

Carport Variance P25-086 702 SW Abode Ave PSL 34953

By Jared Greenberg

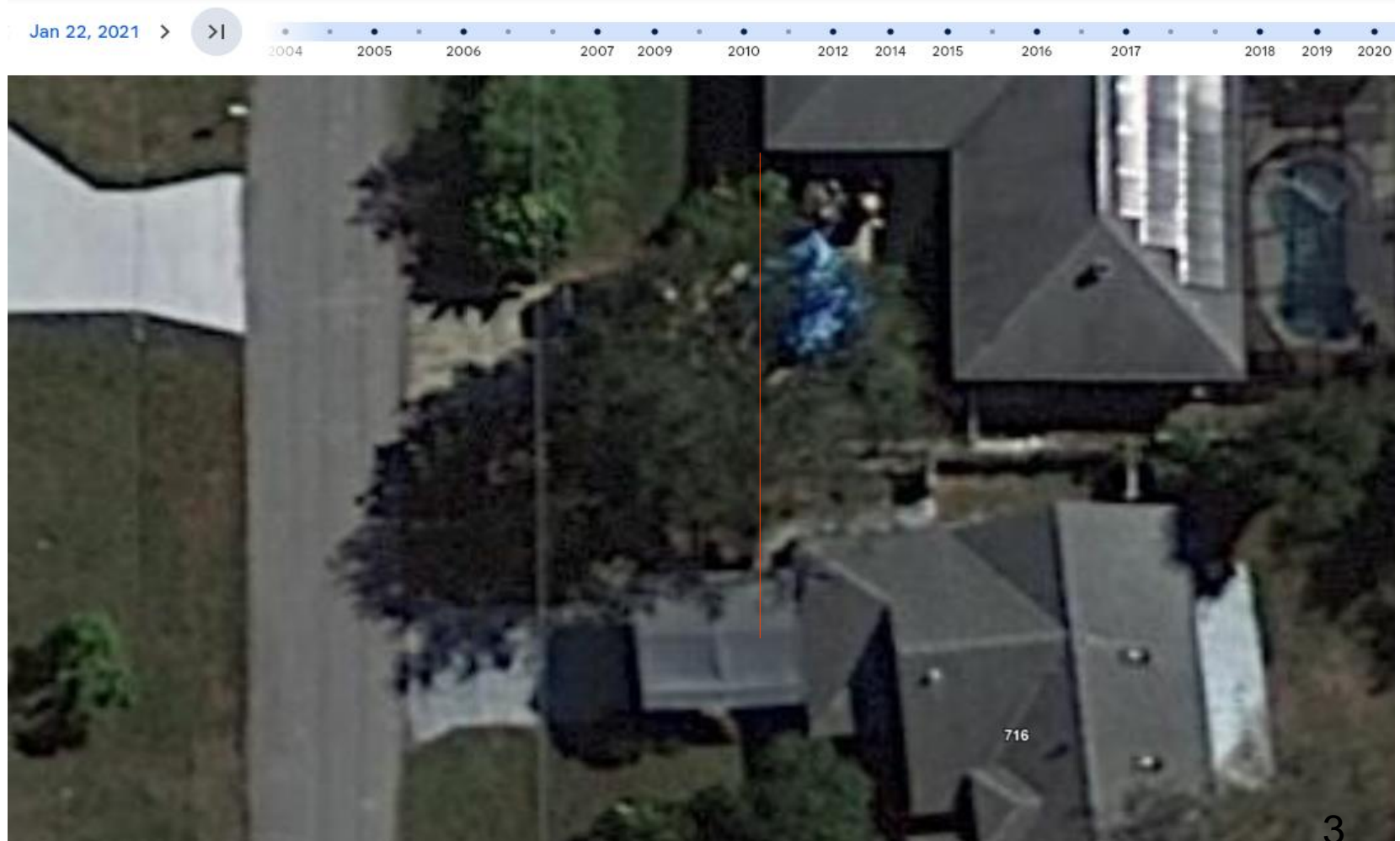
9/25/25

<https://www.skylifthardware.com/18-36-inch-heavy-duty-roof-risers-p/hd-extended.htm>

I would like to build something better then this. My wonderful next door neighbor



This is ok? Because it is temporary?



Notice my neighbors temporary carport is within the 25 feet front setback, red line is the setback.

Is this allowed because it is "temporary"?

The General Layout of the carport

- 6x6 posts
- Skylift system



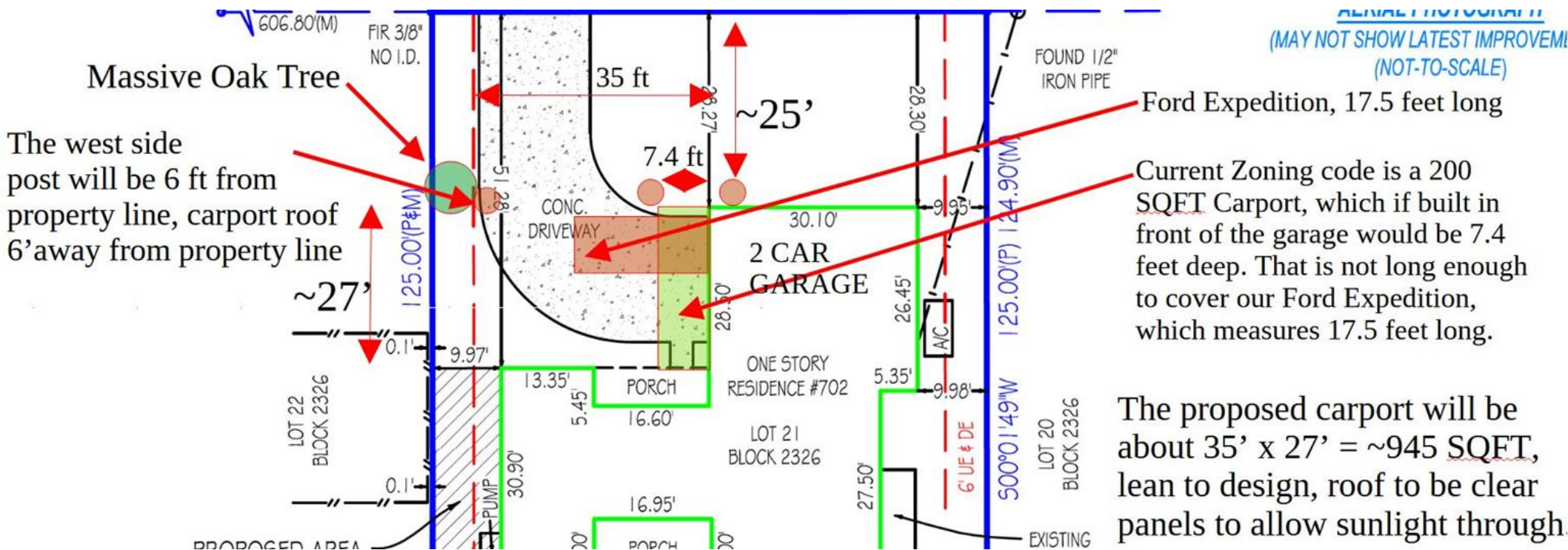
Roof View of the carport



Side View of the carport

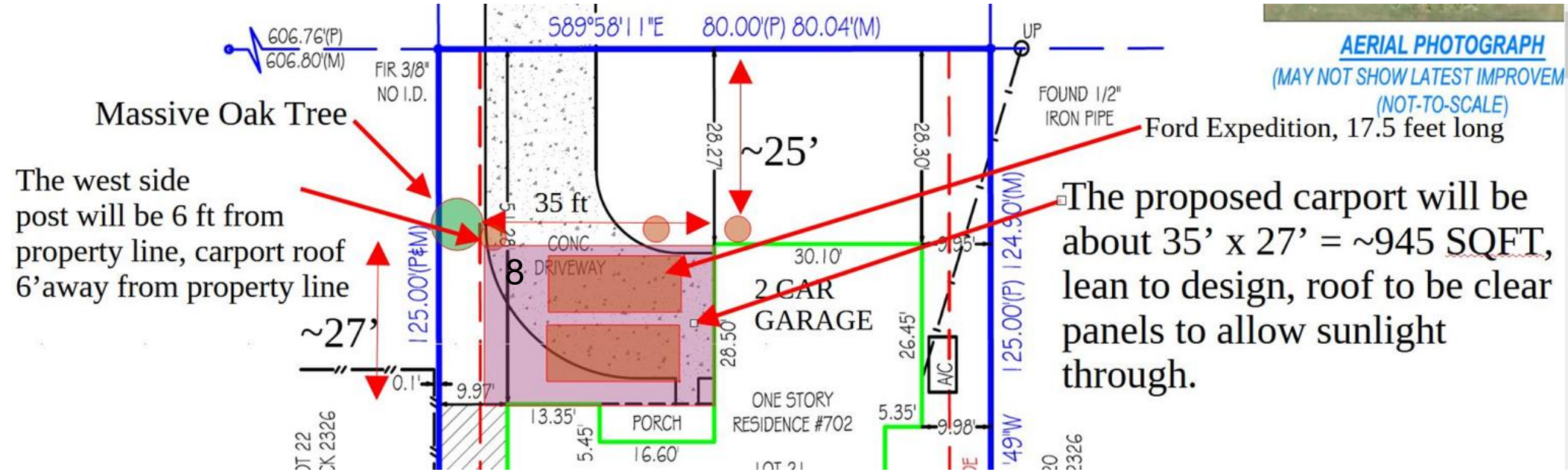


Why are we here?



Current zoning only allows a 200 Square foot carport, which is not large enough to cover needed space.

This is the area I would like to cover



As you can see, a carport of this size allows for two cars to be parked and unloaded without getting wet in a rain storm

Variance Questions updated.

(1) Please explain special conditions and circumstances that exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;

My house has a garage that is not facing the street and has a nice set back area where I would like to put my carport. Due to current zoning code requirement carport size of 200 SQFT. It does not cover my car where I would like to place the carport. I would like to build a permanent structure and not put up a temporary tarp structure like my neighbor had for years. My neighbor's carport allowed us to be able to do projects and working outside in the sun and when it rained we kept dry. Most Garages are facing the street and do not meet the 25 feet front set back and I do. Therefore I should be allowed to build the size of carport and place it in front of my garage.

Variance Questions updated, cont.

(2) Please explain if these conditions and circumstances result from actions by the applicant;

I am asking to be able to build a carport in front of my garage and I think I can build it without zoning approval since it would be attached to my house and not a stand alone structure. I filled for a variance so I do not get in trouble with code enforcement.

(3) Please explain how granting the variance requested will not confer on the applicant special privilege that is denied by this chapter to other lands, buildings, or structures, in the same zoning district;

If others would like to build a carport larger then what code allows then they can apply for this variance or the planning and zoning department can update the code to allow for carports that are normal size to be able to park two cars under it without getting wet when it rains.

(4) Please explain how a literal interpretation of the provisions of the chapter would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the chapter and would work unnecessary and undue hardship on the applicant;

If you denies my application you would be forcing me to install a carport that does not work for what I want to do. How would a carport that is 7.4 feet wide cover a car?

Variance Questions updated, cont.

(5) Please illustrate and explain if the variance requested is the minimum variance that will make possible the reasonable use of the land, building, or structure;

Please see the attached pictures that I have included in the presentation before to show why the current code allows for the size of the carport and that to be able to cover the area is just right in the amount of space covered for two cars to be parked in front of my garage.

(6) Please indicate how granting variance will be in harmony with the general intent and purpose of the chapter and that granting the variance will not be injurious to the area involved or otherwise detrimental to the public welfare;

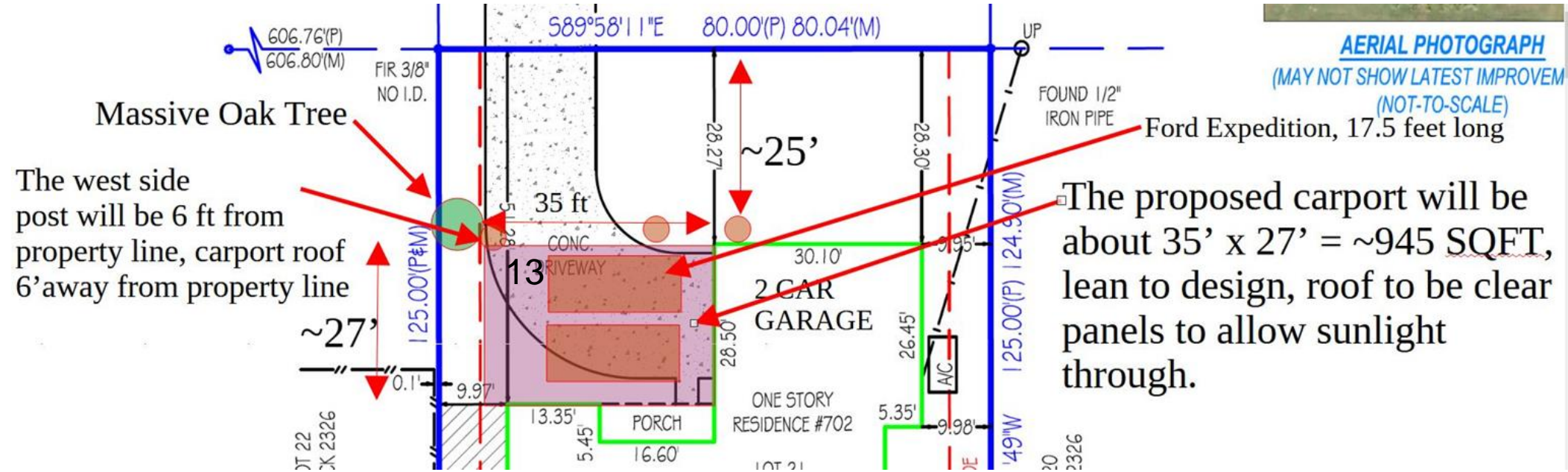
As you can see my neighbors "Temporary" carport is not very harmonious. Because the cities decision to deny my use of my use of my property across the street I cannot use that property for installing a carport on that piece of property. The requested variance aligns with the purpose of the zoning code, which is to maintain orderly development and preserve neighborhood character. The carport will not obstruct views, encroach on neighbors, or otherwise impact public welfare.

Variance Questions updated, cont.

(7) Please indicate that there will be full compliance with any additional conditions and safeguards which the Planning and Zoning Board or Zoning Administrator may prescribe, including but not limited to reasonable time limits within which the action for which variance is required shall be begun or completed, or both.

Currently I am trying to get this carport variance approved, once I get the carport approved then I can install my new metal roof and then build the carport. I don't want to install the metal roof without installing the support systems for the carport, they need to be done at the same time. I have a roof company ready to install my roof but am waiting on this application before moving forward with the permit to replace the roof. I am fully prepared to comply with all reasonable conditions or safeguards established by the Planning and Zoning Board or Zoning Administrator including – but not limited to – timelines of construction, adherence to architectural standards, drainage requirements, and overall code compliance.

This is the area I would like to cover



As you can see, a carport of this size allows for two cars to be parked and unloaded without getting wet in a rain storm

Questions?

Other Carports that have been approved:

P78-016 48 x10 =480 sqft

P80-002 40x60= 2,400 sqft

P97-120 30*16 = 480 sqft

Awaiting:
P25-125

