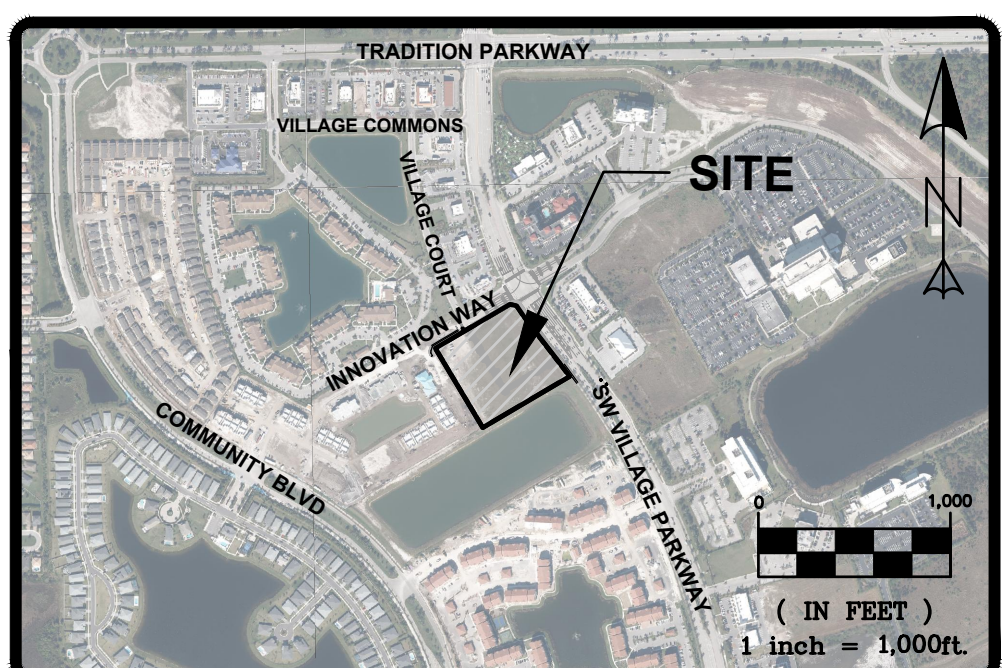
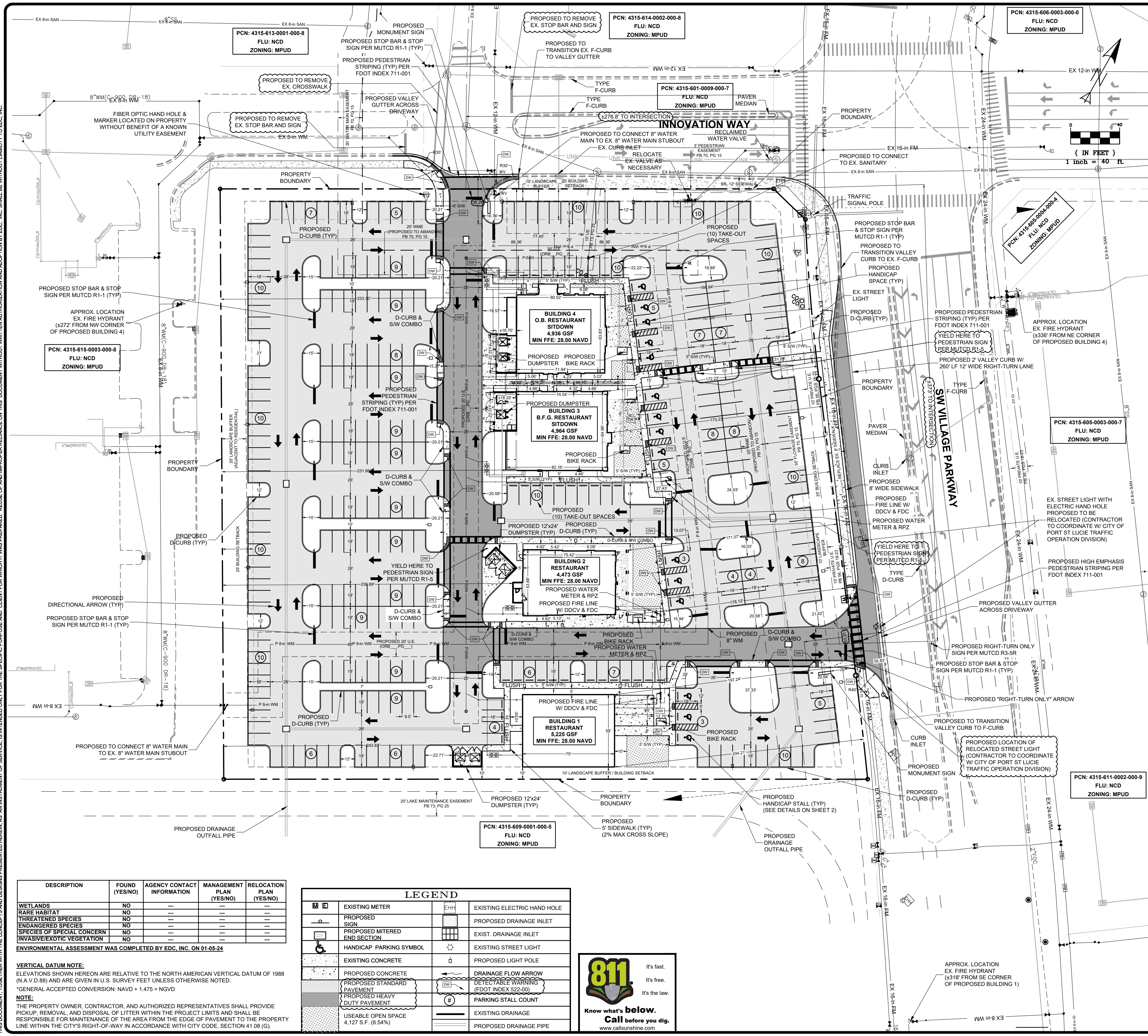


Z:\EDC\2023\2-503 - Gustavio Lumer - SW Innovation Way\ENGINEERING\AutoCAD\DWG\2-503 Site Plan R21.dwg, Site Plan, 9/18/2024 11:43:46 AM, Jessica, EDC, Inc.



VICINITY MAP
SCALE: 1:1,000

SITE DATA

LEGAL DESCRIPTION
SOUTHERN GROVE PLAT NO. 18 (PB 73-25) LOT 2 (5.50 AC - 239,580 SF)

PARCEL ID #: 4315-609-000-009

PROJECT NAME: INNOVATION RESTAURANT HUB

OWNER: VILLAGE & INNOVATION LLC
19370 COLLINS AVE STE C01
SUNNY ISLES BEACH, FL 33160

FUTURE LAND USE: NEW COMMUNITY DEVELOPMENT (NCD)

ZONING: MASTER PLANNED UNIT DEVELOPMENT (MPUD)

LAND SIZE: 239,580.71 S.F. (5.50 AC) 100%

BUILDING DATA

| BUILDING NAME | ACRES | GSF | STORIES | BUILDING HEIGHT |
|-----------------------------|-------|------------|---------|-----------------|
| PROPOSED BUILDING 1 | 0.12 | 5,225 GSF | 1 | 35'-0" |
| FREE-STANDING RESTAURANT | 0.10 | 4,425 S.F. | | |
| PATIO AREA (CONCRETE) | 0.02 | 800 S.F. | | |
| PROPOSED BUILDING 2 | 0.10 | 4,473 GSF | 1 | 25'-8" |
| FREE-STANDING RESTAURANT | 0.09 | 3,976 S.F. | | |
| PATIO AREA (CONCRETE) | 0.01 | 497 S.F. | | |
| PROPOSED BUILDING 3 | 0.11 | 4,964 GSF | 1 | 23'-11" |
| FREE-STANDING RESTAURANT | 0.10 | 4,713 S.F. | | |
| WALK-IN FREEZERS | 0.01 | 251 S.F. | | |
| PROPOSED BUILDING 4 | 0.11 | 4,936 GSF | 1 | 24'-0" |
| FREE-STANDING RESTAURANT | 0.10 | 4,694 S.F. | | |
| WALK-IN FREEZERS | 0.01 | 224 S.F. | | |
| GROSS SQUARE FOOTAGE | 0.44 | 19,631 GSF | | |

ZONING CODE FOR:

| BUILDING SETBACKS | REAR | SIDE | BUILDING COVERAGE | BUILDING HEIGHT | OPEN SPACE |
|--------------------------------|-----------------------|-------------|-------------------|-----------------|-----------------|
| FRONT OR ROW | 10' | 10' | 80% MAX. | 100' MAX. | 10% MIN. |
| PROPOSED | VILLAGE - 188.84' (E) | 231.66' (W) | 10' (S) | 7.65% | SEE TABLE ABOVE |
| INNOVATION - 77.45' (N) | | | | | 26.31% |

TOTAL LAND SIZE: 239,580.71 S.F. (5.50 AC) 100%

IMPERVIOUS AREA: 176,518 S.F. (4.05 AC) 73.68%

PROPOSED BLD FOOTPRINT: 18,301 S.F. (0.42 AC) 7.64%

PROPOSED ASPHALT: 143,147 S.F. (3.29 AC) 59.75%

***PROPOSED CONCRETE:** 15,070 S.F. (0.34 AC) 6.29%

(*NOTE - INCLUDES PATIO CONCRETE)

PERVIOUS AREA: 63,062.71 S.F. (1.45 AC) 26.32%

PROPOSED OPEN SPACE: 63,062.71 S.F. (1.45 AC) 26.32%

(REQUIRED OPEN SPACE - 23,958.07 S.F. 0.55 AC 10% MIN)

USABLE OPEN SPACE AREA:
REQUIRED = 63,062.71 S.F. @ 5% MIN = 3,153.14 S.F.
PROPOSED = 4,127 S.F. (6.54%)

PROVIDER OF UTILITIES:
WATER: PSLUSD
WASTEWATER: PSLUSD
IRRIGATION: CDD RECLAIMED

PARKING DATA
PARKING REQUIRED (19,619 GSF @ 1 SPACE PER 100 SF)
TOTAL REQUIRED PARKING SPACES 196 SPACES (6 HC)
STANDARD PARKING PROVIDED 325 SPACES (15 HC)

TRAFFIC STATEMENT:
PROJECT TRAFFIC POTENTIALLY GENERATED DURING THE PEAK HOUR OF THE GENERATOR WAS CALCULATED USING ITE LAND USE CODE 931: FINE DINING RESTAURANT FROM THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) TRIP GENERATION MANUAL, 11TH EDITION, THE NET DAILY, AM AND PM PEAK TRIPS POTENTIALLY GENERATED DUE TO THE PROPOSED DEVELOPMENT ARE 1,646, 88 (70 IN/18 OUT) AND 163 (99 IN/64 OUT) TRIPS RESPECTIVELY.

STORMWATER DRAINAGE:
THE SURFACE WATER MANAGEMENT SYSTEM FOR THE PROJECT WILL COLLECT SURFACE RUNOFF IN A SERIES OF CATCH BASINS WHICH WILL DIRECT THE RUNOFF TO THE TRADITION MASTER STORMWATER SYSTEM WHERE WATER QUALITY AND ATTENUATION WILL BE MET. THE PROJECT IS LOCATED WITHIN BASIN MXD-2 OF THE TRADITION MASTER DRAINAGE SYSTEM. THE BASIN DESIGN INFORMATION IS INCLUDED IN THE TABLE BELOW.

SEWAGE TREATMENT PERMIT 170801-3 - BASIN MXD-2
(CONTROL ELEVATION = 24.06 NGVD (22.56 NAVD))
MINIMUM ROAD CROWN ELEVATION = 27.15 NGVD (25.65 NAVD)
10 YR 3 DAY ELEVATION = 27.14 NGVD (25.64 NAVD)
MINIMUM FINISHED FLOOR ELEVATION = 29.50 NGVD (28.00 NAVD)

SOLID WASTE:
BASED ON THE INTENDED USE OF THE BUILDING, THIS PROJECT WILL UTILIZE A DUMPSTER AREA FOR SOLID WASTE AND RECYCLABLE ITEMS.

HAZARDOUS WASTE:
ANY AND ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

LANDSCAPE:
REFER TO LANDSCAPE PLAN BY OTHERS.

ACCESSIBILITY AND ADA COMPLIANCE:
ALL SIDEWALKS AND RAMPS WILL MEET FDOT AND ADA REQUIREMENTS.

ENGINEERS SURVEYORS ENVIRONMENTAL & LAND PLANNERS INTERIOR DESIGNERS

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772-462-2455
www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
L.B. CERTIFICATE OF AUTHORIZATION 8098

| DESIGNED BY | DRAWN BY | CHECKED BY | FILED BY | LAYOUT | SCALE | DATE |
|-------------|----------|------------|----------|--------|----------|------------|
| JRH | JLV | JLV | JLV | JLV | AS SHOWN | 06/19/2024 |

REVISION COMMENTS

| NO. | DATE | DESCRIPTION |
|-----|----------|------------------------------------------------------------|
| 01 | 06/19/24 | UPDATE BUILDING 2 FOOTPRINT TO MATCH ARCHITECTURAL DRAWING |
| 02 | 07/25/24 | REVISE SITE PLAN AND DETAILS PER CITY COMMENTS |

INNOVATION RESTAURANT HUB

FLORIDA

PORT ST. LUCIE

SITE PLAN

ENGINEERS SURVEYORS ENVIRONMENTAL & LAND PLANNERS INTERIOR DESIGNERS

10250 SW VILLAGE PARKWAY - SUITE 201
PORT SAINT LUCIE, FL 34987
772-462-2455

22-503

1 OF 3

| DESCRIPTION | FOUND (YES/NO) | AGENCY CONTACT INFORMATION | MANAGEMENT PLAN (YES/NO) | RELOCATION PLAN (YES/NO) |
|----------------------------|----------------|----------------------------|--------------------------|--------------------------|
| WETLANDS | NO | --- | --- | --- |
| RARE HABITAT | NO | --- | --- | --- |
| THREATENED SPECIES | NO | --- | --- | --- |
| ENDANGERED SPECIES | NO | --- | --- | --- |
| SPECIES OF SPECIAL CONCERN | NO | --- | --- | --- |
| INVASIVE/EXOTIC VEGETATION | NO | --- | --- | --- |

ENVIRONMENTAL ASSESSMENT WAS COMPLETED BY EDC, INC. ON 01-05-24

VERTICAL DATUM NOTE:
ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) AND ARE GIVEN IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
*GENERAL ACCEPTED CONVERSION: NAVD + 1.475 = NGVD

NOTE:
THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (G).

LEGEND

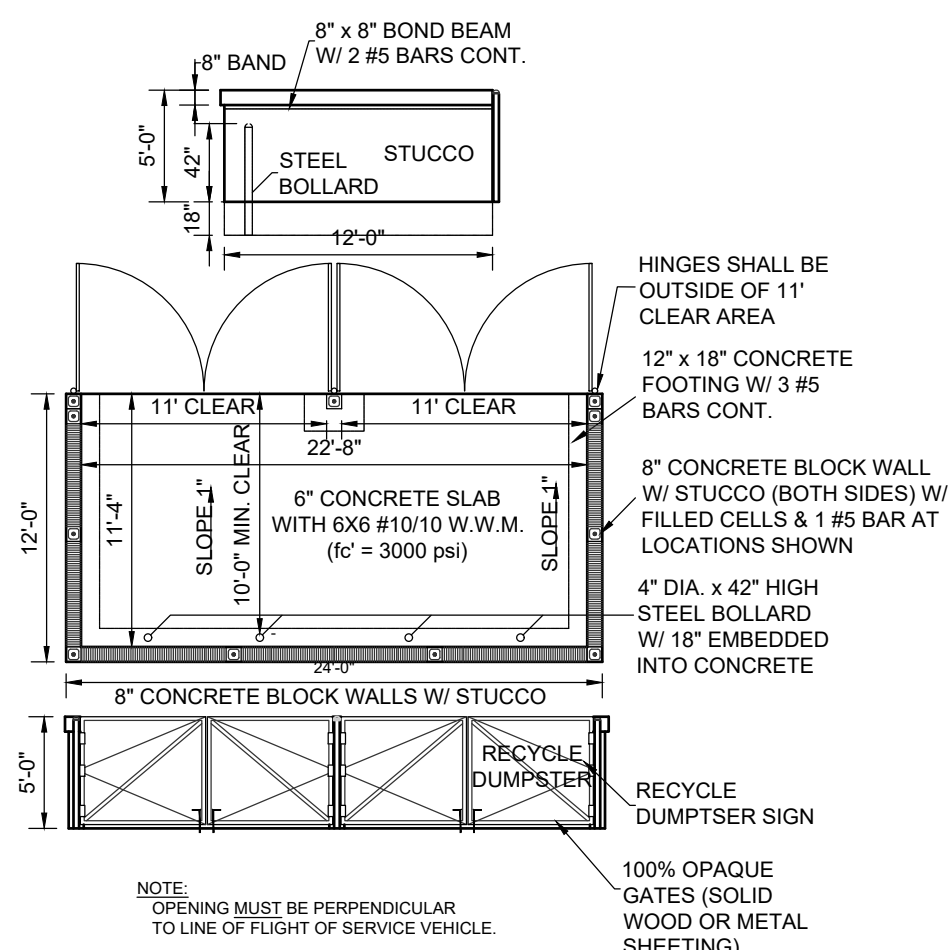
| | | | |
|--|---------------------------------------|--|----------------------------------------|
| | EXISTING METER | | EXISTING ELECTRIC HAND HOLE |
| | PROPOSED SIGN | | PROPOSED DRAINAGE INLET |
| | PROPOSED MITERED END SECTION | | EXIST. DRAINAGE INLET |
| | HANDICAP PARKING SYMBOL | | EXISTING STREET LIGHT |
| | EXISTING CONCRETE | | PROPOSED LIGHT POLE |
| | PROPOSED CONCRETE | | DRAINAGE FLOW ARROW |
| | PROPOSED STANDARD PAVEMENT | | DETECTABLE WARNING (FDOT INDEX 522-00) |
| | PROPOSED HEAVY DUTY PAVEMENT | | PARKING STALL COUNT |
| | USEABLE OPEN SPACE 4,127 S.F. (6.54%) | | EXISTING DRAINAGE |
| | | | PROPOSED DRAINAGE PIPE |

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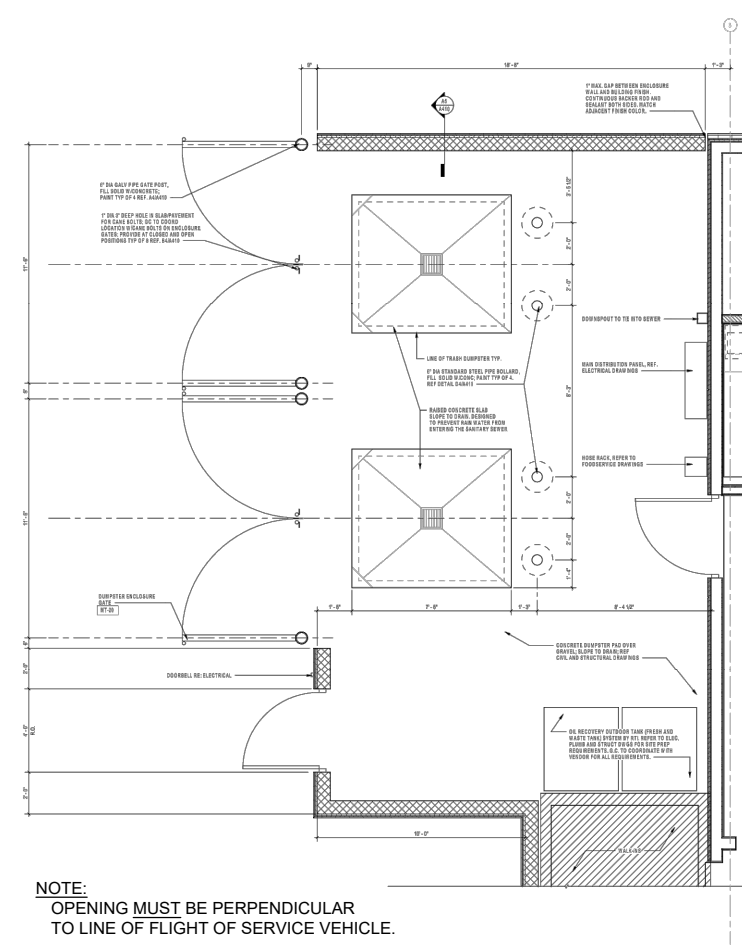
Know what's below.
Call before you dig.
www.callsunshine.com

CITY OF PSL PROJECT #P24-087
PSLUSD PROJECT #6437

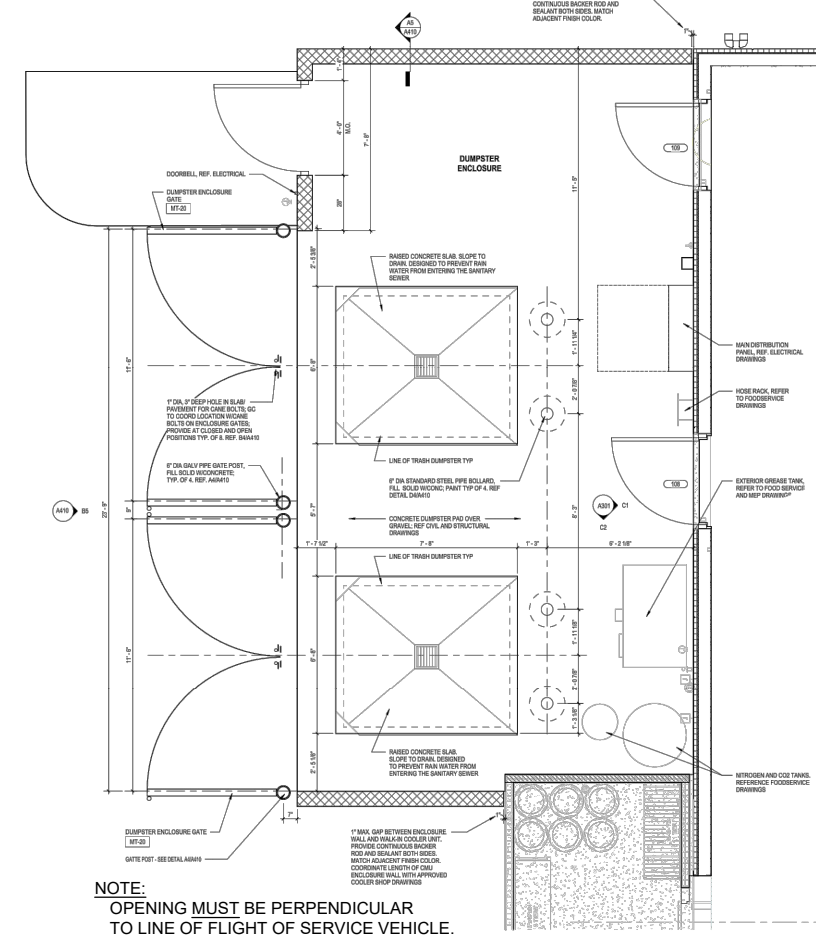
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY EDC, INC. SHALL BE WITHOUT LIABILITY TO EDC, INC.



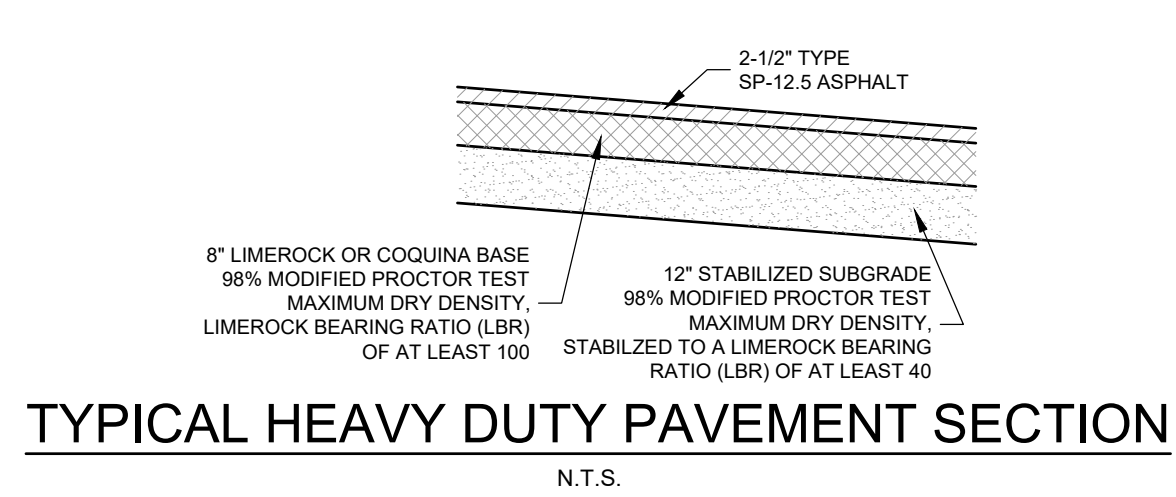
24' x 12' DUMPSTER DETAIL (BUILDING 1 & 2)
N.T.S.



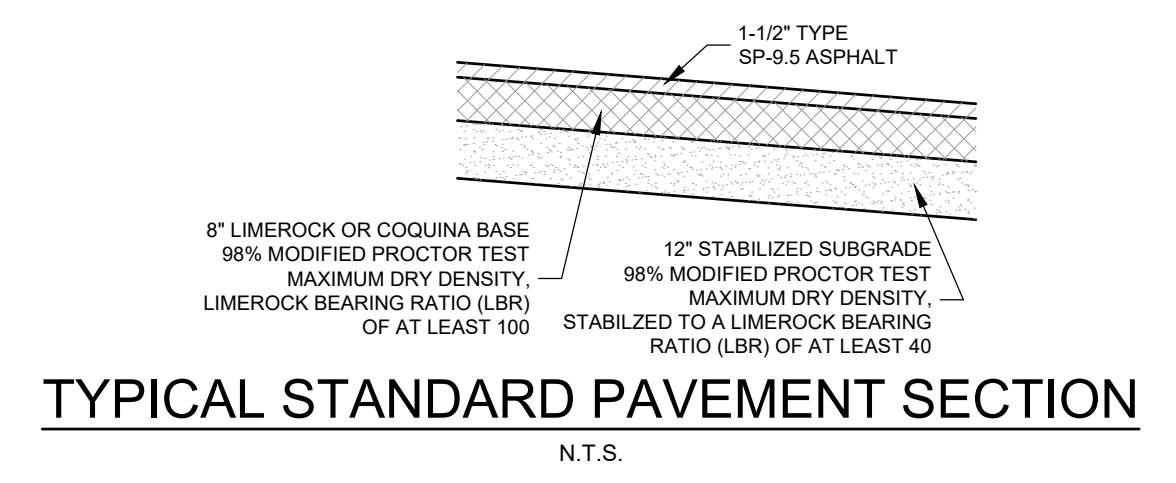
DUMPSTER DETAIL (BUILDING 3)
N.T.S.



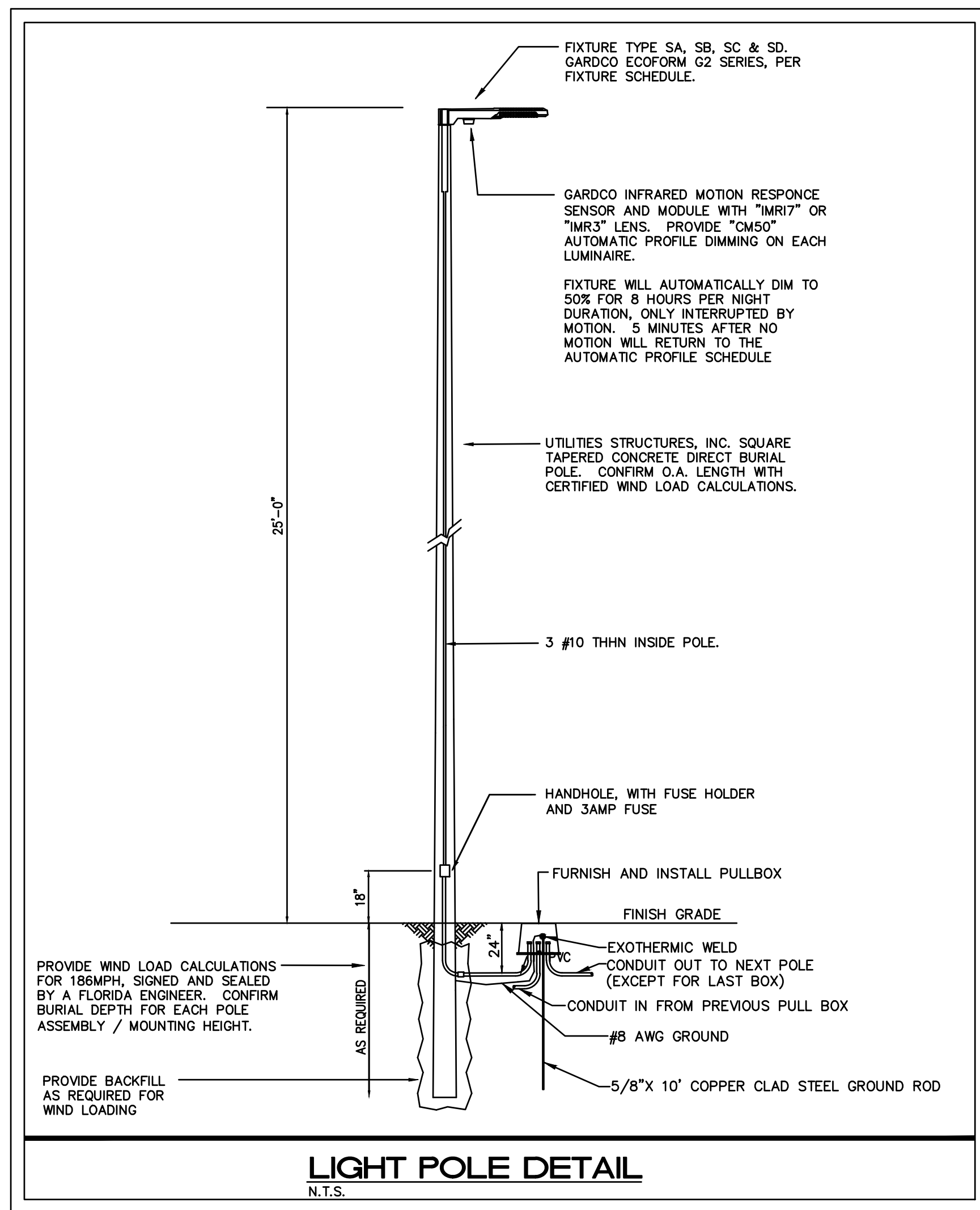
DUMPSTER DETAIL (BUILDING 4)
N.T.S.



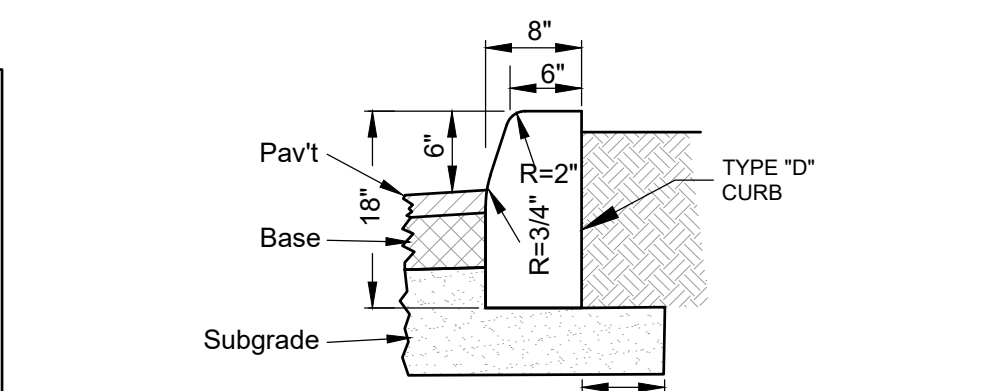
TYPICAL HEAVY DUTY PAVEMENT SECTION
N.T.S.



TYPICAL STANDARD PAVEMENT SECTION
N.T.S.

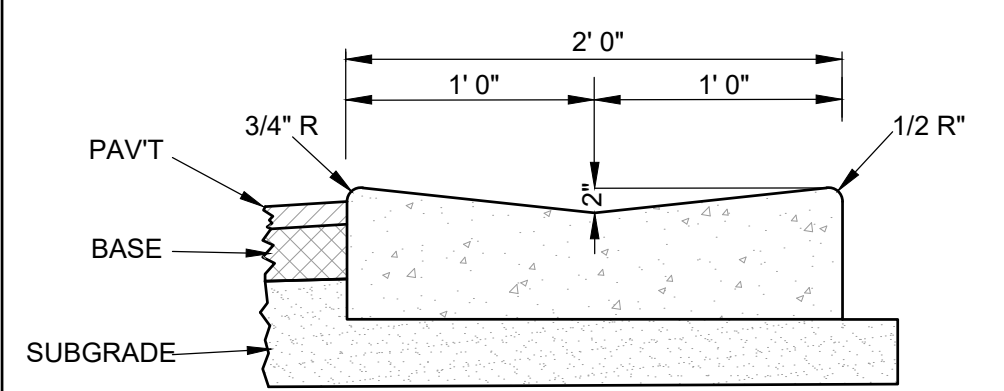


LIGHT POLE DETAIL
N.T.S.



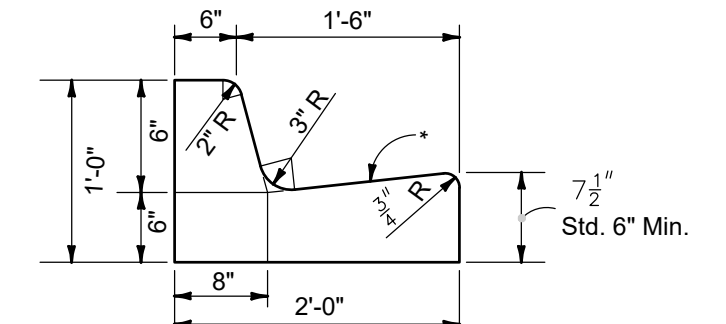
- NOTES:**
- Use 3,000 P.S.I. concrete at 28 days for construction.
 - Subgrade to extend an additional 6" beyond Type "D" Curb.
 - Type "D" Curb to be constructed in accordance with FDOT Index #522-001.

TYPE "D" CURB



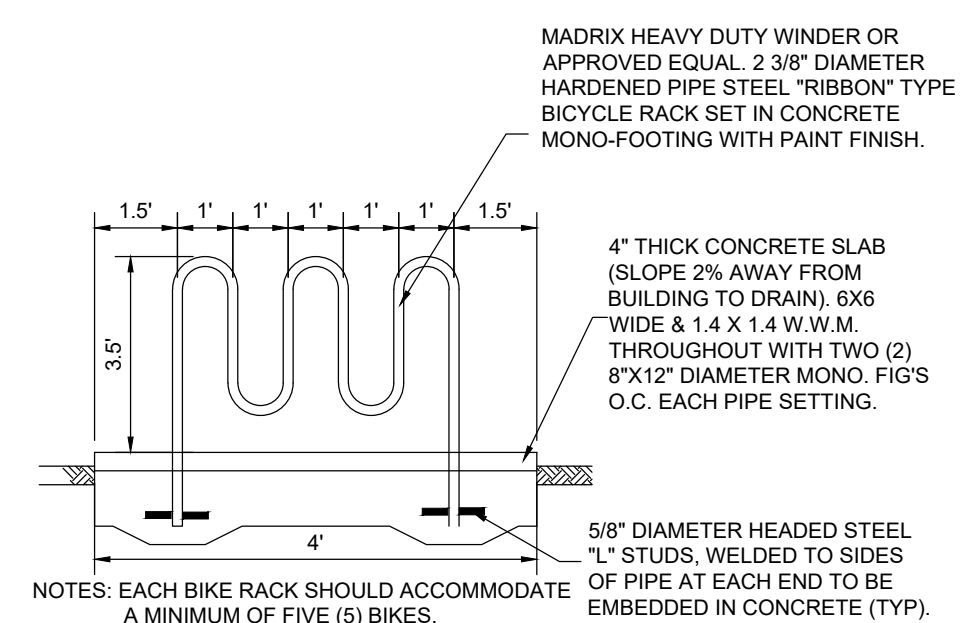
- NOTES:**
- 3,000 P.S.I. CONCRETE AT 28 DAYS

2' VALLEY GUTTER

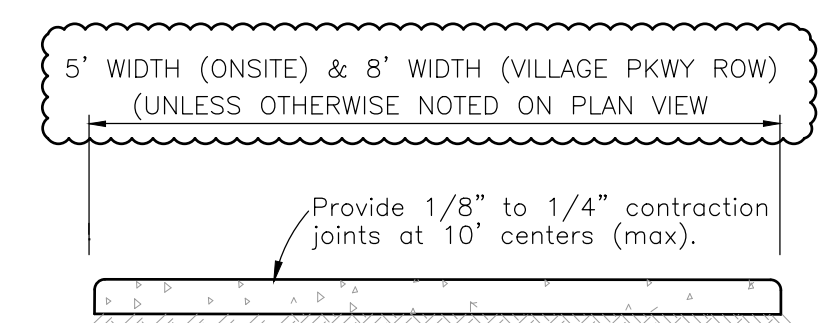


*NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

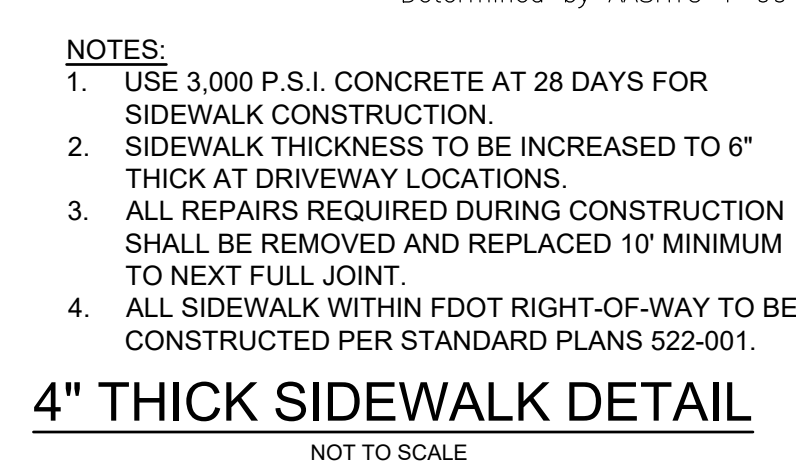
TYPE F-CURB



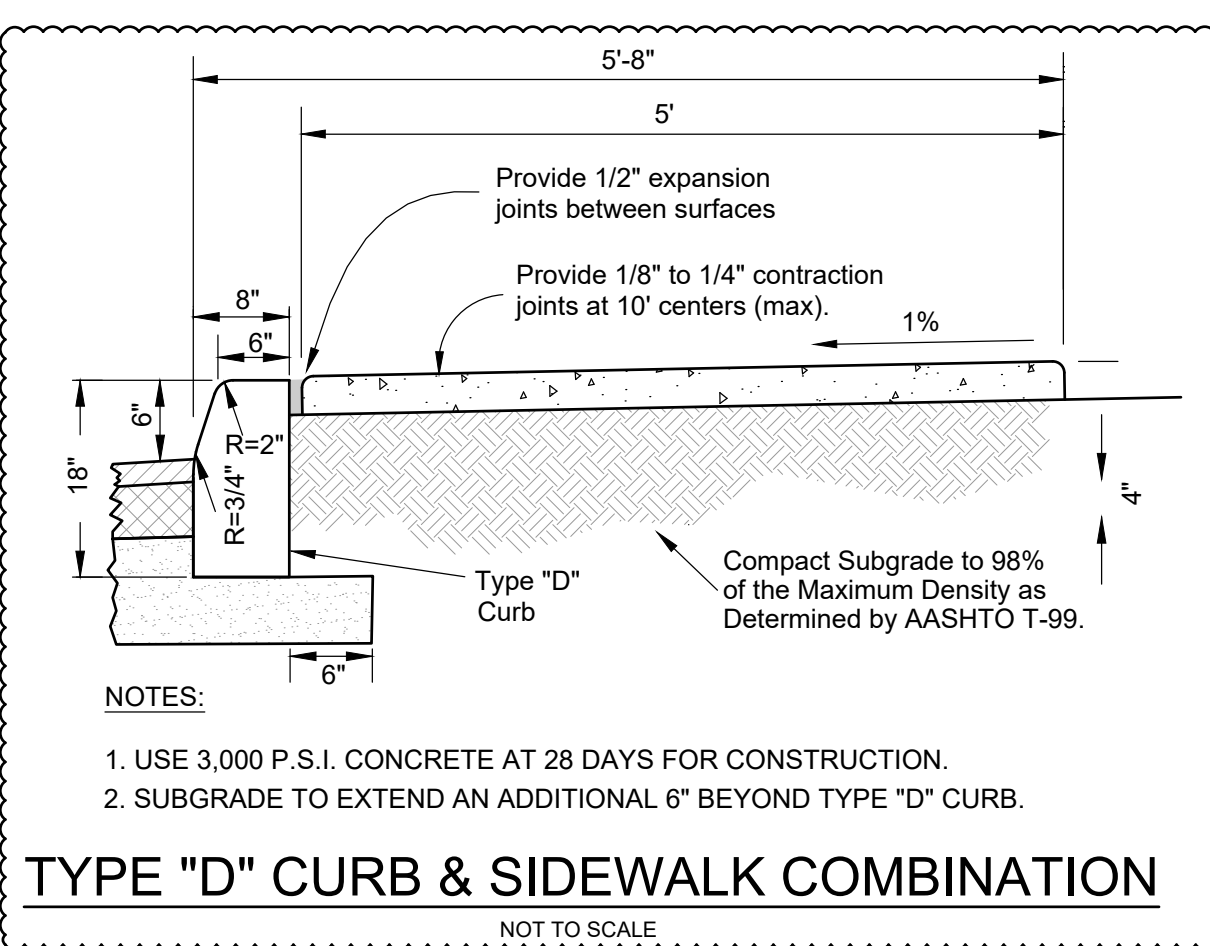
TYPICAL BIKE RACK DETAIL
N.T.S.



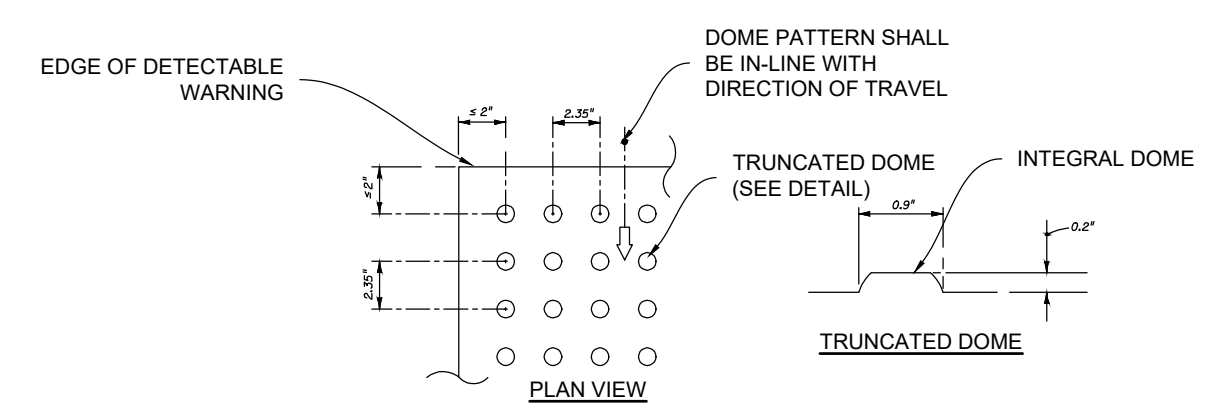
DETECTABLE WARNING



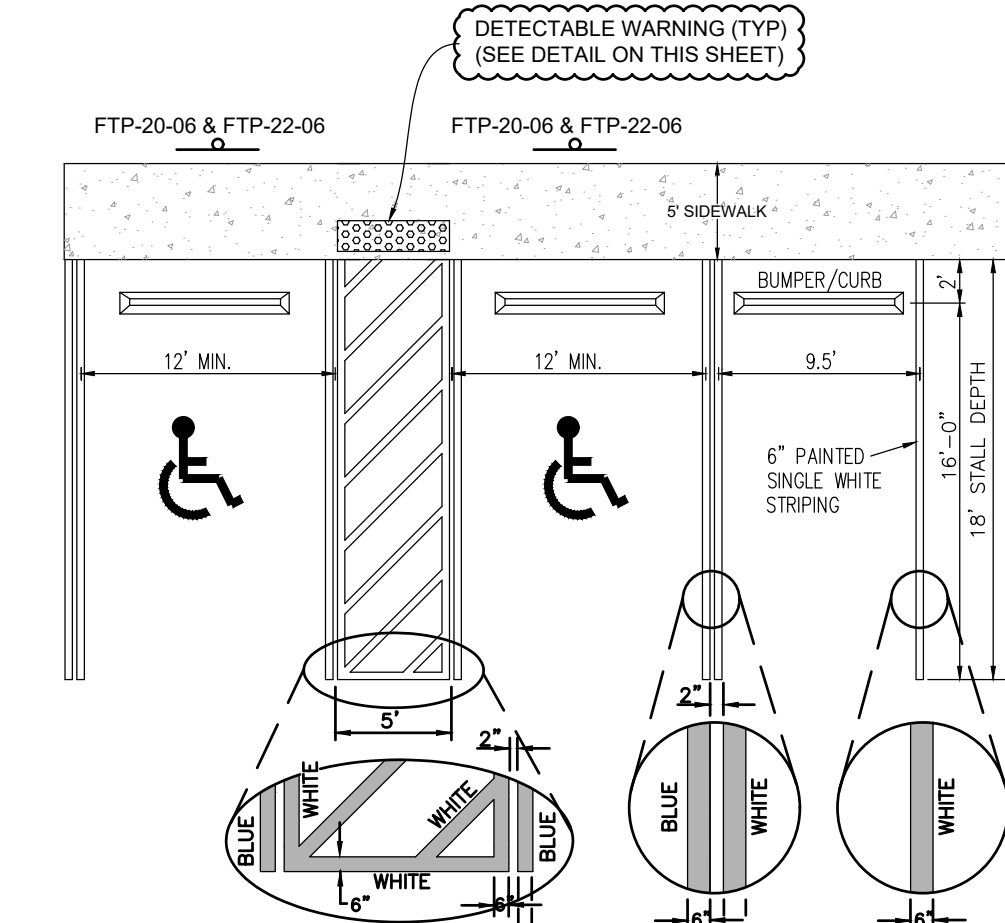
4\"/>



TYPE "D" CURB & SIDEWALK COMBINATION
NOT TO SCALE

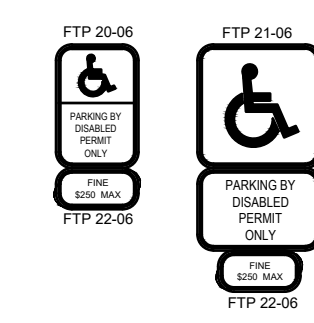


EDGE OF DETECTABLE WARNING



HANDICAPPED SPACE DETAIL 18' PARKING STALL DETAIL

- GENERAL NOTES:**
- ALL PARKING SPACES WITH EXCEPTION OF HANDICAPPED PARKING SPACES SHALL BE MARKED IN WHITE, RETRO-REFLECTIVE TRAFFIC PAINT AND BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2010 SECTION 710.
 - ALL HANDICAPPED PARKING SPACES SHALL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH THE FDOT INDEX 711-001, P.1 2022-24.



| Symbol | Qty | Label | MANUFACT | Description | Av. Lum. Lumens | LFP | Lum. Watts | Total Watts |
|--------|-----|-------|----------|---------------------------------------------|-----------------|-------|------------|-------------|
| | 14 | 1A | Gardco | ECF-5-84L-1A-NW-G2-4-HIS POLE MOUNT 25' AFG | 20481 | 0.000 | 205.9 | 2852.6 |
| | 3 | 1B | Gardco | ECF-5-64L-1A-NW-G2-6W POLE MOUNT 25' AFG | 27330 | 1.000 | 205.9 | 617.7 |
| | 3 | 1C | Gardco | ECF-5-48L-1A-NW-G2-3-HIS POLE MOUNT 25' AFG | 15899 | 0.000 | 108.7 | 476.1 |
| | 1 | 1D | Gardco | ECF-5-32L-1A-NW-G2-3-HIS POLE MOUNT 25' AFG | 10665 | 1.000 | 105.6 | 105.6 |

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772-462-2455
www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
L.B. CERTIFICATE OF AUTHORIZATION 8096

DESIGNED BY: JRH
DRAWN BY: JULY
CHECKED BY: J. J. JENSEN
DATE: 02-25-24

REVISION COMMENTS

INNOVATION RESTAURANT HUB
SITE PLAN DETAILS
PORT ST LUCIE
FLORIDA

EDC
ENGINEERS SURVEYORS
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2 OF 3

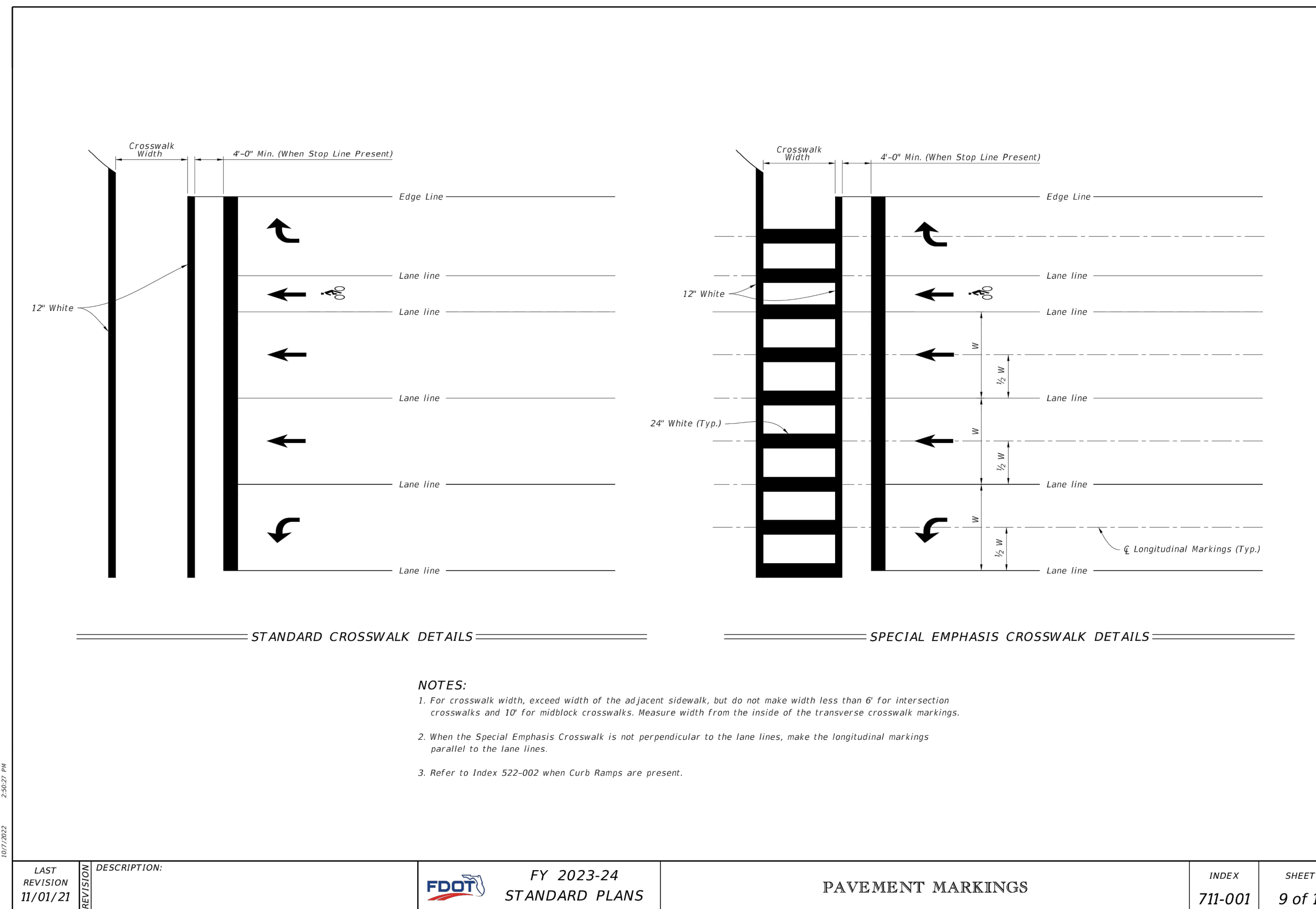
CITY OF PSL PROJECT #P24-087
PSLUSD PROJECT #5437

OFF-SITE LIGHTING NOTES

5/23/2016

ROADWAY AND PEDESTRIAN LIGHTING GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE CITY OF PORT ST. LUCIE PUBLIC WORKS DEPT. TWO (2) FULL BUSINESS DAYS IN ADVANCE OF ANY WORK TO BE CARRIED OUT AT ANY LIGHTING FACILITY. 772-871-5177
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE MOST RECENT VERSION OF FDOT DESIGN STANDARDS UNLESS OTHERWISE SPECIFIED IN THE CITY APPROVED DESIGN OR THESE GENERAL NOTES.
- CONDUCTOR AND/OR CABLE SHALL BE HOUSED IN 2" SCHEDULE 40 CONDUIT AS SHOWN ON APPROVED PLAN SHEETS. PROVIDE ONE SPARE CONDUIT FOR EACH CONDUIT RUN AND ROADWAY CROSSING. EACH SPARE CONDUIT SHALL BE SUPPLIED WITH PULL STRING.
- CONTRACTOR SHALL STAKE ALL POLE LOCATIONS AND REQUEST UTILITY COMPANIES TO LOCATE AND MARK UNDERGROUND FACILITIES PRIOR TO EXCAVATION.
- POLES, LUMINAIRES AND BASES SHALL BE FABRICATED IN ACCORDANCE WITH AASHTO'S "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS" AND SHALL HAVE BEEN TESTED BY FHWA APPROVED METHODS. CERTIFICATION FOR TESTS SHALL BE SUBMITTED WITH THE SHOP DRAWINGS.
- PULLING INSTRUCTIONS: CONNECT PULLING DEVICES TO COPPER WIRE AND NOT TO JACKET AND MEET THE MANUFACTURER'S REQUIREMENTS. USE PULLING COMPOUND PER MANUFACTURER'S REQUIREMENTS. ALL BENDS SHALL NOT BE LESS THAN THE MANUFACTURER'S REQUIREMENTS.
- ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, THE NATIONAL ELECTRICAL SAFETY CODE AND THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. ALL COMPONENTS SHALL BE PROPERLY GROUNDED AND BONDED PER N.E.C. REQUIREMENTS.
- IN LOCATIONS WHERE UNDERGROUND UTILITIES ARE IN CLOSE PROXIMITY TO LIGHTING POLES OR CONDUIT RUNS, AS DETERMINED BY THE ENGINEER, THE CONTRACTOR SHALL HAND DIG THE FIRST 4' OF THE HOLE FOUNDATION AND CONDUIT RUN.
- HAND HOLE COVERS FOR POLES AND TRANSFORMER BASES SHALL BE LOCATED OPPOSITE APPROACHING TRAFFIC.
- THE WIRES AT THE POLE HAND HOLES AND PULL BOXES SHALL BE LOOPEL IN THE POLE AND PULL BOXES WITH SUFFICIENT LENGTH TO COMPLETELY REMOVE CONNECTORS AND SPLICES ONE (1.00) FOOT OUTSIDE THE HAND HOLE AND PULL BOXES TO MAKE CONNECTIONS AND SPLICES ACCESSIBLE FOR CHANGING FUSES AND TROUBLESHOOTING THE SYSTEM.
- ALL CONDUCTOR AND/OR WIRE CONNECTIONS SHALL BE BUTT SPLICED AND WATERPROOF. WIRE NUTS WILL NOT BE ACCEPTED.
- EACH POLE SHALL BE EQUIPPED WITH AN ACCESSIBLE FUSE AND FUSE HOLDER WITH PROTECTIVE BOOTS.
- EACH POLE SHALL BE EQUIPPED WITH A LIGHTNING SURRESTOR THAT IS PROPERLY GROUNDED.
- A PULL BOX SHALL BE INSTALLED AT EACH POLE LOCATION. PULL BOX SHOULD BE LOCATED 2' MAX FROM POLE UNLESS OTHERWISE DIRECTED BY PROJECT ENGINEER. EACH PULL BOX SHALL BE SUPPLIED WITH A GROUNDING ROD AND EACH POLE SHALL BE PROPERLY GROUNDED.
- ALL STREET LIGHTING AND PEDESTRIAN LIGHTING PULL BOXES SHALL BE ARMORCAST PRODUCTS COMPANY #A6001946TAPXX12 POLYMER CONCRETE BOX WITH NON-METALLIC LID AND NON-SKID SURFACE. LID MUST BE STAMPED "STREET LIGHTING". BOX DIMENSIONS ARE 13W X 24L X 12H. 20K WITH OPEN BOTTOM. LID MUST BE FASTENED TO BOX.
- INSTALLATION OF PULL BOXES WITHIN THE SIDEWALK SHOULD BE AVOIDED WHENEVER POSSIBLE, BUT IF NECESSARY, SHALL BE APPROVED BY CITY OF PORT ST LUCIE PUBLIC WORKS PRIOR TO WORK BEING CONDUCTED AND SHALL BE FLUSH WITH SIDEWALK. PULL BOXES SHALL NEVER BE PLACED WITHIN SIDEWALK RAMPS OR ROADWAY.
- THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND ALL EXISTING UTILITIES, INCLUDING OVERHEAD POWER LINES.
- LOCATIONS OF UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO EXCAVATION.
- CONTACT SUNSHINE ONE CALL OF FLORIDA AT 811 OR SUNSHINE811.COM AT LEAST TWO (2) FULL BUSINESS DAYS BEFORE DIGGING.
- THE CONTRACTOR SHALL COORDINATE WITH FLORIDA POWER AND LIGHT TO DETERMINE ELECTRICAL SERVICE FEED LOCATION.
- ENERGY EFFICIENT LIGHTING TECHNOLOGIES SUCH AS LIGHT EMITTING DIODE (LED) SHALL BE CONSIDERED AND SHOULD BE GIVEN PREFERENCE. INCANDESCENT LIGHTING WILL ONLY BE APPROVED BY THE CITY UNDER UNIQUE CIRCUMSTANCES AND WILL REQUIRE APPROPRIATE JUSTIFICATION SEPARATE FROM PROJECT COST.
- THE LIGHTING SYSTEM WILL BE MAINTAINED BY THE CITY ONLY AFTER FINAL ACCEPTANCE.
- ALL LIGHTING PLANS, SUBMITTAL DATA AND LIGHTING SHOP DRAWINGS SHALL BE APPROVED BY CITY OF PORT ST LUCIE PUBLIC WORKS PRIOR TO THEIR USE. NO CHANGES TO THE APPROVED LIGHTING PLAN, EQUIPMENT SPECIFICATIONS OR INSTALLATION DETAILS SHALL BE MADE WITHOUT PRIOR APPROVAL BY CITY OF PORT ST LUCIE PUBLIC WORKS.
- IN ADDITION TO THE ABOVE GENERAL NOTES, IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER TO ENSURE ADDITIONAL GENERAL NOTES AND PAY ITEM FOOT NOTES SPECIFIC TO THE PROJECT ARE INCLUDED IN THE CONSTRUCTION PLANS AND SUBMITTED FOR CITY APPROVAL.



PEDESTRIAN CROSSWALK PAVEMENT MARKINGS

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L.B. CERTIFICATE OF AUTHORIZATION 8098

| | |
|-------------|----------|
| DESIGNED BY | JRW |
| DRAWN BY | JLW |
| CHECKED BY | JLW |
| DATE | 02/25/24 |

| | |
|-------------------|----------|
| REVISION COMMENTS | |
| DATE | 02/25/24 |

INNOVATION RESTAURANT HUB

FLORIDA

PORT ST LUCIE

SITE PLAN DETAILS

ENGINEERS SURVEYORS ENVIRONMENTAL LAND PLANNERS INTERIOR DESIGNERS

10250 SW VILLAGE PARKWAY - SUITE 201
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3 OF 3

