

VICINITY MAP
SCALE: 1:1,000

SITE DATA

LEGAL DESCRIPTION
SOUTHERN GROVE PLAT NO. 18 (PB 73-25) LOT 2 (5.50 AC - 239,580 SF)

PARCEL ID #: 4315-609-0003-000-9

PROJECT NAME: INNOVATION RESTAURANT HUB

OWNER: VILLAGE & INNOVATION LLC
19370 COLLINS AVE STE C01
SUNNY ISLES BEACH, FL 33160

FUTURE LAND USE: NEW COMMUNITY DEVELOPMENT (NCD)

ZONING: MASTER PLANNED UNIT DEVELOPMENT (MPUD)

LAND SIZE: 239,580.71 S.F. (5.50 AC) 100%

BUILDING DATA

BUILDING NAME	ACRES	GSF	STORIES	BUILDING HEIGHT
PROPOSED BUILDING 1	0.12	5,225 GSF	1	35'-0"
FREE-STANDING RESTAURANT	0.10	4,425 S.F.		
PATIO AREA (CONCRETE)	0.02	800 S.F.		
PROPOSED BUILDING 2	0.10	4,473 GSF	1	25'-8"
FREE-STANDING RESTAURANT	0.09	3,976 S.F.		
PATIO AREA (CONCRETE)	0.01	497 S.F.		
PROPOSED BUILDING 3	0.11	4,964 GSF	1	23'-11"
FREE-STANDING RESTAURANT	0.10	4,713 S.F.		
WALK-IN FREEZERS	0.01	251 S.F.		
PROPOSED BUILDING 4	0.11	4,936 GSF	1	24'-0"
FREE-STANDING RESTAURANT	0.10	4,694 S.F.		
WALK-IN FREEZERS	0.01	224 S.F.		
GROSS SQUARE FOOTAGE	0.44	19,631 GSF		

ZONING CODE FOR:

PER CODE	FRONT OR ROW	REAR	SIDE	BUILDING COVERAGE	BUILDING HEIGHT	OPEN SPACE
25'	10'	10'	10'	80% MAX.	100' MAX.	10% MIN.
PROPOSED	VILLAGE - 188.84' (E)	231.66' (W)	10' (S)	7.65%	SEE TABLE ABOVE	26.31%
INNOVATION - 77.45' (N)						
TOTAL LAND SIZE:	239,580.71 S.F.	(5.50 AC)	100%			
IMPERVIOUS AREA:	176,518 S.F.	(4.05 AC)	73.68%			
PROPOSED BLD FOOTPRINT	18,301 S.F.	(0.42 AC)	7.64%			
PROPOSED ASPHALT	143,147 S.F.	(3.29 AC)	59.75%			
*PROPOSED CONCRETE	15,070 S.F.	(0.34 AC)	6.29%			
(NOTE - INCLUDES PATIO CONCRETE)						
PERVIOUS AREA:	63,062.71 S.F.	(1.45 AC)	26.32%			
PROPOSED OPEN SPACE	63,062.71 S.F.	(1.45 AC)	26.32%			
(REQUIRED OPEN SPACE - 23,958.07 S.F.	0.55 AC	10% MIN)				

USABLE OPEN SPACE AREA:
REQUIRED = 63,062.71 S.F. @ 5% MIN = 3,153.14 S.F.
PROPOSED = 4,127 S.F. (6.54%)

PROVIDER OF UTILITIES:

WATER: PSLUSD
WASTEWATER: PSLUSD
IRRIGATION: CDD RECLAIMED

PARKING DATA

PARKING REQUIRED (19,619 GSF @ 1 SPACE PER 100 SF)

TOTAL REQUIRED PARKING SPACES: 196 SPACES (6 HC)

STANDARD PARKING PROVIDED: 325 SPACES (15 HC)

TRAFFIC STATEMENT:
PROJECT TRAFFIC POTENTIALLY GENERATED DURING THE PEAK HOUR OF THE GENERATOR WAS CALCULATED USING ITE LAND USE CODE 931: FINE DINING RESTAURANT FROM THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) TRIP GENERATION MANUAL, 11TH EDITION, THE NET DAILY, AM AND PM PEAK TRIPS POTENTIALLY GENERATED DUE TO THE PROPOSED DEVELOPMENT ARE 1,646, 88 (70 IN/18 OUT) AND 163 (99 IN/64 OUT) TRIPS RESPECTIVELY.

STORMWATER DRAINAGE:
THE SURFACE WATER MANAGEMENT SYSTEM FOR THE PROJECT WILL COLLECT SURFACE RUNOFF IN A SERIES OF CATCH BASINS WHICH WILL DIRECT THE RUNOFF TO THE TRADITION MASTER STORMWATER SYSTEM WHERE WATER QUALITY AND ATTENUATION WILL BE MET. THE PROJECT IS LOCATED WITHIN BASIN MXD-2 OF THE TRADITION MASTER DRAINAGE SYSTEM. THE BASIN DESIGN INFORMATION IS INCLUDED IN THE TABLE BELOW.

SEWAGE TREATMENT PERMIT 170801-3 - BASIN MXD-2
(CONTROL ELEVATION = 24.06 NGVD (22.56 NAVD))
MINIMUM ROAD CROWN ELEVATION = 27.15 NGVD (25.65 NAVD)
10 YR 3 DAY ELEVATION = 27.14 NGVD (25.64 NAVD)
MINIMUM FINISHED FLOOR ELEVATION = 29.50 NGVD (28.00 NAVD)

SOLID WASTE:
BASED ON THE INTENDED USE OF THE BUILDING, THIS PROJECT WILL UTILIZE A DUMPSTER AREA FOR SOLID WASTE AND RECYCLABLE ITEMS.

HAZARDOUS WASTE:
ANY AND ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

LANDSCAPE:
REFER TO LANDSCAPE PLAN BY OTHERS.

ACCESSIBILITY AND ADA COMPLIANCE:
ALL SIDEWALKS AND RAMPS WILL MEET FDOT AND ADA REQUIREMENTS.

ENGINEERS SURVEYORS
ENVIRONMENTAL LAND PLANNERS
INTERIOR DESIGNERS

10250 VILLAGE PARKWAY
SUITE 201
PORT ST. LUCIE, FL 34987
772-462-2455
www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
L.B. CERTIFICATE OF AUTHORIZATION 8098

DESIGNED BY: JRM
DRAWN BY: JLV
CHECKED BY: JLV
FILE NO: 22-503
DATE: 08/15/24

DATE: 08/15/24
REVISION COMMENTS: UPDATE BUILDING 2 FOOTPRINT TO MATCH ARCHITECTURAL DRAWING
DATE: 07/25/24
REVISION COMMENTS: REVISE SITE PLAN AND DETAILS PER CITY COMMENTS

INNOVATION RESTAURANT HUB

FLORIDA

PORT ST. LUCIE

SITE PLAN

ENGINEERS SURVEYORS
ENVIRONMENTAL LAND PLANNERS
INTERIOR DESIGNERS

10250 SW VILLAGE PARKWAY - SUITE 201
PORT SAINT LUCIE, FL 34987
772-462-2455

22-503

1 OF 3

DESCRIPTION	FOUND (YES/NO)	AGENCY CONTACT INFORMATION	MANAGEMENT PLAN (YES/NO)	RELOCATION PLAN (YES/NO)
WETLANDS	NO	---	---	---
RARE HABITAT	NO	---	---	---
THREATENED SPECIES	NO	---	---	---
ENDANGERED SPECIES	NO	---	---	---
SPECIES OF SPECIAL CONCERN	NO	---	---	---
INVASIVE/EXOTIC VEGETATION	NO	---	---	---

ENVIRONMENTAL ASSESSMENT WAS COMPLETED BY EDC, INC. ON 01-05-24

VERTICAL DATUM NOTE:
ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) AND ARE GIVEN IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
*GENERAL ACCEPTED CONVERSION: NAVD + 1.475 = NGVD

NOTE:
THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (G).

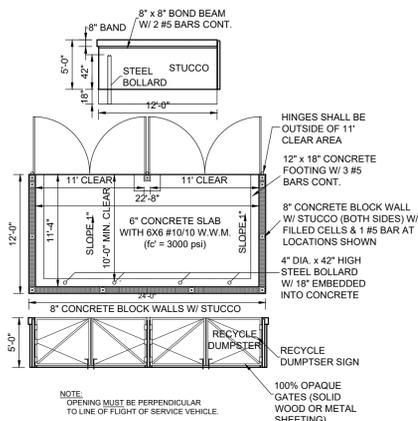
LEGEND

	EXISTING METER		EXISTING ELECTRIC HAND HOLE
	PROPOSED SIGN		PROPOSED DRAINAGE INLET
	PROPOSED MITERED END SECTION		EXIST. DRAINAGE INLET
	HANDICAP PARKING SYMBOL		EXISTING STREET LIGHT
	EXISTING CONCRETE		PROPOSED LIGHT POLE
	PROPOSED CONCRETE		DRAINAGE FLOW ARROW
	PROPOSED STANDARD PAVEMENT		DETECTABLE WARNING (FDOT INDEX 522-00)
	PROPOSED HEAVY DUTY PAVEMENT		PARKING STALL COUNT
	USEABLE OPEN SPACE 4,127 S.F. (6.54%)		EXISTING DRAINAGE
			PROPOSED DRAINAGE PIPE

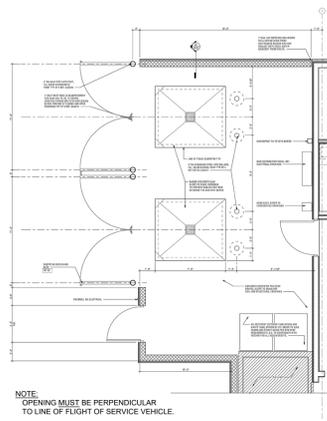
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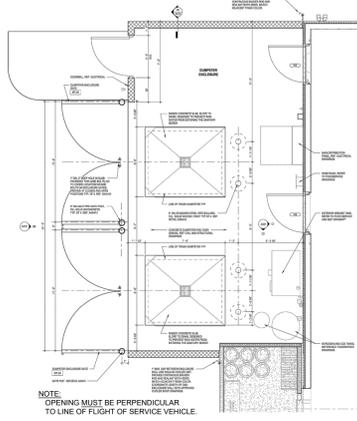
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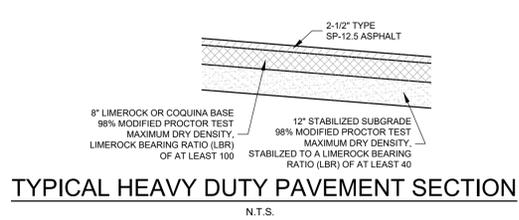
24' x 12' DUMPSTER DETAIL (BUILDING 1 & 2)
N.T.S.



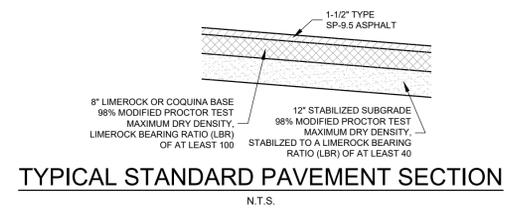
DUMPSTER DETAIL (BUILDING 3)
N.T.S.



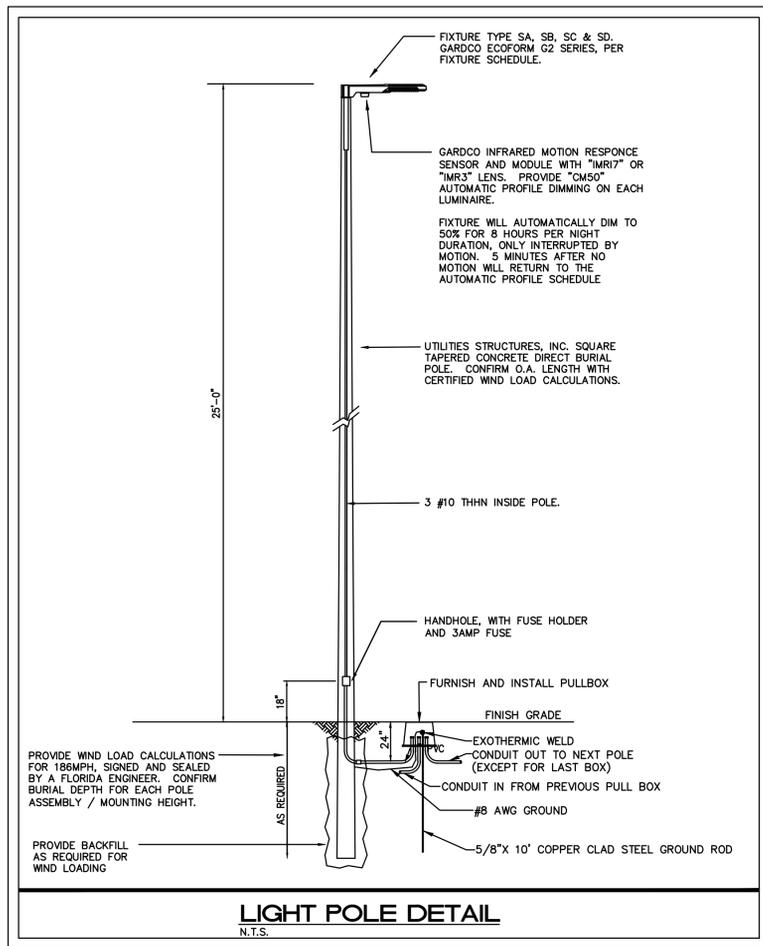
DUMPSTER DETAIL (BUILDING 4)
N.T.S.



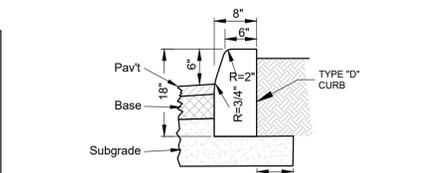
TYPICAL HEAVY DUTY PAVEMENT SECTION



TYPICAL STANDARD PAVEMENT SECTION

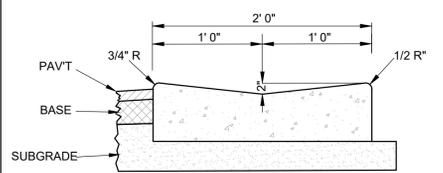


LIGHT POLE DETAIL
N.T.S.



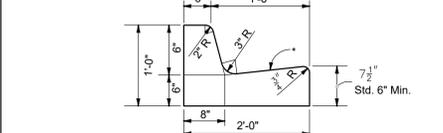
- NOTES:
 1. Use 3,000 P.S.I. concrete at 28 days for construction.
 2. Subgrade to extend an additional 6" beyond Type "D" Curb.
 3. Type "D" Curb to be constructed in accordance with FDOT Index #522-001.

TYPE "D" CURB



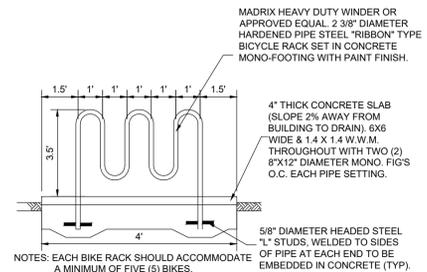
- NOTES:
 3,000 P.S.I. CONCRETE AT 28 DAYS

2' VALLEY GUTTER



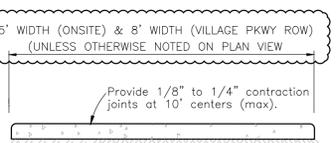
*NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

TYPE F-CURB



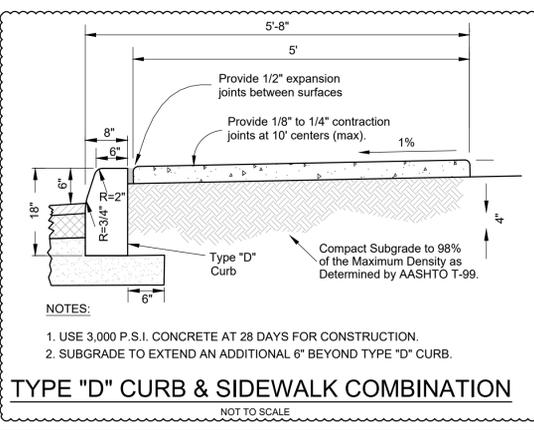
- NOTES: EACH BIKE RACK SHOULD ACCOMMODATE A MINIMUM OF FIVE (5) BIKES.

TYPICAL BIKE RACK DETAIL



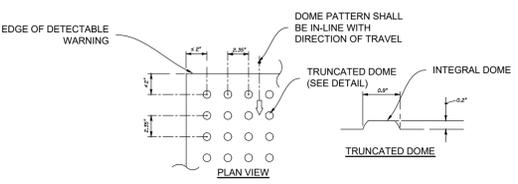
- NOTES:
 1. USE 3,000 P.S.I. CONCRETE AT 28 DAYS FOR SIDEWALK CONSTRUCTION.
 2. SIDEWALK THICKNESS TO BE INCREASED TO 6" THICK AT DRIVEWAY LOCATIONS.
 3. ALL REPAIRS REQUIRED DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED 10' MINIMUM TO NEXT FULL JOINT.
 4. ALL SIDEWALK WITHIN FDOT RIGHT-OF-WAY TO BE CONSTRUCTED PER STANDARD PLANS 522-001.

4" THICK SIDEWALK DETAIL



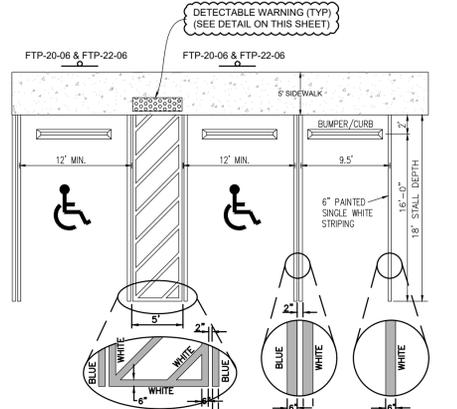
- NOTES:
 1. USE 3,000 P.S.I. CONCRETE AT 28 DAYS FOR CONSTRUCTION.
 2. SUBGRADE TO EXTEND AN ADDITIONAL 6" BEYOND TYPE "D" CURB.

TYPE "D" CURB & SIDEWALK COMBINATION



- ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24 INCHES (610 MM) FROM THE BACK OF CURB

DETECTABLE WARNING



- GENERAL NOTES:
 A) ALL PARKING SPACES WITH EXCEPTION OF HANDICAPPED PARKING SPACES SHALL BE MARKED IN WHITE, RETRO-REFLECTIVE TRAFFIC PAINT AND BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2010 SECTION 710.
 B) ALL HANDICAPPED PARKING SPACES SHALL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH THE FDOT INDEX 711-001, P.2 2022-24

HANDICAPPED SPACE DETAIL 18' PARKING STALL DETAIL

- NOTES:
 1. FTP 20-06: TOP PORTION SHALL HAVE REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 2. FTP 21-06: TOP PORTION SHALL HAVE REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 3. FTP 20-06 IS FOR USE IN AREAS WHERE SPACE IS LIMITED.
 4. FTP 22-06 IS SUPPLEMENTAL PANEL FOR THE FTP 20-06 & FTP 21-06 SIGNS.
 5. HEIGHT SHALL BE 7 FEET MEASURED FROM THE GROUND OR SIDEWALK TO THE BOTTOM OF "PERMIT ONLY" SIGN OR 6 FEET TO THE BOTTOM OF "2550 FINE" SIGN
 6. REFER TO FDOT INDEX No. 711-001 FOR PAVEMENT MARKING DETAILS & FDOT INDEX No. 700-102 SIGN DETAILS PER THE LATEST FDOT DESIGN STANDARDS.



Symbol	Qty	Label	MANUFACT	Description	Av. Lum. Lumens	LFP	Lum. Watts	Total Watts
[Symbol]	14	SA	Gardco	ECF-5-84L-1A-NW-G2-4-HIS POLE MOUNT 25' AFG	20481	0.000	205.9	2882.6
[Symbol]	3	SB	Gardco	ECF-5-84L-1A-NW-G2-6W POLE MOUNT 25' AFG	27330	1.000	205.9	617.7
[Symbol]	3	SC	Gardco	ECF-5-48L-1A-NW-G2-3-HIS POLE MOUNT 25' AFG	15899	0.000	108.7	476.1
[Symbol]	1	SD	Gardco	ECF-5-32L-1A-NW-G2-3-HIS POLE MOUNT 25' AFG	10665	1.000	105.6	105.6

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F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
 L.B. CERTIFICATE OF AUTHORIZATION 8096

DESIGNED BY: JRH
 DRAWN BY: JULY
 CHECKED BY: JEL
 FILE NAME: 22-503 Site Plan (21.dwg)
 DATE: 07-25-24
 REVISION COMMENTS: REVISE SITE PLAN AND DETAILS PER CITY COMMENTS

INNOVATION RESTAURANT HUB
 SITE PLAN DETAILS
 PORT ST LUCIE
 FLORIDA

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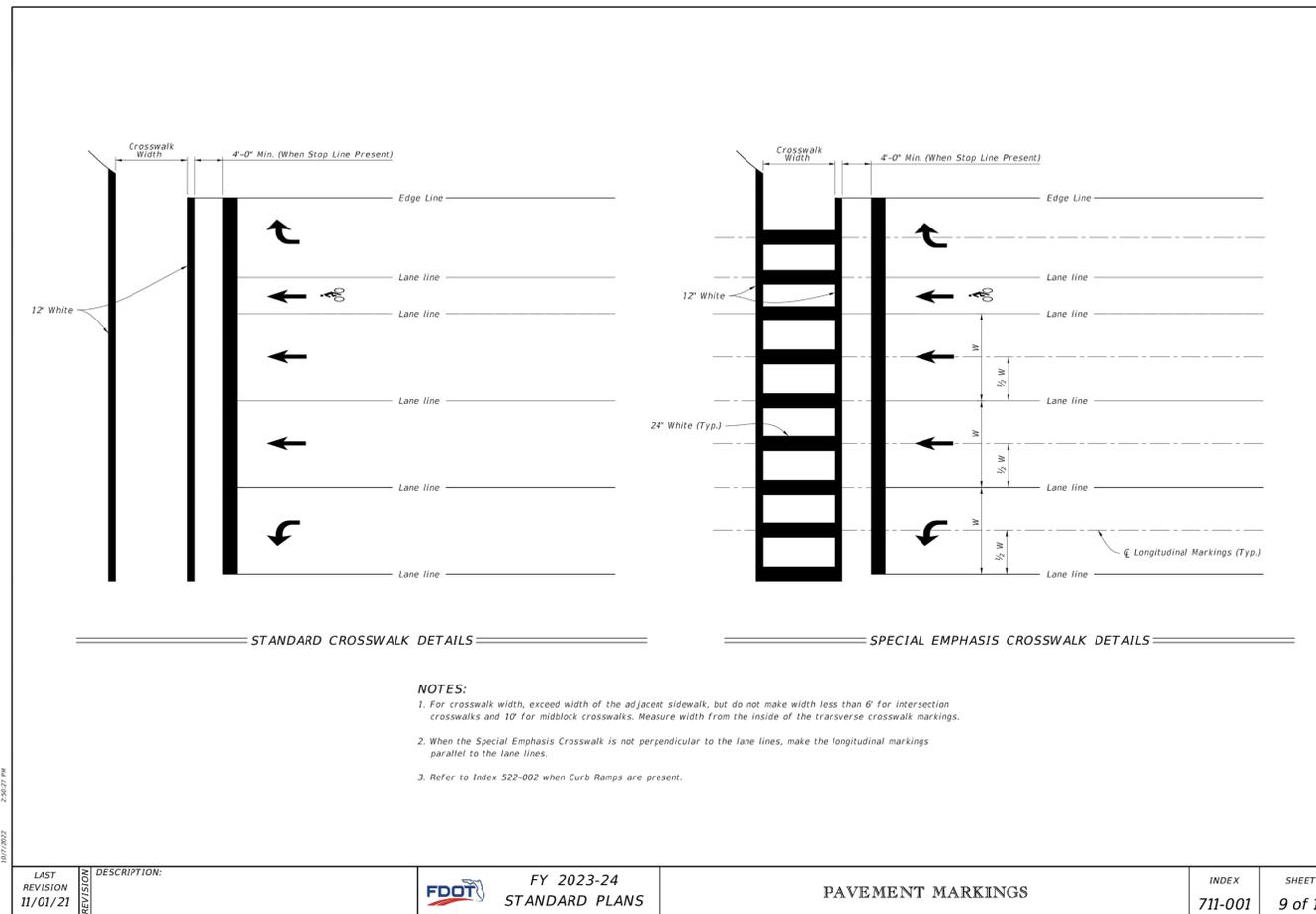
22-503
 2 OF 3

OFF-SITE LIGHTING NOTES

5/23/2016

ROADWAY AND PEDESTRIAN LIGHTING GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY THE CITY OF PORT ST. LUCIE PUBLIC WORKS DEPT. TWO (2) FULL BUSINESS DAYS IN ADVANCE OF ANY WORK TO BE CARRIED OUT AT ANY LIGHTING FACILITY. 772-871-5177
2. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE MOST RECENT VERSION OF FDOT DESIGN STANDARDS UNLESS OTHERWISE SPECIFIED IN THE CITY APPROVED DESIGN OR THESE GENERAL NOTES.
3. CONDUCTOR AND/OR CABLE SHALL BE HOUSED IN 2" SCHEDULE 40 CONDUIT AS SHOWN ON APPROVED PLAN SHEETS. PROVIDE ONE SPARE CONDUIT FOR EACH CONDUIT RUN AND ROADWAY CROSSING. EACH SPARE CONDUIT SHALL BE SUPPLIED WITH PULL STRING.
4. CONTRACTOR SHALL STAKE ALL POLE LOCATIONS AND REQUEST UTILITY COMPANIES TO LOCATE AND MARK UNDERGROUND FACILITIES PRIOR TO EXCAVATION.
5. POLES, LUMINAIRES AND BASES SHALL BE FABRICATED IN ACCORDANCE WITH AASHTO'S "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS" AND SHALL HAVE BEEN TESTED BY FHWA APPROVED METHODS. CERTIFICATION FOR TESTS SHALL BE SUBMITTED WITH THE SHOP DRAWINGS.
6. PULLING INSTRUCTIONS: CONNECT PULLING DEVICES TO COPPER WIRE AND NOT TO JACKET AND MEET THE MANUFACTURER'S REQUIREMENTS. USE PULLING COMPOUND PER MANUFACTURER'S REQUIREMENTS. ALL BENDS SHALL NOT BE LESS THAN THE MANUFACTURER'S REQUIREMENTS.
7. ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, THE NATIONAL ELECTRICAL SAFETY CODE AND THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. ALL COMPONENTS SHALL BE PROPERLY GROUNDED AND BONDED PER N.E.C. REQUIREMENTS.
8. IN LOCATIONS WHERE UNDERGROUND UTILITIES ARE IN CLOSE PROXIMITY TO LIGHTING POLES OR CONDUIT RUNS, AS DETERMINED BY THE ENGINEER, THE CONTRACTOR SHALL HAND DIG THE FIRST 4' OF THE HOLE FOUNDATION AND CONDUIT RUN.
9. HAND HOLE COVERS FOR POLES AND TRANSFORMER BASES SHALL BE LOCATED OPPOSITE APPROACHING TRAFFIC.
10. THE WIRES AT THE POLE HAND HOLES AND PULL BOXES SHALL BE LOOPED IN THE POLE AND PULL BOXES WITH SUFFICIENT LENGTH TO COMPLETELY REMOVE CONNECTORS AND SPLICES ONE (1.00) FOOT OUTSIDE THE HAND HOLE AND PULL BOXES TO MAKE CONNECTIONS AND SPLICES ACCESSIBLE FOR CHANGING FUSES AND TROUBLESHOOTING THE SYSTEM.
11. ALL CONDUCTOR AND/OR WIRE CONNECTIONS SHALL BE BUTT SPLICED AND WATERPROOF. WIRE NUTS WILL NOT BE ACCEPTED.
12. EACH POLE SHALL BE EQUIPPED WITH AN ACCESSIBLE FUSE AND FUSE HOLDER WITH PROTECTIVE BOOTS.
13. EACH POLE SHALL BE EQUIPPED WITH A LIGHTNING SURRESTOR THAT IS PROPERLY GROUNDED.
14. A PULL BOX SHALL BE INSTALLED AT EACH POLE LOCATION. PULL BOX SHOULD BE LOCATED 2' MAX FROM POLE UNLESS OTHERWISE DIRECTED BY PROJECT ENGINEER. EACH PULL BOX SHALL BE SUPPLIED WITH A GROUNDING ROD AND EACH POLE SHALL BE PROPERLY GROUNDED.
15. ALL STREET LIGHTING AND PEDESTRIAN LIGHTING PULL BOXES SHALL BE ARMORCAST PRODUCTS COMPANY #A6001946TAPXX12 POLYMER CONCRETE BOX WITH NON-METALLIC LID AND NON-SKID SURFACE. LID MUST BE STAMPED "STREET LIGHTING". BOX DIMENSIONS ARE 13W X 24L X 12H. 20K WITH OPEN BOTTOM. LID MUST BE FASTENED TO BOX.
16. INSTALLATION OF PULL BOXES WITHIN THE SIDEWALK SHOULD BE AVOIDED WHENEVER POSSIBLE, BUT IF NECESSARY, SHALL BE APPROVED BY CITY OF PORT ST LUCIE PUBLIC WORKS PRIOR TO WORK BEING CONDUCTED AND SHALL BE FLUSH BE FLUSH WITH SIDEWALK. PULL BOXES SHALL NEVER BE PLACED WITHIN SIDEWALK RAMPS OR ROADWAY.
17. THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND ALL EXISTING UTILITIES, INCLUDING OVERHEAD POWER LINES.
18. LOCATIONS OF UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO EXCAVATION.
19. CONTACT SUNSHINE ONE CALL OF FLORIDA AT 811 OR SUNSHINE811.COM AT LEAST TWO (2) FULL BUSINESS DAYS BEFORE DIGGING.
20. THE CONTRACTOR SHALL COORDINATE WITH FLORIDA POWER AND LIGHT TO DETERMINE ELECTRICAL SERVICE FEED LOCATION.
21. ENERGY EFFICIENT LIGHTING TECHNOLOGIES SUCH AS LIGHT EMITTING DIODE (LED) SHALL BE CONSIDERED AND SHOULD BE GIVEN PREFERENCE. INCANDESCENT LIGHTING WILL ONLY BE APPROVED BY THE CITY UNDER UNIQUE CIRCUMSTANCES AND WILL REQUIRE APPROPRIATE JUSTIFICATION SEPARATE FROM PROJECT COST.
22. THE LIGHTING SYSTEM WILL BE MAINTAINED BY THE CITY ONLY AFTER FINAL ACCEPTANCE.
23. ALL LIGHTING PLANS, SUBMITTAL DATA AND LIGHTING SHOP DRAWINGS SHALL BE APPROVED BY CITY OF PORT ST LUCIE PUBLIC WORKS PRIOR TO THEIR USE. NO CHANGES TO THE APPROVED LIGHTING PLAN, EQUIPMENT SPECIFICATIONS OR INSTALLATION DETAILS SHALL BE MADE WITHOUT PRIOR APPROVAL BY CITY OF PORT ST LUCIE PUBLIC WORKS.
24. IN ADDITION TO THE ABOVE GENERAL NOTES, IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER TO ENSURE ADDITIONAL GENERAL NOTES AND PAY ITEM FOOT NOTES SPECIFIC TO THE PROJECT ARE INCLUDED IN THE CONSTRUCTION PLANS AND SUBMITTED FOR CITY APPROVAL.



PEDESTRIAN CROSSWALK PAVEMENT MARKINGS

ENGINEERS SURVEYORS
ENVIRONMENTAL LAND PLANNERS
INTERIOR DESIGNERS

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DESIGNED BY	JRW
DRAWN BY	JLW
FILE NAME	22-503 Site Plan (21.dwg)
DETAILS (2)	
LAYOUT	
SCALE	AS SHOWN
DATE	06/JUNE/2024

DATE	REVISION COMMENTS
07-25-24 <td>ADD OFF-SITE LIGHTING NOTES</td>	ADD OFF-SITE LIGHTING NOTES

INNOVATION RESTAURANT HUB

FLORIDA

SITE PLAN DETAILS

PORT ST LUCIE

ENGINEERS SURVEYORS
ENVIRONMENTAL LAND PLANNERS
INTERIOR DESIGNERS

10250 SW VILLAGE PARKWAY - SUITE 201
PORT SAINT LUCIE, FL 34987
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22-503

3 OF 3



Z:\EDC\2023\22-503 - Gustavo Lumer - SW Innovation Way\ENGINEERING\AutoCAD\DWG\22-503 Site Plan R21.dwg, DETAILS (2), 9/18/2024, 11:43:56 AM, Jessica EDC, Inc.

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