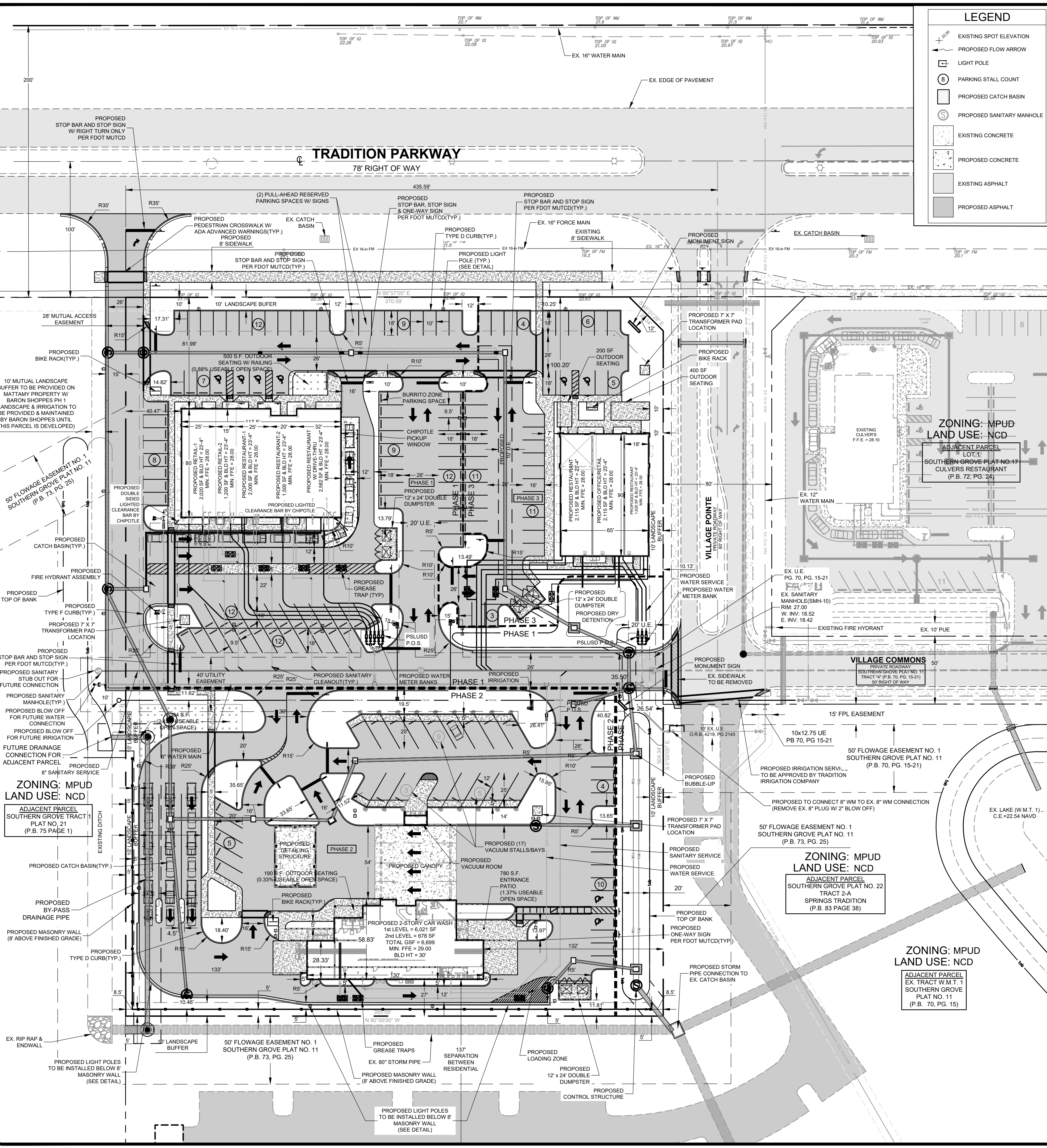


THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY EDC, INC. SHALL BE WITHOUT LIABILITY TO EDC, INC.



LEGEND

- EXISTING SPOT ELEVATION
- PROPOSED FLOW ARROW
- LIGHT POLE
- PARKING STALL COUNT
- PROPOSED CATCH BASIN
- PROPOSED SANITARY MANHOLE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING ASPHALT
- PROPOSED ASPHALT

PARKING INFORMATION: NOTE: ALL PARKING SHARED W/ CROSS ACCESS EASEMENT

PHASE 1:
 PROPOSED RESTAURANT W/ DRIVE THRU - PHASE 1
 (2,500 GSF + 400 GSF OUTDOOR SEATING @ 1 SPACE PER 100 GSF)
 TOTAL PARKING REQUIRED 31 STALLS

PHASE 2:
 PROPOSED RESTAURANT-1 - PHASE 1
 (2,000 GSF @ 1 SPACE PER 100 GSF)
 TOTAL PARKING REQUIRED 20 STALLS

PHASE 3:
 PROPOSED RESTAURANT-2 - PHASE 1
 (1,500 GSF @ 1 SPACE PER 100 GSF)
 TOTAL PARKING REQUIRED 15 STALLS

PHASE 4:
 PROPOSED RETAIL-1 - PHASE 1
 (2,020 GSF @ 4 SPACE PER 1,000 GSF)
 TOTAL PARKING REQUIRED 8 STALLS

PHASE 5:
 PROPOSED RETAIL-2 - PHASE 1
 (1,200 GSF @ 4 SPACE PER 1,000 GSF)
 TOTAL PARKING REQUIRED 5 STALLS

TOTAL PH 1 PARKING REQUIRED 79 STALLS
TOTAL PH 1 PARKING PROVIDED 81 STALLS
 REQUIRED HANDICAP 4 STALL
 PROVIDED HANDICAP 4 STALL

PHASE 2:
 PROPOSED CAR WASH - PHASE 2
 (6,699 GSF INCLUDES 900 SF OFFICE) & 189 GSF OUTDOOR SEATING
 (900 GSF @ 1 SPACE PER 200 GSF OFFICE AREA)
 TOTAL PH 2 PARKING REQUIRED 5 STALLS
 TOTAL PH 2 PARKING PROVIDED 5 STALLS
 REQUIRED HANDICAP 1 STALL
 PROVIDED HANDICAP 2 STALLS

PHASE 3:
 PROPOSED RESTAURANT - PHASE 3
 (1,620 GSF W/ 400 SF OUTDOOR SEATING @ 1 SPACE PER 100 GSF)
 TOTAL PARKING REQUIRED 20 STALLS

PHASE 4:
 PROPOSED RESTAURANT - PHASE 3
 (2,115 GSF W/ 200 SF OUTDOOR SEATING @ 1 SPACE PER 100 GSF)
 TOTAL PARKING REQUIRED 23 STALLS

PHASE 5:
 PROPOSED OFFICE/RETAIL BUILDING - PHASE 3
 (2,115 GSF @ 1 SPACE PER 200 GSF)
 TOTAL PARKING REQUIRED 11 STALLS

TOTAL PH 3 PARKING REQUIRED 54 STALLS
TOTAL PH 3 PARKING PROVIDED 40 STALLS
 REQUIRED HANDICAP 2 STALLS
 PROVIDED HANDICAP 2 STALLS

TOTAL PROJECT PARKING REQUIRED 138 STALLS
TOTAL PROJECT PARKING PROVIDED 140 STALLS
 REQUIRED HANDICAP 7 STALLS
 PROVIDED HANDICAP 8 STALLS

BUILDING BREAKDOWN:

PHASE 1:	BUILDING (GSF)	OUTDOOR SEATING (GSF)
RESTAURANT W/ DRIVE-THRU	2,583	500
RESTAURANT-1	2,000	---
RESTAURANT-2	1,500	---
RETAIL-1	2,020	---
RETAIL-2	1,200	---
TOTAL PH 1 GSF:	9,303	500

PHASE 2:	BUILDING (GSF)	OUTDOOR SEATING (GSF)
CARWASH	6,699	189
TOTAL PH 2 GSF:	6,699	189

PHASE 3:	BUILDING (GSF)	OUTDOOR SEATING (GSF)
RESTAURANT	1,620	400
RESTAURANT	2,115	200
OFFICE / RETAIL	2,115	0
TOTAL PH 3 GSF:	5,850	600
TOTAL BUILDOUT GSF:	21,852	1,289

LAND USE - LOT 3

PARCEL SIZE 209,088 S.F. 4.80 AC. 100.00%

PHASE 1 - IMPERVIOUS:	TOTAL BUILDING FOOTPRINT	PAVED AREA	CONCRETE AREA
TOTAL BUILDING FOOTPRINT	9,303 S.F.	0.21 AC.	4.45%
PAVED AREA	53,923.62 S.F.	1.24 AC.	25.79%
CONCRETE AREA	3,476.60 S.F.	0.08 AC.	1.66%
TOTAL PH 1 - IMPERVIOUS:	66,703.22 S.F.	1.53 AC.	31.90%

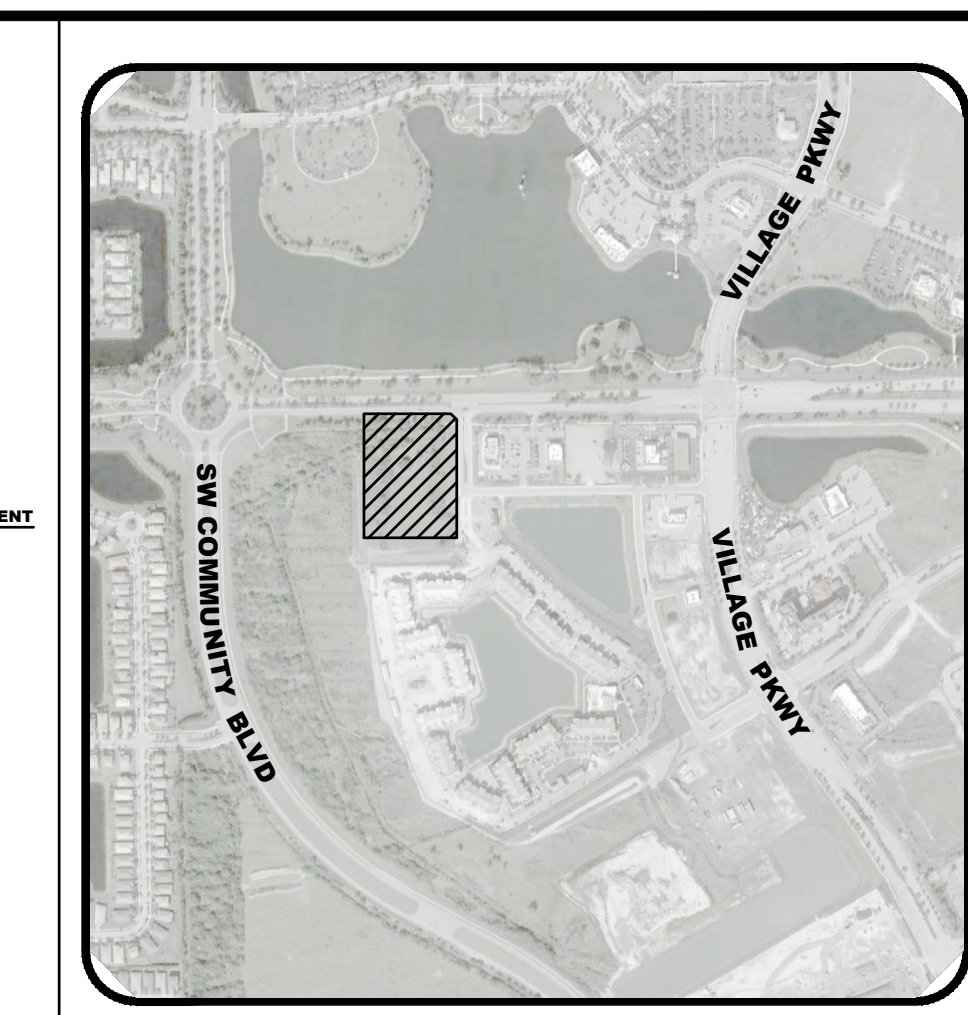
PHASE 2 - IMPERVIOUS:	TOTAL BUILDING FOOTPRINT	PAVED AREA	CONCRETE AREA
TOTAL BUILDING FOOTPRINT	6,021 S.F.	0.14 AC.	2.88%
PAVED AREA	48,738.93 S.F.	1.12 AC.	23.31%
CONCRETE AREA	5,096.61 S.F.	0.12 AC.	2.44%
TOTAL PH 2 - IMPERVIOUS:	59,856.54 S.F.	1.38 AC.	28.63%

PHASE 3 - IMPERVIOUS:	TOTAL BUILDING FOOTPRINT	PAVED AREA	CONCRETE AREA
TOTAL BUILDING FOOTPRINT	5,850 S.F.	0.13 AC.	2.67%
PAVED AREA	16,089.93 S.F.	0.37 AC.	7.70%
CONCRETE AREA	3,550 S.F.	0.08 AC.	1.70%
TOTAL PH 3 - IMPERVIOUS:	25,489.93 S.F.	0.58 AC.	12.19%

TOTAL IMPERVIOUS / PERVIOUS AT BUILDOUT:

TOTAL IMPERVIOUS	152,049.69 S.F.	3.49 AC.	72.72%
PERVIOUS AREA*	57,038.31 S.F.	1.31 AC.	27.28%
DRY DETENTION AREA	7,699 S.F.	0.18 AC.	3.68%
5% USEABLE OPEN SPACE	2,851.92 S.F.	0.07 AC.	(5.00%)

*NOTE: PERVIOUS AREA INCLUDES DRY DETENTION & 5% USEABLE OPEN SPACE



OWNERSHIP:

BARON SHOPPES TRADITION, LLC.
 49 FLAGLER AVE, SUITE 301
 STUART, FL 34994

BUILDING SETBACKS:

FRONT SETBACK = 25'
 SIDE SETBACK = 10'
 REAR SETBACK = 10'

SITE DATA:

PARCEL 1:	4316-504-0001-000-6
PARCEL 2:	4316-504-0002-000-3
PARCEL 3:	4316-504-0003-000-0
SECTION:	16
TOWNSHIP:	37S
RANGE:	29E
ZONING:	MPUD
FUTURE LAND USE:	NEW COMMUNITY DEVELOPMENT
LAND USE:	MIXED USE AREA
MAX BUILDING HEIGHT:	32'-6"

NEAREST FIRE HYDRANTS LOCATED WITHIN 1,000 FT.:

(APPROX. DISTANCE PER GOOGLE MAPS)

- WEST SIDE OF SITE ALONG SW COMMUNITY BLVD. 600 FT.
- EAST SIDE OF SITE ACROSS VILLAGE POINTE 80 FT.
- EAST SIDE OF SITE ALONG VILLAGE COURT 390 FT.
- EAST SIDE OF SITE ALONG VILLAGE COURT 780 FT.

LEGAL DESCRIPTION:

PARCEL 1, SOUTHERN GROVE PLAT NO. 28 (CORRECTIVE PLAT), ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 93, PAGE 22, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, CONTAINING ±0.97 ACRES, MORE OR LESS

PARCEL 2, SOUTHERN GROVE PLAT NO. 28 (CORRECTIVE PLAT), ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 93, PAGE 22, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, CONTAINING ±1.52 ACRES, MORE OR LESS

PARCEL 3, SOUTHERN GROVE PLAT NO. 28 (CORRECTIVE PLAT), ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 93, PAGE 22, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, CONTAINING ±2.31 ACRES, MORE OR LESS

WATER AND SEWER:

WATER SERVICE AND SEWER SERVICE WILL BE UTILIZED TO SERVE THE PROPOSED BUILDING. PROPOSED TO CONNECT TO EXISTING WATER AND SEWER SERVICE PROVIDED BY PSLUSD.

DRAINAGE:

THE SURFACE WATER MANAGEMENT SYSTEM FOR THE PROJECT WILL COLLECT SITE RUNOFF IN A SERIES OF INLETS WHICH WILL ROUTE THE RUNOFF TO PROPOSED DRY DETENTION AREAS. ALL DRAINAGE INFRASTRUCTURE WILL BE COMPLETED DURING PHASE 1.

SOLID WASTE:

BASED ON THE INTENDED USE OF THE BUILDINGS, THIS PROJECT WILL UTILIZE THREE PROPOSED DUMPSTER AREAS FOR SOLID WASTE AND RECYCLABLE ITEMS

HAZARDOUS WASTE:

ALL HAZARDOUS WASTES DISPOSAL SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.

FIRE PROTECTION:

ALL HYDRANTS WITHIN 1000' ARE SHOWN.

WELL FIELD PROTECTION:

THE SUBJECT PARCEL IS NOT LOCATED WITHIN 1000 FEET OF A PUBLIC WATER SUPPLY WELL.

LIGHTING NOTES:

ALL LIGHTING, TO INCLUDE POLE HEIGHTS SHALL BE IN CONFORMANCE WITH THE CITY OF PORT ST LUCIE CODE OF ORDINANCES SEC. 158.221.7.

LANDSCAPE:

LANDSCAPE TO BE PROVIDED BY OTHERS.

ACCESSIBILITY AND ADA COMPLIANCE:

ALL SIDEWALKS AND RAMPS WILL MEET FOOT AND ADA REQUIREMENTS.

ENVIRONMENTAL:

PLEASE REFER TO ENVIRONMENTAL ASSESSMENT COMPLETED BY EDC, INC. ON FEBRUARY 24, 2020.

ENVIRONMENTAL SITE ASSESSMENT TABLE

DESCRIPTION	FOUND (YES/NO)	AGENCY CONTACT INFORMATION	MANAGEMENT PLAN (YES OR NO)	RELOCATION PLAN (YES OR NO)
WETLANDS	NO	NO	NO	NO
RARE SPECIES	NO	N/A	NO	NO
THREATENED SPECIES	NO	N/A	NO	NO
ENDANGERED SPECIES	NO	N/A	NO	NO
LISTED SPECIES	NO	N/A	NO	NO
INVASIVE/EXOTIC VEGETATION	YES	N/A	NO	NO

NOTE: THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08(g).

ENGINEERS & SURVEYORS ENVIRONMENTAL

10250 VILLAGE PARKWAY
 SUITE 201
 PORT ST. LUCIE, FL 34987
 772-462-2455
 www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
 L.B. CERTIFICATE OF AUTHORIZATION 8098

DESIGNED BY	VIEW & ALLOW	DRAWN BY	FILE NAME	SITE PLAN	DATE
JRH			19-370 (REV. 04/10/20)	UNNOT	25/JAN/21

3/AUG/20 REVISED PER CITY COMMENTS

13/JUL/20 ADD & MASONRY WALL TO WEST SIDE OF CARWASH SITE

08/JUL/20 REVISED PER CITY COMMENTS

07/JUL/20 REVISED PER CITY COMMENTS

DATE

FLORIDA

BARON SHOPPES - TRADITION

SITE PLAN AMENDMENT

PORT SAINT LUCIE

19-370

1 OF 2

PSLUSD FILE#5359
 PLANNING & ZONING DEPT.
 SITE PLAN REVIEW #PP20-004-A1

ITE TRIP GENERATION TABLE:

TRAFFIC STATEMENT:
THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE), TRIP GENERATION, 10TH EDITION, LAND USE CODES 948, 934, 933, 918, AND 720 WERE USED TO DETERMINE EXPECTED DAILY TRIP GENERATION RATES FOR THE PROPOSED PROJECT. THE TOTAL SQUARE FOOTAGE OF EACH BUILDING AT BUILD-OUT WAS USED TO OBTAIN THE FOLLOWING RESULT:

PH 1 - RESTAURANT W/ DRIVE THRU 2,583+500 G.S.F. (934)

WEEKDAY -
TOTAL AVG. TRIPS FOR WEEKDAY = 1,450 TRIPS (470.95 X 3.08)
TOTAL A.M. PEAK HOUR TRIPS = 157 TRIPS (50.97 X 3.08)
TOTAL P.M. PEAK HOUR TRIPS = 158 TRIPS (51.36 X 3.08)
SATURDAY -
TOTAL AVG SATURDAY TRIPS = 1,897 TRIPS (616.12 X 3.08)
TOTAL PEAK HOUR SATURDAY TRIPS = 169 TRIPS (54.86 X 3.08)

SUNDAY -
TOTAL AVG SUNDAY TRIPS = 1,455 TRIPS (472.58 X 3.08)
TOTAL PEAK HOUR SUNDAY TRIPS = 170 TRIPS (55.15 X 3.08)

PH 1 - RESTAURANT-1: 2,000 G.S.F. (933)

WEEKDAY -
TOTAL AVG. TRIPS FOR WEEKDAY = 691 TRIPS (346.23 X 2.00)
TOTAL A.M. PEAK HOUR TRIPS = 96 TRIPS (47.66 X 2.00)
TOTAL P.M. PEAK HOUR TRIPS = 98 TRIPS (48.70 X 2.00)
SATURDAY -
TOTAL AVG SATURDAY TRIPS = 1,392 TRIPS (696.00 X 2.00)
TOTAL PEAK HOUR SATURDAY TRIPS = 110 TRIPS (54.60 X 2.00)

SUNDAY -
TOTAL AVG SUNDAY TRIPS = 1,000 TRIPS (500.00 X 2.00)

PH 1 - RESTAURANT-2: 1,500 G.S.F. (933)

WEEKDAY -
TOTAL AVG. TRIPS FOR WEEKDAY = 519 TRIPS (346.23 X 1.50)
TOTAL A.M. PEAK HOUR TRIPS = 71 TRIPS (47.66 X 1.50)
TOTAL P.M. PEAK HOUR TRIPS = 73 TRIPS (48.70 X 1.50)
SATURDAY -
TOTAL AVG SATURDAY TRIPS = 1,044 TRIPS (696.00 X 1.50)
TOTAL PEAK HOUR SATURDAY TRIPS = 82 TRIPS (54.60 X 1.50)

SUNDAY -
TOTAL AVG SUNDAY TRIPS = 750 TRIPS (500.00 X 1.50)

PH 1 - RETAIL (MEDICAL OFFICE)-1: 2,020 G.S.F. (720)

WEEKDAY -
TOTAL AVG. TRIPS FOR WEEKDAY = 70 TRIPS (34.80 X 2.02)
TOTAL A.M. PEAK HOUR TRIPS = 7 TRIPS (3.53 X 2.02)
TOTAL P.M. PEAK HOUR TRIPS = 8 TRIPS (4.10 X 2.02)
SATURDAY -
TOTAL AVG SATURDAY TRIPS = 17 TRIPS (8.57 X 2.02)
TOTAL PEAK HOUR SATURDAY TRIPS = 6 TRIPS (3.10 X 2.02)

SUNDAY -
TOTAL AVG SUNDAY TRIPS = 3 TRIPS (1.42 X 2.02)
TOTAL PEAK HOUR SUNDAY TRIPS = 1 TRIP (0.32 X 2.02)

PH 1 - RETAIL-2: 1,200 G.S.F. (918)

WEEKDAY -
TOTAL AVG. TRIPS FOR WEEKDAY = 1 TRIP (1.21 X 1.20)
TOTAL A.M. PEAK HOUR TRIPS = 2 TRIPS (1.94 X 1.20)
SATURDAY -
TOTAL AVG SATURDAY TRIPS = 17 TRIPS (8.57 X 2.02)
TOTAL PEAK HOUR SATURDAY TRIPS = 6 TRIPS (3.10 X 2.02)

SUNDAY -
TOTAL AVG SUNDAY TRIPS = 3 TRIPS (1.42 X 2.02)
TOTAL PEAK HOUR SUNDAY TRIPS = 1 TRIP (0.32 X 2.02)

PH 1 - RETAIL-2: 1,200 G.S.F. (918)

WEEKDAY -
TOTAL AVG. TRIPS FOR WEEKDAY = 1 TRIP (1.21 X 1.20)
TOTAL A.M. PEAK HOUR TRIPS = 2 TRIPS (1.94 X 1.20)
SATURDAY -
TOTAL AVG SATURDAY TRIPS = 17 TRIPS (8.57 X 2.02)
TOTAL PEAK HOUR SATURDAY TRIPS = 6 TRIPS (3.10 X 2.02)

SUNDAY -
TOTAL AVG SUNDAY TRIPS = 3 TRIPS (1.42 X 2.02)
TOTAL PEAK HOUR SUNDAY TRIPS = 1 TRIP (0.32 X 2.02)

PH 2 - CAR WASH: 6,699 G.S.F. (948)

WEEKDAY -
TOTAL AVG. TRIPS FOR WEEKDAY PEAK = 78 TRIPS (11.66 X 6.7)
SATURDAY -
TOTAL AVG SATURDAY TRIPS = 204 TRIPS (30.40 X 6.7)
SUNDAY -
TOTAL AVG SUNDAY TRIPS = 1,010 TRIPS (500.00 X 2.02)

PH 3 - RESTAURANT: 1,620 + 400 G.S.F. (933)

WEEKDAY -
TOTAL AVG. TRIPS FOR WEEKDAY = 699 TRIPS (346.23 X 2.02)
TOTAL A.M. PEAK HOUR TRIPS = 96 TRIPS (47.66 X 2.02)
TOTAL P.M. PEAK HOUR TRIPS = 98 TRIPS (48.70 X 2.02)
SATURDAY -
TOTAL AVG SATURDAY TRIPS = 1,406 TRIPS (696.00 X 2.02)
TOTAL PEAK HOUR SATURDAY TRIPS = 110 TRIPS (54.60 X 2.02)

SUNDAY -
TOTAL AVG SUNDAY TRIPS = 1,010 TRIPS (500.00 X 2.02)

PH 3 - PROPOSED RESTAURANT: 2,115 + 200 G.S.F. (933)

WEEKDAY -
TOTAL AVG. TRIPS FOR WEEKDAY = 803 TRIPS (346.23 X 2.32)
TOTAL A.M. PEAK HOUR TRIPS = 111 TRIPS (47.66 X 2.32)
TOTAL P.M. PEAK HOUR TRIPS = 113 TRIPS (48.70 X 2.32)
SATURDAY -
TOTAL AVG SATURDAY TRIPS = 1,615 TRIPS (696.00 X 2.32)
TOTAL PEAK HOUR SATURDAY TRIPS = 127 TRIPS (54.60 X 2.32)

SUNDAY -
TOTAL AVG SUNDAY TRIPS = 1,160 TRIPS (500.00 X 2.32)

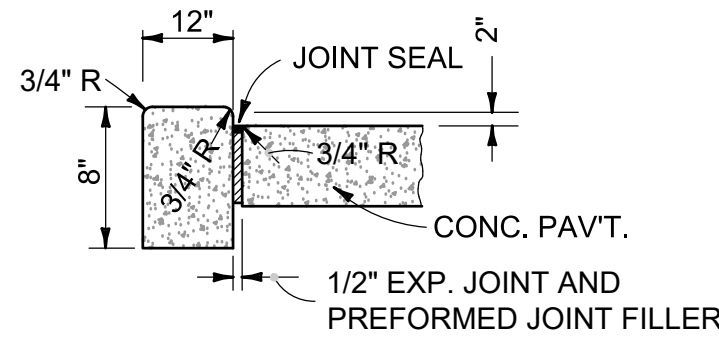
PH 3 PROPOSED OFFICE/RETAIL: 2,115 G.S.F. (720)

WEEKDAY -
TOTAL AVG. TRIPS FOR WEEKDAY = 74 TRIPS (34.80 X 2.12)
TOTAL A.M. PEAK HOUR TRIPS = 7 TRIPS (3.53 X 2.12)
TOTAL P.M. PEAK HOUR TRIPS = 9 TRIPS (4.10 X 2.12)
SATURDAY -
TOTAL AVG SATURDAY TRIPS = 18 TRIPS (8.57 X 2.12)
TOTAL PEAK HOUR SATURDAY TRIPS = 7 TRIPS (3.10 X 2.12)

SUNDAY -
TOTAL AVG SUNDAY TRIPS = 3 TRIPS (1.42 X 2.12)
TOTAL PEAK HOUR SUNDAY TRIPS = 1 TRIP (0.32 X 2.12)

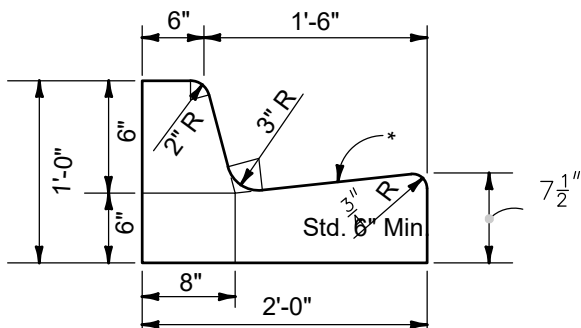
TOTAL TRIP GENERATION FOR ALL USES

WEEKDAY -
TOTAL AVG. TRIPS FOR WEEKDAY = 4,384 TRIPS
TOTAL A.M. PEAK HOUR TRIPS = 546 TRIPS
TOTAL P.M. PEAK HOUR TRIPS = 559 TRIPS
SATURDAY -
TOTAL AVG SATURDAY TRIPS = 7,389 TRIPS
TOTAL PEAK HOUR SATURDAY TRIPS = 832 TRIPS
SUNDAY -
TOTAL AVG SUNDAY TRIPS = 5,381 TRIPS
TOTAL PEAK HOUR SUNDAY TRIPS = 172 TRIPS



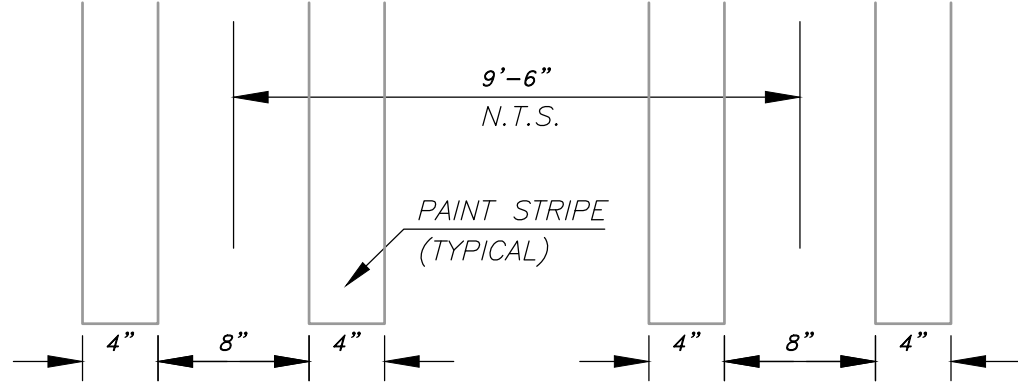
Note:
1. Use 3,000 P.S.I. concrete at 28 days for construction.

FLUSH HEADER CURB

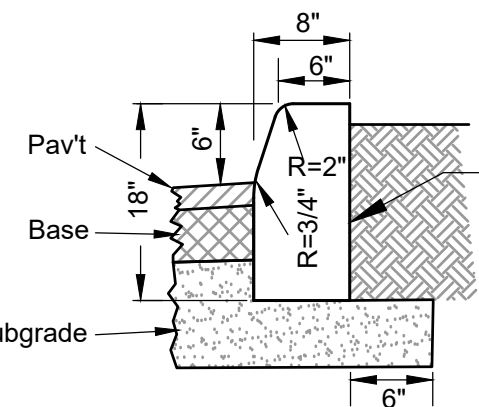


"NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

TYPE F



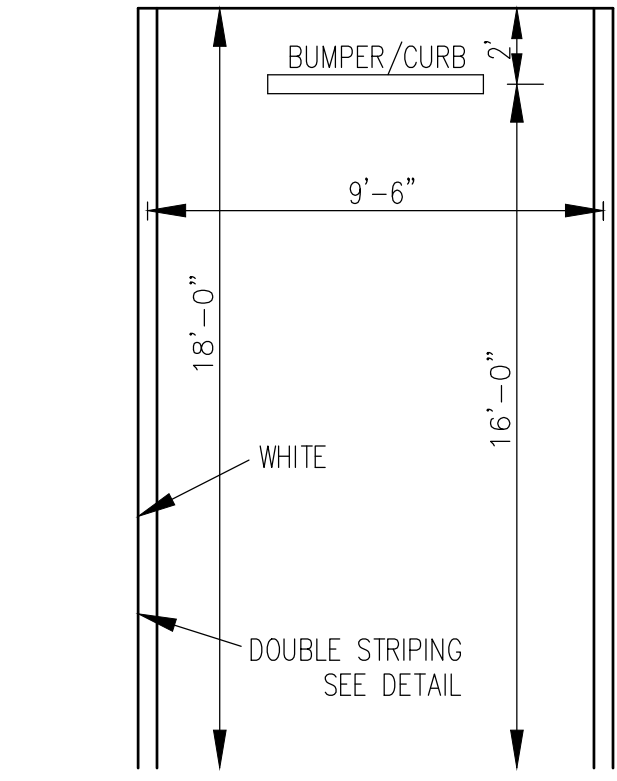
DOUBLE STRIPING DETAIL



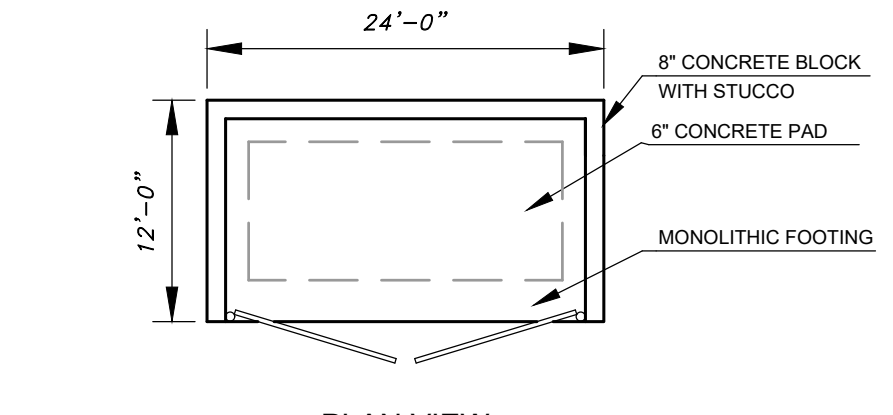
NOTES:

1. Use 3,000 P.S.I. concrete at 28 days for construction.
2. Subgrade to extend an additional 6" beyond Type "D" Curb.
3. Type "D" Curb to be constructed in accordance with FDOT Index #522-001.

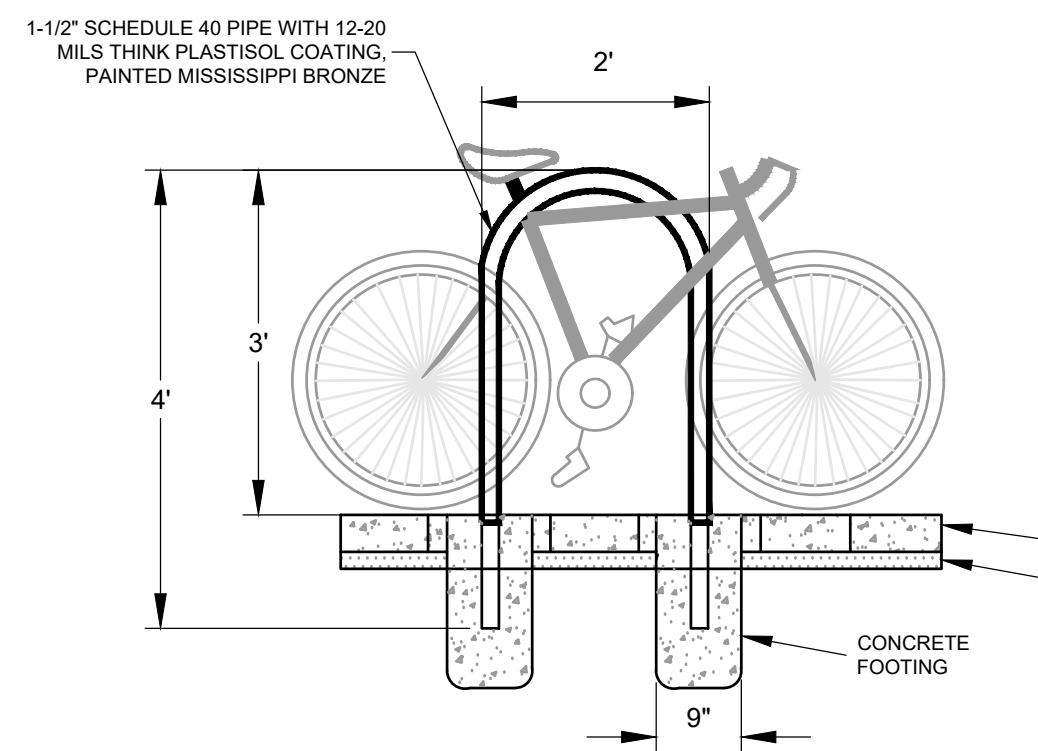
TYPE "D" CURB



18' PARKING STALL DETAIL



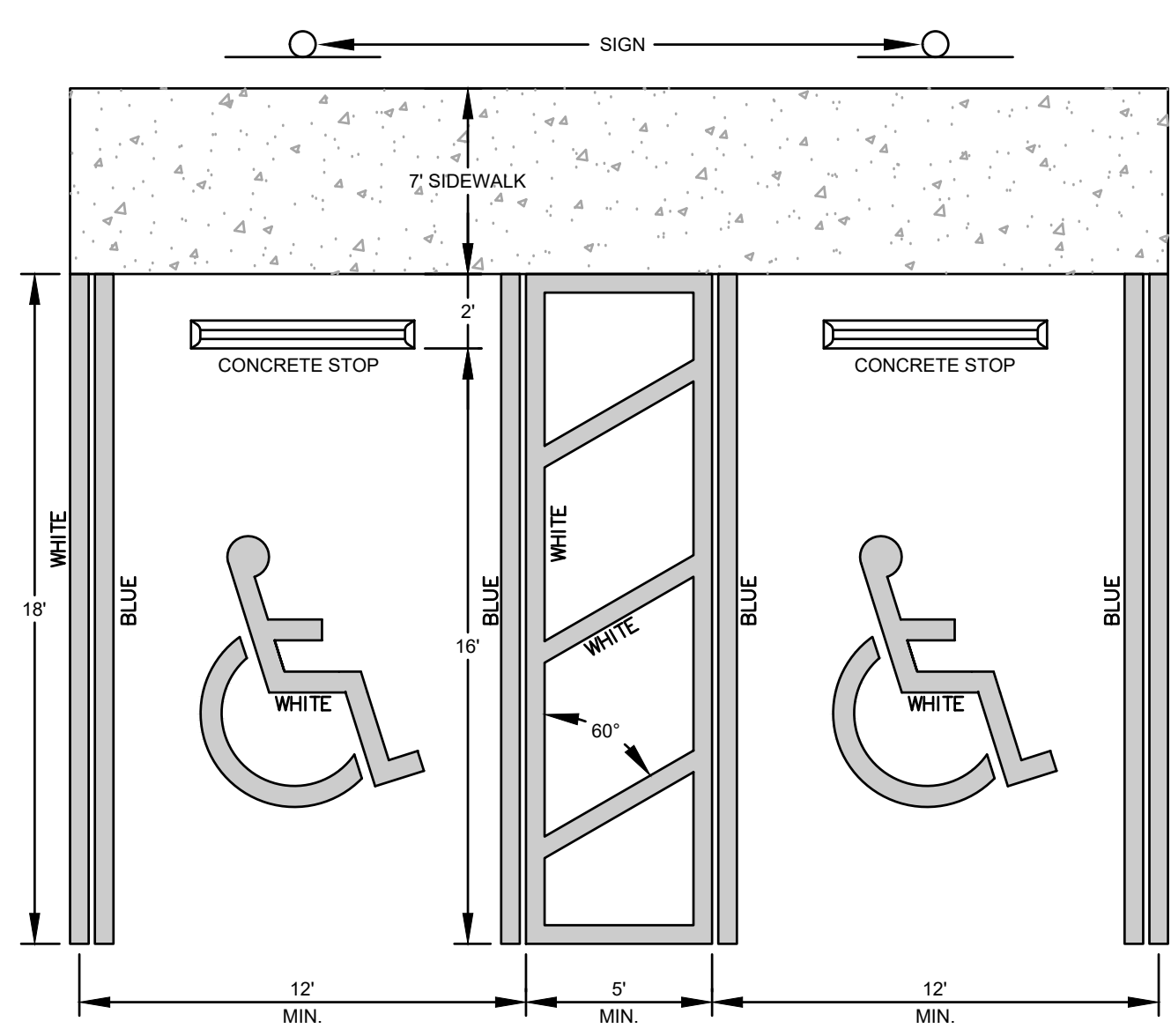
DUMPSTER DETAIL



BIKE RACK DETAIL

- NOTES:**
1. Use 3,000 P.S.I. Concrete At 28 Days for sidewalk construction.
 2. Sidewalk thickness to be increased to 6" thick at driveway locations.
 3. All repairs required during construction shall be removed and replaced 10' minimum to next full joint.

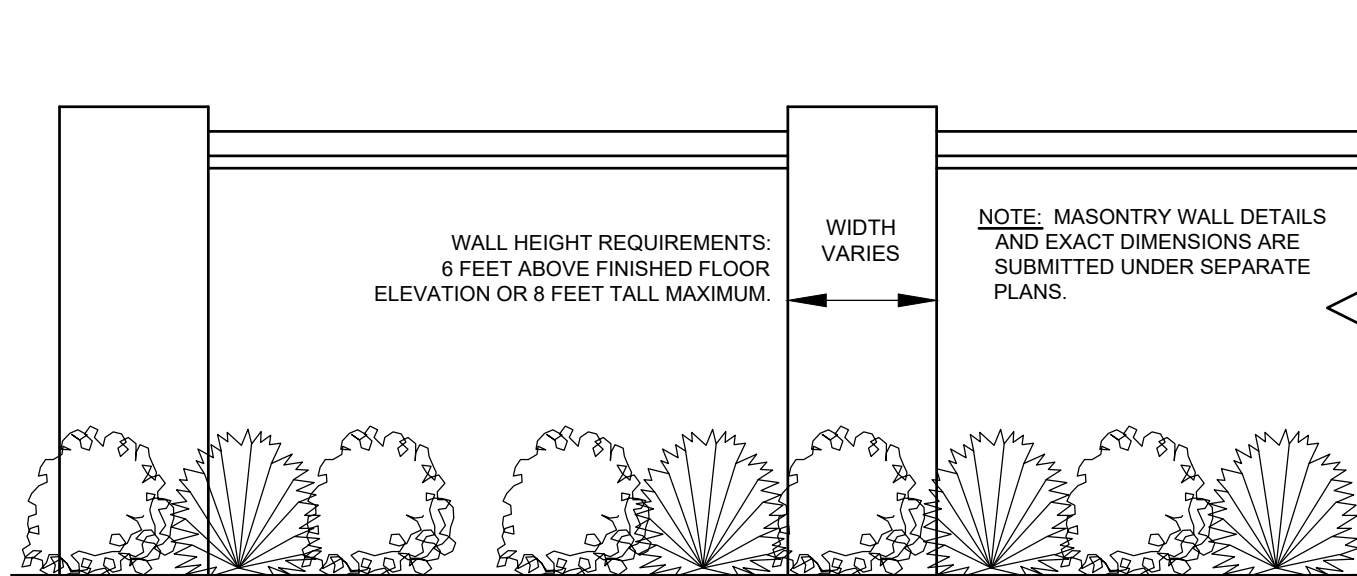
4" THICK SIDEWALK DETAIL



HANDICAPPED SPACE DETAIL



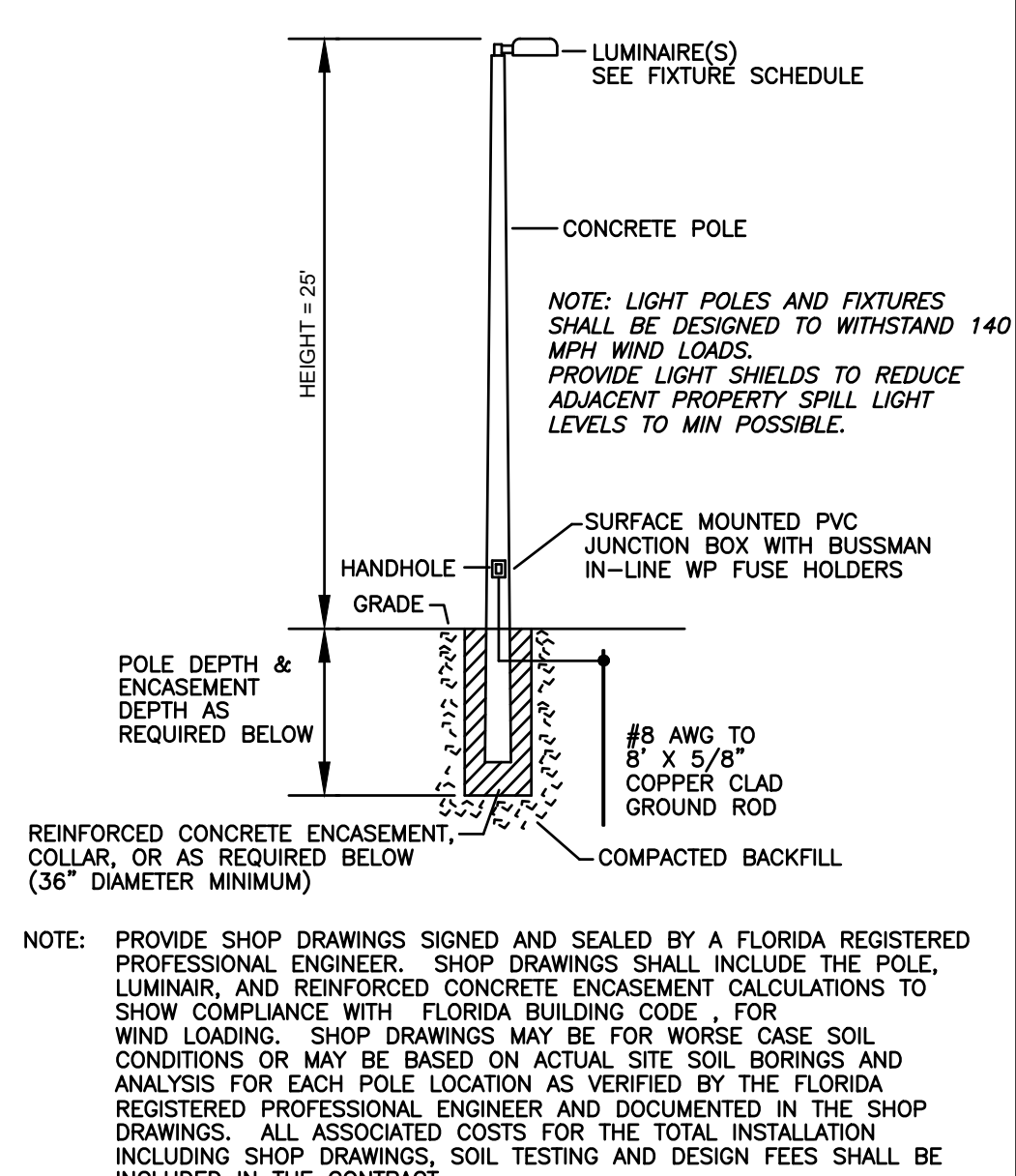
- NOTES:**
1. FTP 20-06: TOP PORTION SHALL HAVE REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 2. FTP 21-06: TOP PORTION SHALL HAVE REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 3. FTP 20-06 IS FOR USE IN AREAS WHERE SPACE IS LIMITED.
 4. FTP 22-06 IS SUPPLEMENTAL PANEL FOR THE FTP 20-06 & FTP 21-06 SIGNS.
 5. HEIGHT SHALL BE 7 FEET MEASURED FROM THE GROUND OR SIDEWALK TO THE BOTTOM OF "PERMIT ONLY" SIGN OR 6 FEET TO THE BOTTOM OF "\$250 FINE" SIGN.
 6. REFER TO FDOT INDEX No. 711-001 FOR PAVEMENT MARKING DETAILS & FDOT INDEX No. 700-102 SIGN DETAILS PER THE LATEST FDOT DESIGN STANDARDS.



TYPICAL LANDSCAPE WALL

Luminaire Schedule	Symbol	Qty	Label	Arrangement	LLF	Description
	SA	14	SA	SINGLE	0.900	Cree Lighting OSO-M-B-16L-40K7-4M-UL-NM-XX / OSO-BLSMF, Single Head
	SB	9	SB	D180	0.900	Cree Lighting OSO-M-B-16L-40K7-5N-UL-NW-XX, 2@180°

Light Housing Fixture
Max height per City of PSL Ordinance 158.221.7.
*Maximum pole height to be 6' when near residential areas.



POLE MOUNTING DETAIL

- NOTE:** PROVIDE SHOP DRAWINGS SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER. SHOP DRAWINGS SHALL INCLUDE THE POLE, LUMINAIR, AND REINFORCED CONCRETE ENCASUREMENT CALCULATIONS TO SHOW COMPLIANCE WITH FLORIDA BUILDING CODE. FOR WIND LOADING SHOP DRAWINGS MAY BE FOR WIND CASE SOIL CONDITIONS OR MAY BE BASED ON ACTUAL SITE SOIL BORINGS AND ANALYSIS FOR EACH POLE LOCATION AS VERIFIED BY THE FLORIDA REGISTERED PROFESSIONAL ENGINEER AND DOCUMENTED IN THE SHOP DRAWINGS. ALL ASSOCIATED COSTS FOR THE TOTAL INSTALLATION INCLUDING SHOP DRAWINGS, SOIL TESTING AND DESIGN FEES SHALL BE INCLUDED IN THE CONTRACT.

ENGINEERS & SURVEYORS ENVIRONMENTAL

10250 VILLAGE PARKWAY
SUITE 201
PORT ST. LUCIE, FL 34987
772-462-2455
www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
L.B. CERTIFICATE OF AUTHORIZATION 8098

DESIGNED BY: _____
DRAWN BY: _____
FILE NAME: 19-370 (R) (1) (1) (R)
DETAILS: _____
LAYOUT: _____
AS SHOWN: _____
SCALE: _____
DATE: 15/AN/20

REVISION COMMENTS
DATE

FLORIDA

**BARON SHOPPES - TRADITION
SITE PLAN AMENDMENT**

PORT SAINT LUCIE

19-370

2 OF 2