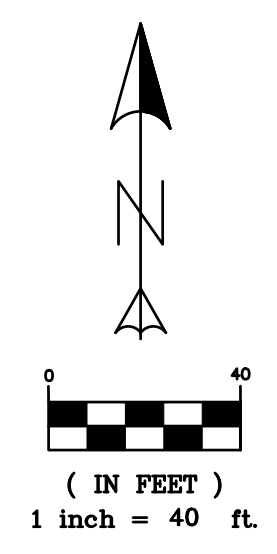
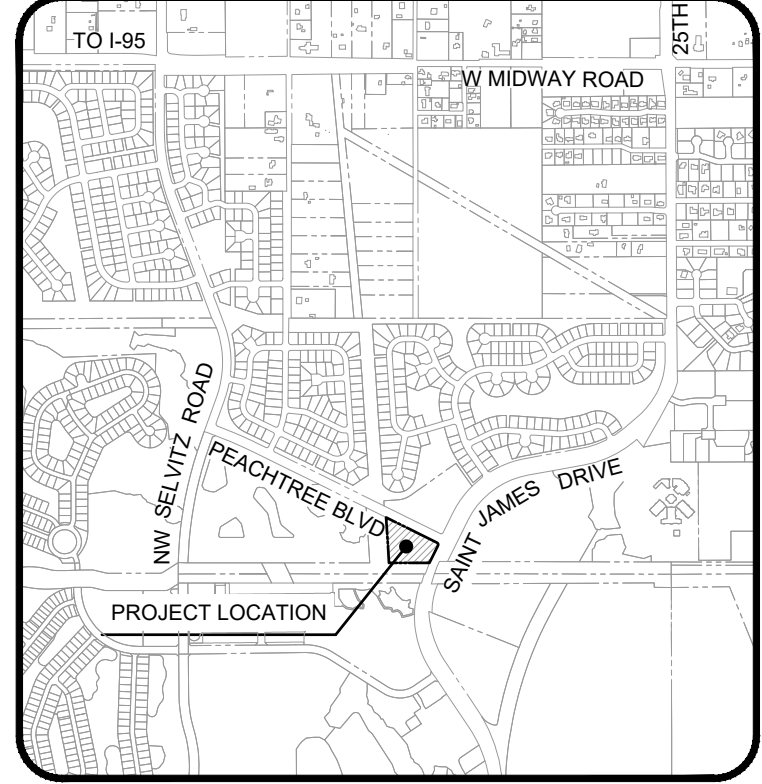


**CALVARY PORT ST. LUCIE TRACT "C"**  
 FIRST REPLAT IN PORT ST. LUCIE SECTION FORTY-EIGHT (PB 26, PG 23)  
 FUTURE LAND USE: I  
 ZONING: I



**LEGEND**

- EXISTING SPOT ELEVATION
- PARKING STALL COUNT
- PROPOSED LIGHT POLE (BY OTHERS)
- EXISTING ASPHALT
- PROPOSED ASPHALT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PART OF PHASE 2 CONSTRUCTION
- PART OF PHASE 3 CONSTRUCTION



**PROJECT STATEMENTS:**

**WATER, SEWER AND IRRIGATION:**  
 WATER SERVICE AND SEWER SERVICE WILL BE PROVIDED BY PSLUSD TO SERVE THE PROPOSED BUILDINGS. PROPOSED POINTS OF CONNECTION AND POINTS OF SERVICE ARE SHOWN ON THIS PLAN.

THIS PLAN IS FOR PRELIMINARY ENGINEERING PURPOSES ONLY. ALL FINAL UTILITY DESIGN AND SIZES TO BE INCLUDED ON CONSTRUCTION LEVEL PLANS FOR APPROVAL BY PSLUSD.

**DRAINAGE:**  
 THE SURFACE WATER MANAGEMENT SYSTEM FOR THE PROJECT WILL COLLECT SITE RUNOFF IN A SERIES OF INLETS WHICH WILL ROUTE THE RUNOFF TO THE PROPOSED DRY DETENTION AREA SIZED TO ACCEPT THE PROPOSED CONNECTION. WATER QUALITY AND ATTENUATION SHALL BE ACHIEVED PER SFWMD CRITERIA PRIOR TO DISCHARGING WEST INTO THE EXISTING CITY OF PORT ST. LUCIE CANAL C-104.

**ENVIRONMENTAL:**  
 THE SUBJECT PARCEL IS COMPRISED OF UPLAND AND WETLAND HABITAT WITH MODERATE EXOTIC VEGETATION THROUGHOUT. AT THE REQUEST OF THE CITY, TREE AND CORNER TORTOISE SURVEYS SHALL BE PERFORMED PRIOR TO DEVELOPMENT APPROVALS. PERMITTING AND MITIGATION WILL BE REQUIRED FROM THE STATE, ARMY CORPS OF ENGINEERS, AND CITY OF PORT ST. LUCIE FOR IMPACTS TO THE EXISTING HERBACEOUS WETLAND.

**SOLID WASTE:**  
 BASED ON THE INTENDED USE OF THE BUILDING, THIS PROJECT WILL UTILIZE A PROPOSED DUMPSTER AREA FOR SOLID WASTE AND RECYCLABLE ITEMS.

**HAZARDOUS WASTE:**  
 ALL HAZARDOUS WASTES DISPOSAL SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.

**FIRE PROTECTION:**  
 ALL HYDRANTS WITHIN 1000' ARE SHOWN.

**WELL FIELD PROTECTION:**  
 THE SUBJECT PARCEL IS NOT LOCATED WITHIN 1000 FEET OF A PUBLIC WATER SUPPLY WELL.

**ACCESSIBILITY AND ADA COMPLIANCE:**  
 ALL SIDEWALKS AND RAMPS WILL MEET FDOT AND ADA REQUIREMENTS.

**SITE LIGHTING:**  
 SITE LIGHTING SHOWN TO SATISFY PLANNING REQUIREMENTS ONLY. A PHOTOMETRIC PLAN WITH APPROVED FIXTURES AND POLE HEIGHTS WILL BE REQUIRED AT THE TIME OF CONSTRUCTION PLAN APPROVAL.

**SITE RESTORATION STATEMENT:**  
 THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (5).

**BUILDING HEIGHT:**  
 MAXIMUM BUILDING HEIGHT FOR PROPOSED 3 STORY ADDITION NOT TO EXCEED 42' AS WAS APPROVED AT APRIL 2ND PLANNING & ZONING BOARD MEETING UNDER PROJECT #P24-029.

PARAPET WALL TO CONCEAL MECHANICAL EQUIPMENT NOT TO EXCEED 9.1' ABOVE ALLOWABLE BUILDING HEIGHT AS WAS APPROVED AT APRIL 2ND PLANNING & ZONING BOARD MEETING UNDER PROJECT #P24-029.

**LEGAL DESCRIPTION:**

PARCEL NO. 3, PEACHTREE PLACE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 41, PAGE 11, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

**DATUM NOTE:**

ALL ELEVATIONS REFERENCE THE NATIONAL ADJUSTED VERTICAL DATUM OF 1988 (N.A.V.D. 88) TO CONVERT INTO N.G.V.D. ADD 1.475 TO N.A.V.D.

**SITE DATA:**

PARCEL SIZE:	167,674 S.F. (3.85 AC.)
PARCEL ID:	3408-602-0004-000-7
SECTION:	03
TOWNSHIP:	36S
RANGE:	40E
ZONING:	CG
LAND USE:	CG
BUILDING COVERAGE:	REQ = 40% MAX PROVIDED = 24.94%
IMPERVIOUS MAX = 80%	PROVIDED = 58.18%
MAX. BLDG HEIGHT (EXISTING):	35'
MAX. BLDG HEIGHT (PROPOSED):	42'

**DEVELOPER/OWNER:**

CALVARY CHAPEL  
 PORT ST LUCIE WEST INC  
 5555 NW SAINT JAMES DR  
 PORT ST LUCIE, FL 34983

**BUILDING SETBACKS:**

FRONT=25'  
 SIDE=25'  
 REAR=20'

**LAND USE TABLE:**

PHASE	TOTAL PARCEL SIZE:	167,674 S.F.	3.85 AC.	100%
PHASE 1	BUILDING AREA:	14,736 S.F.	0.34 AC.	8.79%
	PAVED AREA:	43,655 S.F.	1.00 AC.	26.04%
	CONCRETE AREA:	12,071 S.F.	0.28 AC.	7.20%
	HARD COURT:	8,200 S.F.	0.19 AC.	4.89%
TOTAL IMPERVIOUS:	78,662 S.F.	1.81 AC.	46.91%	
TOTAL PERVIOUS:	89,012 S.F.	2.04 AC.	53.09%	
PHASE 2	BUILDING AREA:	36,433 S.F.	0.84 AC.	21.73%
	PAVED AREA:	43,453 S.F.	1.00 AC.	25.92%
	CONCRETE AREA:	11,853 S.F.	0.27 AC.	7.07%
	PATIO:	690 S.F.	0.02 AC.	0.41%
TOTAL IMPERVIOUS:	92,419 S.F.	2.12 AC.	55.13%	
TOTAL PERVIOUS:	75,255 S.F.	1.73 AC.	44.87%	

**PHASING SCHEDULE:**

PHASE 1 INCLUDES ADMINISTRATION BUILDING, CLASSROOM CONSTRUCTION, BASKETBALL COURT, COVERED WALKWAY, PLAY AREA, AS WELL AS ALL PAVING, DRAINAGE AND UTILITIES. PHASE 2 INCLUDES CONSTRUCTION OF CLASSROOM EXPANSION, GYMNASIUM, AND CANOPY.

NOTE: ALL MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW.

**PARKING INFORMATION**

SCHOOL PARKING (K-12)		
K-8 (2 SPACES PER CLASSROOM, 17 CLASSROOMS)		
9-12 (8 SPACES PER CLASSROOM, 4 CLASSROOMS)		
TOTAL PARKING REQUIRED:		66 STALLS
TOTAL PARKING PROVIDED:		67 STALLS
REQUIRED HANDICAPPED:		3 STALLS
PROVIDED HANDICAPPED:		4 STALLS

NOTE: PRIOR TO SITE PLAN APPROVAL, A FORMAL PARKING AGREEMENT IS REQUIRED WITH THE NEIGHBORING CHURCH PROPERTY TO ASSURE THAT THERE IS AMPLE PARKING FOR THE SCHOOL USE.

IF THE TEMPORARY HIGH SCHOOL USE IS INTENDED TO BECOME PERMANENT OR LAST LONGER THAN FOUR (4) YEARS, A SPECIAL EXCEPTION USE MODIFICATION AND SITE PLAN MODIFICATION SHALL BE REQUIRED.

IF THE TEMPORARY HIGH SCHOOL USE EXPANDS BEYOND 4 CLASSROOMS, A SITE PLAN AMENDMENT WILL BE REQUIRED TO CONSIDER AVAILABILITY OF PARKING.

PSLUSD FILE#5261  
**CITY OF PORT SAINT LUCIE**  
 SITE PLAN REVIEW #P19-160-A1



PORT SAINT LUCIE OFFICE  
 10250 SW VILLAGE PARKWAY - SUITE 201  
 PORT SAINT LUCIE, FL 34987  
 772-462-2455  
 www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935  
 L.B. CERTIFICATE OF AUTHORIZATION 9099

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 FILENAME  
 Site Plan  
 LAYOUT  
 AS SHOWN  
 SCALE  
 28MAR24  
 DATE

**CALVARY CHRISTIAN ACADEMY**  
**MAJOR SITE PLAN AMENDMENT**

PORT ST. LUCIE

FLORIDA

J.R. HARRISON, P.E. (DATE)  
 #82270  
  
 10250 SW VILLAGE PARKWAY - SUITE 201  
 PORT SAINT LUCIE, FL 34987  
 772-462-2455

24-112

1 OF 2

DATE \_\_\_\_\_ REVISION COMMENTS \_\_\_\_\_

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