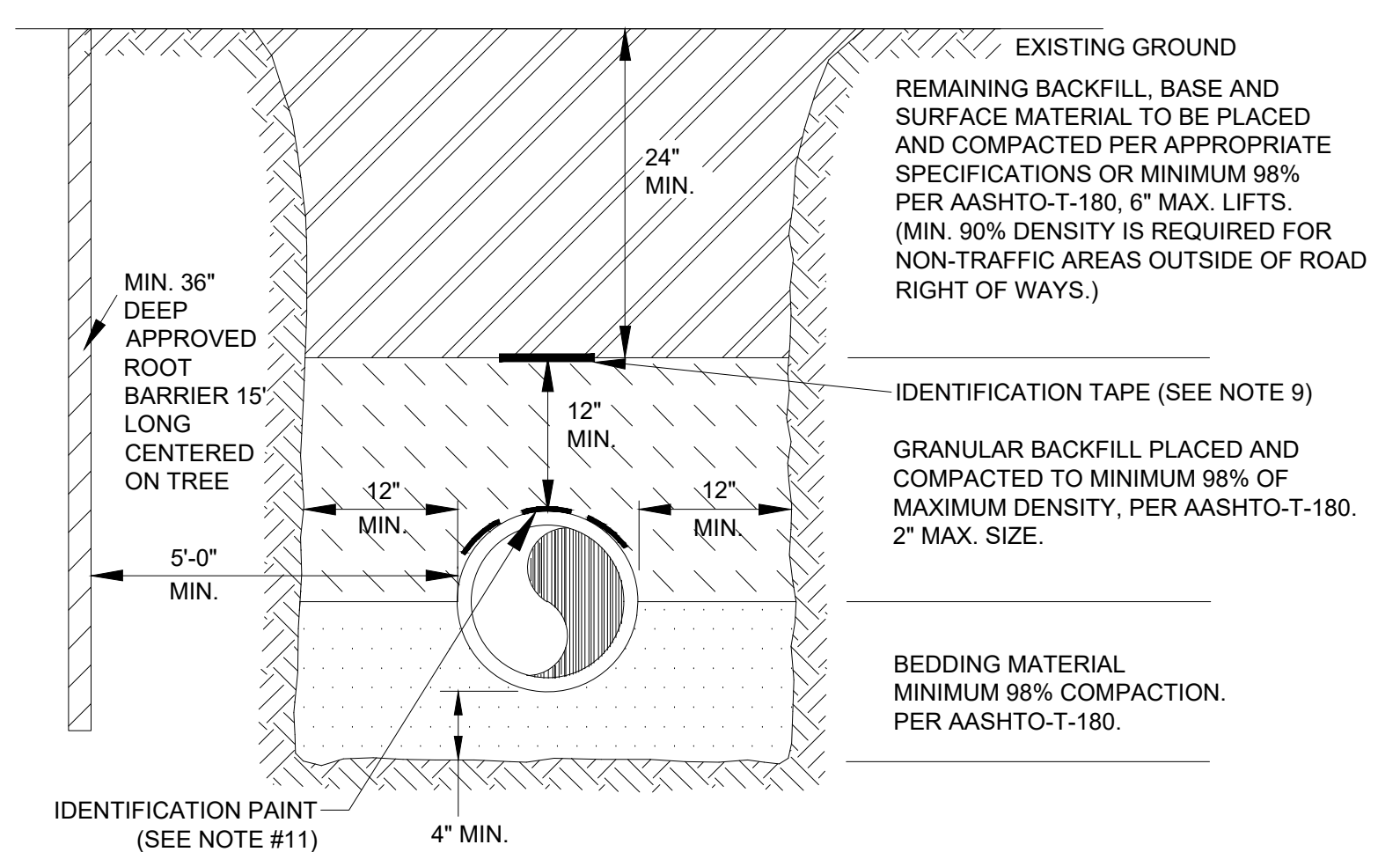
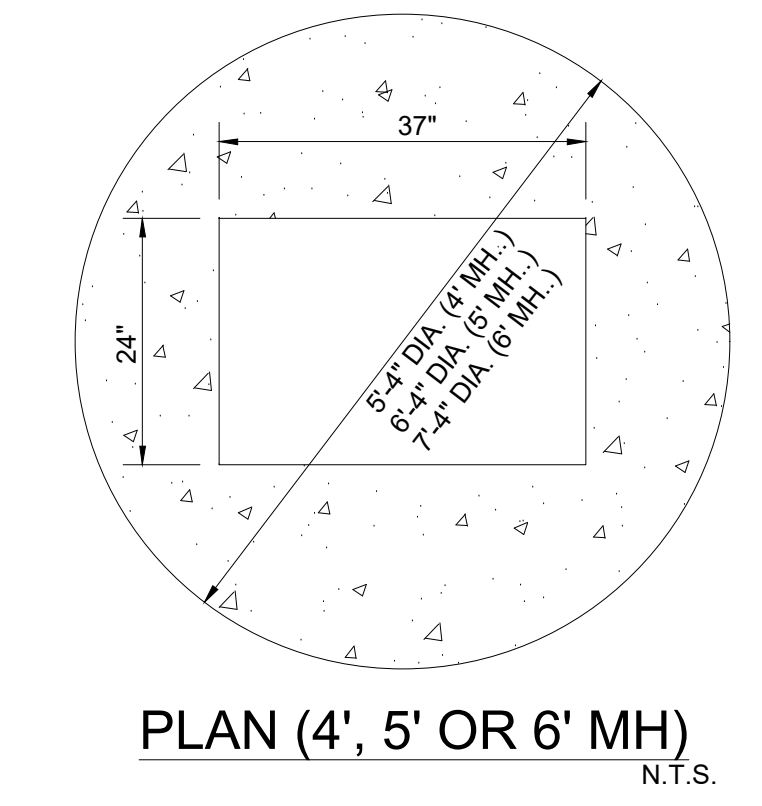
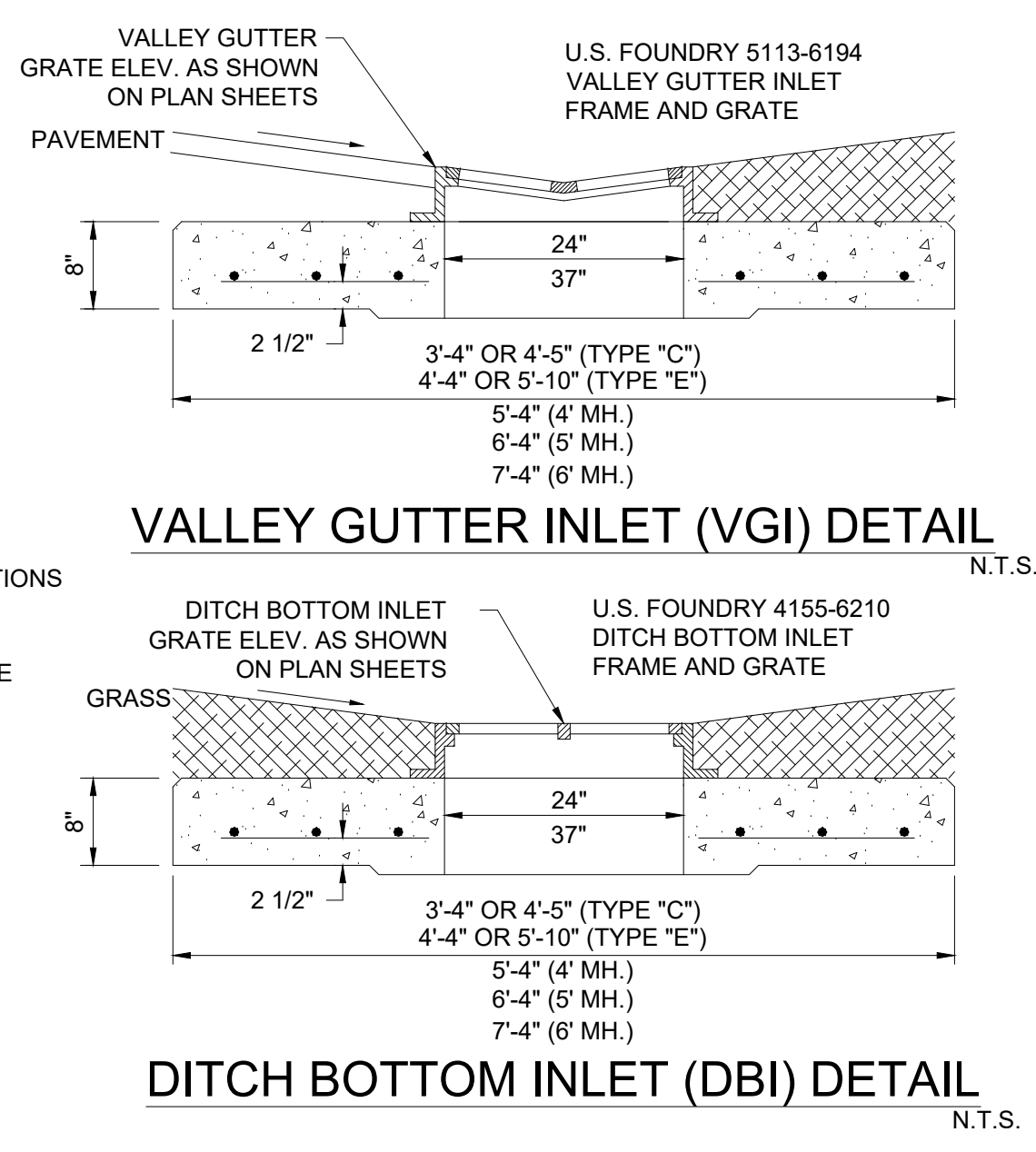
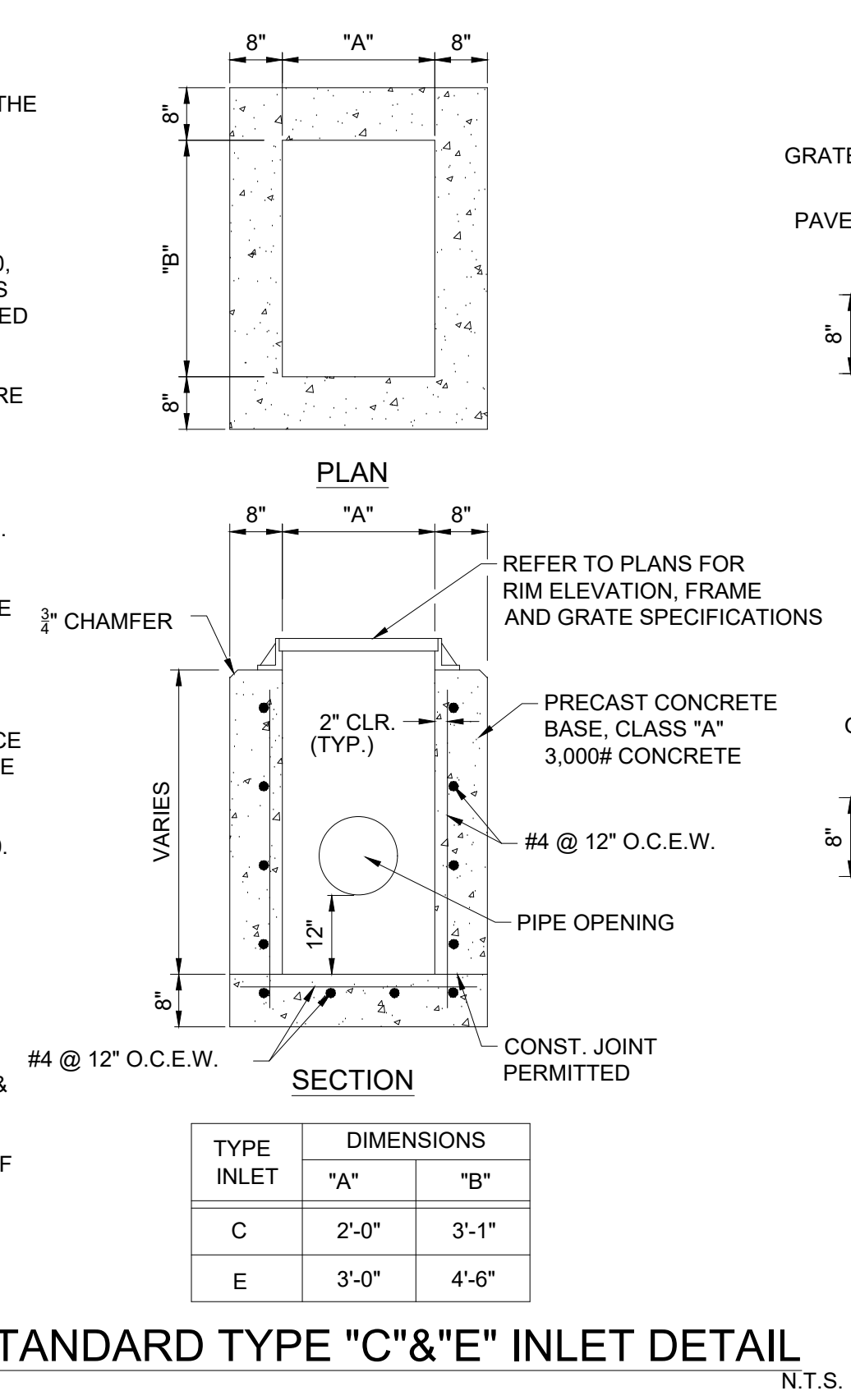
M. RANDALL RODGERS, PE  
FLORIDA LICENSE NO. 68212  
8/20/21

PROJECT NO.: 21-1006  
DRAWN BY: SC  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD I.D.: 21-1006 - PGD DETAILS

SHEET TITLE: PAVING, GRADING & DRAINAGE DETAILS  
SHEET NUMBER: 20



- INLET AND MANHOLE NOTES:**
- ALL INLET CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT F.D.O.T. STANDARDS INDEX # 201 & 232.
  - SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER.
  - STRUCTURES WITH SKEWED PIPE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH F.D.O.T. STANDARDS INDEX # 200, SHEET 3 OF 5 AND INDEX # 201, SHEET 5 OF 5. ROUND STRUCTURES ARE TO BE USED WHERE SKEW ANGLES EXCEED MAXIMUM ALLOWED OR WHEN PIPE CONNECTION WOULD BE AT THE CORNER OF A RECTANGULAR STRUCTURE. RECTANGULAR STRUCTURES WITH A CORNER OPENING IS ONLY TO BE USED WHEN A ROUND STRUCTURE IS NOT POSSIBLE.
  - ALL EXPOSED CORNERS AND EDGES SHALL BE CHAMFERED 3/4".
  - INLETS AND MANHOLES SHALL BE PRECAST CLASS "A" 3,000 P.S.I. CONCRETE.
  - FRAMES AND GRATES SHALL BE CAST IRON AND IN ACCORDANCE WITH F.D.O.T. SPECIFICATIONS.
  - INLET GRATES SHALL BE U.S. FOUNDRY OR EQUAL.
  - ALL INLET GRATES SHALL HAVE LOCKING CHAINS IN ACCORDANCE WITH F.D.O.T. STANDARD INDEX #201, OR AN APPROVED ALTERNATE SECURING MECHANISM.
  - REINFORCING STEEL SHALL CONFORM TO A.S.T.M. 615 GRADE 40.
  - AS AN ALTERNATE, PRECAST CIRCULAR (MANHOLES) MAY BE FURNISHED IN ACCORDANCE WITH F.D.O.T. STANDARD INDEX #200 WITH WALLS AND REINFORCEMENT IN ACCORDANCE WITH A.S.T.M. C-478 SPECIFICATIONS, EXCEPT THAT MINIMUM WALL THICKNESS SHALL BE 4".
  - ALL INLETS IN GRASSED AREAS SHALL BE STANDARD TYPE "C" & "E" INLETS HAVING CONCRETE COLLARS. ALL INLETS IN GRASSY AREA AND ADJACENT TO GRASSED AREAS SHALL BE PROTECTED FROM SCOUR BY INSTALLATION OF A 4' WIDE PERIMETER APRON OF SOD. ADDITIONALLY ALL INLET GRATES SHALL BE WRAPPED WITH FILTER CLOTH DURING CONSTRUCTION.



- TRENCH NOTES:**
- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMESTONE 3/8" - 7/8" SIZING WITH EQUAL OR GREATER STRUCTURAL ADEQUACY AS EXISTING. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCKS SHALL BE REMOVED.
  - THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
  - THE PIPE SHALL BE PLACED IN A DRY TRENCH.
  - BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK AND DEBRIS.
  - DENSITY TESTS SHALL BE TAKEN IN 1 FOOT LIFTS ABOVE THE PIPE AT INTERVALS OF 400' MAXIMUM, (MINIMUM 1 SET) OR AS DIRECTED BY THE CONSTRUCTION COORDINATION DIVISION. RESULTS SHALL BE SUBMITTED TO CONSTRUCTION COORDINATION AS PART OF THEIR FIELD REVIEW.
  - THE PERMITTEE/DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL TRENCH SAFETY LAWS AND REGULATIONS.
  - SEE SEPARATE DETAIL FOR PAVED AREAS (OPEN CUT FOR THOROUGHFARE AND NON-THOROUGHFARE ROADS)
  - THE AFFECTED AREA SHALL BE RESTORED TO EQUAL OR BETTER CONDITION OR AS SPECIFIED IN PERMIT/CONTRACT DOCUMENTS.
  - APPROVED MAGNETIC TAPE IS REQUIRED FOR ALL MAIN PRESSURE PIPES AND CONDUIT IN THE CITY'S RIGHT-OF-WAY. INSTALL TAPE 24" BELOW FINISHED GRADE.
  - ROOT BARRIER IS REQUIRED FOR APPROVED PIPE INSTALLATION CLOSER THAN 10 FEET FROM AN EXISTING TREE.
  - CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR DIP/PCCP WATER MAINS (BLUE), DIP SANITARY FORCE MAINS (GREEN), DIP RECLAIMED WATER MAINS (PURPLE), GAS MAINS (YELLOW), OR AS REQUIRED BY THE APWA.
  - PERMANENT ABOVE GROUND UTILITY MARKER SHALL BE INSTALLED IF REQUIRED BY PROPERTY OWNER GRANTING THE PIPE INSTALLATION PERMIT.

TYPICAL TRENCH DETAIL  
N.T.S.

**GENERAL SIGN SPECIFICATIONS:**  
SIGNS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MUTCD. COORDINATE WITH DEVELOPER FOR SPECIFIC SIGN TYPE AND MAINTAIN CONSISTENCY THROUGHOUT PROJECT.

**FLAT BLADE:** ALCOA #86054 6063-T6 ALLOY, ETCHED, DEGRADED WITH #1200 ALODINE FINISH WITH #3877 GREEN HIGH INTENSITY BACKGROUND AND EQUAL DIMENSIONS - 9" x 12" MIN. H. 24", 30", 36" AND 42" L.

**LETTERS:** NAME - 6" UPPERCASE WITH 4.5" LOWERCASE & 9" UPPERCASE WITH 6.75" LOWERCASE. SERIES "B" # 3870 HIGH INTENSITY (SILVER) OR EQUAL - PREFIX & SUFFIX - 4.5".

**POST:** STEEL FLANGED CHANNEL POST 3 LBS. WEIGHT PER FOOT WITH BAKED GREEN ALKYL OR GALVANIZED FINISH PER A.S.T.M. -A-123 WITHOUT ANCHOR PLATES. SQUARE POST PER FDOT INDEX 11860.

**BRACKETS:** SHALL BE ATTACHED FIRMLY ON STANDARD SQUARE TUBE OR U-CHANNEL POSTS BY MEANS OF (2) 3/16" DIAMETER HEX HEAD BOLTS.

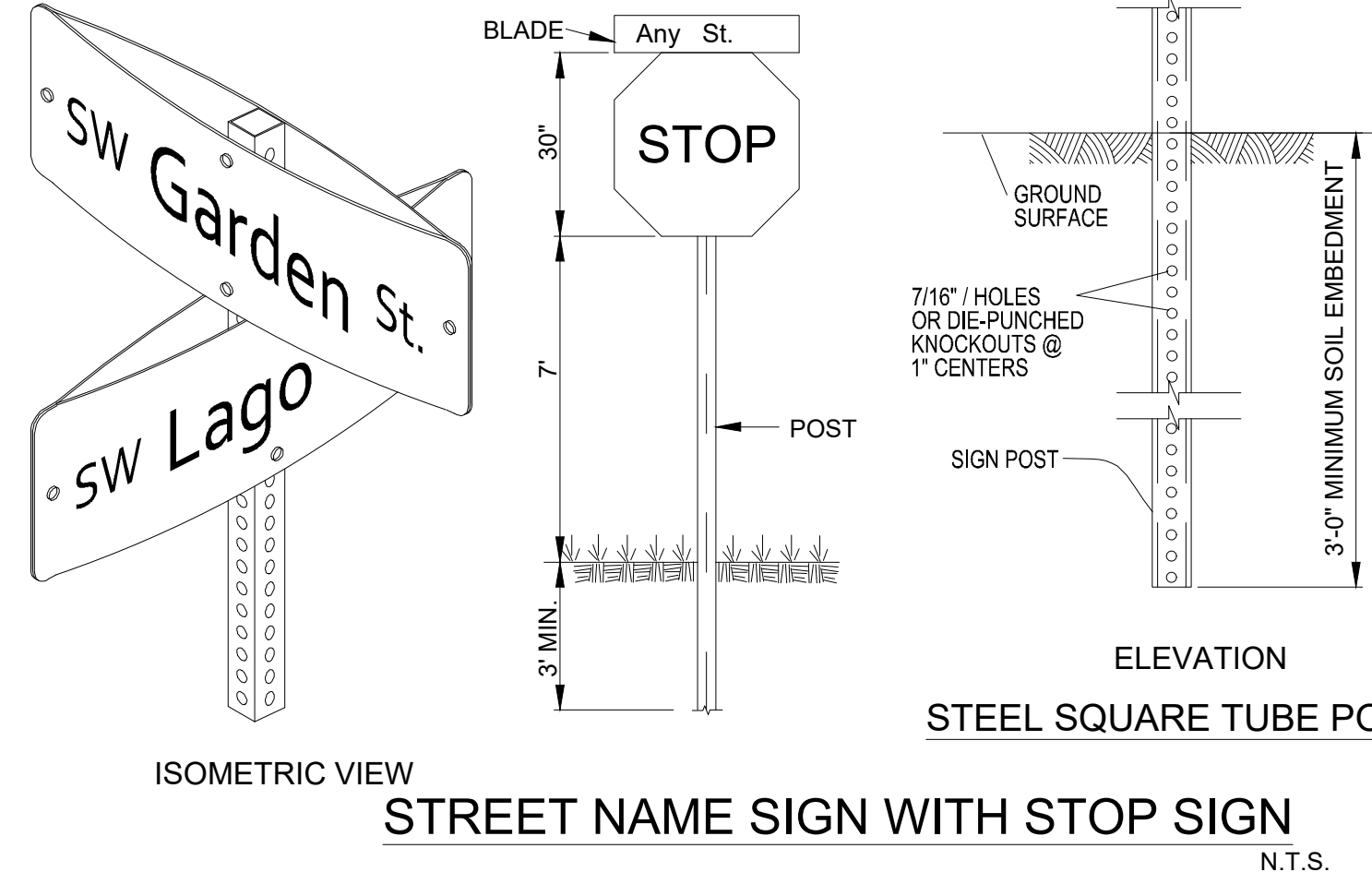
**STOP SIGN:** R1-1 MUTCD (HIGH INTENSITY)

**LOCATION:** ONE PER INTERSECTION AS INDICATED ON THE PLANS.

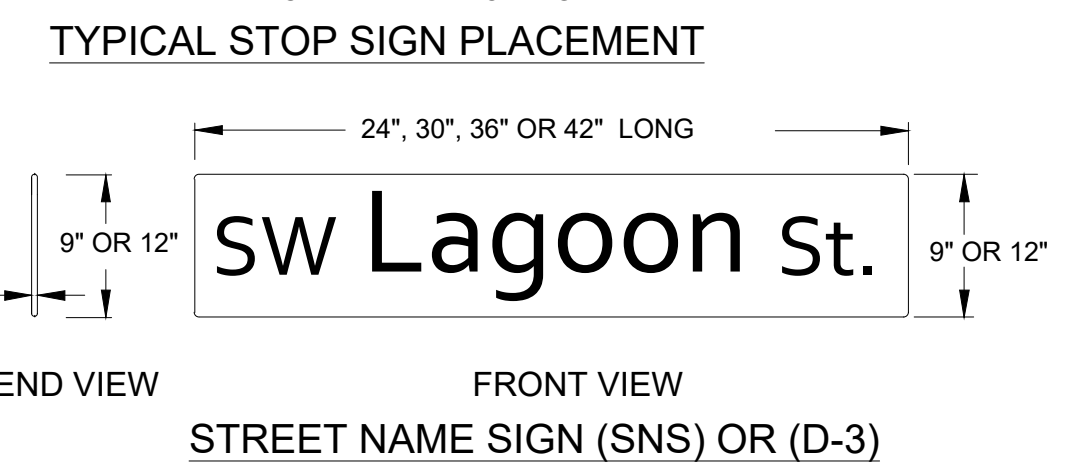
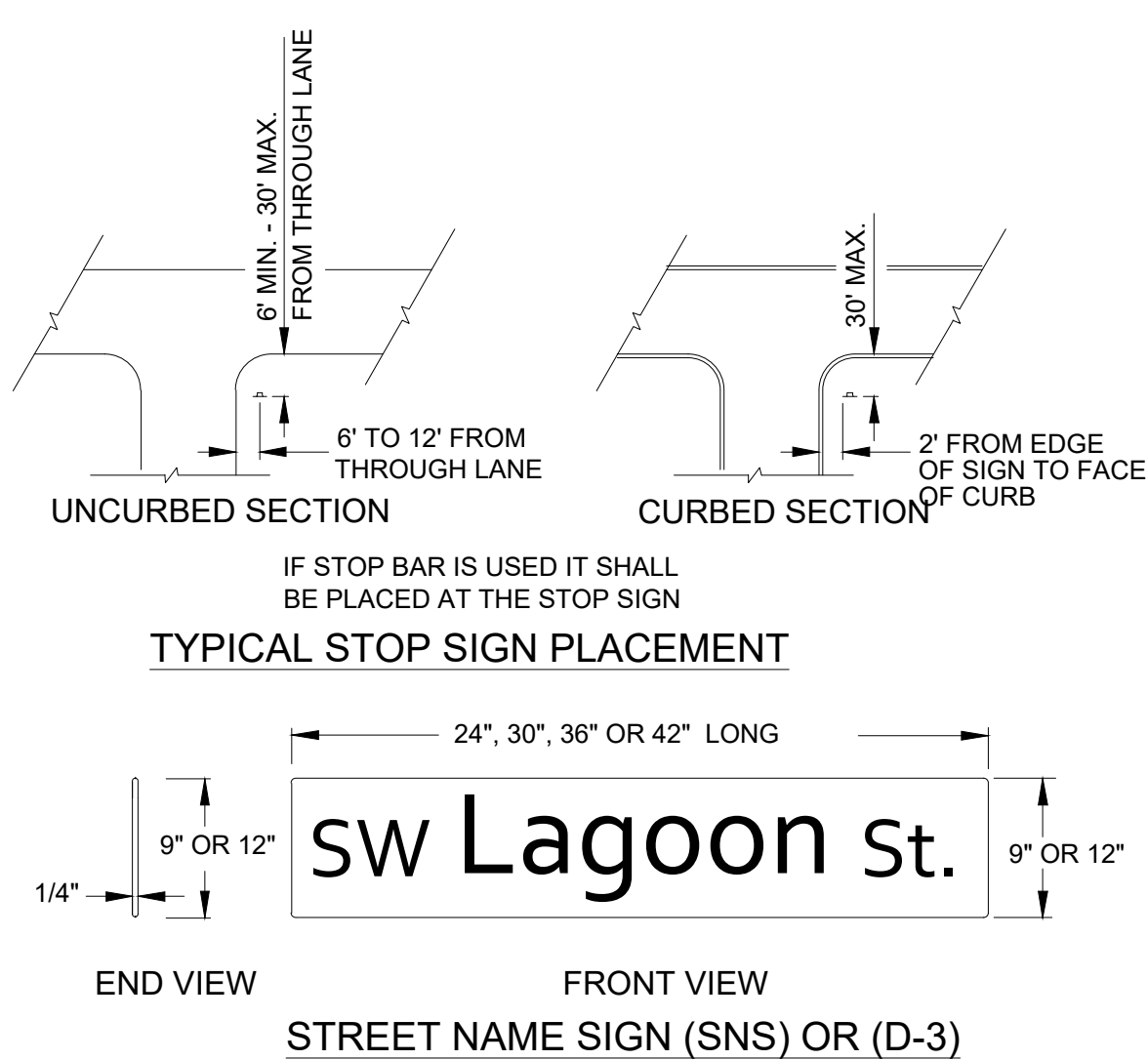
**POLICY:** 9" BLADES WITH 6" UPPERCASE WITH 4.5" LOWERCASE LETTERS FOR TWO ROADS WITH A SPEED LIMIT UNDER 45 MPH.

12" BLADES WITH 9" UPPERCASE WITH 6.75" LOWERCASE LETTERS FOR THOROUGHFARE ROADS FOUR LANES OR WIDER, TWO LANE ROADS WITH A POSTED SPEED LIMIT OF 45 MPH OR MORE.

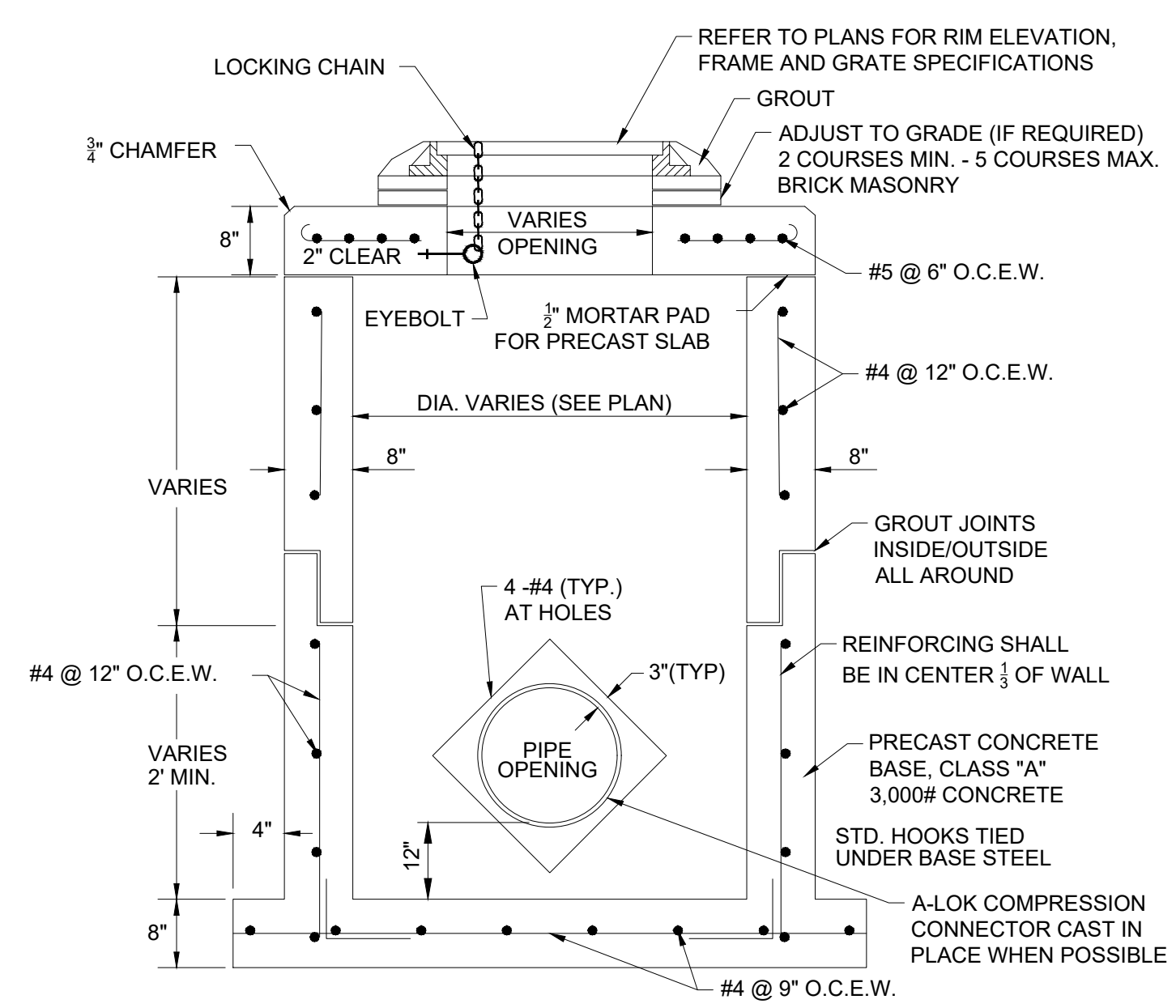
ONLY ONE BLADE WILL BE INSTALLED AT INTERSECTION WITH THOROUGHFARE ROAD INDICATING THE SIDE STREET NAME.



STREET NAME SIGN WITH STOP SIGN  
N.T.S.



STEEL SQUARE TUBE POST DETAILS



- NOTES:**
- ALL REINFORCEMENT TO MEET CURRENT F.D.O.T. SPECIFICATIONS.
  - THIS STRUCTURE MAY BE SUBSTITUTED WITH OTHER STRUCTURES ONLY IF THE STANDARDS HAVE BEEN MET.

STORM MANHOLE DETAIL  
N.T.S.

NOTE: ALL GRADES SHOWN ARE IN NAVD88



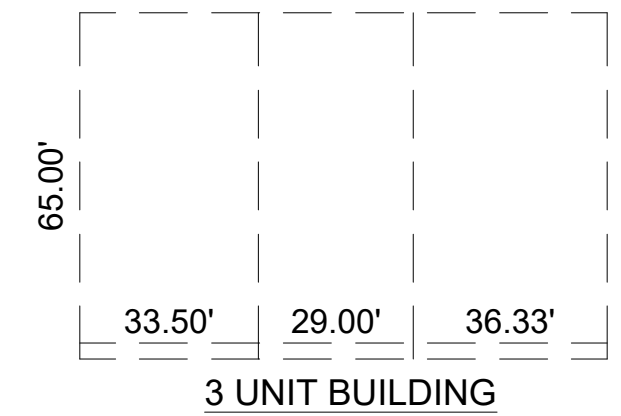
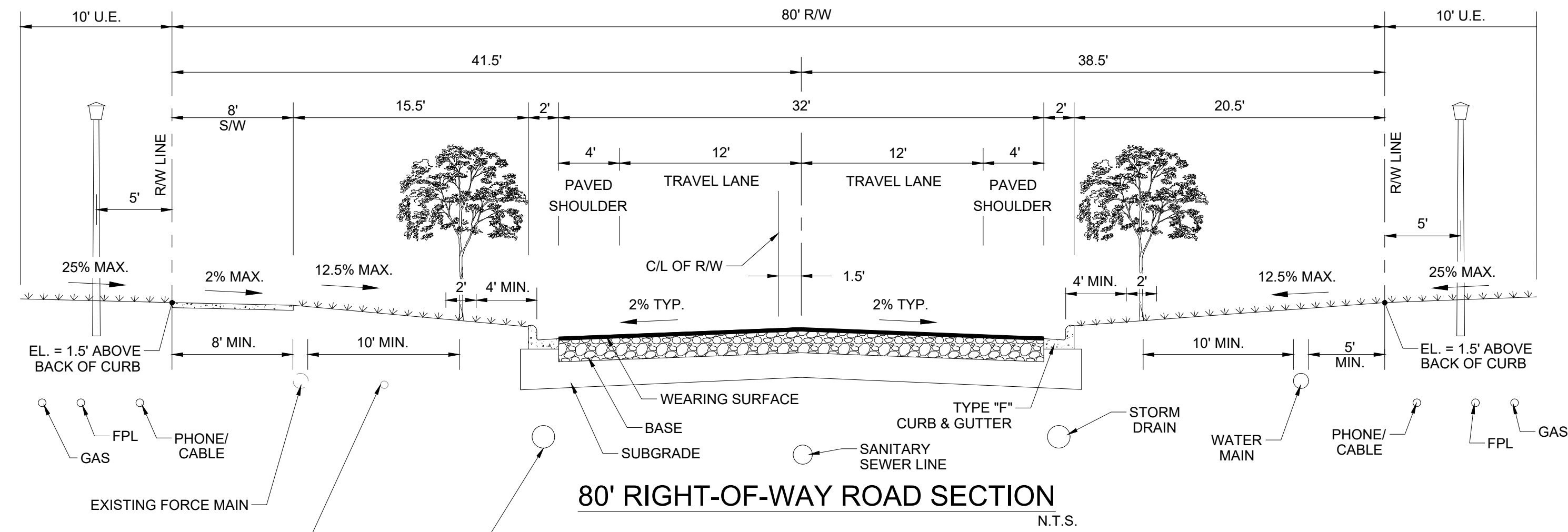
CITY OF PSL PROJECT NO. P21-094  
PSLUSD FILE NO. 5266B

**GENERAL NOTES**

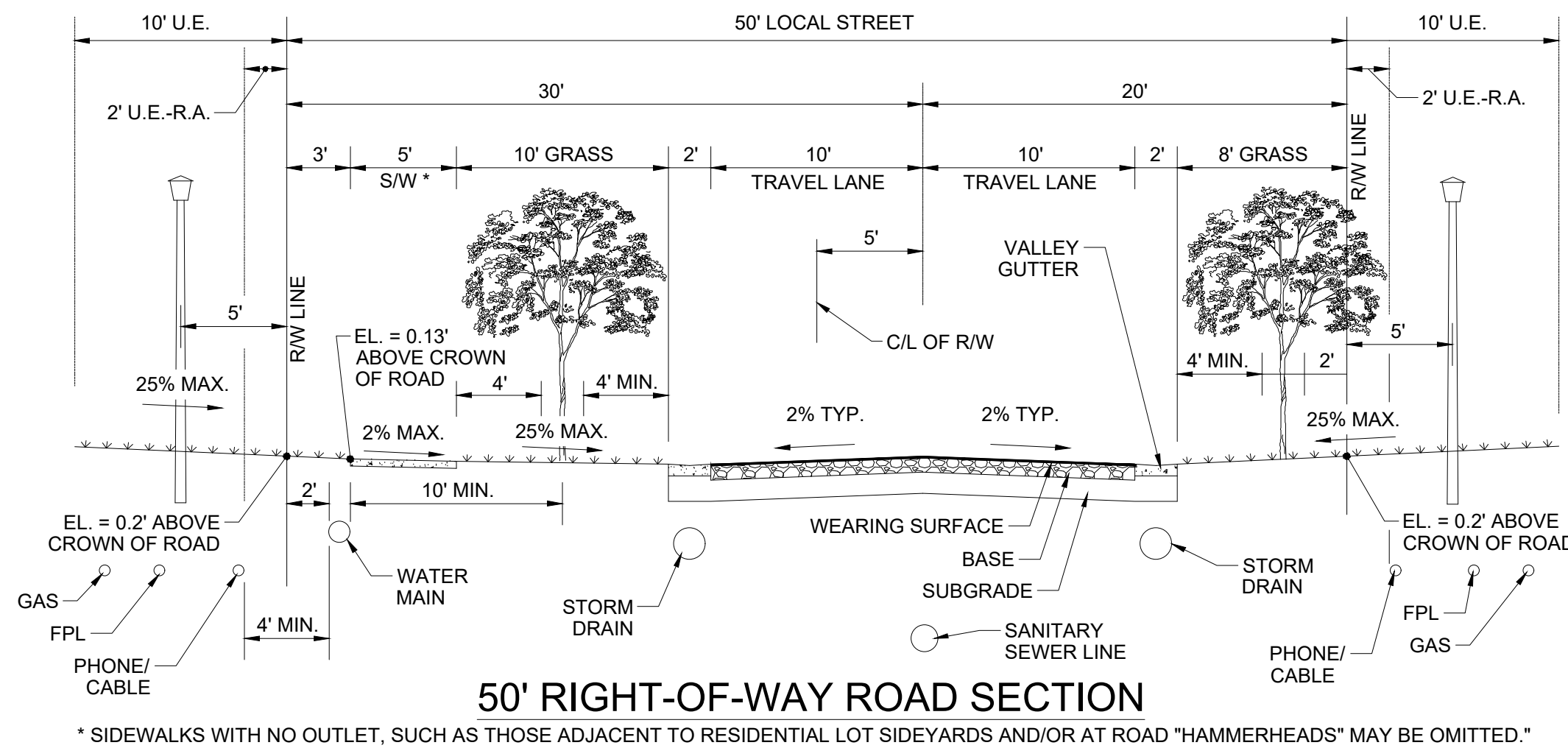
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- MINIMUM PERIMETER ELEVATION SHALL BE ELEVATION 28.50' NAVD88, WHICH IS ABOVE THE 25-YEAR, 3-DAY STORM STAGE ELEVATION.
- ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER AND SHALL CONFORM TO ALL APPLICABLE CITY, COUNTY, STATE OR FEDERAL REGULATIONS AND/OR CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED PRIOR TO INITIATING THE WORK.
- THE CONTRACTOR SHALL CALL SUNSHINE (1-800-432-4770), 48 HOURS BEFORE DIGGING FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES.
- UTILITIES - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE EXACT LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES, WHETHER SHOWN OR NOT, PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY DEVIATION FROM WHAT IS SHOWN ON THE PLAN.
- AS-BUILTS - THE CONTRACTOR SHALL SUBMIT "AS-BUILT" INFORMATION OBTAINED BY A FLORIDA REGISTERED LAND SURVEYOR. INFORMATION SHALL BE IN A FORMAT SPECIFIED BY THE GOVERNING AGENCIES.
- GUARANTY - ALL MATERIAL AND EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR UNDER THIS CONTRACT SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE THEREOF, AGAINST DEFECTIVE MATERIALS, INSTALLATION AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE OWNER OF FAILURE OF ANY PART FOR THE GUARANTEED EQUIPMENT OR MATERIALS, DURING THE GUARANTY PERIOD, THE AFFECTED PART, PARTS OR MATERIALS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- CLEARING AND GRUBBING - WITHIN THE LIMITS OF CONSTRUCTION, ALL VEGETATION AND ROOT MATERIAL SHALL BE REMOVED.
- GUMBO - WHERE GUMBO OR OTHER PLASTIC CLAYS ARE ENCOUNTERED, THEY SHALL BE REMOVED WITHIN THE ROADWAY AND PARKING AREAS ONE FOOT BELOW THE SUBGRADE EXTENDING HORIZONTALLY TO THE OUTSIDE EDGE OF THE SHOULDER AREA.
- MUCK AND PEAT - IF MUCK AND/OR PEAT ARE ENCOUNTERED IN THE ROAD, PARKING OR BUILDING AREA, THEY SHALL BE REMOVED COMPLETELY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT OR FOUNDATION AND SHALL BE BACKFILLED WITH GRANULAR MATERIAL.
- ANY EXISTING ROADWAY AND/OR UTILITY THAT IS DAMAGED BY THE CONTRACTOR SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER'S ENGINEER.
- THIS WILL BE A RETENTION SYSTEM, THERE WILL BE NO OUTFALL CONNECTIONS TO ADJACENT PARCELS FOR THIS PHASE OF CONSTRUCTION.
- EXCAVATED MATERIAL SHALL BE PLACED THROUGHOUT THE SITE WITHIN ROAD RIGHT-OF-WAYS, BUILDING PADS AND OPEN SPACE AREAS. ANY FILL REQUIRED TO BE STOCKPILED SHALL BE APPROVED BY THE CITY OF PORT ST. LUCIE PRIOR TO STOCKPILING.
- DEWATERING SHALL NOT BE REQUIRED FOR THIS PHASE OF CONSTRUCTION.
- IRRIGATION SHALL NOT BE REQUIRED FOR THIS PHASE OF CONSTRUCTION.
- PRIOR TO THE FILLING OR EXCAVATION WITHIN THE 10' FP&L EASEMENT (ORB 444, PG 600) THE EASEMENT SHALL BE ABANDONED.
- ON-SITE BURNING SHALL NOT BE AUTHORIZED UNLESS ALL APPLICABLE PERMITS HAVE BEEN OBTAINED BY THE CONTRACTOR/OWNER.
- THE PROPERTY OWNER, CONTRACTOR AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (G).

**SECTIONS LEGEND:**

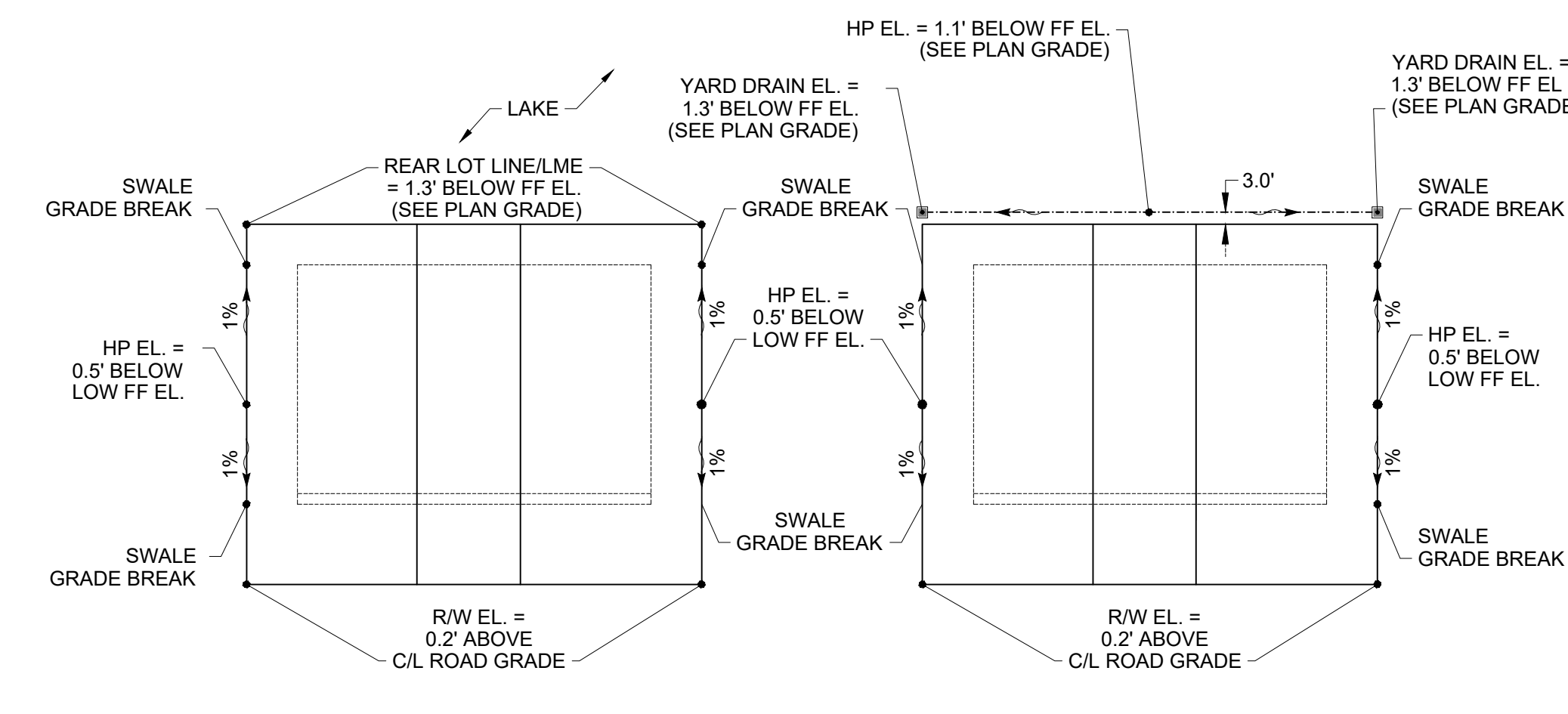
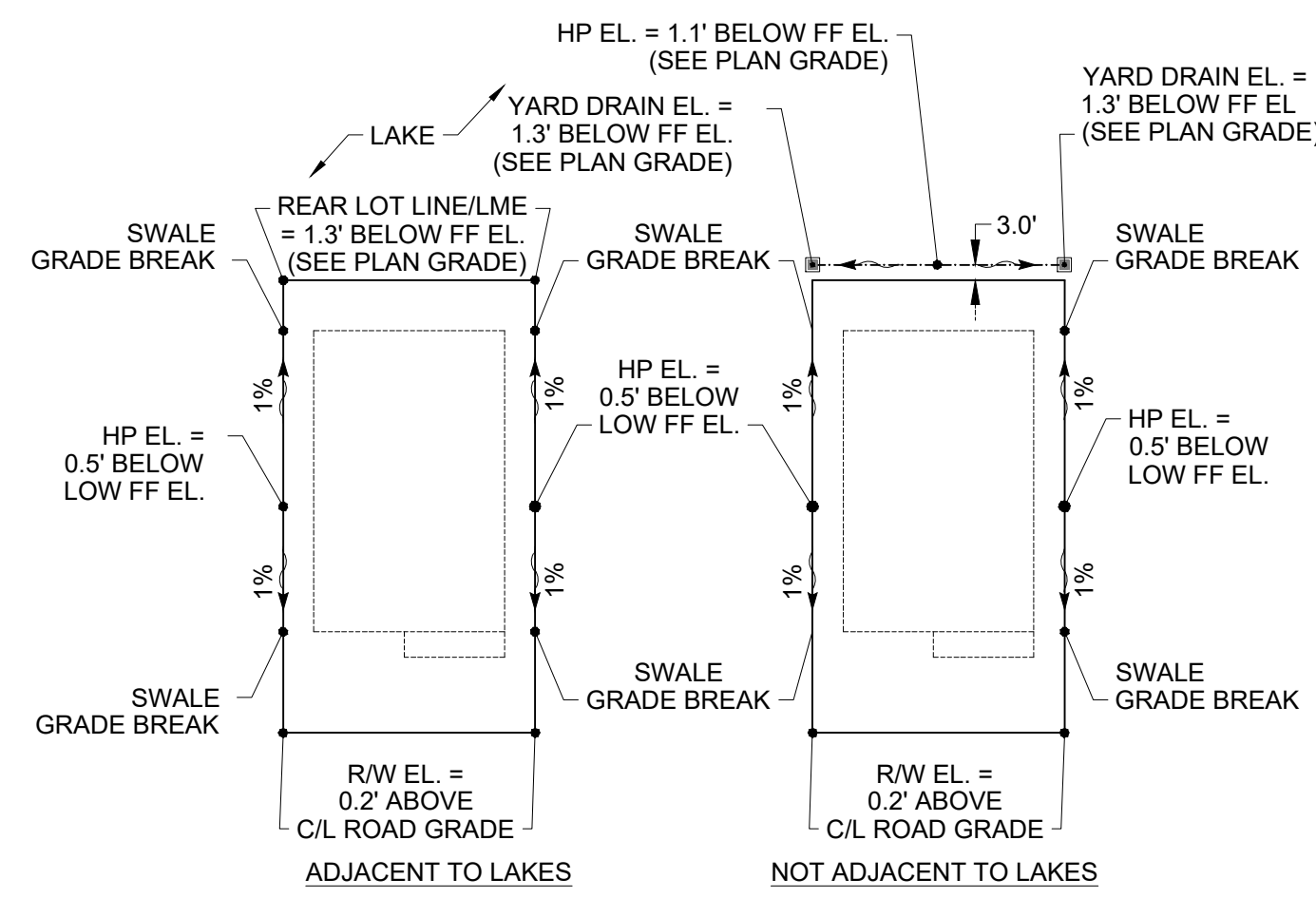
C/L	-CENTERLINE
CONC.	-CONCRETE
EL.	-ELEVATION
FF	-FINISHED FLOOR
HPPP	-HIGH-PERFORMANCE POLYPROPYLENE PIPE
L/L	-LOT LINE
LME	-LAKE MAINTENANCE EASEMENT
MAX.	-MAXIMUM
MIN.	-MINIMUM
P/L	-PROPERTY LINE
P.S.L.U.E.	-CITY OF PORT ST. LUCIE UTILITY EASEMENT
R/W	-RIGHT-OF-WAY
S/W	-SIDEWALK
T/L	-TRACT LINE
TYP.	-TYPICAL
U.E.	-UTILITY EASEMENT
U.E.-R.A.	-UTILITY EASEMENT - RESTRICTED AREA



TYPICAL LOT/BUILDING DIMENSIONS N.T.S.

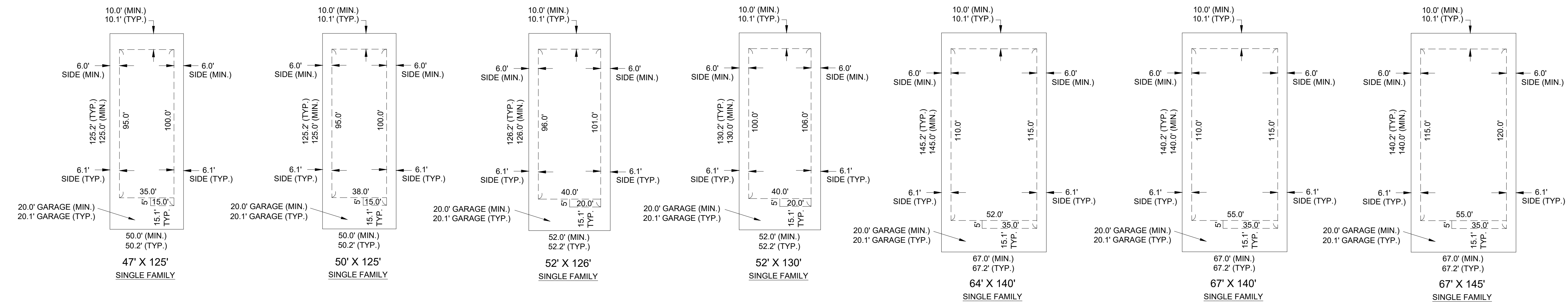


\* SIDEWALKS WITH NO OUTLET, SUCH AS THOSE ADJACENT TO RESIDENTIAL LOT SIDEYARDS AND/OR AT ROAD "HAMMERHEADS" MAY BE OMITTED.\*



TYPICAL LOT GRADING PLAN N.T.S.

TYPICAL LOT GRADING PLAN N.T.S.



TYPICAL LOT/BUILDING DIMENSIONS N.T.S.

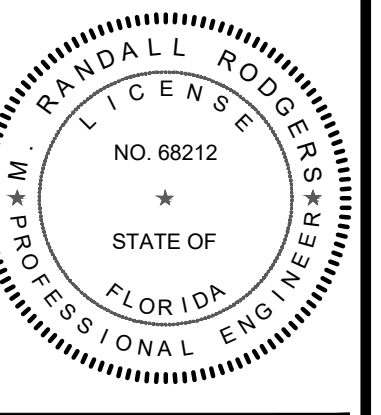


**REVISIONS:**

BY:	DATE:	COMMENT:
SG	05/28/21	PER SPRC COMMENTS
SG	07/28/21	PER GLH COMMENTS
SG	08/11/21	PER SPRC COMMENTS

PROJECT: RIVERLAND PARCEL B  
PLAT ONE  
CITY OF PORT ST. LUCIE, FLORIDA

CLIENT: RIVERLAND ASSOCIATES II LLLP



PROJECT No.: 21-1006  
DRAWN BY: SG  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID.: 21-1006-SECTIONS

SHEET TITLE: CROSS SECTIONS

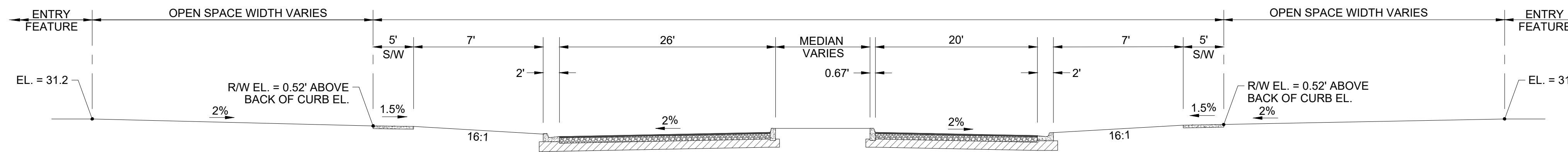
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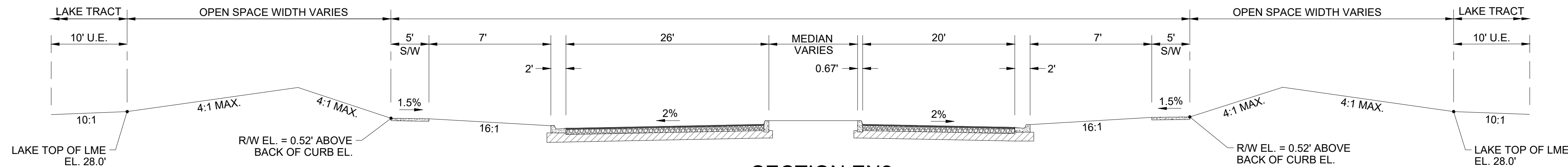
CITY OF PSL PROJECT NO. P21-094  
PSLUSD FILE NO. 5266B

NOTE: ALL GRADES SHOWN ARE IN NAVD88

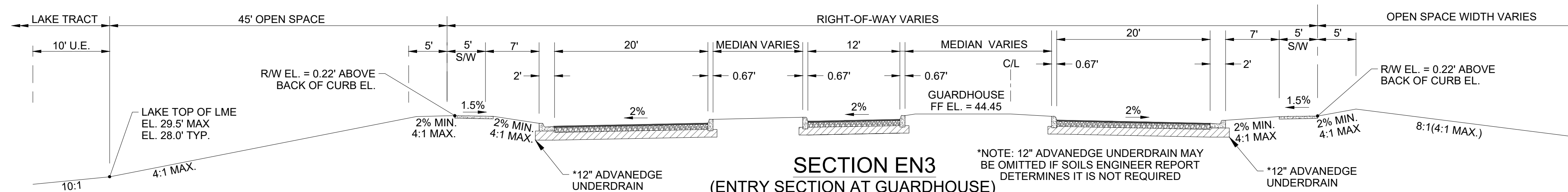
- SECTIONS LEGEND:
- C/L -CENTERLINE
  - CONC. -CONCRETE
  - D.E. -DRAINAGE EASEMENT
  - EL. -ELEVATION
  - LME -LAKE MAINTENANCE EASEMENT
  - MAX. -MAXIMUM
  - MIN. -MINIMUM
  - P.S.L.U.E. -CITY OF PORT ST. LUCIE UTILITY EASEMENT
  - R/W -RIGHT-OF-WAY
  - S/W -SIDEWALK
  - TYP. -TYPICAL
  - U.E. -UTILITY EASEMENT



SECTION EN1  
ENTRY SECTION AT FEATURES  
N.T.S.

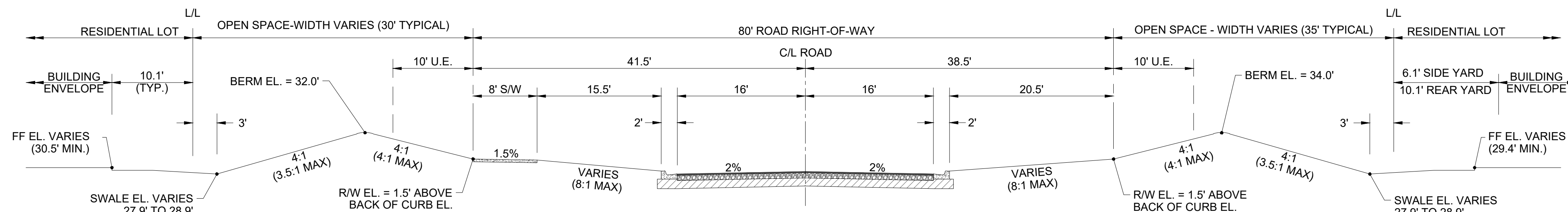


SECTION EN2  
ENTRY SECTION AT LAKE  
N.T.S.

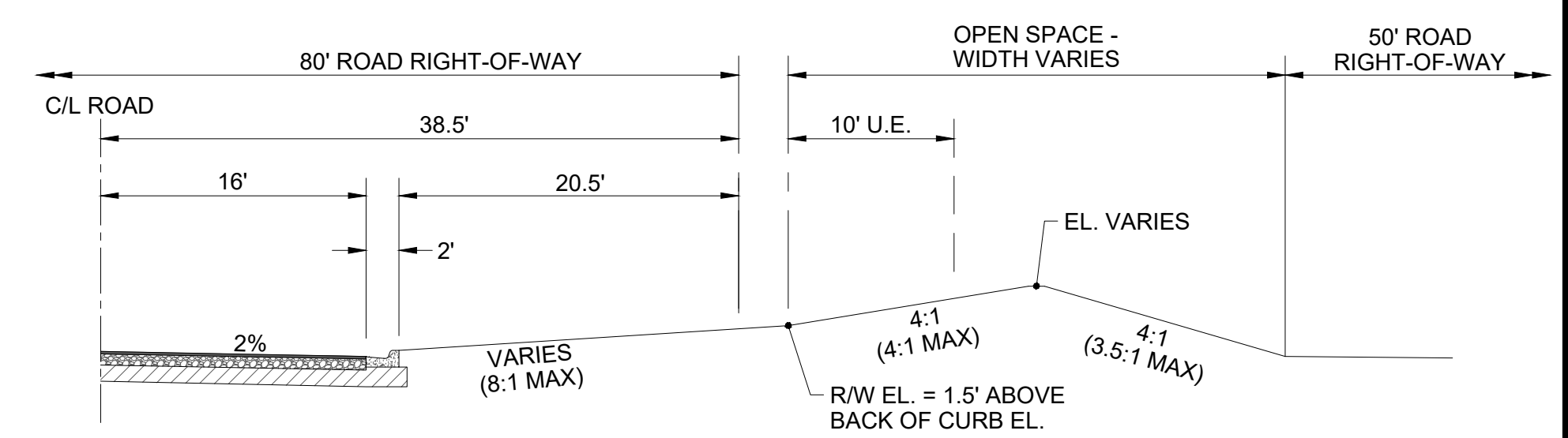


SECTION EN3  
(ENTRY SECTION AT GUARDHOUSE)  
N.T.S.

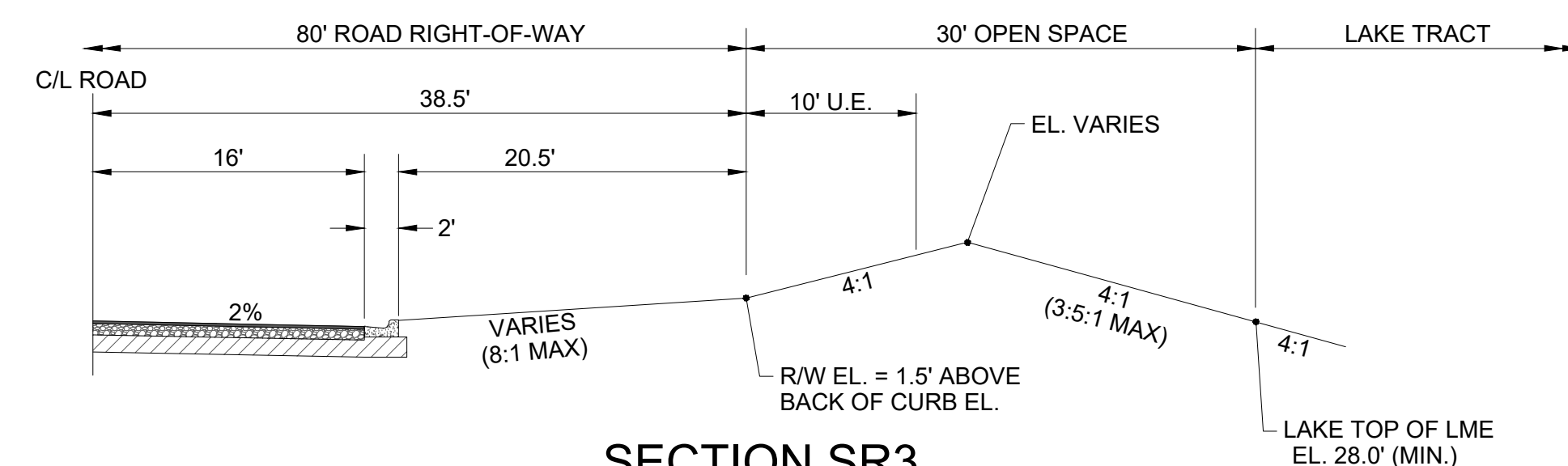
\*NOTE: 12" ADVANEDGE UNDERDRAIN MAY BE OMITTED IF SOILS ENGINEER REPORT DETERMINES IT IS NOT REQUIRED



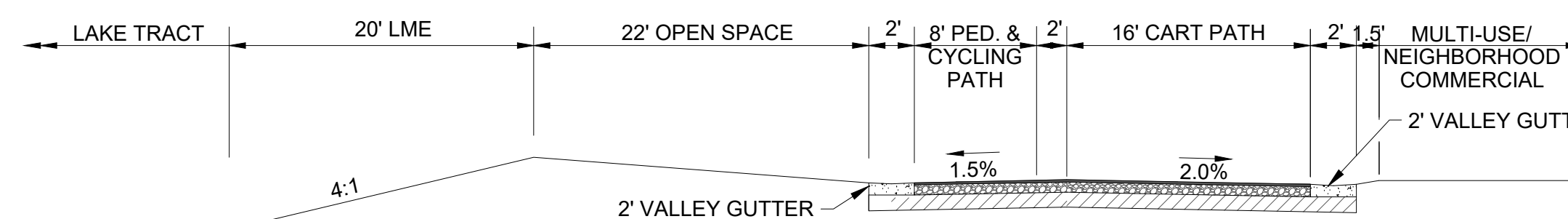
SECTION SR-1  
SPINE ROAD ADJACENT TO LOT  
N.T.S.



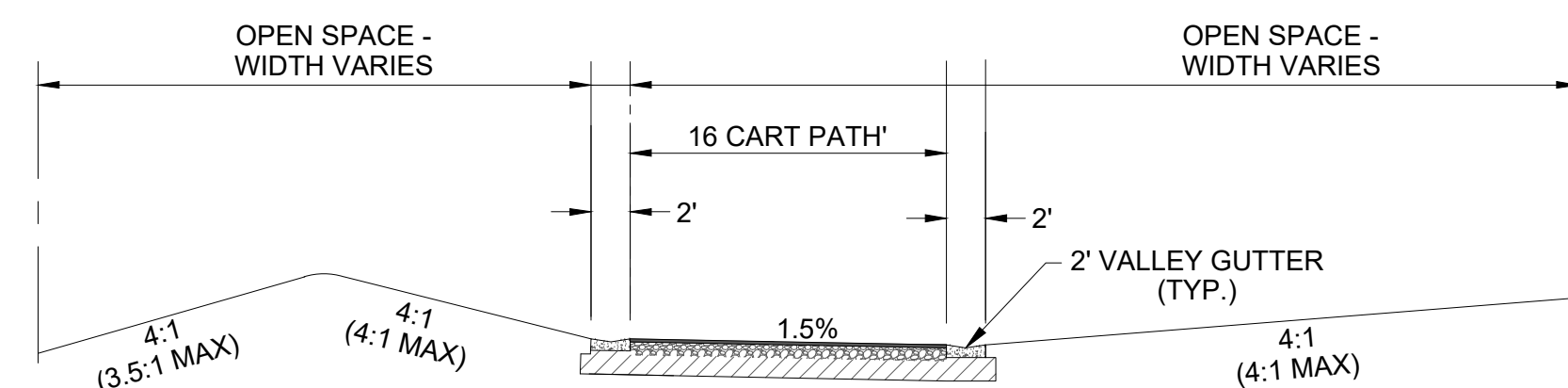
SECTION SR-2  
(SPINE ROAD ADJACENT TO OPEN SPACE)  
N.T.S.



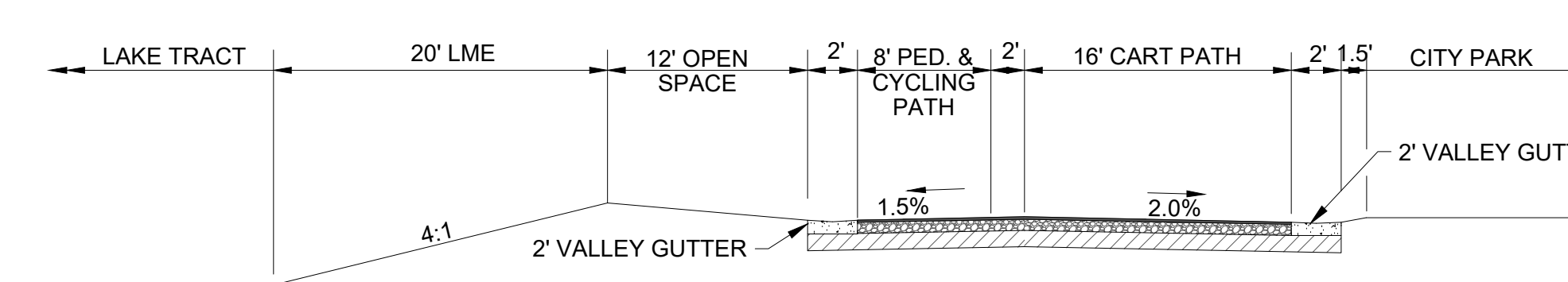
SECTION SR3  
(SPINE ROAD ADJACENT TO LAKE)  
N.T.S.



SECTION OS1  
N.T.S.



SECTION SR-4  
(CART PATH ADJACENT TO OPEN SPACE)  
N.T.S.



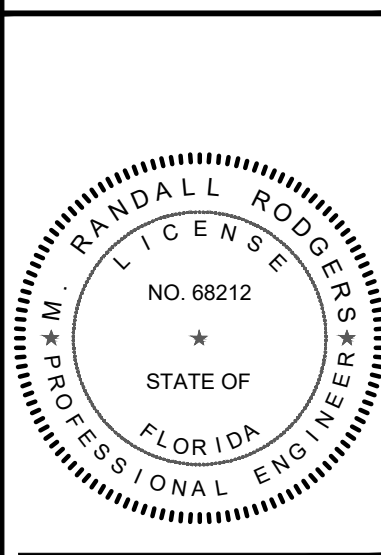
SECTION OS2  
N.T.S.



REVISIONS:		COMMENT:
BY:	DATE:	
SG	05/28/21	PER SPRC COMMENTS
SG	07/28/21	PER GLH COMMENTS

PROJECT:  
**RIVERLAND PARCEL B  
PLAT ONE**  
CITY OF PORT ST. LUCIE,  
FLORIDA

CLIENT:  
**RIVERLAND  
ASSOCIATES II  
LLLP**



M. RANDALL RODGERS, PE  
FLORIDA LICENSE No. 68212  
8/20/21

PROJECT No.: 21-1006  
DRAWN BY: SCS  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID: 21-1006-SECTIONS

SHEET TITLE:  
**CROSS SECTIONS**

SHEET NUMBER:  
**22**



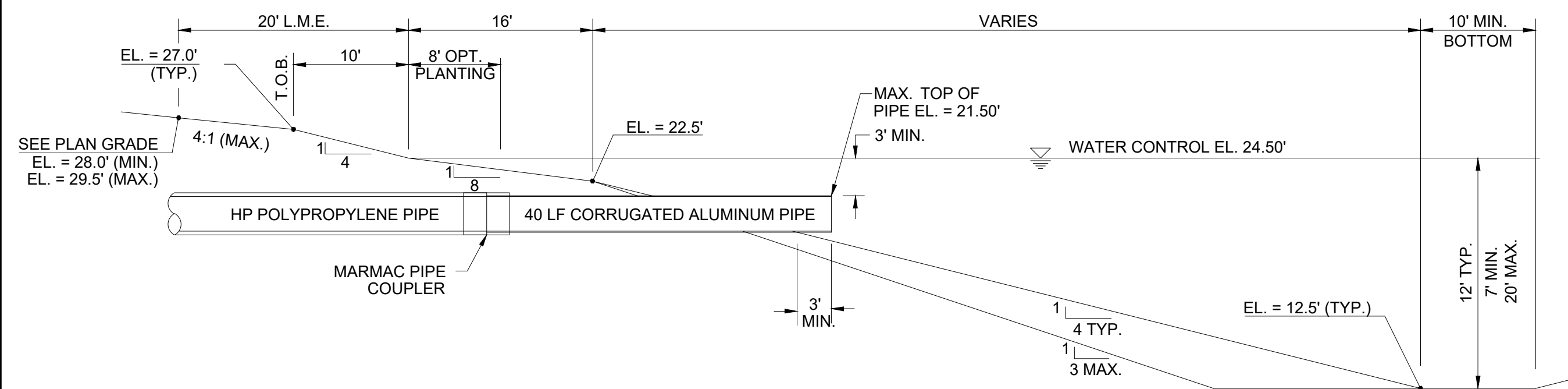
CITY OF PSL PROJECT NO. P21-094  
PSLUSD FILE NO. 5266B

Printed on Friday, August 20, 2021, 9:27 AM by Sherry Gomez

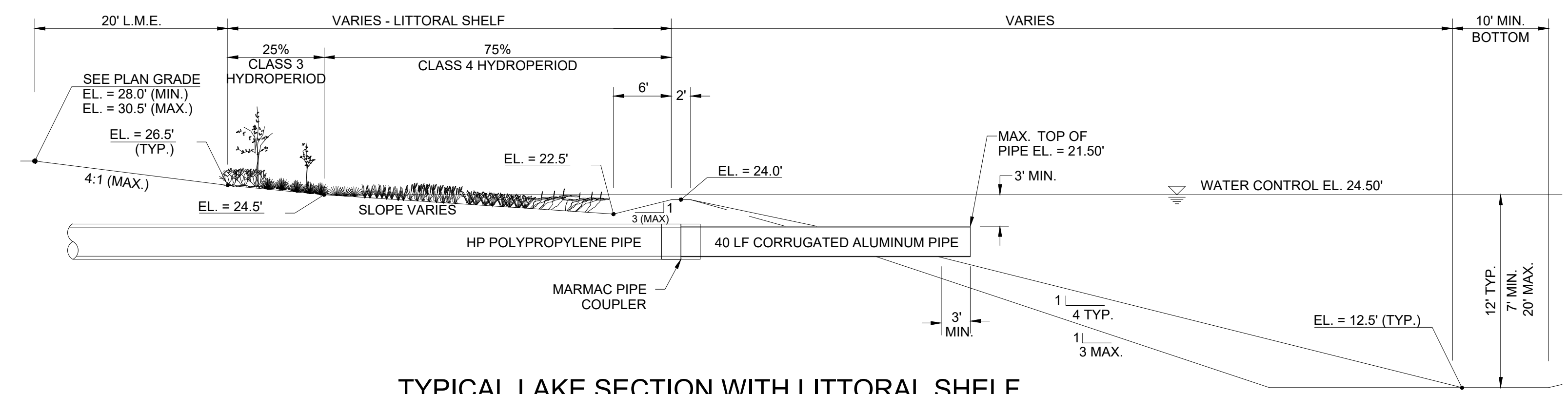


REVISIONS:	
BY:	DATE:
SG	05/28/21
JM	06/17/21
SG	07/28/21

BY:	DATE:	COMMENT:
SG	05/28/21	PER SPRC COMMENTS
JM	06/17/21	UPDATE LAKE CROSS SECTIONS PER GLH MARKUPS
SG	07/28/21	PER GLH COMMENTS



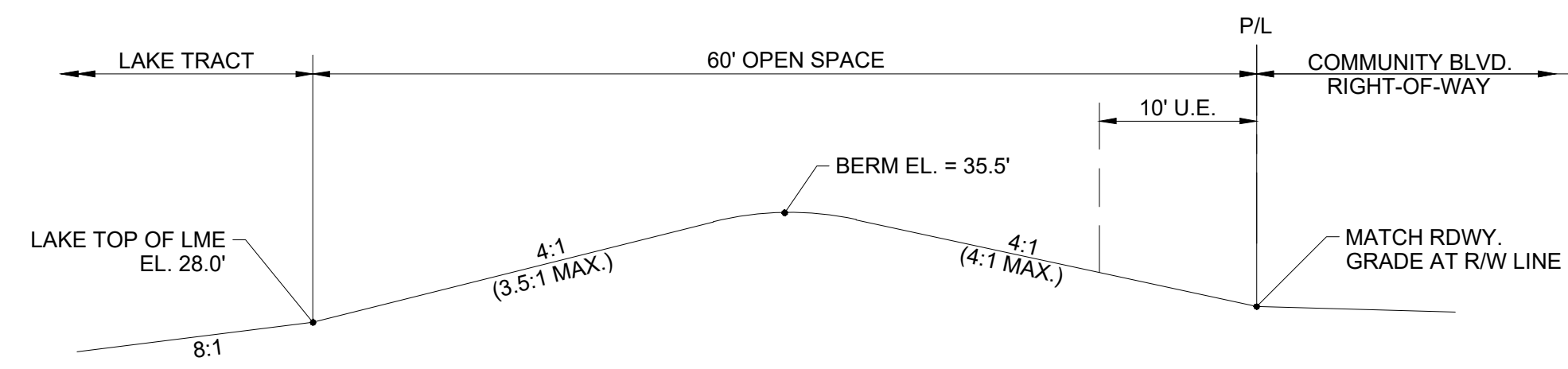
TYPICAL LAKE SECTION  
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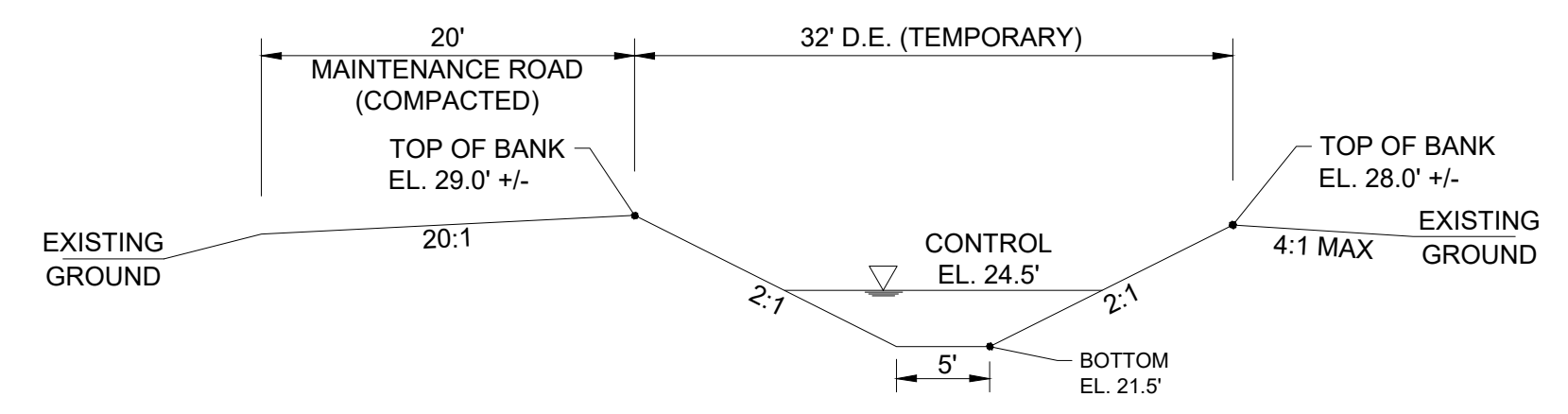
TYPICAL LAKE SECTION WITH LITTORAL SHELF  
N.T.S.

- LAKE SECTIONS LEGEND:
- C.A.P. - CORRUGATED ALUMINUM PIPE
  - CONC. - CONCRETE
  - EL. - ELEVATION
  - L.M.E. - LAKE MAINTENANCE EASEMENT
  - MAX. - MAXIMUM
  - MIN. - MINIMUM
  - R.C.P. - REINFORCED CONCRETE PIPE
  - T.O.B. - TOP OF BANK
  - TYP. - TYPICAL

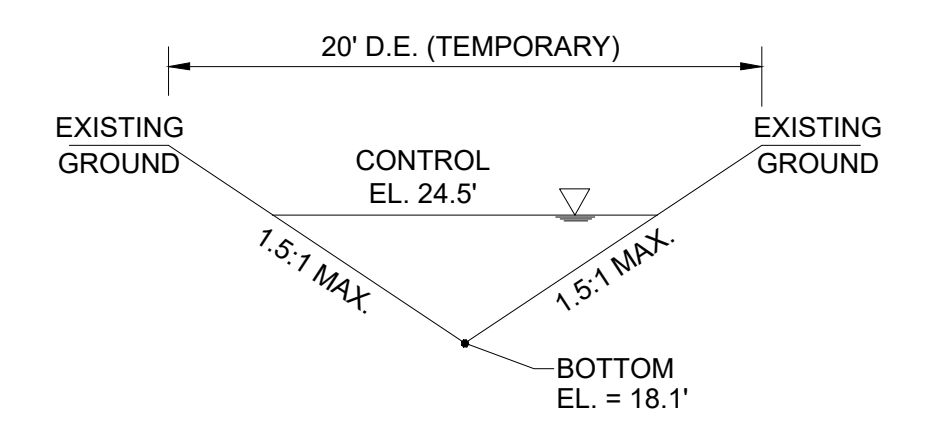
- LAKE SECTION NOTES:
1. LAKE BANKS TO BE GRADED TO THE ABOVE TYPICAL SECTION AND REGRADED WHERE FINISHED LAKE AREAS ARE DISTURBED BY OUTFALL CONSTRUCTION.
  2. ALL ELEVATIONS SHOWN ON THESE PLANS ARE IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). TO CONVERT ELEVATIONS TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29), ADD 1.475 FEET TO THE NAVD88 ELEVATION. FOR EXAMPLE NAVD88 + 1.475' = NGVD29.
  3. LAKE CONTROL ELEVATION SHALL BE 24.50 NAVD88.



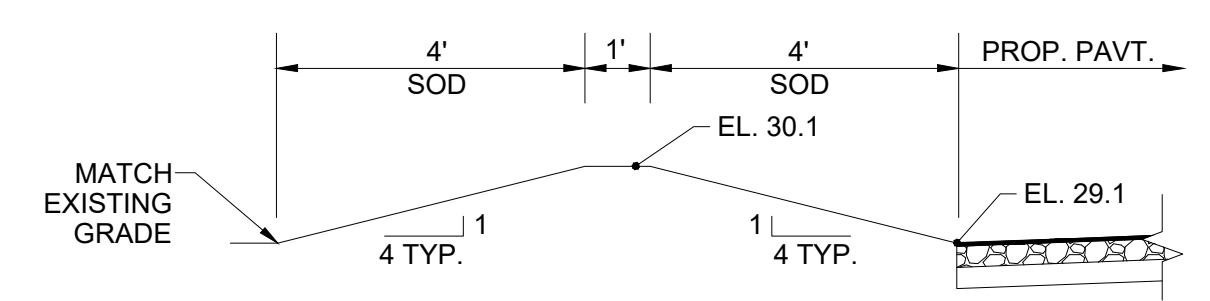
SECTION EB2-EB2  
N.T.S.



CONVEYANCE CANAL DETAIL  
N.T.S.



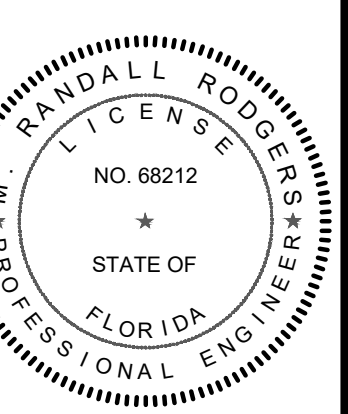
TEMPORARY DITCH DETAIL  
N.T.S.



TEMPORARY BERM  
N.T.S.

PROJECT:  
RIVERLAND PARCEL B  
PLAT ONE  
CITY OF PORT ST. LUCIE,  
FLORIDA

CLIENT:  
RIVERLAND  
ASSOCIATES II  
LLLP



M. RANDALL RODGERS, PE  
FLORIDA LICENSE No. 68212  
8/20/21

PROJECT No.: 21-1006  
DRAWN BY: SG  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD ID: 21-1006 - SECTIONS

SHEET TITLE:

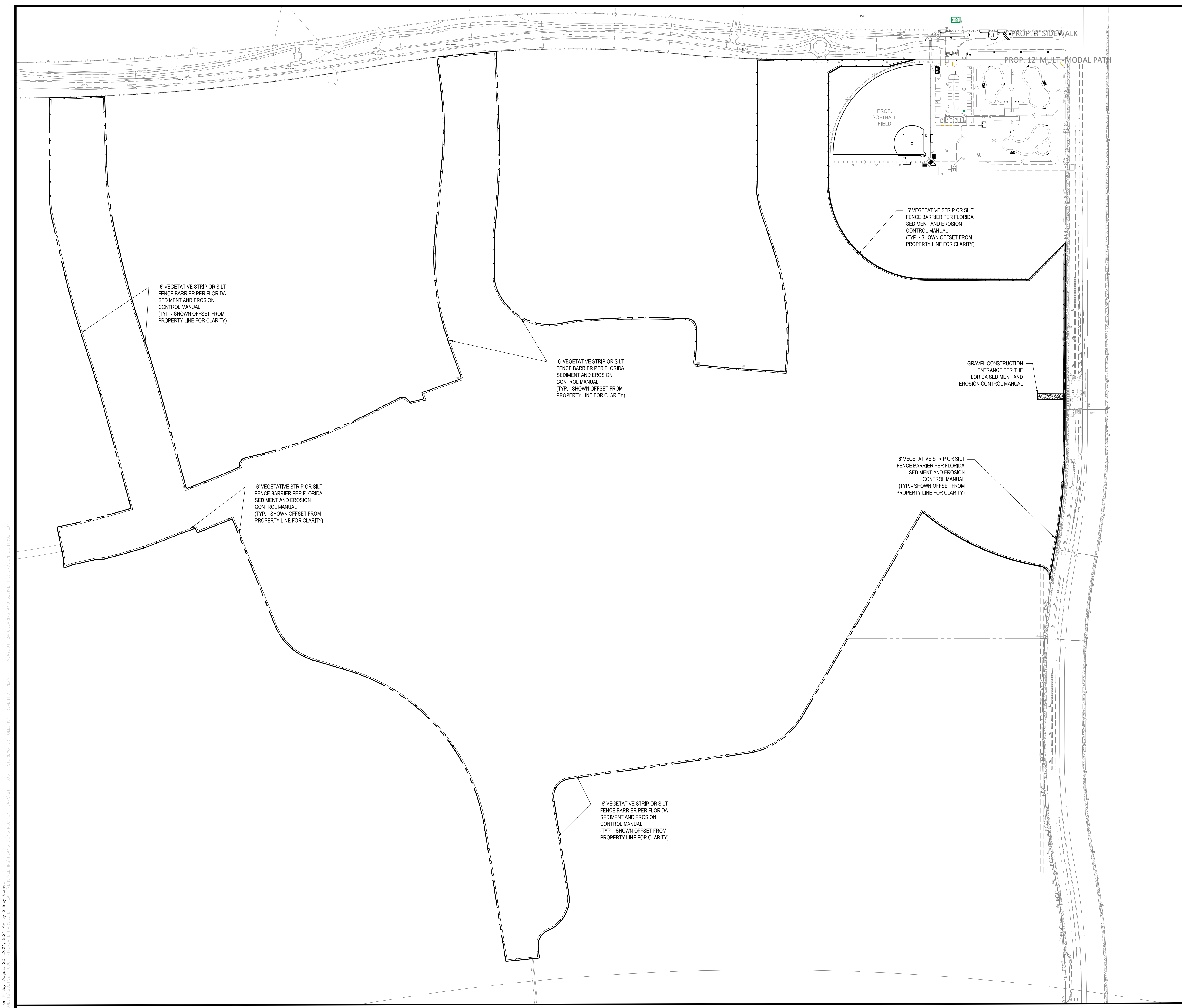
CROSS SECTIONS

SHEET NUMBER:

23







**LEGEND**

	EXISTING WATER MAIN
	EXISTING FORCE MAIN
	EXISTING GRAVITY SEWER MAIN
	EXISTING EDGE OF PAVEMENT TO REMAIN
	EXISTING EDGE OF PAVEMENT TO BE REMOVED
	CONCRETE TO BE REMOVED
	EXISTING LIGHT POLE TO BE REMOVED
	6" VEGETATIVE STRIP OR SILT FENCE

**NOTE:**  
EROSION AND SEDIMENT CONTROL - CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING EROSION AND SEDIMENT CONTROL USING THE LATEST E.D.I.T. STANDARDS, BALED HAY, STRAW, AND SILTATION BARRIERS WILL BE INSTALLED WHERE NEEDED TO PREVENT SILTATION OF ADJACENT PROPERTY, PUBLIC RIGHT-OF-WAY, WETLANDS AND WATERWAYS. THESE WILL REMAIN IN PLACE UNTIL GRASSING OR SODDING HAS BEEN COMPLETED OR UNTIL SILTATION AND EROSION ARE NO LONGER A THREAT TO ADJACENT PROPERTIES AND WATERWAYS. STREET SWEEPING SHALL BE PERFORMED ANYTIME SEDIMENT HAS BEEN TRACKED ONTO THE ADJACENT ROADWAYS FROM THE SITE OR THE SITE DRIVEWAYS. SHOULD DUST BECOME AN ISSUE, ALL UNSTABILIZED AREAS SHALL BE WETTED DOWN SUFFICIENTLY IN ORDER TO PREVENT DUST.

**SILT FENCE SHALL BE IN PLACE PRIOR TO CLEARING**

PROJECT AREA: 4,062,545 S.F. (93.263 AC)  
AREA TO BE CLEARED: 4,062,545 S.F. (93.263 AC)

**FILLING EXISTING LAKE:**

A PORTION OF THE EXISTING LAKE WILL BE FILLED IN ORDER TO ALLOW THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. PRIOR TO FILLING, THE LAKE SHALL BE DRAINED AND THOROUGHLY CLEANED, INCLUDING THE REMOVAL OF ORGANIC TOPSOIL, OVERLYING VEGETATION, AND ANY BOTTOM DEPOSITS (I.E. - SILT, ORGANIC MATTER, ETC.). THE SOIL IN THE PREPARED LAKE BOTTOM SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF ITS MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY VALUE TO A DEPTH OF AT LEAST 2 FEET BELOW THE LAKE BOTTOM. DEWATERING OF THE LAKE WILL BE REQUIRED TO PERFORM THE RECLAMATION AND BACKFILLING OPERATION "IN THE DRY". THE SLOPES OF THE PORTION OF THE LAKE TO BE FILLED SHOULD BE FLATTENED AND BENCHES AS NEEDED TO ACCOMMODATE THE TRAFFIC OF A HEAVY VIBRATORY ROLLER ON THE SIDES AND BOTTOM OF THE LAKE. IT IS PRUDENT THAT A HEAVY VIBRATORY ROLLER BE USED TO PROPERLY DENSIIFY THE SOILS SO AS TO MINIMIZE DIFFERENTIAL SETTLEMENTS.

FILL SOILS USED TO RECLAIM THE LAKE SHALL BE OF A GRANULAR MATERIAL AND PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN LOOSE THICKNESS AND THEN COMPACTED TO 95 PERCENT OF THE SOIL'S MODIFIED PROCTOR MAXIMUM DRY DENSITY VALUE. THE EXISTING LAKE SLOPES SHOULD BE BENCHES TO ALLOW FOR THE PLACEMENT OF HORIZONTAL LIFTS AS DESCRIBED ABOVE. THIS BENCHING PROCESS WILL NOT ONLY AID IN COMPACTING THE BACKFILL, BUT WILL ALSO SERVE TO DENSIIFY THE EXISTING SOILS BEHIND AND BELOW THE LAKE SLOPE. THIS PROCESS WILL SERVE TO MINIMIZE ANY SETTLEMENT WHICH MAY OTHERWISE OCCUR ALONG THE ORIGINAL SLOPE SURFACE.

**NOTE:**  
THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08(g).

**ENVIRONMENTAL STATEMENT:**  
THIS SITE WAS INCLUDED IN OVERALL RIVERLAND ENVIRONMENTAL SITE ASSESSMENT AND THIS AREA OF THE DEVELOPMENT IS PART OF THE MASTER GRADING PLAN THAT WAS APPROVED BY THE CITY AND IS CURRENTLY IN OPERATION.

**VELCON**  
ENGINEERING & SURVEYING, LLC  
1449 NW COMMERCIAL CENTRE DR  
PORT ST. LUCIE, FL 34956  
PHONE: (772) 879-5477  
FIRE C.O.A. # 32222

**REVISIONS:**

BY:	DATE:	COMMENT:

**PROJECT:**  
RIVERLAND PARCEL B  
PLAT ONE  
CITY OF PORT ST. LUCIE,  
FLORIDA

**CLIENT:**  
RIVERLAND ASSOCIATES II  
LLLP

M. RANDALL RODGERS  
LICENSE  
NO. 68212  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

M. RANDALL RODGERS, PE  
FLORIDA LICENSE No. 68212  
8/20/21

PROJECT NO.: 21-1006  
DRAWN BY: SIC  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD: LD 21-1006 - STORMWATER POLLUTION PREVENTION PLAN

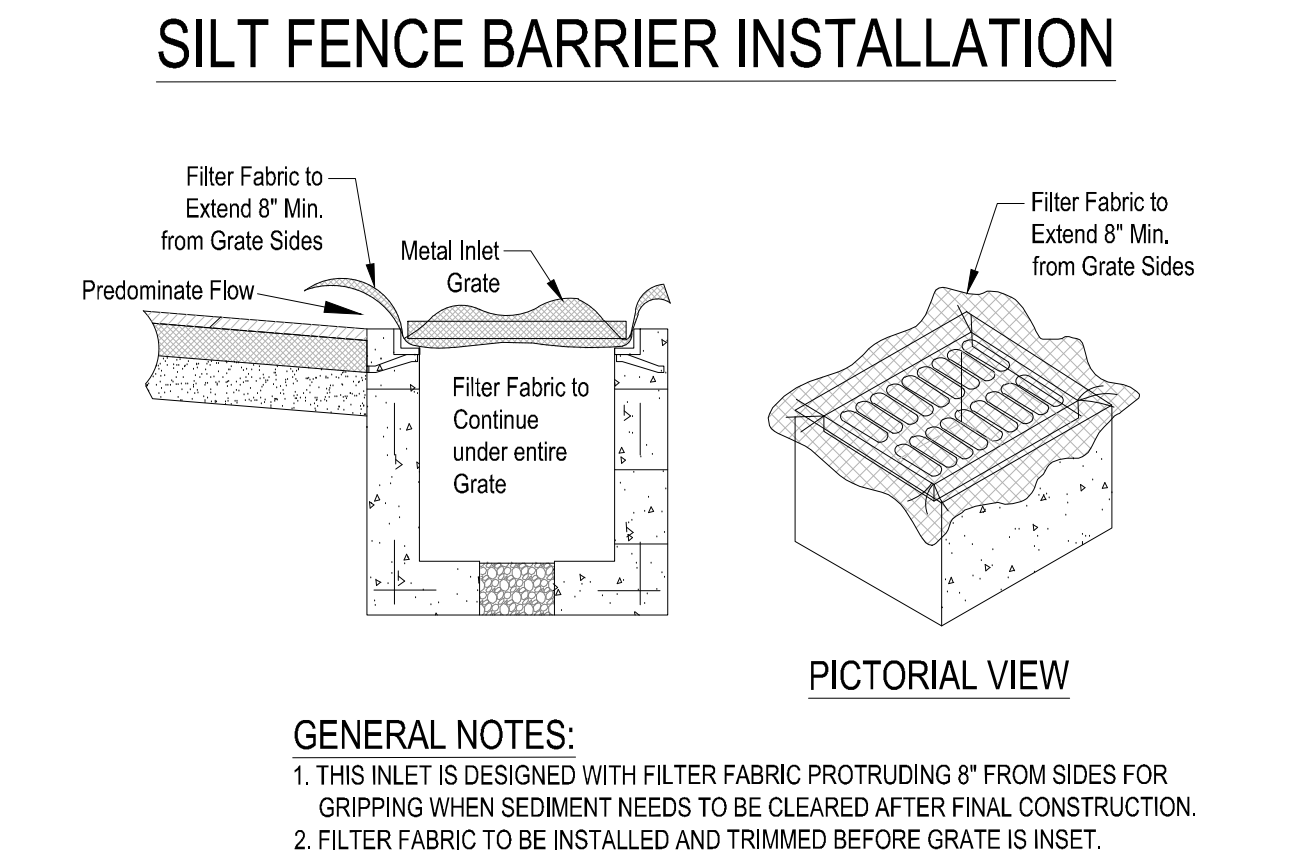
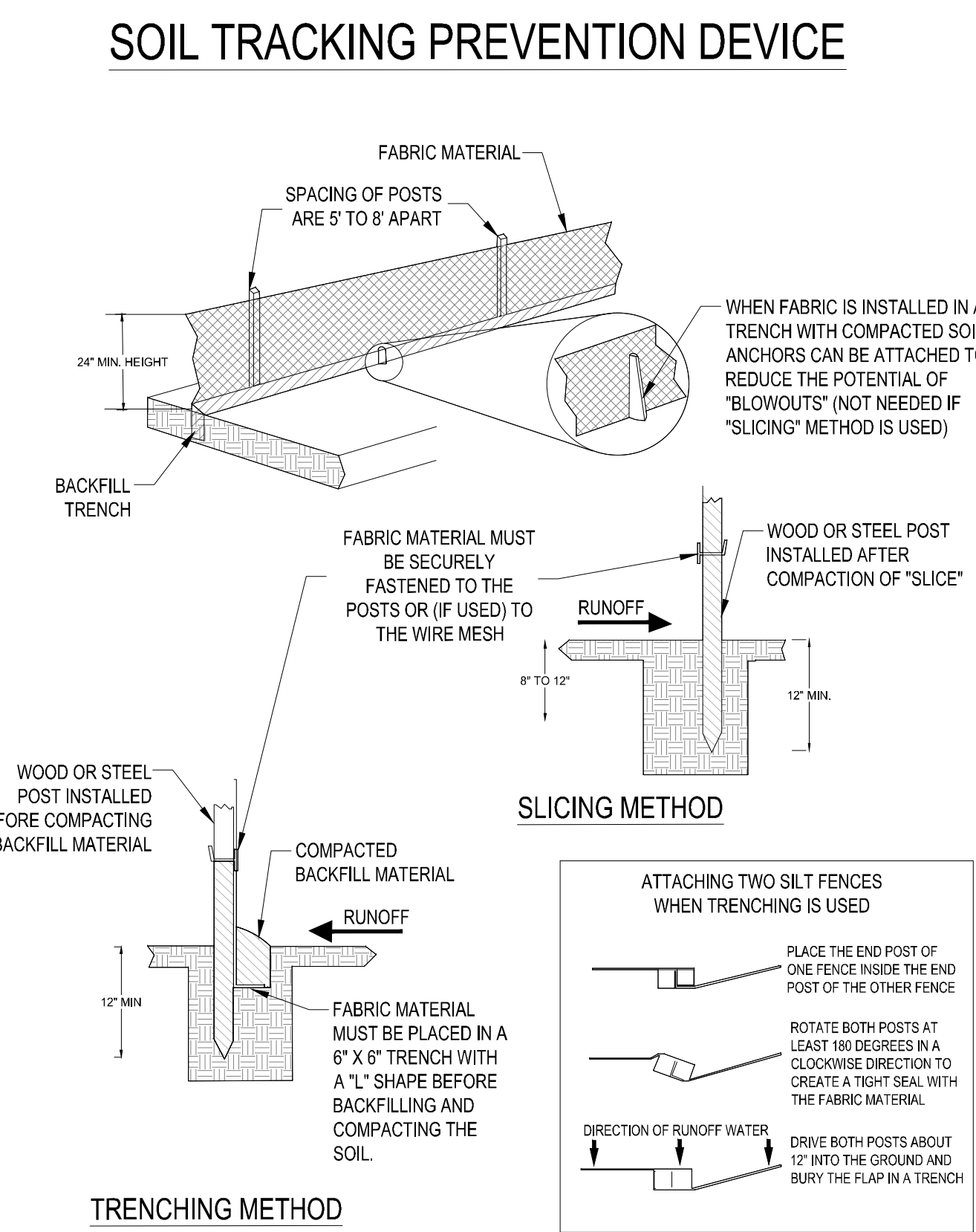
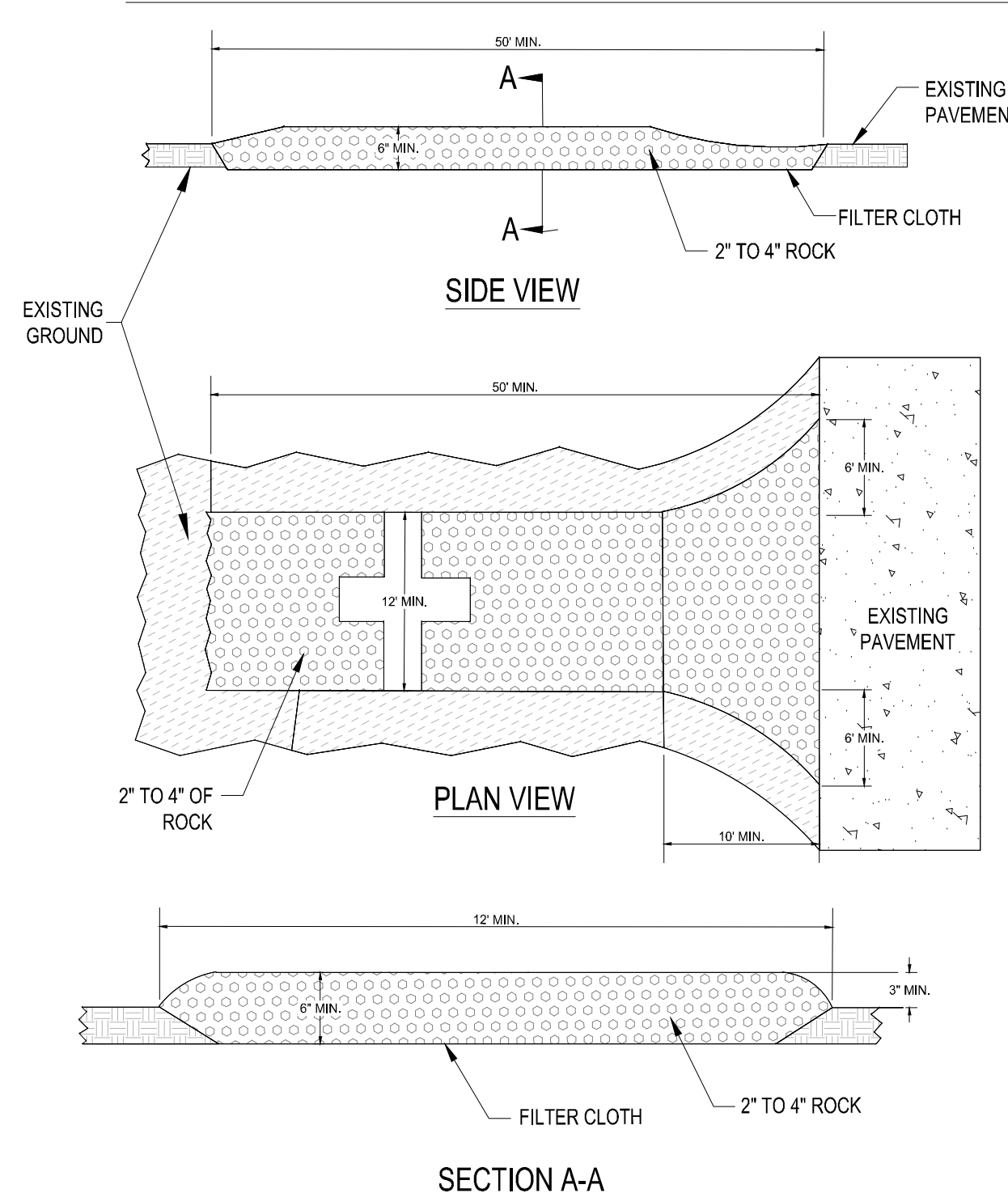
SHEET TITLE:  
**CLEARING AND SEDIMENT & EROSION CONTROL PLAN**

SHEET NUMBER:  
**24**

Section 1	Project Name and location information:	Riverland Parcel B - Plat One City of Port St. Lucie, Florida
Section 2	Describe the nature of the construction activity:	Construction activities consist of 65 Single-Family Residential units and 3 Multi-Family Residential units in the City of Port St. Lucie, St. Lucie County, Florida
Section 3	Describe the intended sequence of major soil disturbing activities: The following sequence of major activities shall be followed unless the contractor can propose an alternative that is equal or exceeds the erosion and sediment control practices described in this document and is approved by the Engineer. The detailed sequence for the entire project can vary significantly from contractor to contractor. The contractor is responsible for providing a detailed sequence of construction for all construction activities.	<ol style="list-style-type: none"> <li>1. Placement of all erosion control devices.</li> <li>2. Clearing and grubbing, earthwork, filling of the existing lake, and excavation of the dry detention area.</li> <li>3. Storm sewer construction; all storm sewer shall be constructed in the upstream direction.</li> <li>4. Water &amp; wastewater utility construction.</li> <li>5. Earthwork associated with roadway, curb, subgrade, base and pavement.</li> <li>6. Final seed and mulch and landscaping and sodding of the unpaved project area as called for in plans.</li> </ol>
Section 4	Total area of the site:	93.263 acres
Section 5	Total area of the site to be disturbed:	93.263 acres
Section 6	Existing data describing the soil or quality of any stormwater discharge from the site: The soils are silty fine sand to clean sands. The small sand particle size will make the potential for erosion high.	<p>Runoff Data</p> <p>Runoff Coefficients: Before: 0.81 During: 0.30-0.81 After: 0.81</p>
Section 7	Estimate the drainage area size for each discharge point:	93.263 acres
Section 8	Latitude and longitude of each discharge point and identify the receiving water or MS4 for each discharge point:	There is one (1) discharge point for the project. Lat. 27°12'21.84" N, Long. 80°26'55.86" W Receiving Water is the C-23 Canal
Section 9	Give a detailed description of all controls, Best Management Practices (BMPs) and measures that will be implemented at the construction site for each activity identified in the intended sequence of major soil disturbing activities section. Provide time frames in which the controls will be implemented. NOTE: All controls shall be consistent with performance standards for erosion and sediment control and stormwater treatment set forth in s. 62-40.432, F.A.C., the applicable Stormwater or Environmental Resource Permitting requirements of the Department or a Water Management District, and the guidelines contained in the State of Florida Erosion and Sediment Control Designer and Reviewer Manual, FDOT, FDEP, and any subsequent amendments.	<p>The following defines general quantities for the sequence of construction and the use of stabilization and structural practices. The contractor is also responsible for documenting this portion of the SWPPP. The construction of this project is expected to last twelve months.</p> <p>Install stabilized construction entrances at all common areas where construction vehicles will be entering and exiting the construction site. The driveways shall be constructed per the Florida Sediment and Erosion Control Manual.</p> <p>Install silt fences, Type III, around all ditch bottom inlets on the project, and the project perimeter. Filter cloth under the grates on catch basins may be used in lieu of a silt fence.</p> <p>Install staked turbidity barriers at the locations as indicated in the Paving and Drainage Plan (discharge points).</p>
Section 10	Describe all temporary and permanent stabilization practices. Stabilization practices include temporary seeding, mulching, permanent seeding, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, vegetative preservations, etc.  Temporary: Seed and mulch, and sod in accordance with Specification Section 104.  Permanent: All stabilization practices shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 7 days after the construction activity in that portion of the site has temporarily ceased. The contractor is also responsible for documenting this portion of the SWPPP.	<p>Areas to be disturbed: The areas to be disturbed are indicated on the plan. Any areas where permanent features are shown to be constructed above or below ground will be disturbed.</p> <p>Areas not to be disturbed: Those areas shown outside of the limits of the silt fence will not be disturbed.</p> <p>Locations of Controls: The erosion control devices and locations are shown on the Sediment &amp; Erosion Control Plan.</p> <p>Areas to be stabilized: Temporary stabilization practices are also shown on the plans, if applicable. Areas of permanent stabilization are shown on the Paving and Drainage Plan.</p> <p>Surface Water: Surface water for the project is collected by inlets and culverts and directed to the Water Management Tracts within the Riverland Development, which are part of the Riverland Master Stormwater Management System. All water quality and attenuation is provided by the master system.</p> <p>Receiving Waters: The Riverland Master Stormwater Management System discharges to the C-23 Canal and the ultimate outfall is the North Fork of the St. Lucie River.</p>
Section 11	Describe all structural controls to be implemented to divert stormwater flow from exposed soils and structural practices to store flows, retain sediment on-site or in any other way limit stormwater runoff. These controls include silt fences, earth dikes, diversions, swales, sediment traps, check dams, subsurface drains, pipe slope drains, level spreaders, storm drain inlet protection, rock outlet protection, reinforced soil retaining systems, gabions, coagulating agents and temporary or permanent sediment basins.	<p>Temporary: Silt fence in accordance with the Florida Sediment and Erosion Control Manual. Staked turbidity barrier in accordance with the Florida Sediment and Erosion Control Manual. Soil tracking prevention device in accordance with the Florida Sediment and Erosion Control Manual. A stabilized construction entrance to be constructed per the Florida Sediment and Erosion Control Manual. All sediment controls shall be in place prior to any soil disturbing activity upstream of the control.</p>
Section 12	Describe all sediment basins to be implemented for areas that will disturb 10 or more acres at one time. The sediment basins (or an equivalent alternative) should be able to provide 3,600 cubic feet of storage for each acre drained. Temporary sediment basins (or an equivalent alternative) are recommended for drainage areas under 10 acres.	Previously completed and stabilized lakes within Riverland Parcel B shall provide sediment basin storage for this plat.
Section 13	Describe all permanent stormwater management controls such as, but not limited to, detention or retention systems or vegetated swales that will be installed during the construction process.	All lakes within Plat One of Riverland Parcel B serve as interconnected detention areas as part of the east basin of the Riverland Master Drainage System.
Section 14	Waste disposal, this may include construction debris, chemicals, litter, and sanitary wastes:	All construction materials and debris will be placed in a dumpster and hauled off site to a landfill or other proper disposal site. No materials will be buried on site.
Section 15	Offsite vehicle tracking from construction entrances/exits:	Off site vehicle tracking of sediments and dust generation will be minimized via a rock construction entrance, street sweeping and the use of water to keep dust down.
Section 16	The proper application rates of all fertilizers, herbicides and pesticides used at the construction site:	Florida-friendly fertilizers and pesticides will be used at a minimum and in accordance with the manufacturer's suggested application rates.
Section 17	The storage, application, generation and migration of all toxic substances:	All paints and other chemicals will be stored in a locked covered shed.
Section 18	Other:	Port-o-lets will be placed away from storm sewer systems, storm inlet(s), surface waters and wetlands. No vehicle maintenance shall be conducted on-site. A washdown area shall be designated at all times and will not be located in any area that will allow for the discharge of polluted runoff.

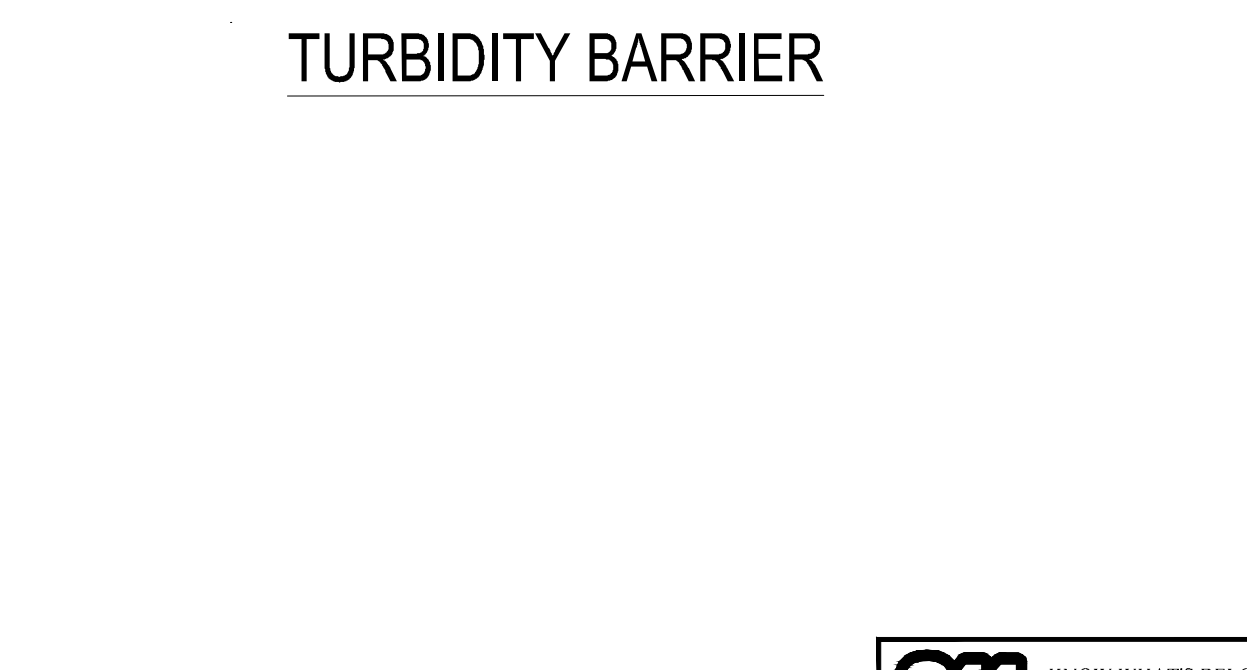
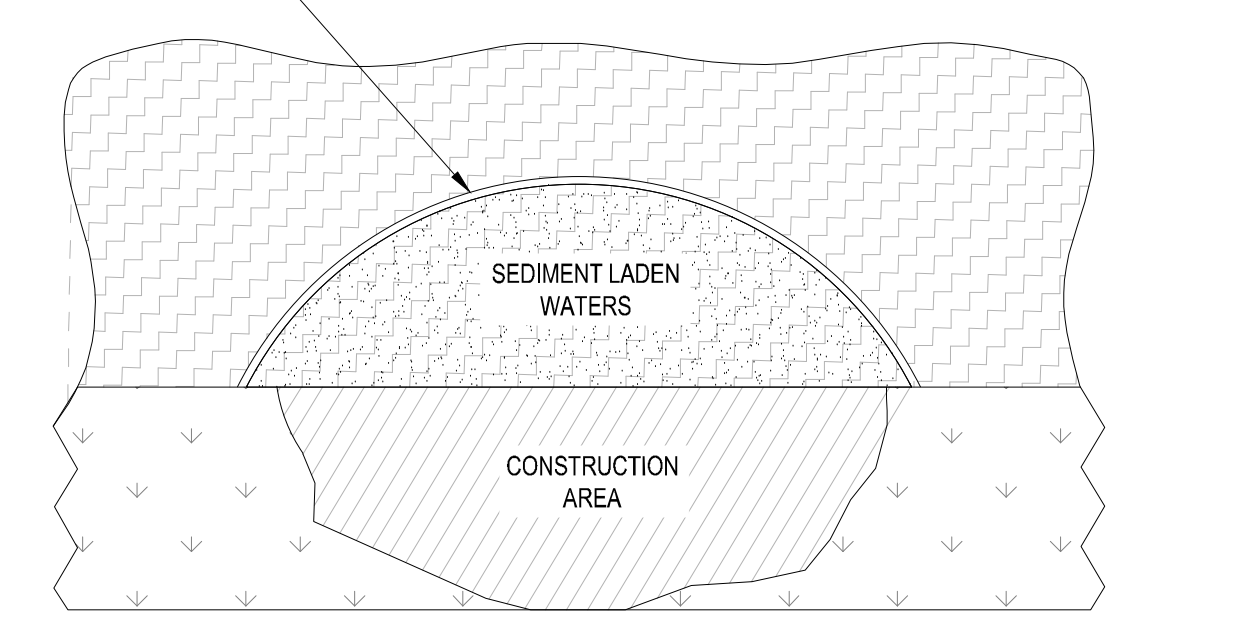
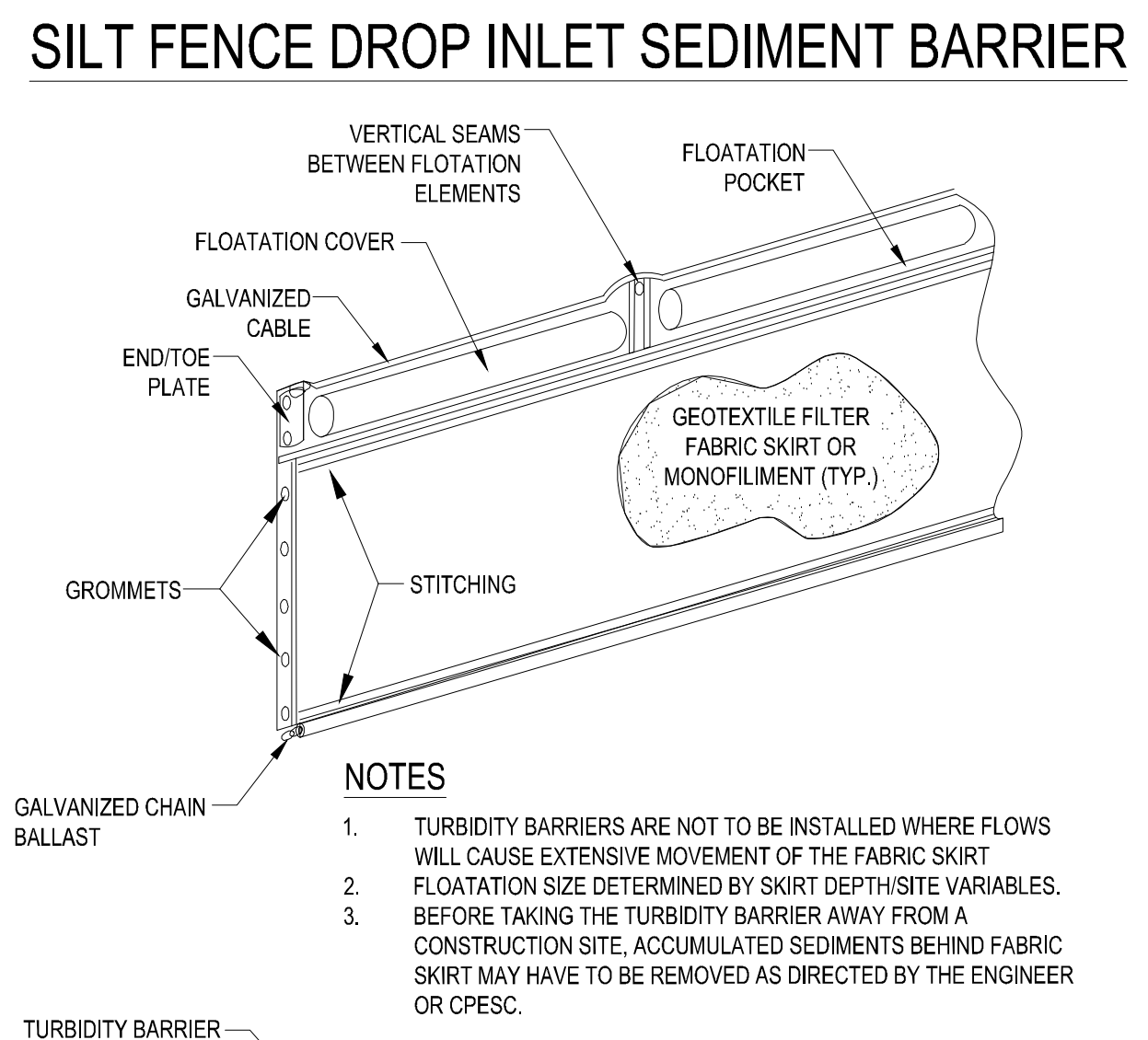
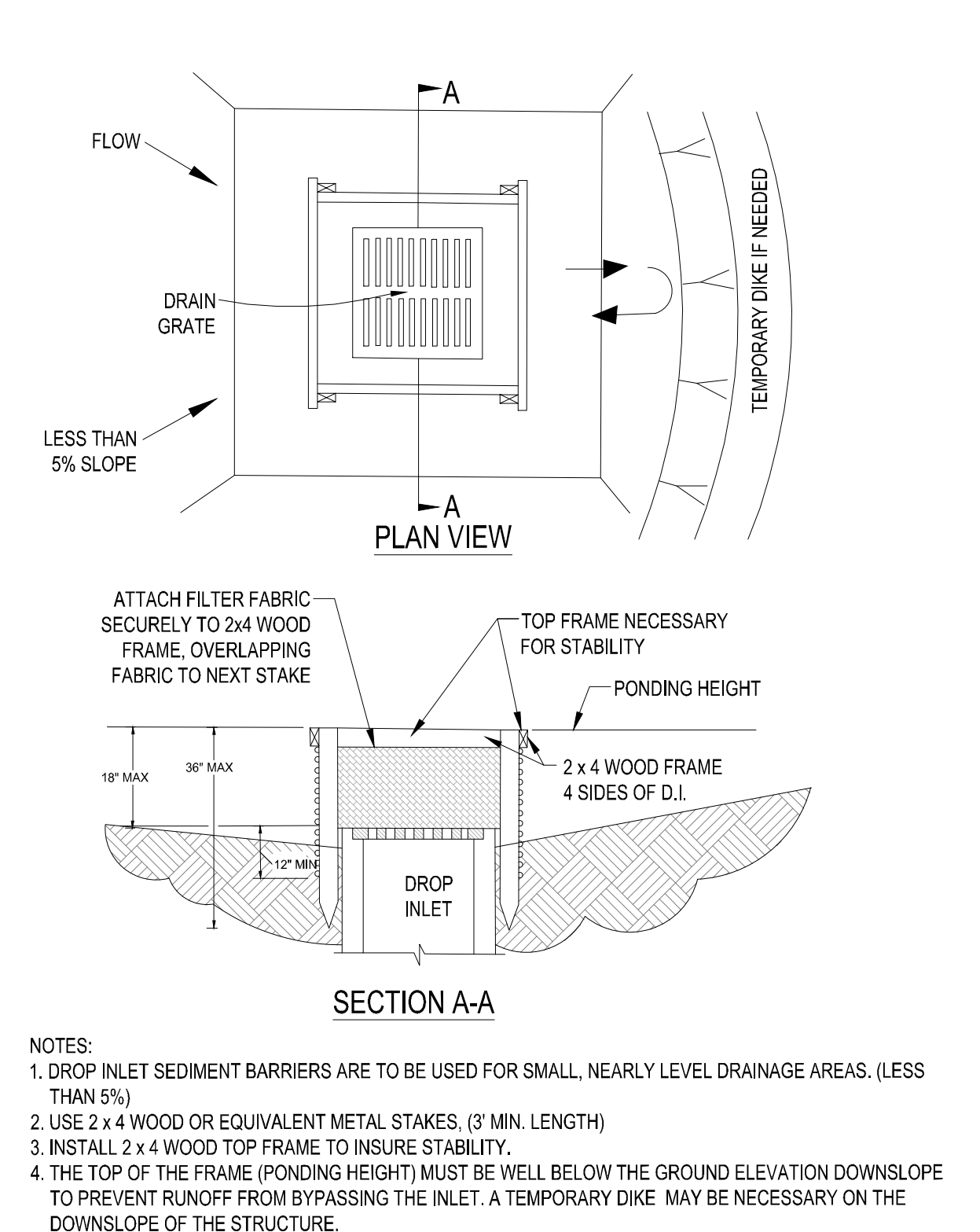
Section 19	Provide a detailed description of the maintenance plan for all structural and non-structural controls to assure that they remain in good and effective operating condition.
Section 20	<p>Contractor shall provide routine maintenance of permanent and temporary sediment and erosion control features in accordance with the technical specifications or as follows, whichever is more stringent:</p> <ul style="list-style-type: none"> <li>• Silt fence shall be inspected at least weekly. Any required repairs shall be made immediately. Sediment deposits shall be removed when they reach approximately one-half the height of the barrier.</li> <li>• Maintenance shall be performed on the rock entrance when any void spaces are full of sediment.</li> <li>• Inlet(s)/outfalls shall be inspected immediately after each rain event and any required repairs to the filter inlets, silt fence, or filter fabric shall be performed immediately.</li> <li>• Bare areas of the site that were previously seeded shall be reseeded per manufacturers' instructions.</li> <li>• Mulch and sod that has been washed out shall be replaced immediately.</li> <li>• Maintain all other areas of the site with proper controls as necessary.</li> </ul>
Section 21	<p>Identify and describe all sources of non-stormwater discharges as allowed by the FDEP NPDES Generic Permit for Stormwater Discharge from Large and Small Construction Activities.</p> <p>The contractor is required to submit a dewatering plan to SFWMD for approval prior to commencement of any construction activities that require dewatering. This plan shall include any stockpile areas and excavation areas. The contractor is responsible for documenting this portion of the SWPPP. If contaminated soil or groundwater is encountered, contact the District Hazardous Materials Coordinator</p>
Section 22	<p>Site Map</p> <p>The construction plans will substitute as site maps. Locations of the required information are described below.</p> <p>Drainage Patterns: The drainage flow directions are shown on the Paving and Drainage Plan.</p> <p>Approximate Slopes: The slopes of the site can be seen on the Grading and Drainage plan and cross sections.</p> <p>Areas of Soil Disturbance: The areas to be disturbed are indicated on the plan. Any areas where permanent features are shown to be constructed above or below ground will be disturbed.</p> <p>Areas not to be disturbed: Those areas shown outside of the limits of the silt fence will not be disturbed.</p> <p>Locations of Controls: The erosion control devices and locations are shown on the Sediment &amp; Erosion Control Plan.</p> <p>Areas to be stabilized: Temporary stabilization practices are also shown on the plans, if applicable. Areas of permanent stabilization are shown on the Paving and Drainage Plan.</p> <p>Surface Water: Surface water for the project is collected by inlets and culverts and directed to the Water Management Tracts within the Riverland Development, which are part of the Riverland Master Stormwater Management System. All water quality and attenuation is provided by the master system.</p> <p>Receiving Waters: The Riverland Master Stormwater Management System discharges to the C-23 Canal and the ultimate outfall is the North Fork of the St. Lucie River.</p>
Section 23	All contractor(s) and subcontractor(s) identified in the SWPPP must sign the following certification:

Name	Title	Company Name, Address and Phone Number	Responsible Items	Date



**GENERAL NOTES:**

1. THIS INLET IS DESIGNED WITH FILTER FABRIC PROTRUDING 8" FROM SIDES FOR GRIPPING WHEN SEDIMENT NEEDS TO BE CLEARED AFTER FINAL CONSTRUCTION.
2. FILTER FABRIC TO BE INSTALLED AND TRIMMED BEFORE GRATE IS INSET.



**NOTES:**

1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%)
2. USE 2 x 4 WOOD OR EQUIVALENT METAL STAKES. (3' MIN. LENGTH)
3. INSTALL 2 x 4 WOOD TOP FRAME TO INSURE STABILITY.
4. THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE OF THE STRUCTURE.

**VELCON**  
ENGINEERING & SURVEYING, LLC  
1449 NW COMMERCIAL CENTRE DR  
PORT ST. LUCIE, FL 34986  
PHONE: (772) 879-5477  
FBI# C.O.A. # 32322

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REVISIONS:

BY:	DATE:	COMMENT:

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PROJECT: **RIVERLAND PARCEL B PLAT ONE**  
CITY OF PORT ST. LUCIE, FLORIDA

CLIENT: **RIVERLAND ASSOCIATES II LLLP**

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M. RANDALL RODGERS, PE  
FLORIDA LICENSE No. 68212  
8/20/21

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PROJECT No.: 21-1006  
DRAWN BY: SIG  
CHECKED BY: RR  
DATE: 8/20/2021  
CAD FILE: 21-1006-STORMWATER POLLUTION PREVENTION PLAN  
SHEET TITLE: **STORMWATER POLLUTION PREVENTION PLAN**  
SHEET NUMBER: **25**

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KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG  
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www.call811.com

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CITY OF PSL PROJECT NO. P21-094  
PSLUSD FILE NO. 5266B

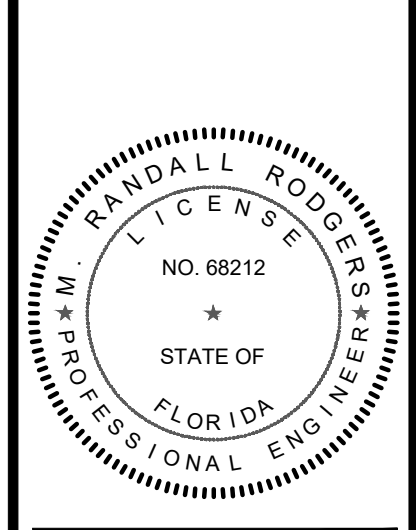


REVISIONS table with columns for BY, DATE, and COMMENT

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PROJECT: RIVERLAND PARCEL B PLAT ONE CITY OF PORT ST. LUCIE, FLORIDA

CLIENT: RIVERLAND ASSOCIATES II LLLP

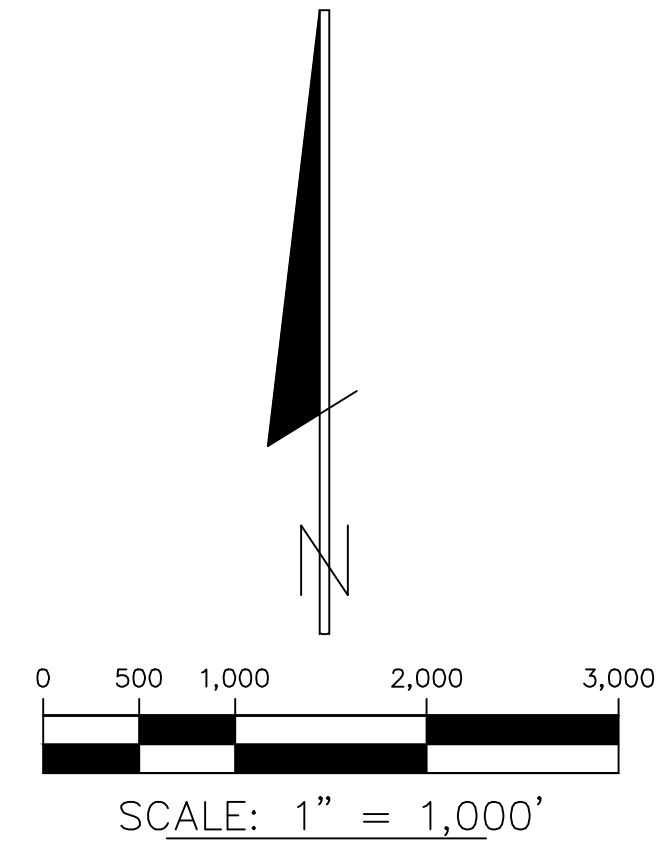
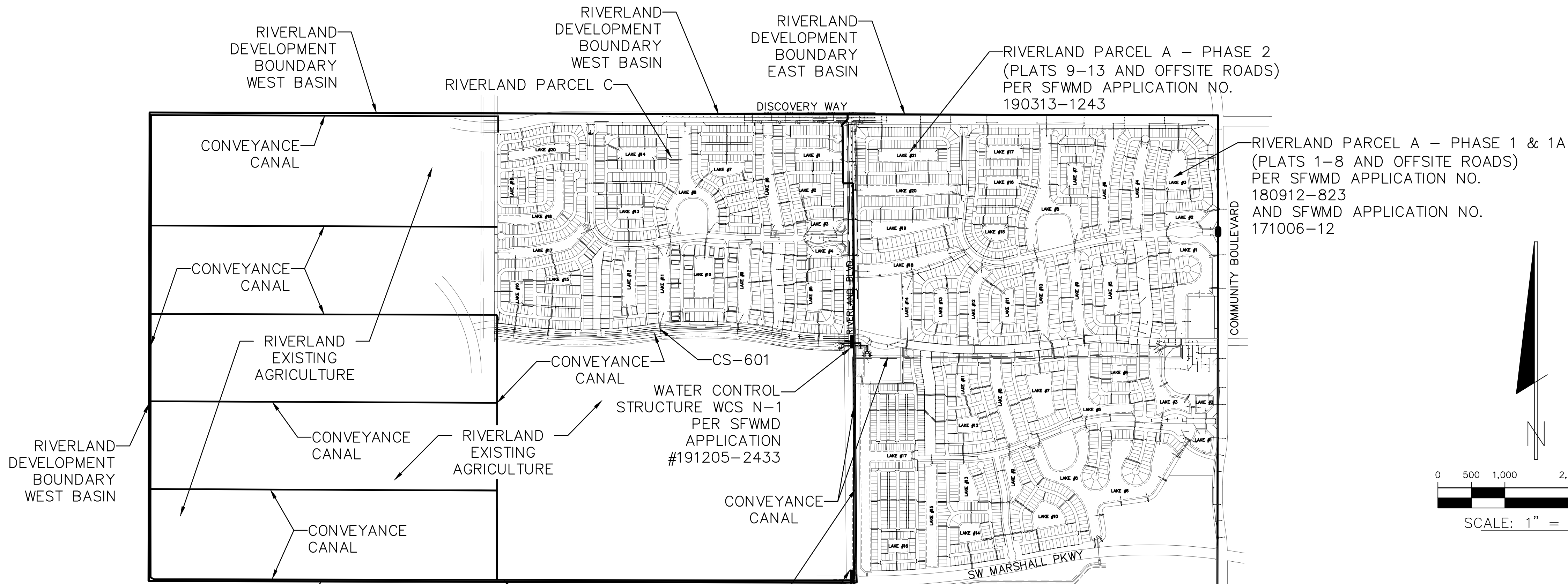


M. RANDALL RODGERS, PE FLORIDA LICENSE No. 68212 8/20/21

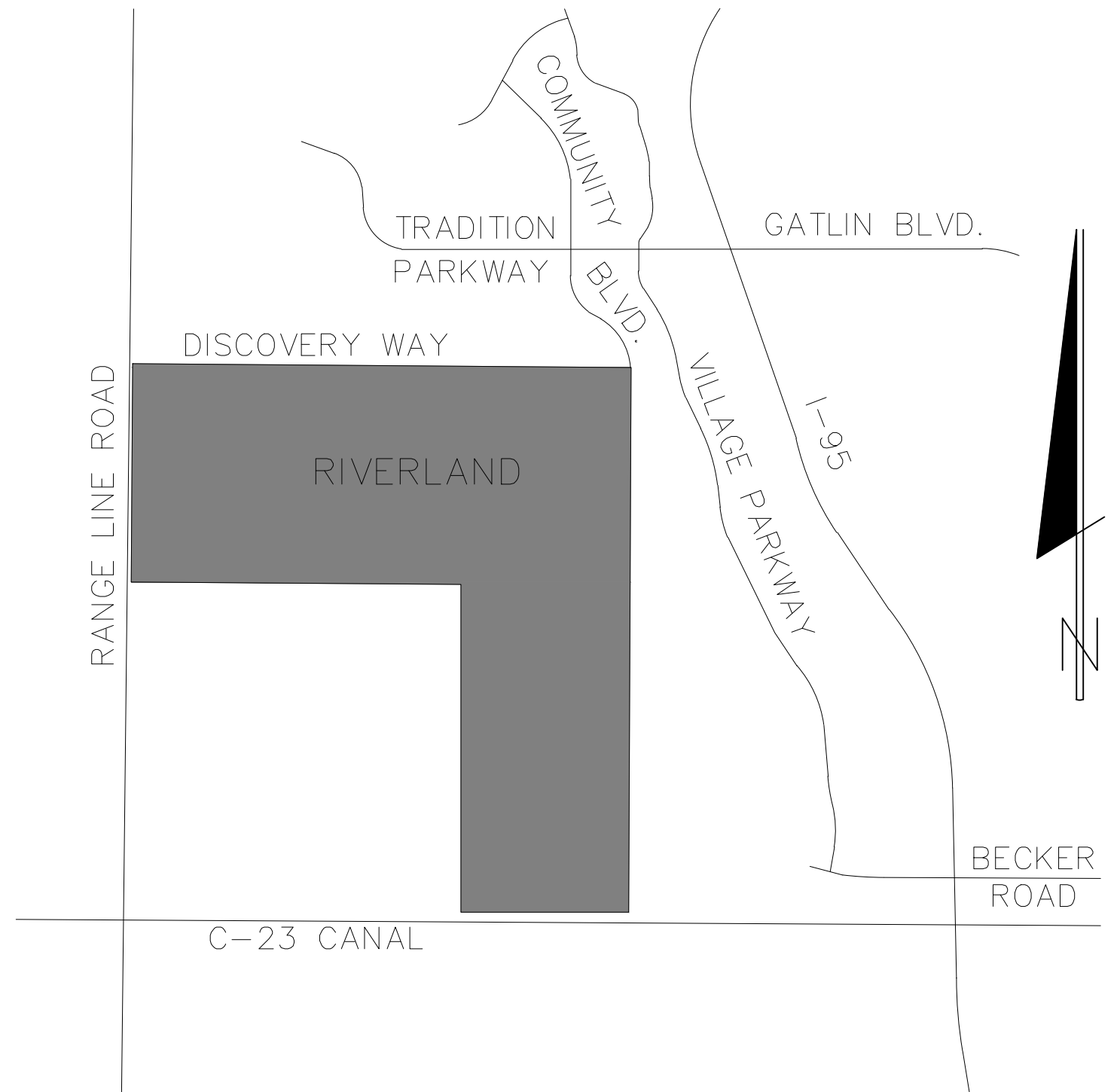
PROJECT No.: 21-1006 DRAWN BY: SCS CHECKED BY: RR DATE: 8/20/2021 CAD: KX006 - MASTER DRAINAGE PLAN

SHEET TITLE: MASTER DRAINAGE PLAN

SHEET NUMBER: 26



NOTE: WEST BASIN CONTROL WATER ELEVATION = 25.5 NAVD88 EAST BASIN CONTROL WATER ELEVATION = 24.5 NAVD88



LOCATION MAP N.T.S.

SEC. 15, 16, 21 & 22, TWP. 37 S., RGE. 39 E.



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Printed on Friday, August 20, 2021, 9:22 AM by Shiny Gomez