

Notes
 Alternate Species may be used to satisfy Street Tree requirements depending on planting space & species availability. Alternates are as follows

- Quercus virginiana - Live Oak
- Swietenia mahagoni - Mahogany
- Southern Magnolia - Magnolia grandiflora
- *Bauhinia x blakeana - Hong Kong Orchid Tree
- *Elaeocarpus decipiens - Japanese Blueberry
- *Ilex x attenuata 'Eagleston' Eagleston Holly
- *Lagerstroemia indica - Crape Myrtle
- *If medium or small canopy trees are used as alternates, planting intervals will follow guidelines in the Street Tree Planting section 156.121
- *Location of street trees may vary due to the location of driveways
- If Cul-De-Sac areas do not allow for Street Tree Planting due to space constraints, required tree quantities will be added to the common green spaces throughout the community.

Landscape Data

	Required Tree Credits	Provided Tree Credits
Perimeter: (7,665' / 30)	256	257
Entrance: (746' / 60)	12	12
Street Tree: (18,300' / 60)	305	307
Total:	573	576

*All tree credits are counted 1:1 & 2:1 per Appendix C Table 1
 *Approved Trees & Shrubs in the PSL Landscape Code

Required Shrub Credits

	Required Shrub Credits	Provided Shrub Credits
Perimeter: (7,665' / 2)	3,833	3,866
Entrance: (746' / 2)	373	392
Total:	4,206	4,267

Plant Schedule

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	CALCULATED
	CH	4	Chamaecyparis humilis	Mediterranean Fan Palm	FG	8-10'	OA	Multi tr. Sp. FH		
	CON	252	Conocarpus erectus	Buttonwood	FG	14' HT	5' SPR	STD. F	Native	3' Caliper
	ED	60	Elaeocarpus decipiens	Japanese Blueberry Tree	FG	14' HT	5' SPR	F. SP		2.5' CAL
	IN	58	Ilex x Nello R. Stevens	Nello R. Stevens Holly	FG	14' HT	5' SPR	F. SP		3' Caliper
	LM2	6	Lagerstroemia indica 'Muskogee'	Muskogee Crape Myrtle	FG	14' HT	7' W	STD. F, SP	Non-native	2.0' CAL
	QV	192	Quercus virginiana	Southern Live Oak	65G	14' HT	7' SPR	F. SP	Native	4' Caliper
	RO	21	Roystonea regia	Florida/Cuban Royal Palm	FG	12' GW		F. SP, No Scars	Native	
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	SPACING
	ALI	5	Acanthaceae imperialis	Imperial Bromeliad	7G	30' OA		SP	Non-native	42' o.c.
	AOD	9	Acanthaceae odorata	Giant Silver Bromeliad	7G	30' OA		SP	Non-native	36' o.c.
	BOK	6	Bougainvillea x 'Barbara Karst'	Barbara Karst Bougainvillea	45G	8' HT	4' W	STD. SP		72' o.c.
	CHG	168	Chrysobalanus icaco 'Horizontalis'	Horizontalis Coco Plum	3G	2' HT	2' W	F	Native	24' o.c.
	CHR2	1,596	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	3G	24' HT	24' W	F, SP	Native	24' o.c.
	CLU	39	Clusia guilleri	Small-Leaf Clusia	15G	5' HT	4' W	FTB		48' o.c.
	COD	129	Codiaeum variegatum 'Mammy'	Mammy Croton	3G	24' HT	18' W	FTB, SP	Non-native	24' o.c.
	CAQ	28	Croton augustum 'Queen Emma'	Queen Emma Croton	7G	36' HT	36' W	F, SP	Non-native	48' o.c.
	JAT	3	Jatropha integririma	Jatropha	15G	4' HT	3' W	STD. SP	Non-native	72' o.c.
	SAR	2,308	Schefflera arboricola	Green Schefflera	3G	24' HT	24' W	F	Non-native	24' o.c.
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	WIDTH	NOTES	NATIVE	SPACING
	ANN	42	Annalis sp	Seasonal Annuals	1G	12' OA		Full		12' o.c.
	GIF	33	Ficus microcarpa 'Green Island'	Green Island Ficus	1G	12' HT	12' W	Full		24' o.c.

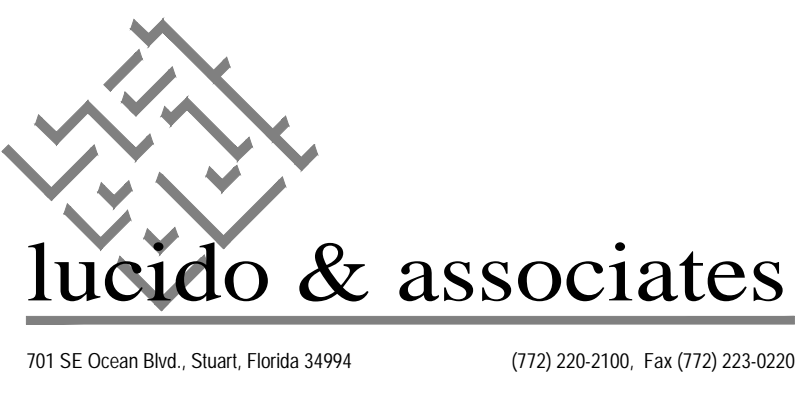
General Landscape Notes

- At least 50% of all required trees shall be of a native species.
- All plant material to be Florida No. 1 or better.
- All landscape & sod areas to be irrigated by an automated system that provides 100% coverage with 100% overlap with a minimum d.u. of .70.
- All landscaping at intersection and corners complies with Section 158.204 of the Port St Lucie Code of Ordinances to provide a clear sight zone between 2' - 6' above the final road crown elevation. All hedges and shrubs with in the 25' sight triangle will be maintained at a height no higher than 2' above the crown elevation of the road. In addition, the foliage line any tree within the 25' sight triangle will maintained at a height of no less than 6' above the road crown.
- Street tree locations will occur within 8' Landscape Easement as shown on civil engineering plans and can be adjusted based on final utility, sidewalk and driveway locations.
- Where applicable, street trees requiring root barriers shall be installed with Biobarrier Root Control Fabric or approved equal. Install per manufacturer specifications. Root barrier is required for any tree planted within 5 feet of curb, pavement or drainage and sewer lines.
- Berm landscape to be field adjusted according to final grading and top of berm locations. The hedge will be planted along each side of the boundary fence or wall, following the top of berm.
- The boundary feature will be either a Black Vinyl Covered Chain Link (6') in height or Opaque Concrete Wall (6') in height.
- Fence other than the chain link boundary fence will be a Decorative Aluminum fence (6') in height.
- The street trees may be located within the home landscape beds, or as a stand-alone specimen in sod.
- All proposed landscaping meets FDOT specifications.

PSLUSD Notes for Landscape Plan

- No landscaping shall be planted in a manner that would adversely affect utility easements. Landscaping shall be in compliance with Chapter 154 of the City of Port St. Lucie Code of Ordinances, PSLUSD technical specifications and policies.
- All landscaping within City utility easements shall comply with PSLUSD technical specifications, policies, and codes.
- All landscaping shall meet the latest PSLUSD Landscape Policy and shall not be placed in a manner that would create conflicts with the intended operation and maintenance of any existing utility.
- Trees shall not be planted within ten (10) feet of any PSLUSD underground infrastructure.
- No landscaping other than sod grasses shall be located within 5' of a PSLUSD appurtenance such as a water meter assembly, backflow device, fire hydrant or sewer cleanout, etc.

Legend



Project Team:

Client & Property Owner: Mattamy, LLC
 2500 Quantum Lakes Drive, Suite 215
 Boynton Beach, FL 33426

Land Planner / Landscape Architect: Lucido & Associates
 701 East Ocean Boulevard
 Stuart, Florida 34994

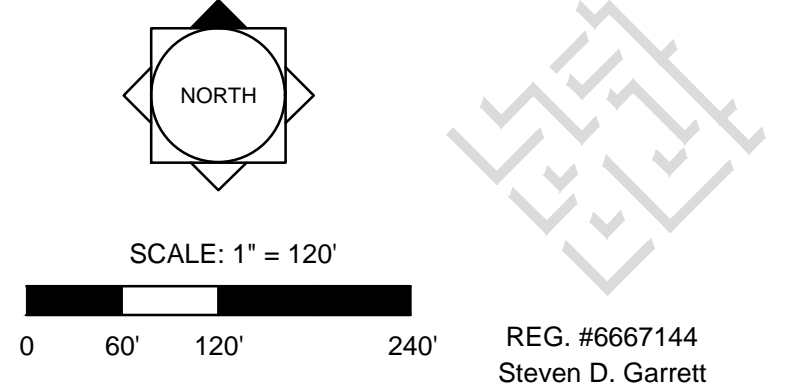
Environmental Consultant: EW Consultants
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 Suite 208
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Engineer: Engineer:
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Brynlie
 Tradition
 St. Lucie, Florida
Landscape Plan
 P22-277
 PSLUSD # 5429B

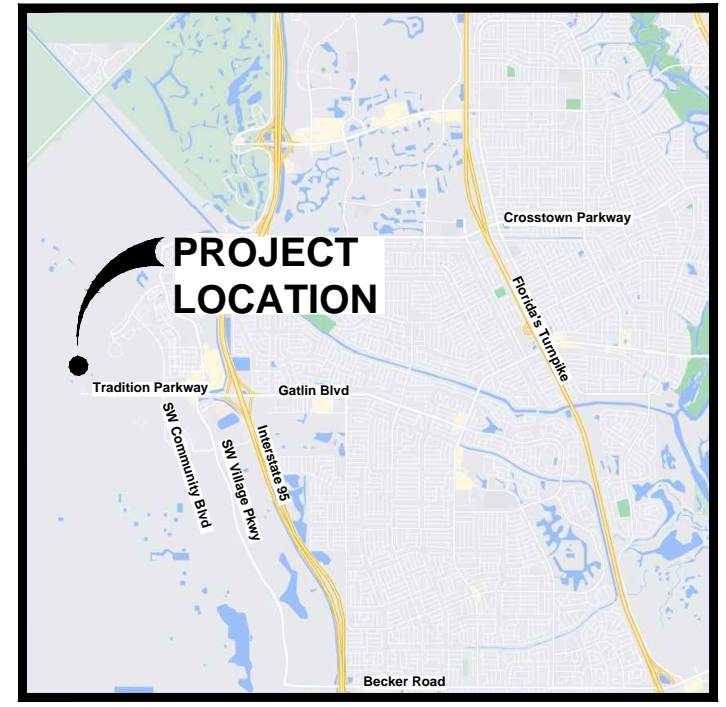
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10.29.24	EPD	Re-Submittal



Designer: SJS
 Manager: SJS
 Project Number: 20-276.38
 Municipal Number: P22-277
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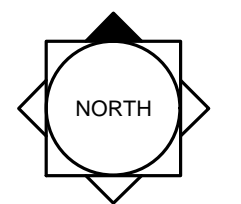
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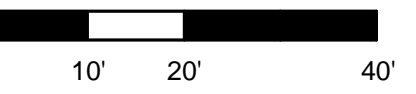
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10.29.24	EFD	Re-Submittal



SCALE: 1" = 20'



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Steven D. Garrett

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 Manager:
 Project Number: 20-276.38
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LA-1

Future Development

10.0' Drainage Easement
Property Boundary

10.0' Drainage Easement

SET PRM

Westcliffe Lane

Birch Bay Court

7.0' PSLUE (TYP.)

WM (TYP.)
7.0' Utility Easement (TYP.)

Sanitary Sewer Line (TYP.)
Fire Hydrant (TYP.)

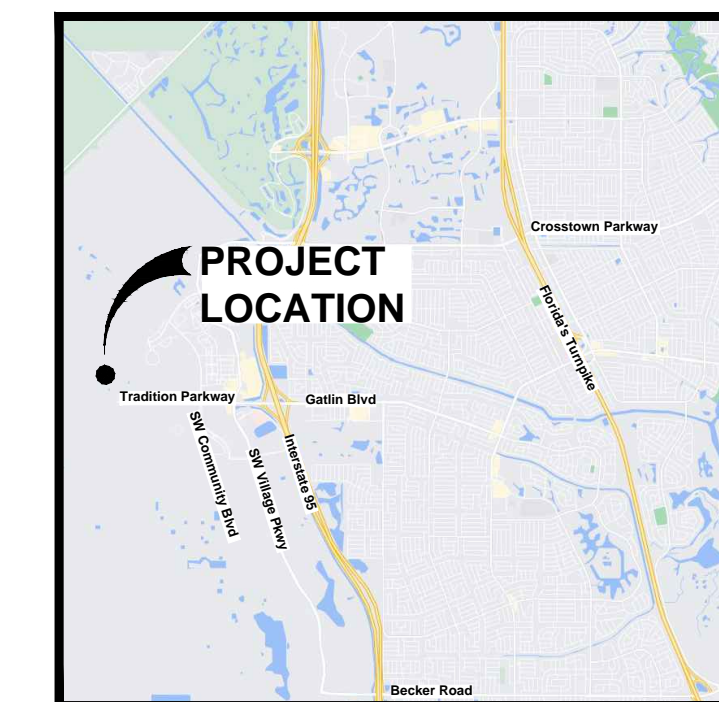
Wetland
75
3.10
Acres

25.0' Wetland Buffer

See Sheet LA3

See Sheet LA2

Key / Location:

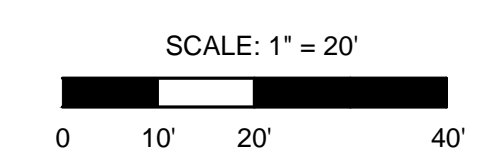
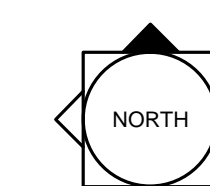


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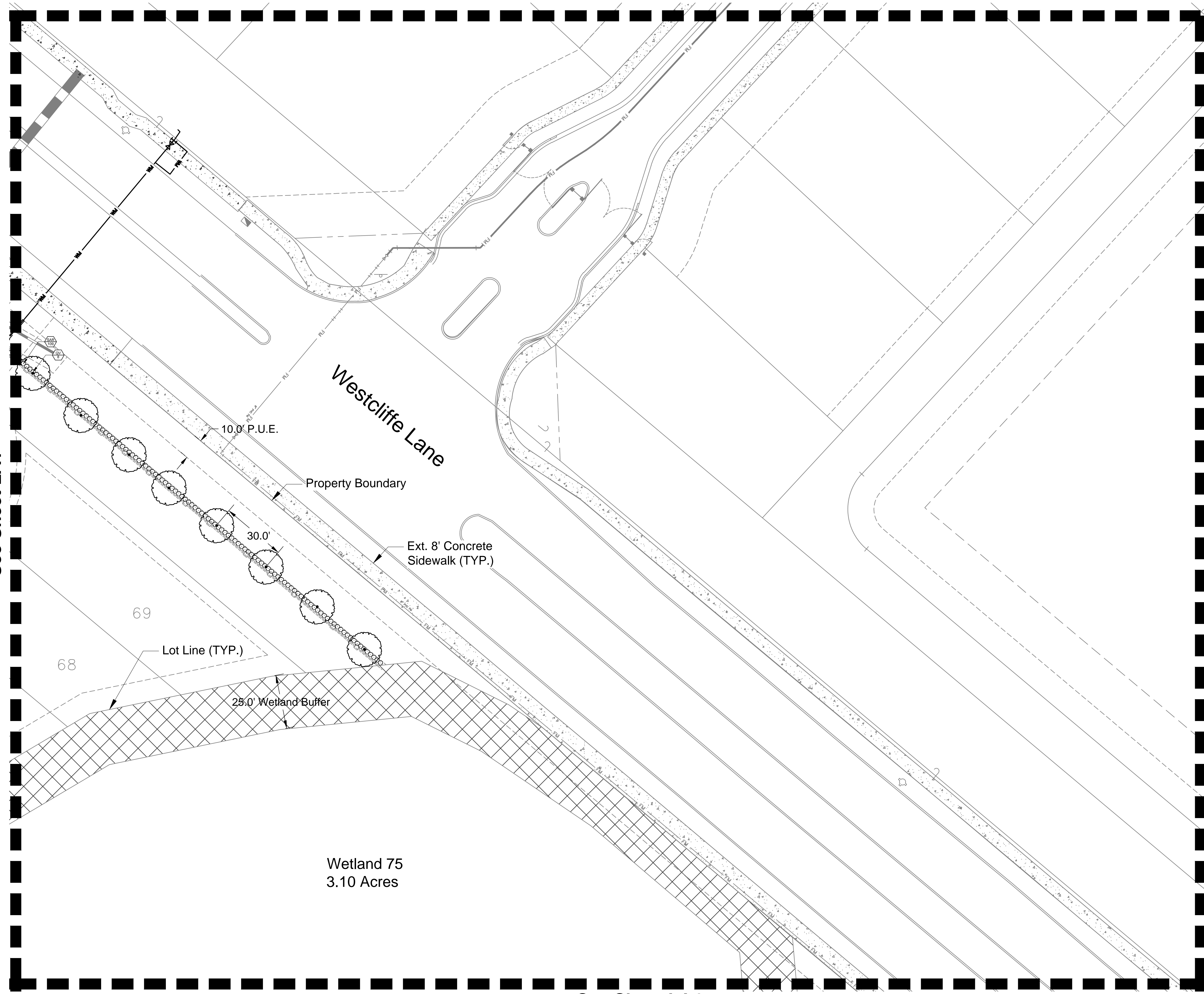
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LA-2

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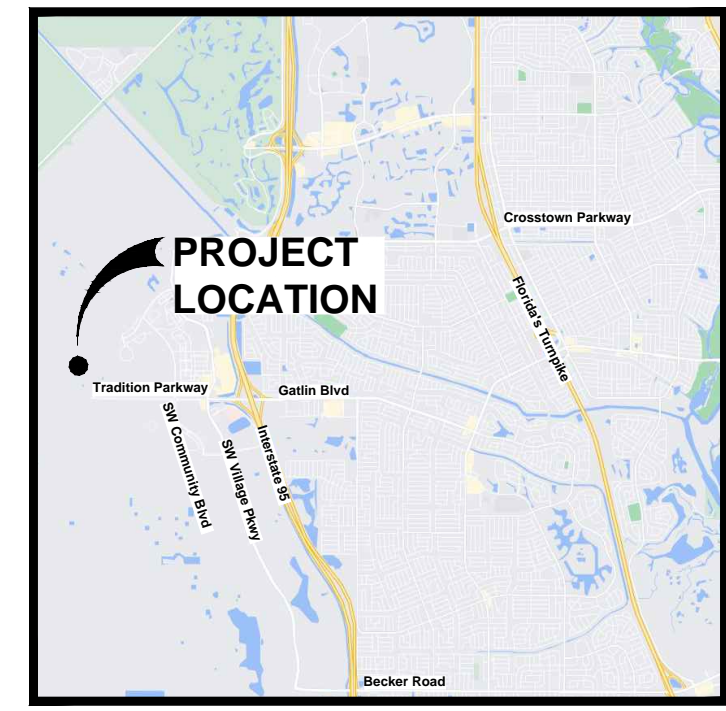
See Sheet LA1

See Sheet LA4



See Sheet LA1

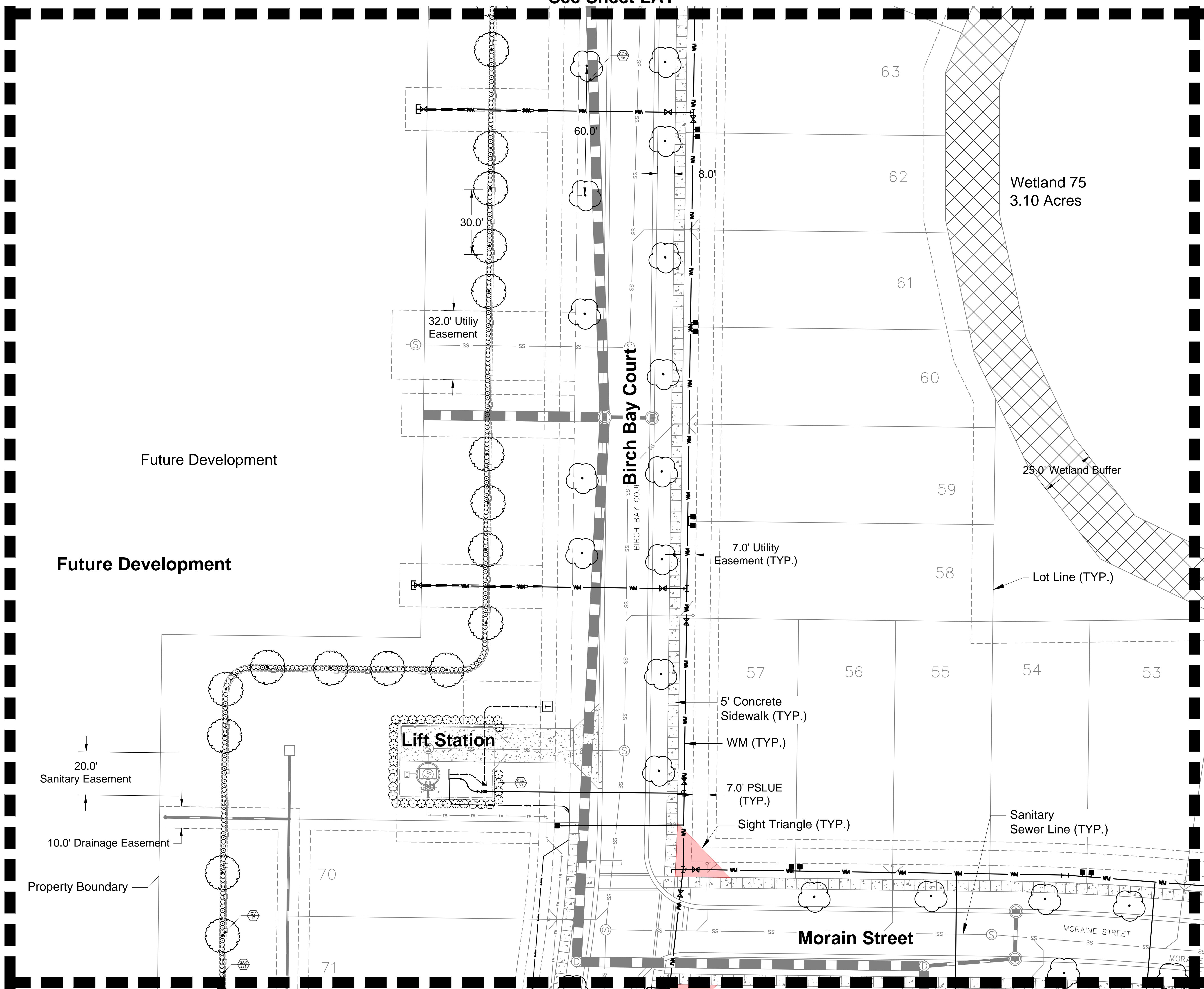
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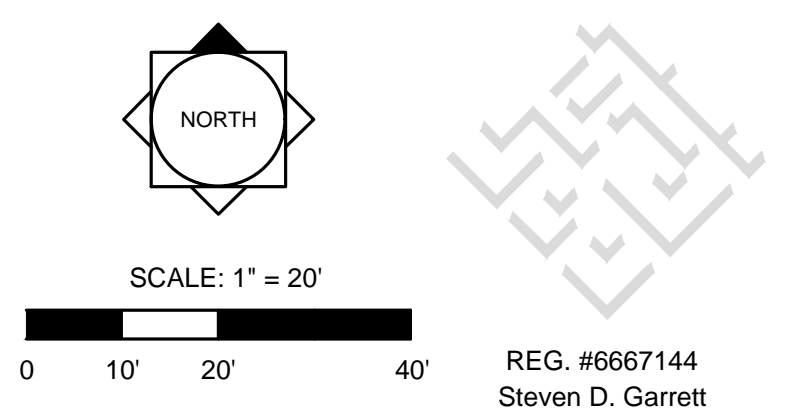
See Sheet LA4



See Sheet LA6

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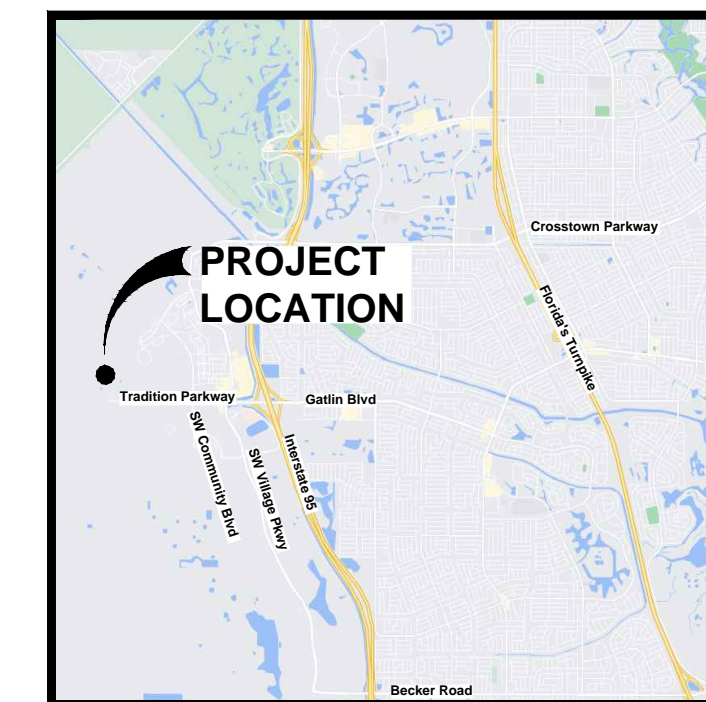


Designer: SJS Sheet
 Manager: **LA-3**
 Project Number: 20-276.38
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See Sheet LA2

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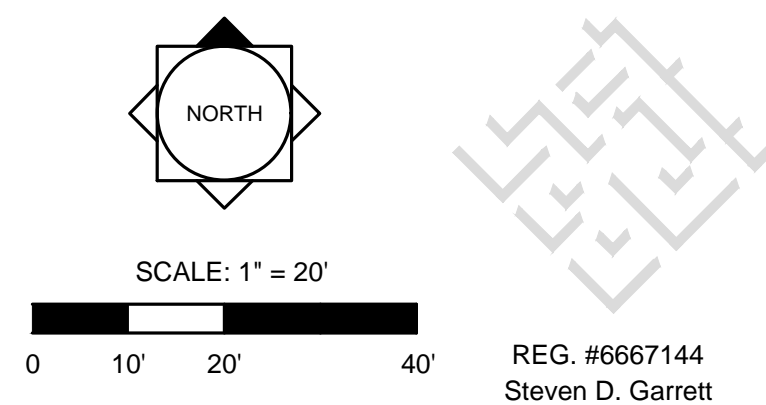


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REG. #6667144
Steven D. Garrett

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 Manager:
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LA-4

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See Sheet LA3

See Sheet LA5

W-75

Wetland 75
3.10 Acres

25.0' Wetland Buffer

Property Boundary

10.0' P.U.E.

Ext. 8' Concrete Sidewalk (TYP.)

FDOT Sight Triangle -Typical

30.0'

Lot Line (TYP.)

44

45

46

47

48

52

51

50

50

49

Sanitary Sewer Line (TYP.)

Sight Triangle (TYP.)

Morain Street

Brynlie Drive

5' Concrete Sidewalk (TYP.)

WM (TYP.)

Fire Hydrant (TYP.)

7.0' Utility Easement (TYP.)

7.0' PSLUE (TYP.)

20.0' Drainage Easement

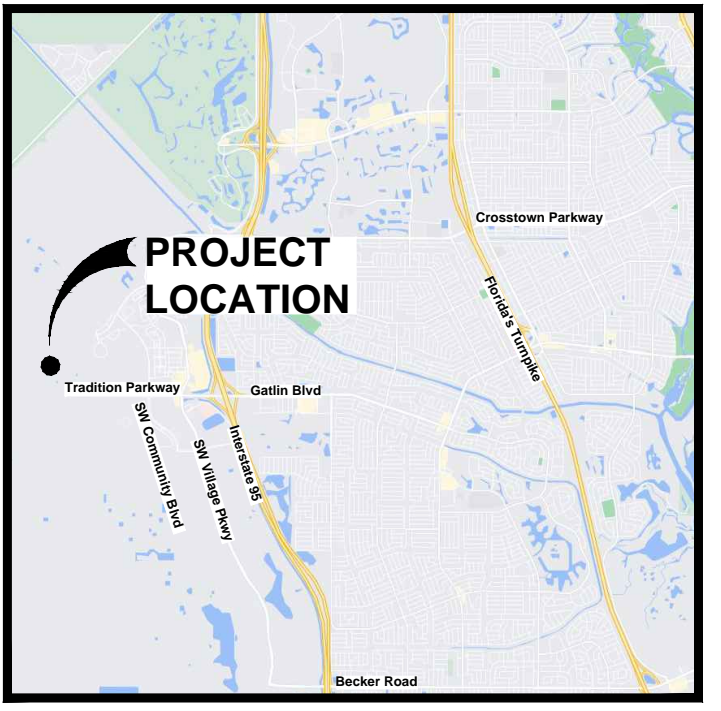
168

60.0'

8.0'

See Sheet LA7

Key / Location:



Project Team:

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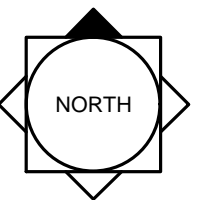
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Landscape Plan

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SCALE: 1" = 20'
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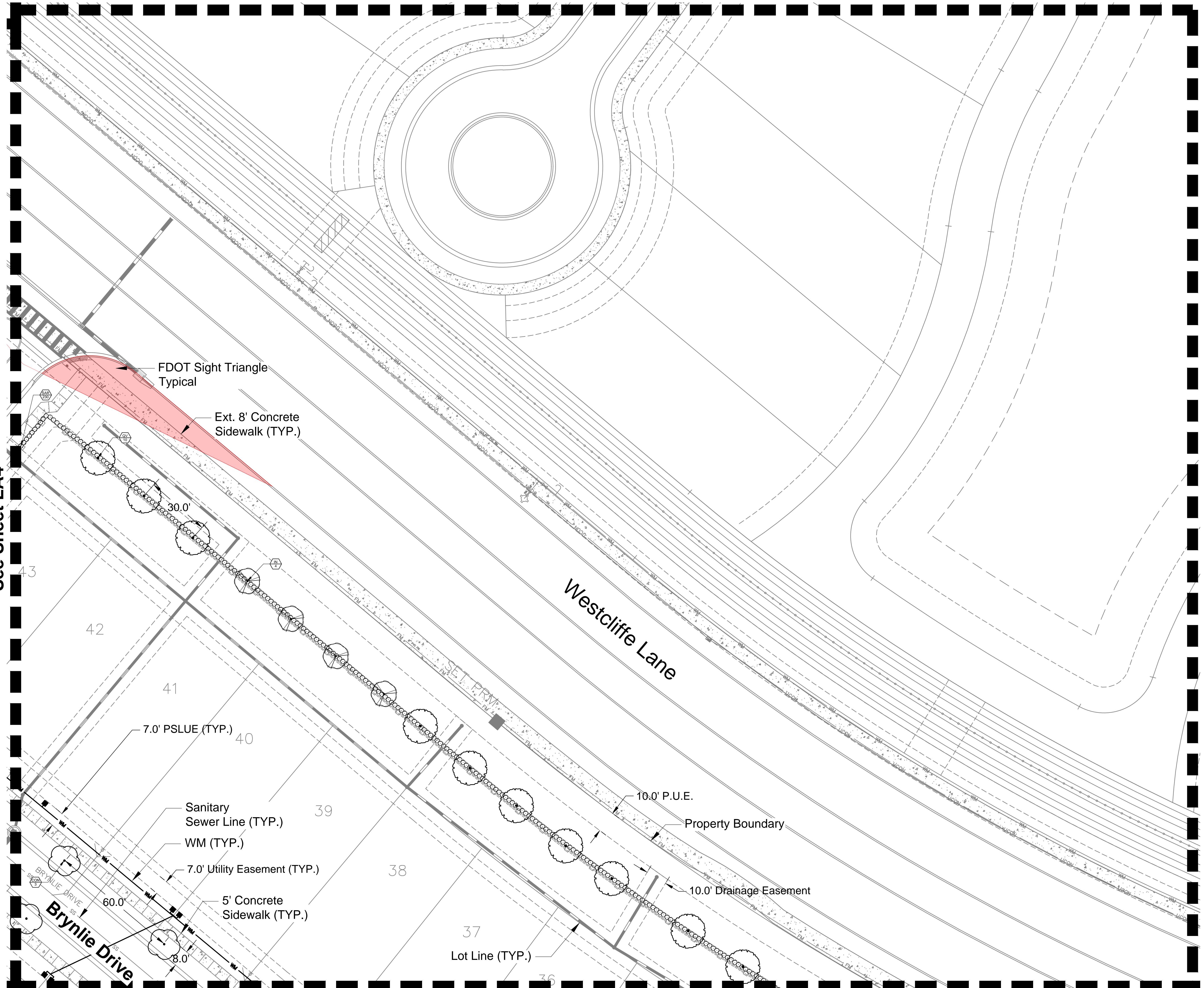
REG. #6667144
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Designer: SJS Sheet
 Manager:
 Project Number: 20-276.38
 Municipal Number: P22-277
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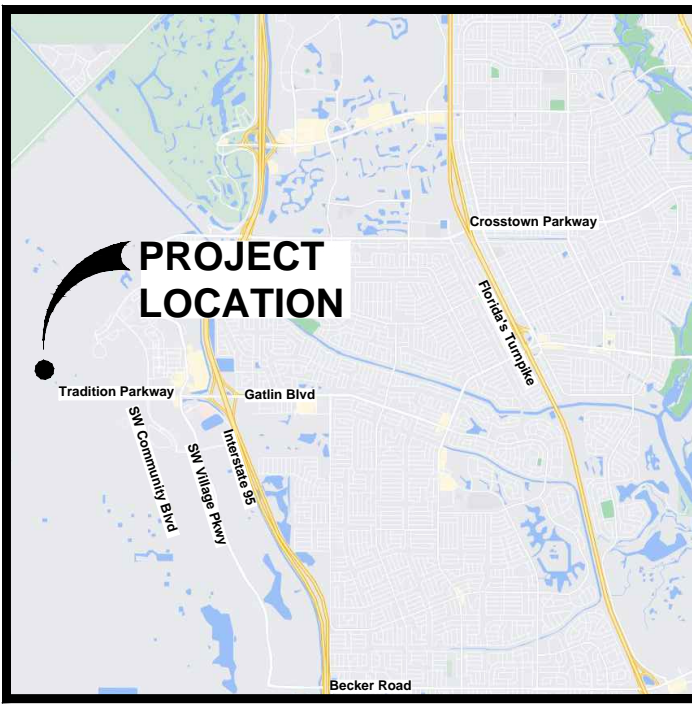
See Sheet LA4

See Sheet LA8



See Sheet LA3

Key / Location:



PROJECT LOCATION

Project Team:

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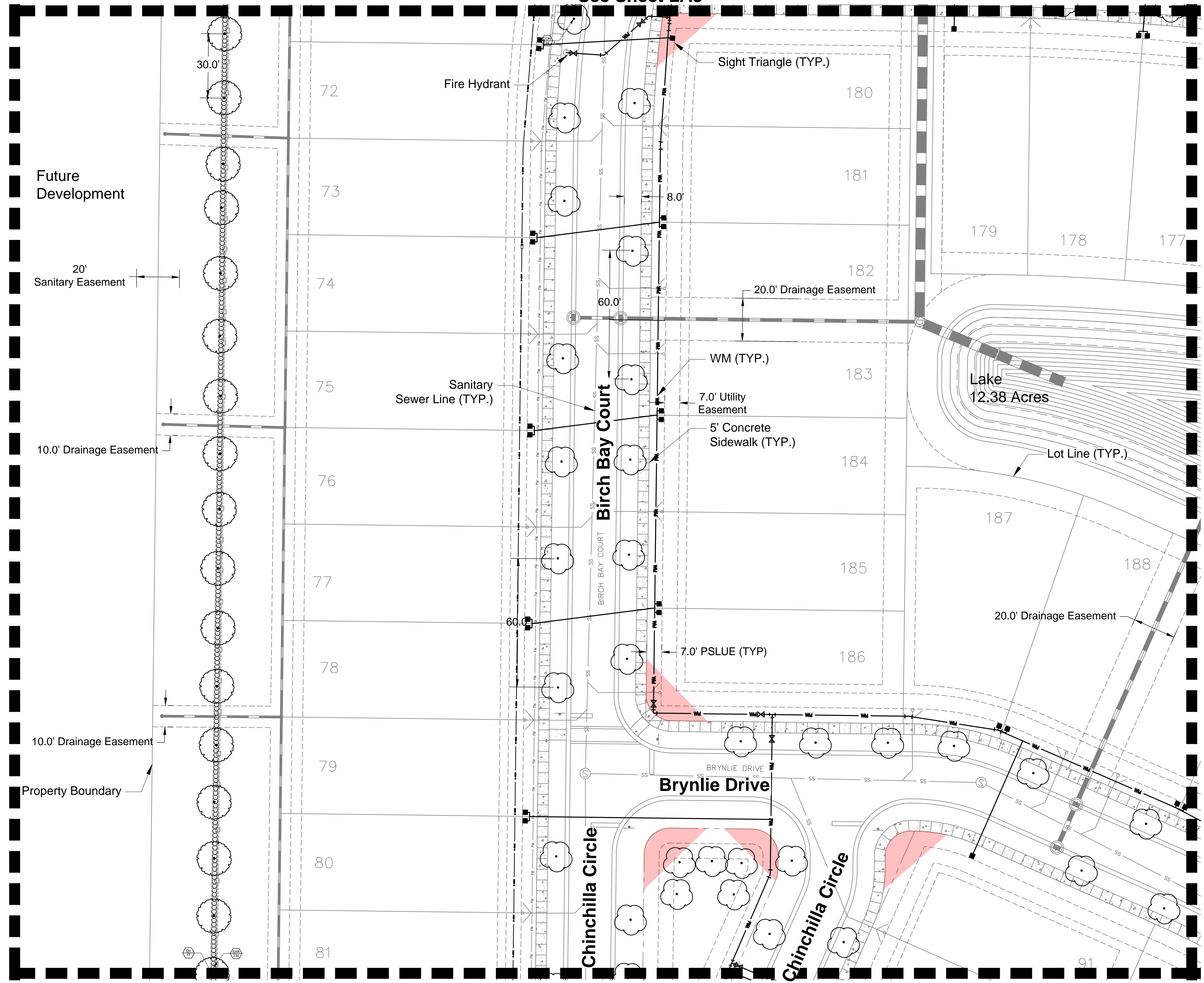
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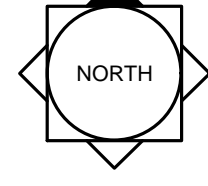
See Sheet LA7



See Sheet LA11

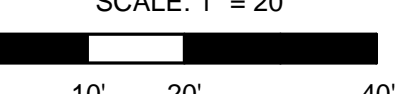
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NORTH

SCALE: 1" = 20'



REG. #6667144
Steven D. Garrett

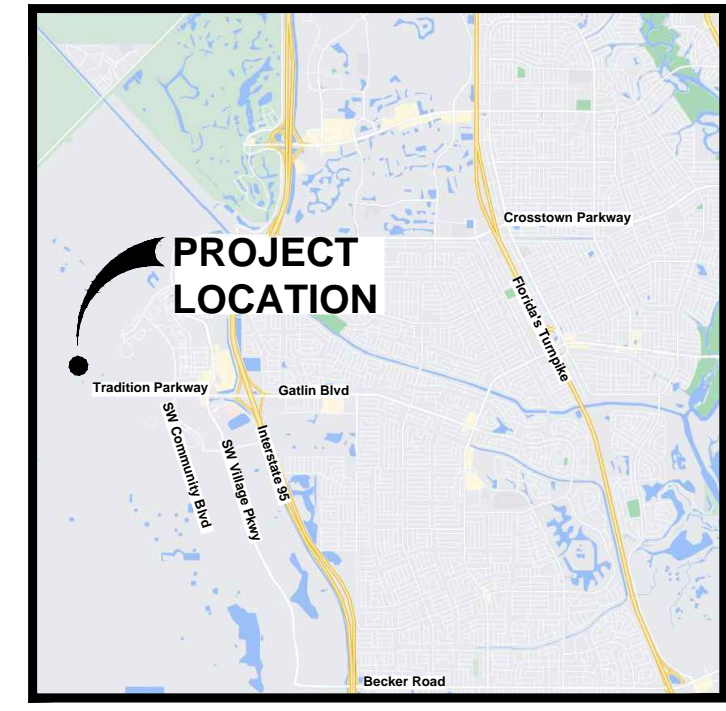
Designer: SJS Sheet
Manager:
Project Number: 20-276.38
Municipal Number: P22-277
Computer File: 20-276.38 - Brynlie - Landscape Plan.dwg

LA-6

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See Sheet LA4

Key / Location:



Project Team:

- Client & Property Owner:** Mattamy, LLC
2500 Quantum Lakes Drive, Suite 215
Boynton Beach, FL 33426
- Land Planner / Landscape Architect:** Lucido & Associates
701 East Ocean Boulevard
Stuart, Florida 34994
- Environmental Consultant:** EW Consultants
1000 SE Monterey Commons Blvd.,
Suite 208
Stuart, Florida 34996
- Engineer:** Engineer:
Kirmley-Horn
445 24th Street, Suite 200
Vero Beach, FL 32960
772-794-4100
- Surveyor:** Caulfield & Wheeler, Inc.
7900 Glades Road, Suite 100
Boca Raton, FL 33434
561-392-1991

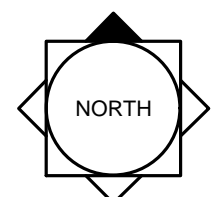
Brynlie

Tradition
St. Lucie, Florida

Landscape Plan

P22-277
PSLUSD # 5429B

Date	By	Description
07SEP22	SJS	Submittal
19OCT22	SJS	Re-Submittal
04JAN22	SJS	Re-Submittal
03.01.23	SJS	Re-Submittal
06.21.23	SJS	Re-Submittal
06.26.23	SJS	Re-Submittal
08.02.23	SJS	Re-Submittal
09.20.23	efd	Re-Submittal
01.03.24	efd	Re-Submittal
04.02.24	SJS	Re-Submittal
04.24.24	SJS	Re-Submittal
05.15.24	efd	Re-Submittal
07.01.24	efd	Re-Submittal
09.09.24	efd	Re-Submittal
10.29.24	efd	Re-Submittal



SCALE: 1" = 20'
0 10' 20' 40'



REG. #6667144
Steven D. Garrett

Designer	SJS	Sheet
Manager		
Project Number	20-276.38	LA-7
Municipal Number	P22-277	
Computer File	20-276.38 - Brynlie - Landscape Plan.dwg	

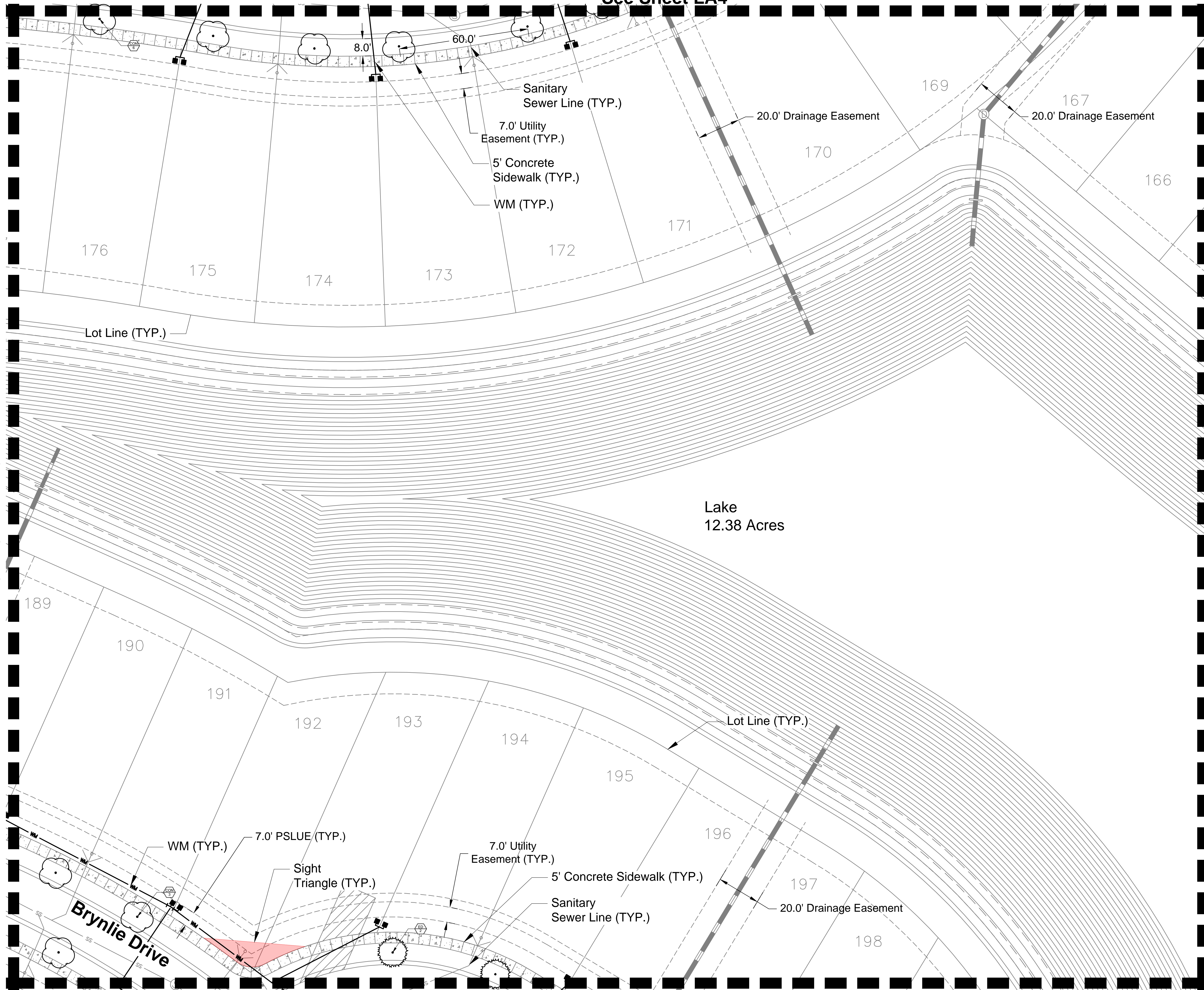
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See Sheet LA6

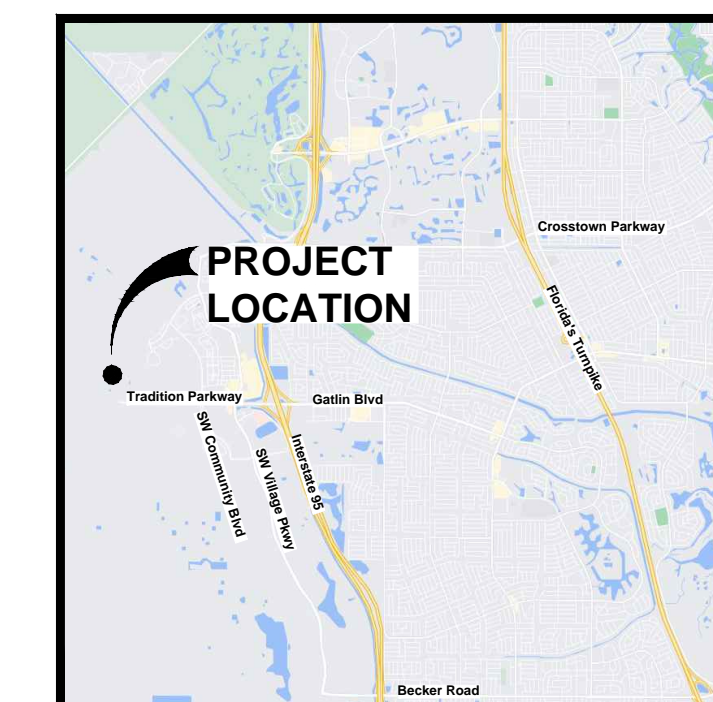
See Sheet LA8

See Sheet LA12

Lake
12.38 Acres



Key / Location:

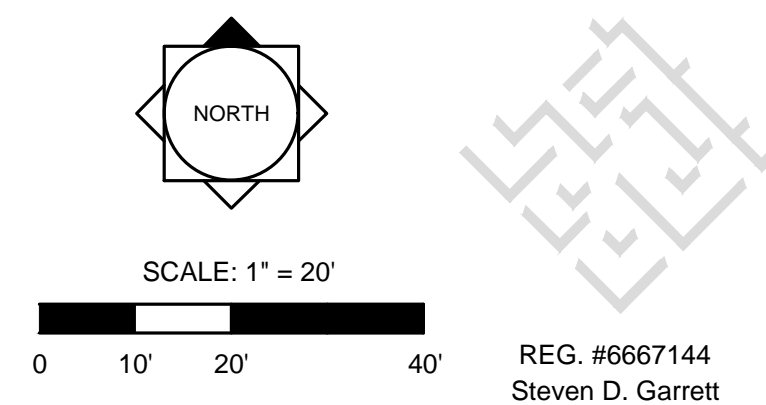


Project Team:

- Client & Property Owner:** Mattamy, LLC
 2500 Quantum Lakes Drive, Suite 215
 Boynton Beach, FL 33426
- Land Planner / Landscape Architect:** Lucido & Associates
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 Stuart, Florida 34994
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 Suite 208
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- Engineer:** Engineer:
 Kimley-Horn
 445 24th Street, Suite 200
 Vero Beach, FL 32960
 772-794-4100
- Surveyor:** Caulfield & Wheeler, Inc.
 7900 Glades Road, Suite 100
 Boca Raton, FL 33434
 561-392-1991

Brynlie
 Tradition
 St. Lucie, Florida
Landscape Plan
 P22-277
 PSLUSD # 5429B

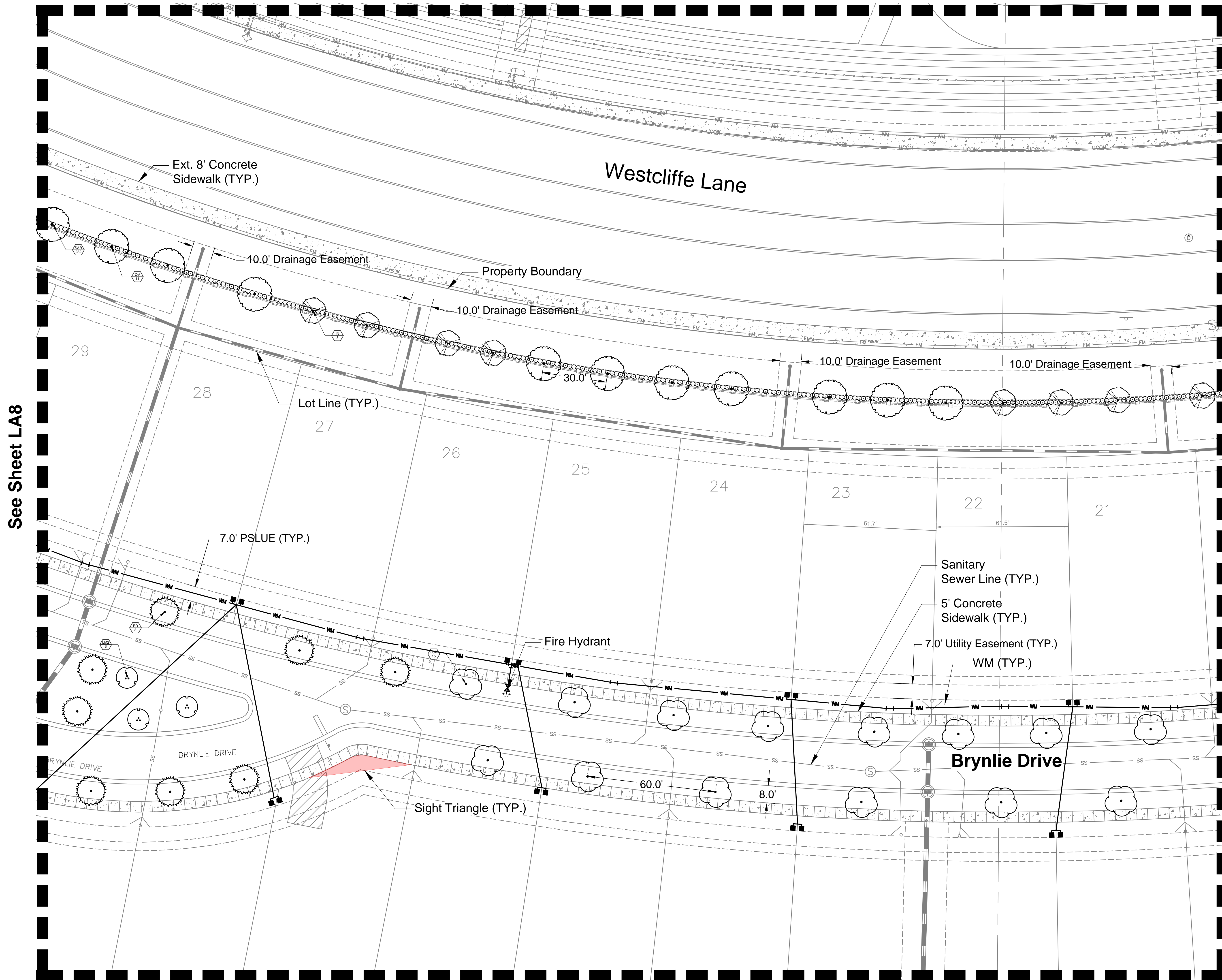
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03.01.23	SJS	Re-Submittal
06.21.23	SJS	Re-Submittal
06.26.23	SJS	Re-Submittal
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09.20.23	EPD	Re-Submittal
01.03.24	EPD	Re-Submittal
04.02.24	SJS	Re-Submittal
04.24.24	SJS	Re-Submittal
05.15.24	EPD	Re-Submittal
07.01.24	EPD	Re-Submittal
09.09.24	EPD	Re-Submittal
10.29.24	EPD	Re-Submittal



Designer: SJS
 Manager: SJS
 Project Number: 20-276.38
 Municipal Number: P22-277
 Computer File: 20-276.38 - Brynlie - Landscape Plan.dwg

LA-9

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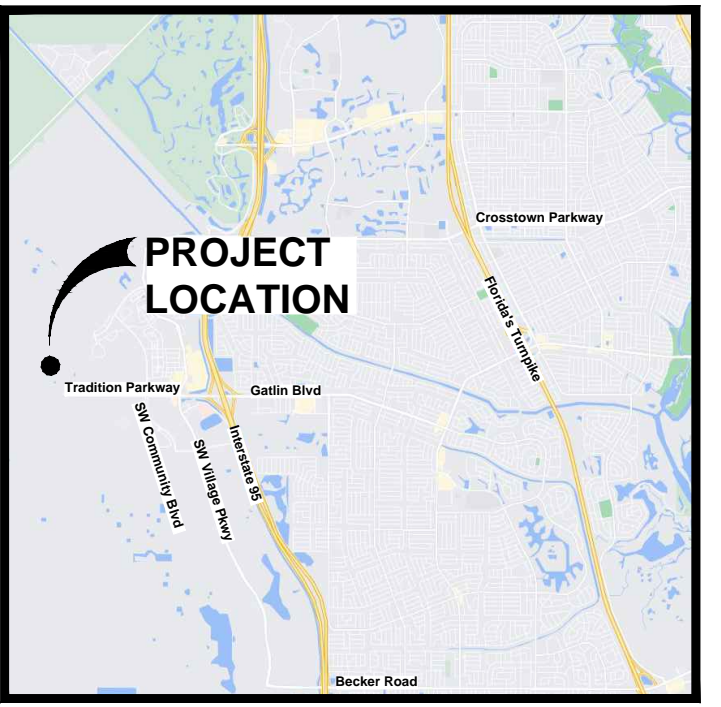


See Sheet LA8

See Sheet LA10

See Sheet LA14

Key / Location:



Project Team:

- Client & Property Owner:** Mattamy, LLC
 2500 Quantum Lakes Drive, Suite 215
 Boynton Beach, FL 33426
- Land Planner / Landscape Architect:** Lucido & Associates
 701 East Ocean Boulevard
 Stuart, Florida 34994
- Environmental Consultant:** EW Consultants
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 Suite 208
 Stuart, Florida 34996
- Engineer:** Engineer:
 Kimley-Horn
 445 24th Street, Suite 200
 Vero Beach, FL 32960
 772-794-4100
- Surveyor:** Caulfield & Wheeler, Inc.
 7900 Glades Road, Suite 100
 Boca Raton, FL 33434
 561-392-1991

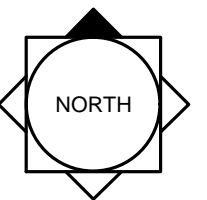
Brynlie

Tradition
 St. Lucie, Florida

Landscape Plan

P22-277
 PSLUSD # 5429B

Date	By	Description
07SEP22	SJS	Submittal
19OCT22	SJS	Re-Submittal
04JAN22	SJS	Re-Submittal
03.01.23	SJS	Re-Submittal
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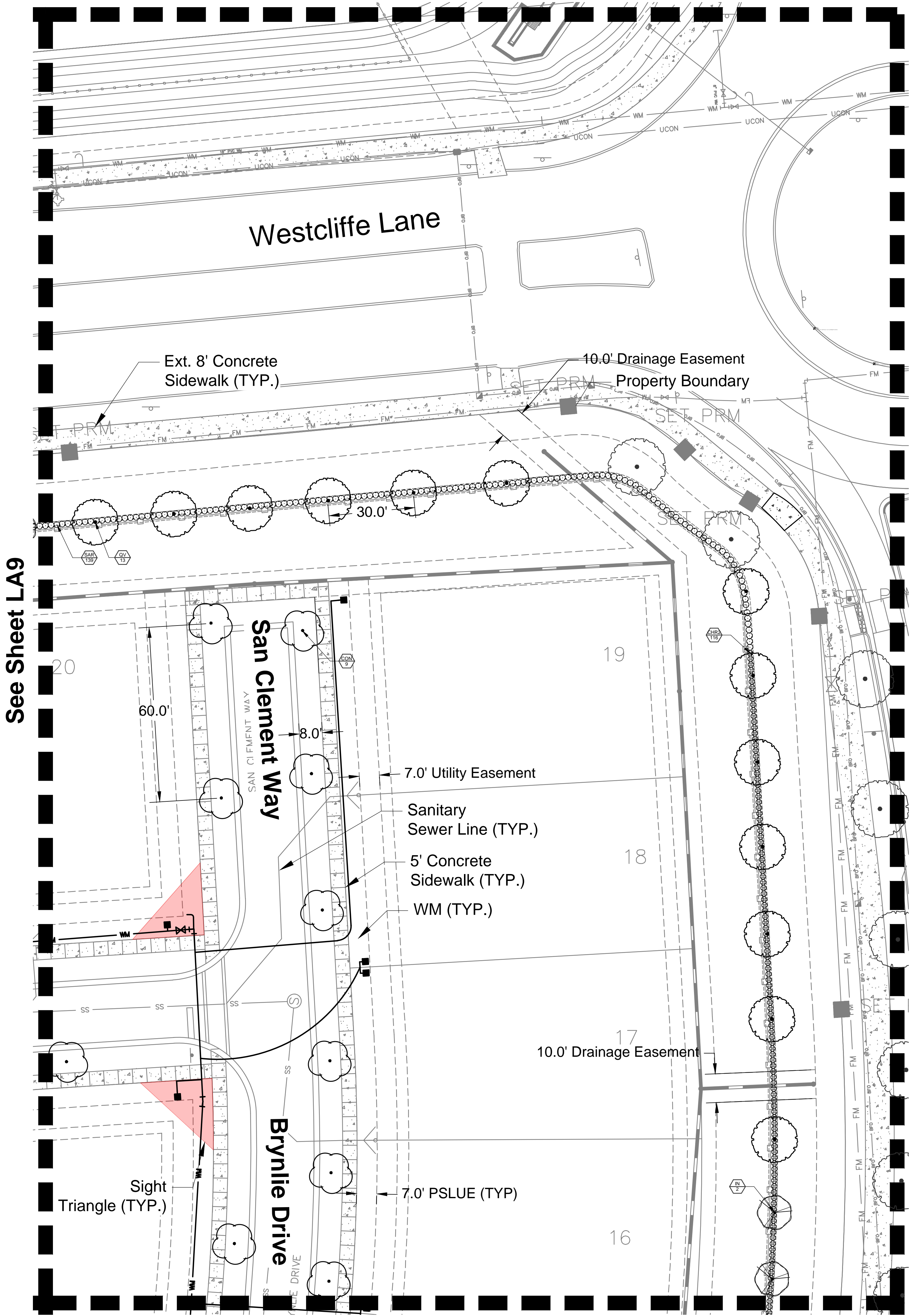


SCALE: 1" = 20'
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Designer	SJS	Sheet
Manager		LA-10
Project Number	20-276.38	
Municipal Number	P22-277	
Computer File	20-276.38 - Brynlie - Landscape Plan.dwg	

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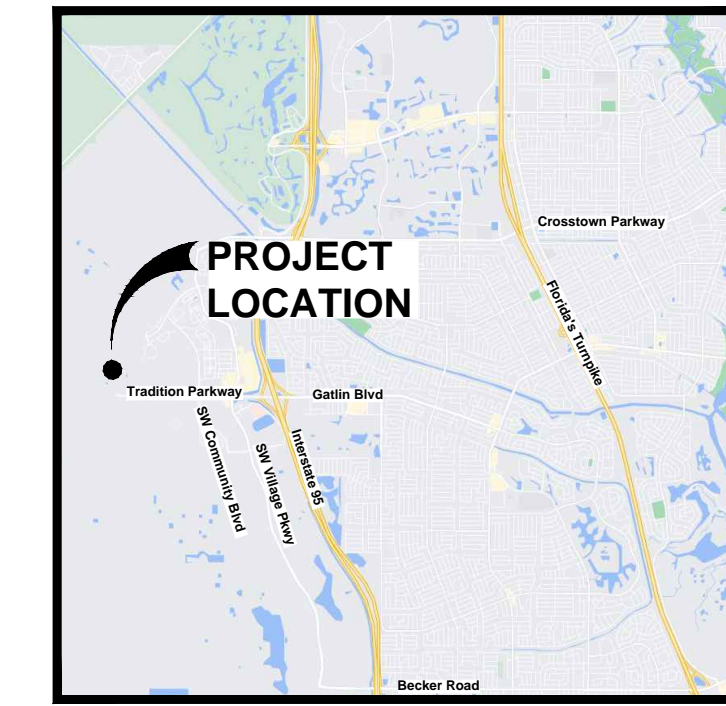


See Sheet LA9

See Sheet LA15

See Sheet LA6

Key / Location:



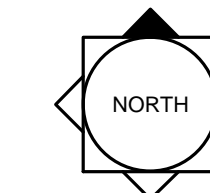
Project Team:

- Client & Property Owner:** Mattamy, LLC
2500 Quantum Lakes Drive, Suite 215
Boynton Beach, FL 33426
- Land Planner / Landscape Architect:** Lucido & Associates
701 East Ocean Boulevard
Stuart, Florida 34994
- Environmental Consultant:** EW Consultants
1000 SE Monterey Commons Blvd.,
Suite 208
Stuart, Florida 34996
- Engineer:** Engineer:
Kimley-Horn
445 24th Street, Suite 200
Vero Beach, FL 32960
772-794-4100
- Surveyor:** Cauffield & Wheeler, Inc.
7900 Glades Road, Suite 100
Boca Raton, FL 33434
561-392-1991

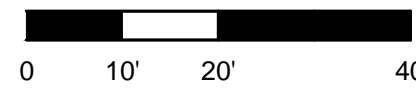
See Sheet LA12

Brynlie
 Tradition
 St. Lucie, Florida
Landscape Plan
 P22-277
 PSLUSD # 5429B

Date	By	Description
07SEP22	SJS	Submittal
19OCT22	SJS	Re-Submittal
04JAN22	SJS	Re-Submittal
03.01.23	SJS	Re-Submittal
06.21.23	SJS	Re-Submittal
06.26.23	SJS	Re-Submittal
08.02.23	SJS	Re-Submittal
09.20.23	EFD	Re-Submittal
01.03.24	EFD	Re-Submittal
04.02.24	SJS	Re-Submittal
04.24.24	SJS	Re-Submittal
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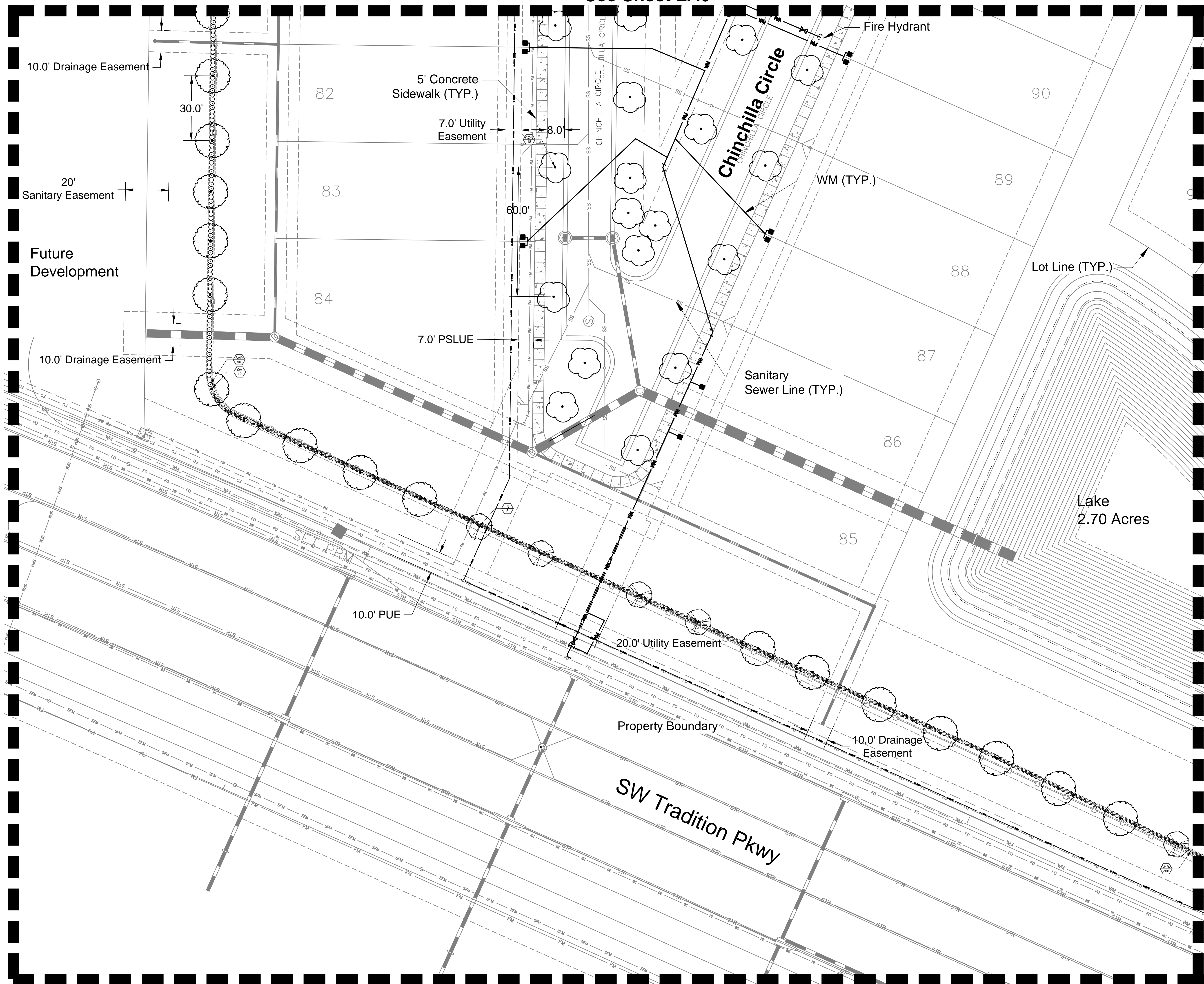
SCALE: 1" = 20'



REG. #6667144
Steven D. Garrett

Designer	SJS	Sheet
Manager		LA-11
Project Number	20-276.38	
Municipal Number	P22-277	
Computer File	20-276.38 - Brynlie - Landscape Plan.dwg	

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10.0' Drainage Easement

30.0'

82

5' Concrete Sidewalk (TYP.)

7.0' Utility Easement

8.0'

CHINCHILLA CIRCLE

Fire Hydrant

90

20' Sanitary Easement

83

60.0'

Chinchilla Circle

WM (TYP.)

89

Future Development

84

7.0' PSLUE

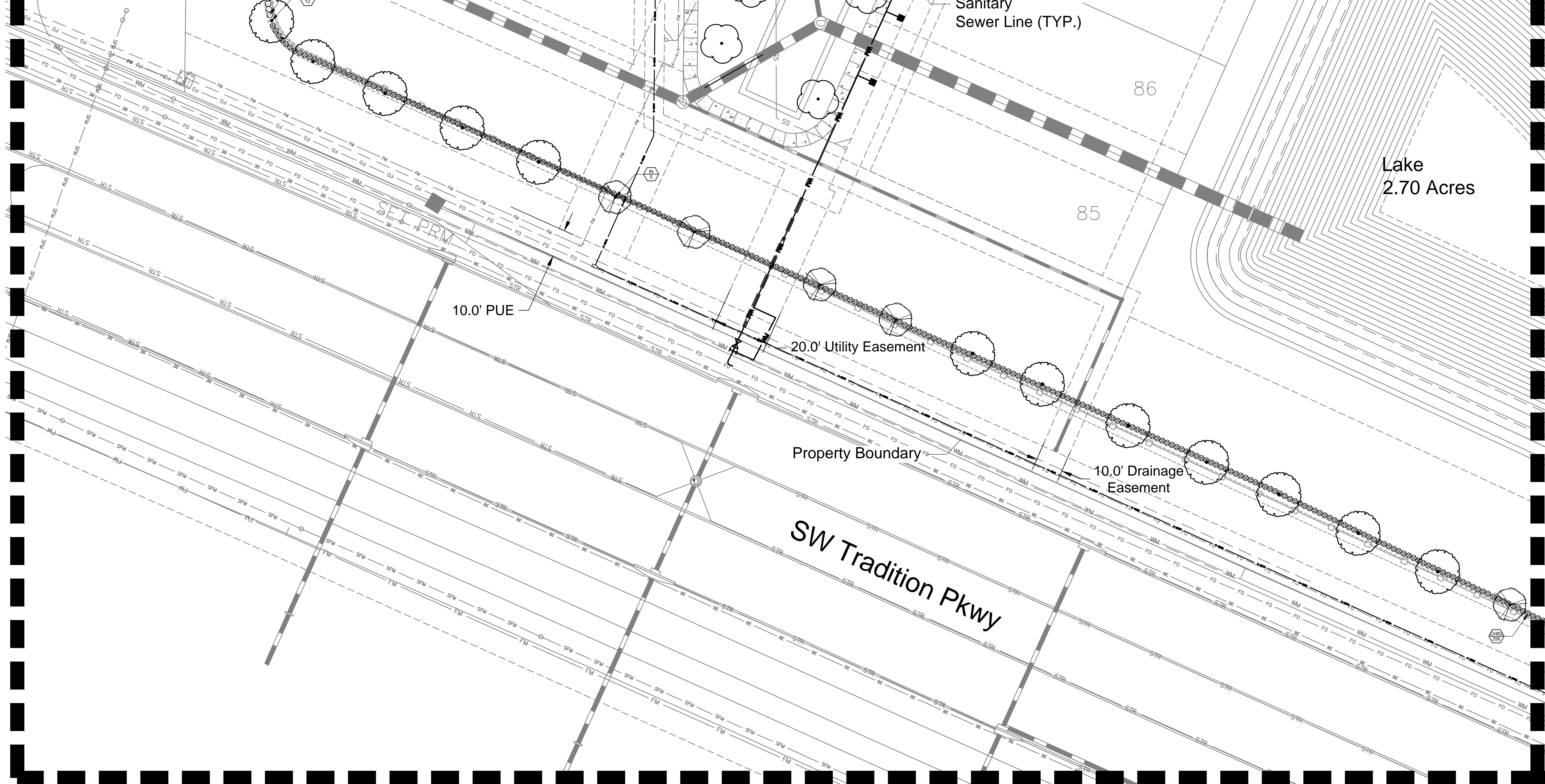
Sanitary Sewer Line (TYP.)

88

Lot Line (TYP.)

10.0' Drainage Easement

87



10.0' PUE

20.0' Utility Easement

Property Boundary

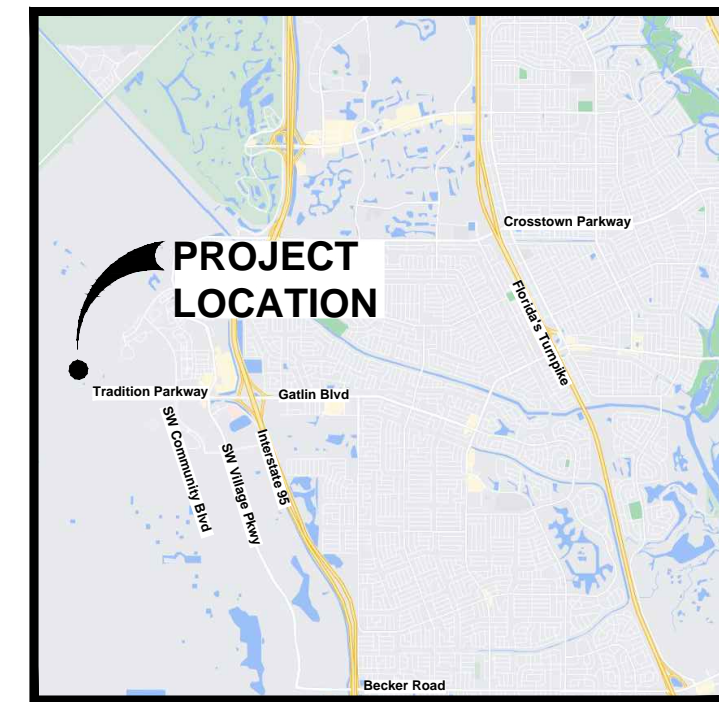
10.0' Drainage Easement

Lake
2.70 Acres

SW Tradition Pkwy

See Sheet LA7

Key / Location:



Project Team:

Client & Property Owner: Mattamy, LLC
 2500 Quantum Lakes Drive, Suite 215
 Boynton Beach, FL 33426

Land Planner / Landscape Architect: Lucido & Associates
 701 East Ocean Boulevard
 Stuart, Florida 34994

Environmental Consultant: EW Consultants
 1000 SE Monterey Commons Blvd.,
 Suite 208
 Stuart, Florida 34996

Engineer: Engineer:
 Kimley-Horn
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 Vero Beach, FL 32960
 772-794-4100

Surveyor: Cauffman & Wheeler, Inc.
 7900 Glades Road, Suite 100
 Boca Raton, FL 33434
 561-392-1991

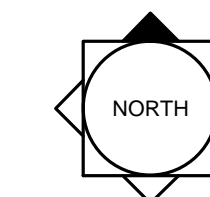
Brynlie

Tradition
St. Lucie, Florida

Landscape Plan

P22-277
PSLUSD # 5429B

Date	By	Description
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19OCT22	SJS	Re-Submittal
04JAN22	SJS	Re-Submittal
03.01.23	SJS	Re-Submittal
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05.15.24	efd	Re-Submittal
07.01.24	efd	Re-Submittal
09.09.24	efd	Re-Submittal
10.29.24	efd	Re-Submittal



SCALE: 1" = 20'
 0 10' 20' 40'

REG. #6667144
 Steven D. Garrett

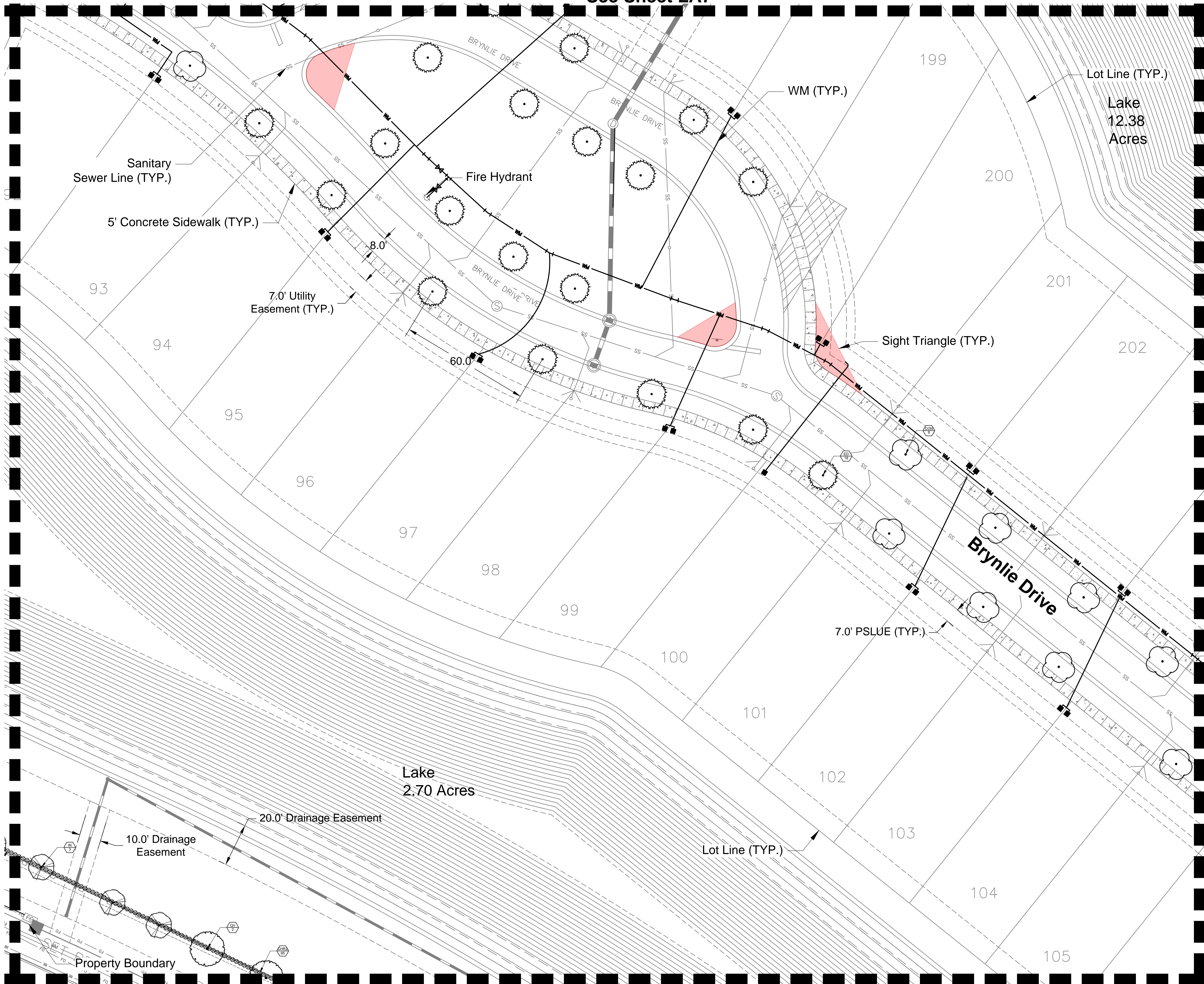
Designer: SJS Sheet
 Manager: LA-12
 Project Number: 20-276.38
 Municipal Number: P22-277
 Computer File: 20-276.38 - Brynlie - Landscape Plan.dwg

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See Sheet LA11

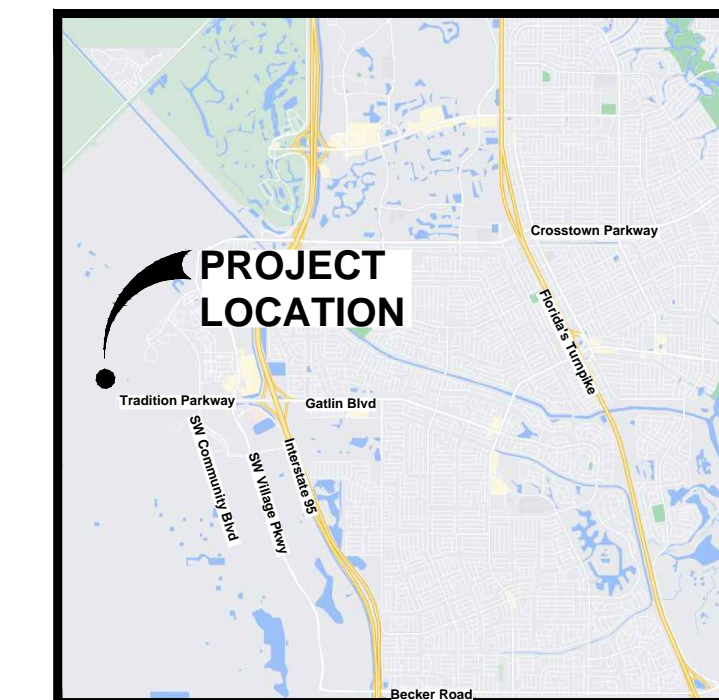
See Sheet LA13

See Sheet LA16



See Sheet LA8

Key / Location:



Project Team:

- Client & Property Owner:** Mattamy, LLC
2500 Quantum Lakes Drive, Suite 215
Boynton Beach, FL 33426
- Land Planner / Landscape Architect:** Lucido & Associates
701 East Ocean Boulevard
Stuart, Florida 34994
- Environmental Consultant:** EW Consultants
1000 SE Monterey Commons Blvd.,
Suite 206
Stuart, Florida 34996
- Engineer:** Engineer:
Kirmley-Horn
445 24th Street, Suite 200
Vero Beach, FL 32960
772-794-4100
- Surveyor:** Caulfield & Wheeler, Inc.
7900 Glades Road, Suite 100
Boca Raton, FL 33434
561-382-1991

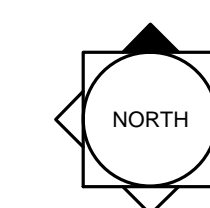
Lake
12.38 Acres

See Sheet LA12

See Sheet LA14

Brynlie
 Tradition
 St. Lucie, Florida
Landscape Plan
 P22-277
 PSLUSD # 5429B

Date	By	Description
07SEP22	SJS	Submittal
19OCT22	SJS	Re-Submittal
04JAN22	SJS	Re-Submittal
03.01.23	SJS	Re-Submittal
06.21.23	SJS	Re-Submittal
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08.02.23	SJS	Re-Submittal
09.20.23	EPD	Re-Submittal
01.03.24	EPD	Re-Submittal
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05.15.24	EPD	Re-Submittal
07.01.24	EPD	Re-Submittal
09.09.24	EPD	Re-Submittal
10.29.24	EPD	Re-Submittal



SCALE: 1" = 20'
 0 10' 20' 40'



REG. #6667144
 Steven D. Garrett

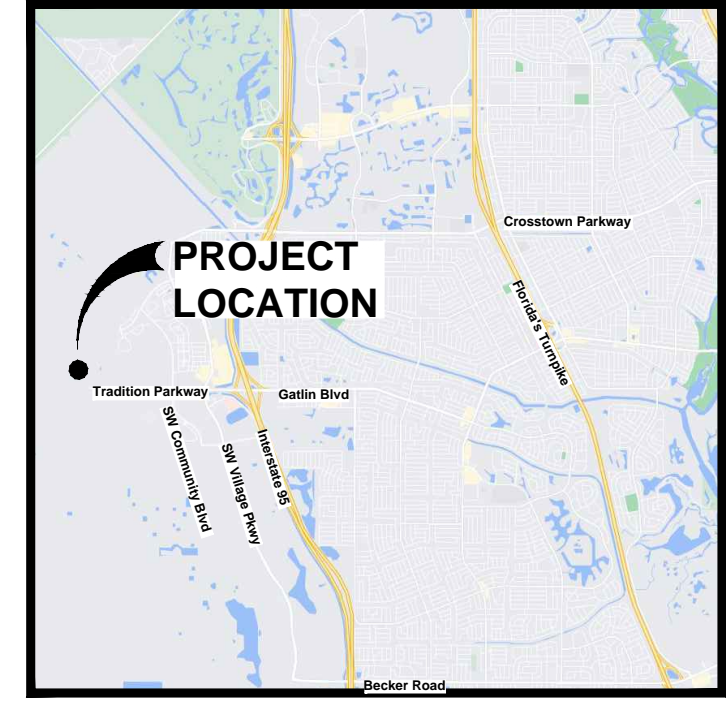
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Manager		LA-13
Project Number	20-276.38	
Municipal Number	P22-277	
Computer File	20-276.38 - Brynlie - Landscape Plan.dwg	

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See Sheet LA17

See Sheet LA9

Key / Location:



Project Team:

- Client & Property Owner:** Mattamy, LLC
2500 Quantum Lakes Drive, Suite 215
Boynton Beach, FL 33426
- Land Planner / Landscape Architect:** Lucido & Associates
701 East Ocean Boulevard
Stuart, Florida 34994
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7900 Glades Road, Suite 100
Boca Raton, FL 33434
561-392-1991

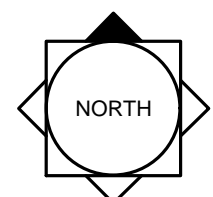
Brynlie

Tradition
St. Lucie, Florida

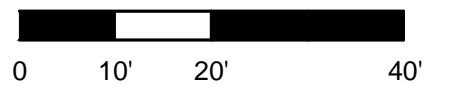
Landscape Plan

P22-277
PSLUSD # 5429B

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01.03.24	efd	Re-Submittal
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SCALE: 1" = 20'



REG. #6667144
Steven D. Garrett

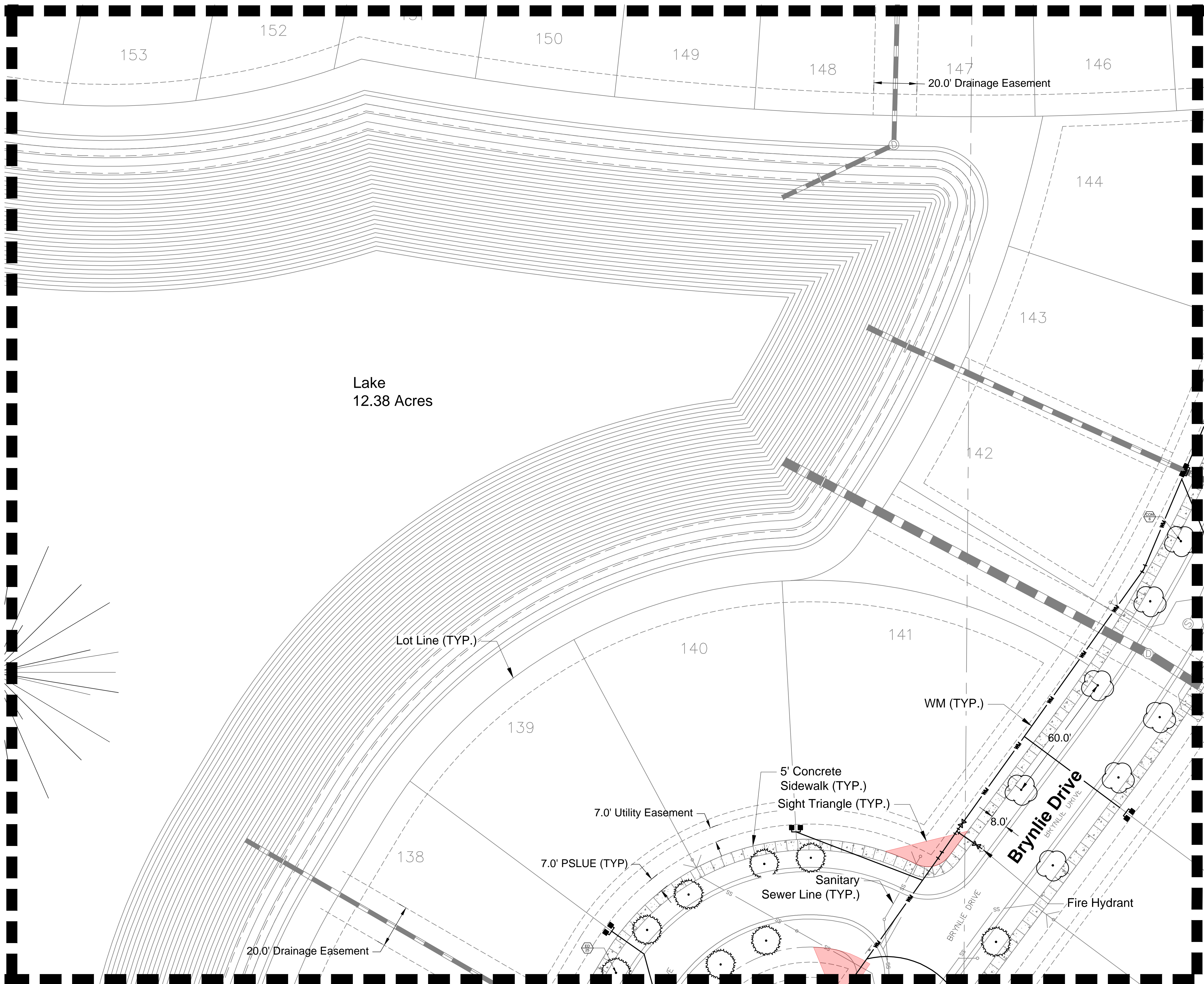
Designer	SJS	Sheet
Manager		LA-14
Project Number	20-276.38	
Municipal Number	P22-277	
Computer File	20-276.38 - Brynlie - Landscape Plan.dwg	

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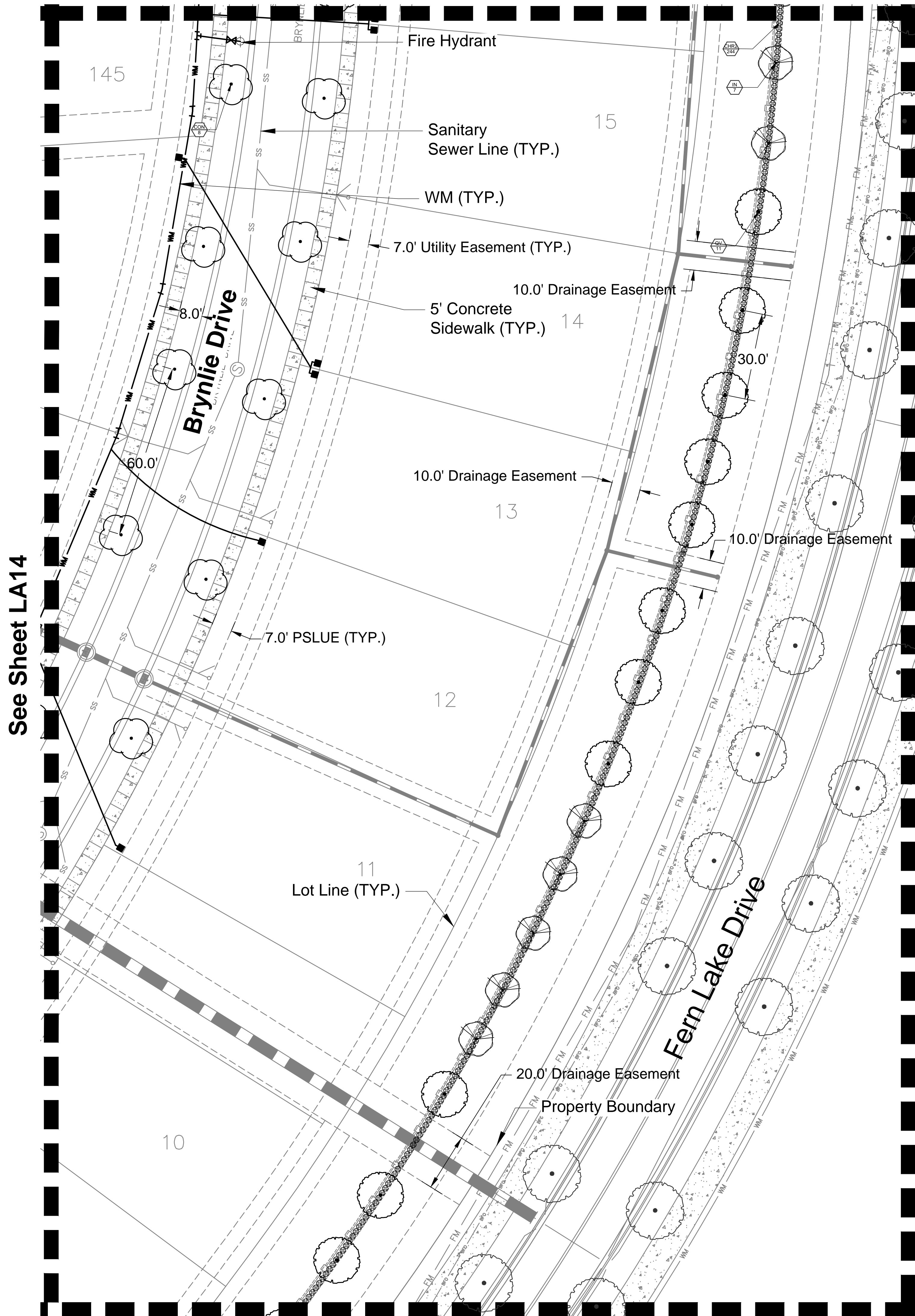
See Sheet LA13

See Sheet LA15

See Sheet LA18



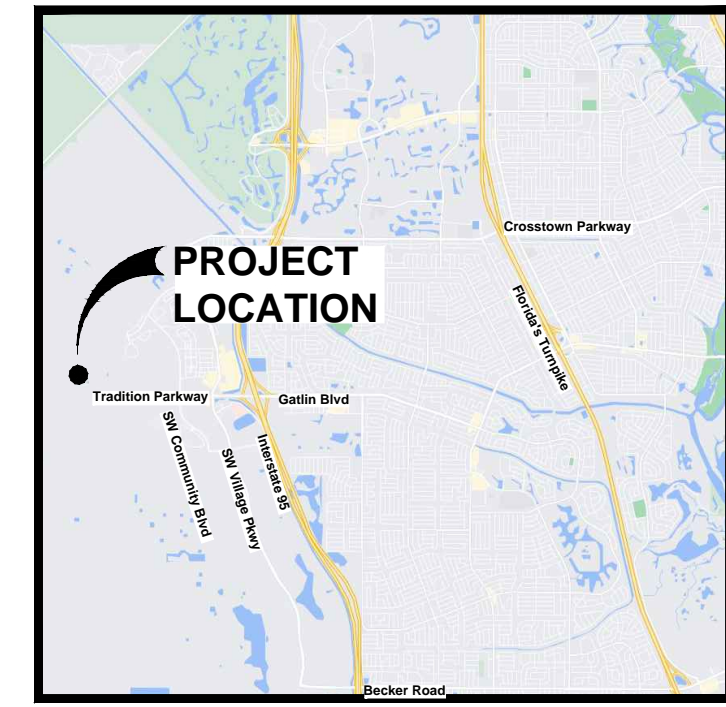
See Sheet LA10



See Sheet LA14

See Sheet LA19

Key / Location:

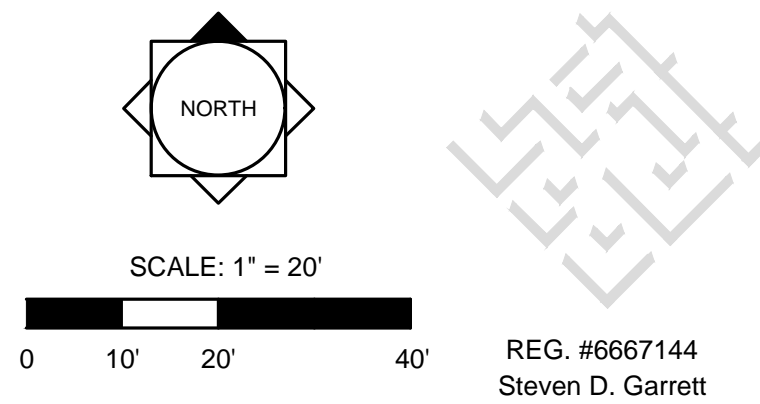


Project Team:

- Client & Property Owner:** Mattamy, LLC
2500 Quantum Lakes Drive, Suite 215
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772-794-4100
- Surveyor:** Caulfield & Wheeler, Inc.
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Boca Raton, FL 33434
561-392-1991

Brynlie
 Tradition
 St. Lucie, Florida
Landscape Plan
 P22-277
 PSLUSD # 5429B

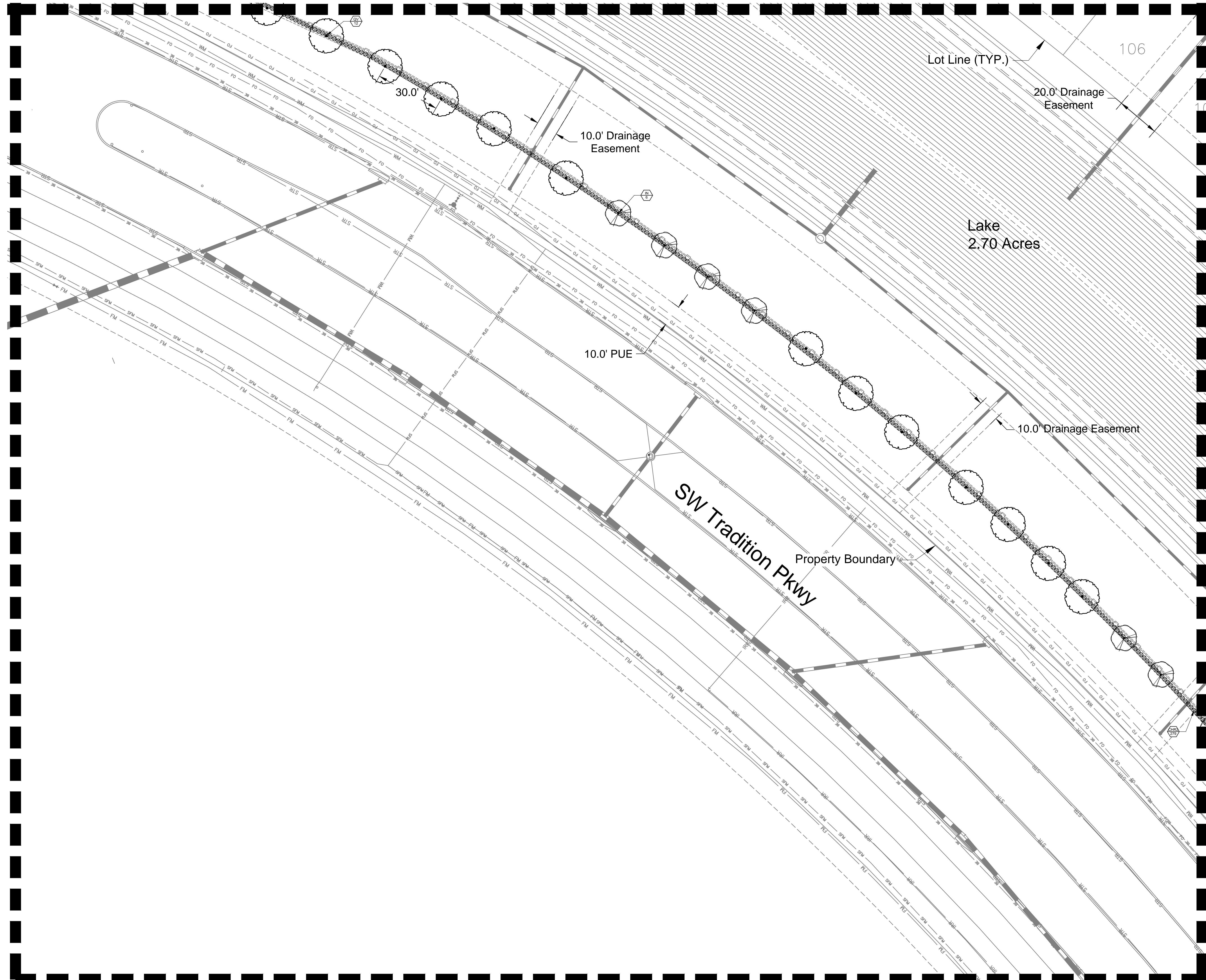
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07.01.24	efd	Re-Submittal
09.09.24	efd	Re-Submittal
10.29.24	efd	Re-Submittal



Designer: SJS
 Manager: SJS
 Project Number: 20-276.38
 Municipal Number: P22-277
 Computer File: 20-276.38 - Brynlie - Landscape Plan.dwg

LA-15

See Sheet LA12



Project Team:

Client & Property Owner: Mattamy, LLC
 2500 Quantum Lakes Drive, Suite 215
 Boynton Beach, FL 33426

Land Planner / Landscape Architect: Lucido & Associates
 701 East Ocean Boulevard
 Stuart, Florida 34994

Environmental Consultant: EW Consultants
 1000 SE Monterey Commons Blvd.,
 Suite 208
 Stuart, Florida 34996

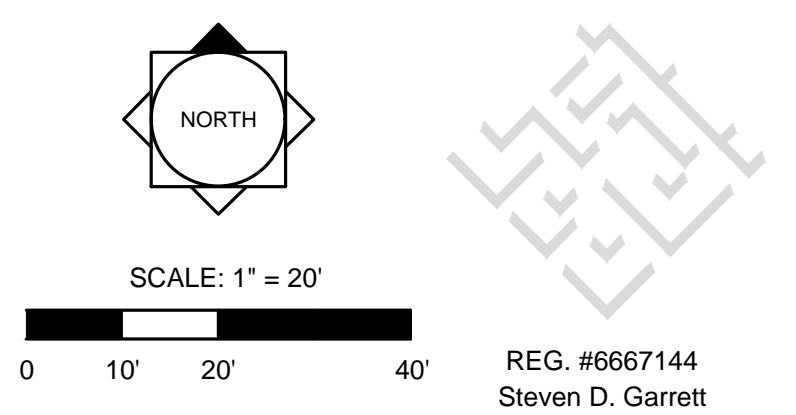
Engineer: Engineer:
 Kimley-Horn
 445 24th Street, Suite 200
 Vero Beach, FL 32960
 772-794-4100

Surveyor: Cauffman & Wheeler, Inc.
 7900 Glades Road, Suite 100
 Boca Raton, FL 33434
 561-392-1991

See Sheet LA17

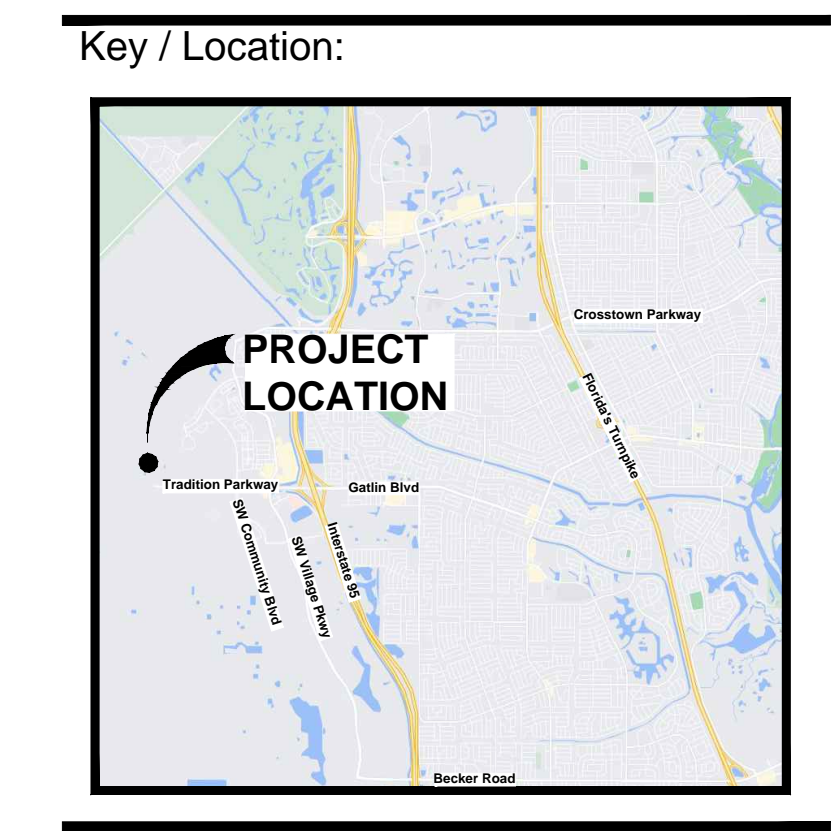
Brynlie
 Tradition
 St. Lucie, Florida
Landscape Plan
 P22-277
 PSLUSD # 5429B

Date	By	Description
07SEP22	SJS	Submittal
19OCT22	SJS	Re-Submittal
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06.21.23	SJS	Re-Submittal
06.26.23	SJS	Re-Submittal
08.02.23	SJS	Re-Submittal
09.20.23	EFD	Re-Submittal
01.03.24	EFD	Re-Submittal
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05.15.24	EFD	Re-Submittal
07.01.24	EFD	Re-Submittal
09.09.24	EFD	Re-Submittal
10.29.24	EFD	Re-Submittal



Designer: SJS Sheet
 Manager: LA-16
 Project Number: 20-276.38
 Municipal Number: P22-277
 Computer File: 20-276.38 - Brynlie - Landscape Plan.dwg

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Project Team:

Client & Property Owner: Mattamy, LLC
 2500 Quantum Lakes Drive, Suite 215
 Boynton Beach, FL 33426

Land Planner / Landscape Architect: Lucido & Associates
 701 East Ocean Boulevard
 Stuart, Florida 34994

Environmental Consultant: EW Consultants
 1000 SE Monterey Commons Blvd.,
 Suite 208
 Stuart, Florida 34996

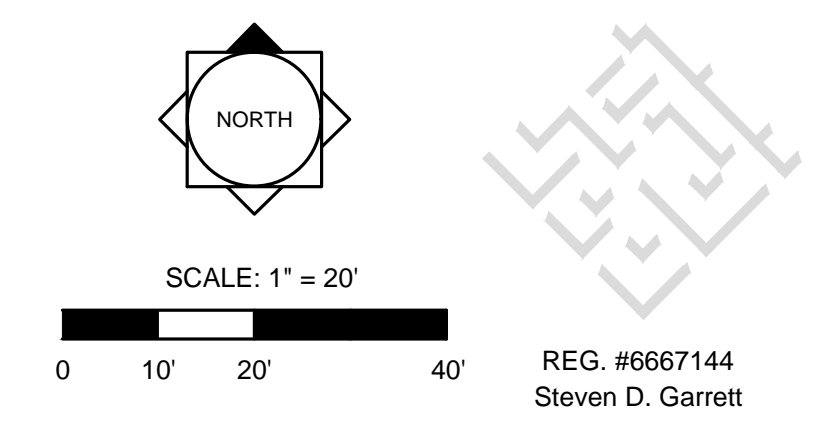
Engineer: Engineer:
 Kimley-Horn
 445 24th Street, Suite 200
 Vero Beach, FL 32960
 772-794-4100

Surveyor: Caulfield & Wheeler, Inc.
 7900 Glades Road, Suite 100
 Boca Raton, FL 33434
 561-392-1991

See Sheet LA18

Brynlie
 Tradition
 St. Lucie, Florida
Landscape Plan
 P22-277
 PSLUSD # 5429B

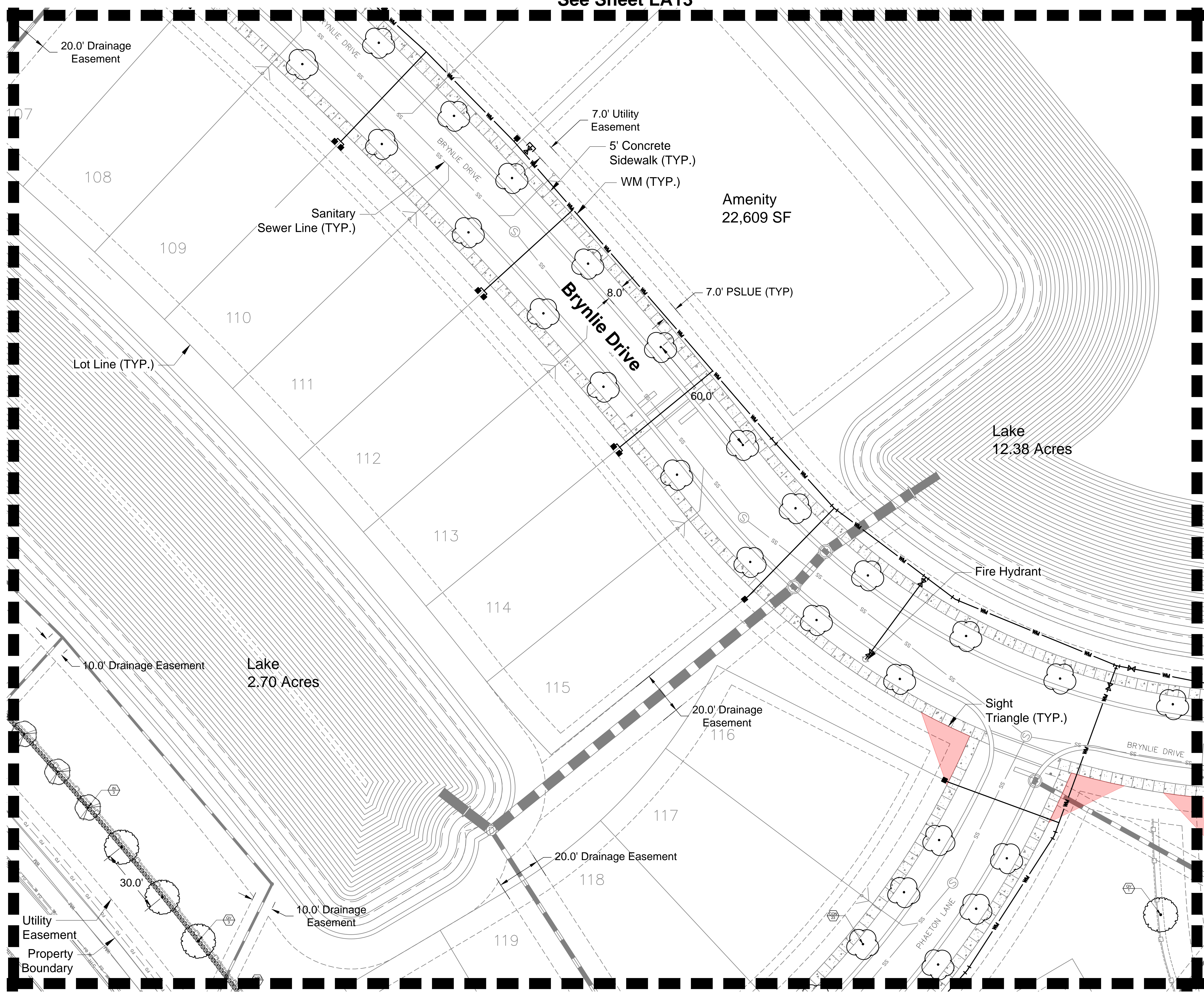
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19OCT22	SJS	Re-Submittal
04JAN22	SJS	Re-Submittal
03.01.23	SJS	Re-Submittal
06.21.23	SJS	Re-Submittal
06.26.23	SJS	Re-Submittal
08.02.23	SJS	Re-Submittal
09.20.23	EPD	Re-Submittal
01.03.24	EPD	Re-Submittal
04.02.24	SJS	Re-Submittal
04.24.24	SJS	Re-Submittal
05.15.24	EPD	Re-Submittal
07.01.24	EPD	Re-Submittal
09.09.24	EPD	Re-Submittal
10.29.24	EPD	Re-Submittal



Designer: SJS
 Manager: SJS
 Project Number: 20-276.38
 Municipal Number: P22-277
 Computer File: 20-276.38 - Brynlie - Landscape Plan.dwg

LA-17

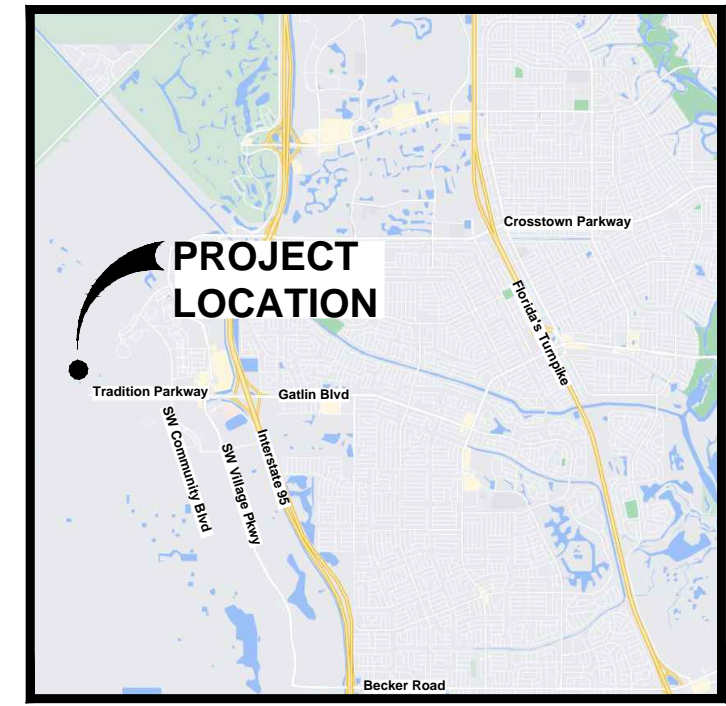
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See Sheet LA16

See Sheet LA14

Key / Location:

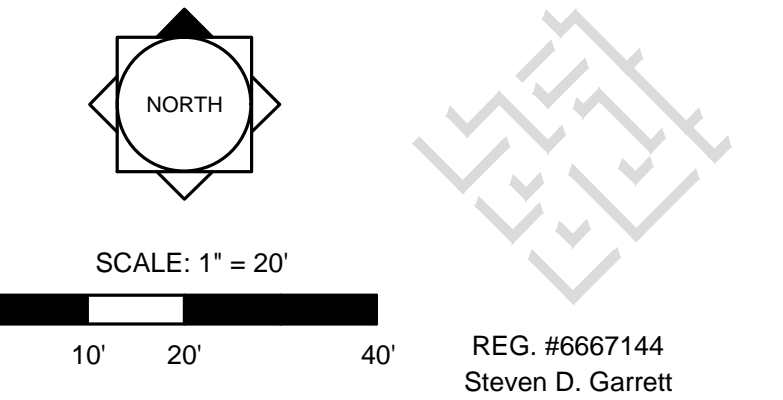


Project Team:

- Client & Property Owner:** Mattamy, LLC
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 Stuart, Florida 34994
- Environmental Consultant:** EW Consultants
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- Engineer:** Kimley-Horn
 445 24th Street, Suite 200
 Vero Beach, FL 32960
 772-794-4100
- Surveyor:** Caufield & Wheeler, Inc.
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Brynlie
 Tradition
 St. Lucie, Florida
Landscape Plan
 P22-277
 PSLUSD # 5429B

Date	By	Description
07SEP22	SJS	Submittal
19OCT22	SJS	Re-Submittal
04JAN22	SJS	Re-Submittal
03.01.23	SJS	Re-Submittal
06.21.23	SJS	Re-Submittal
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10.29.24	EFD	Re-Submittal



Designer: SJS
 Manager: SJS
 Project Number: 20-276.38
 Municipal Number: P22-277
 Computer File: 20-276.38 - Brynlie - Landscape Plan.dwg

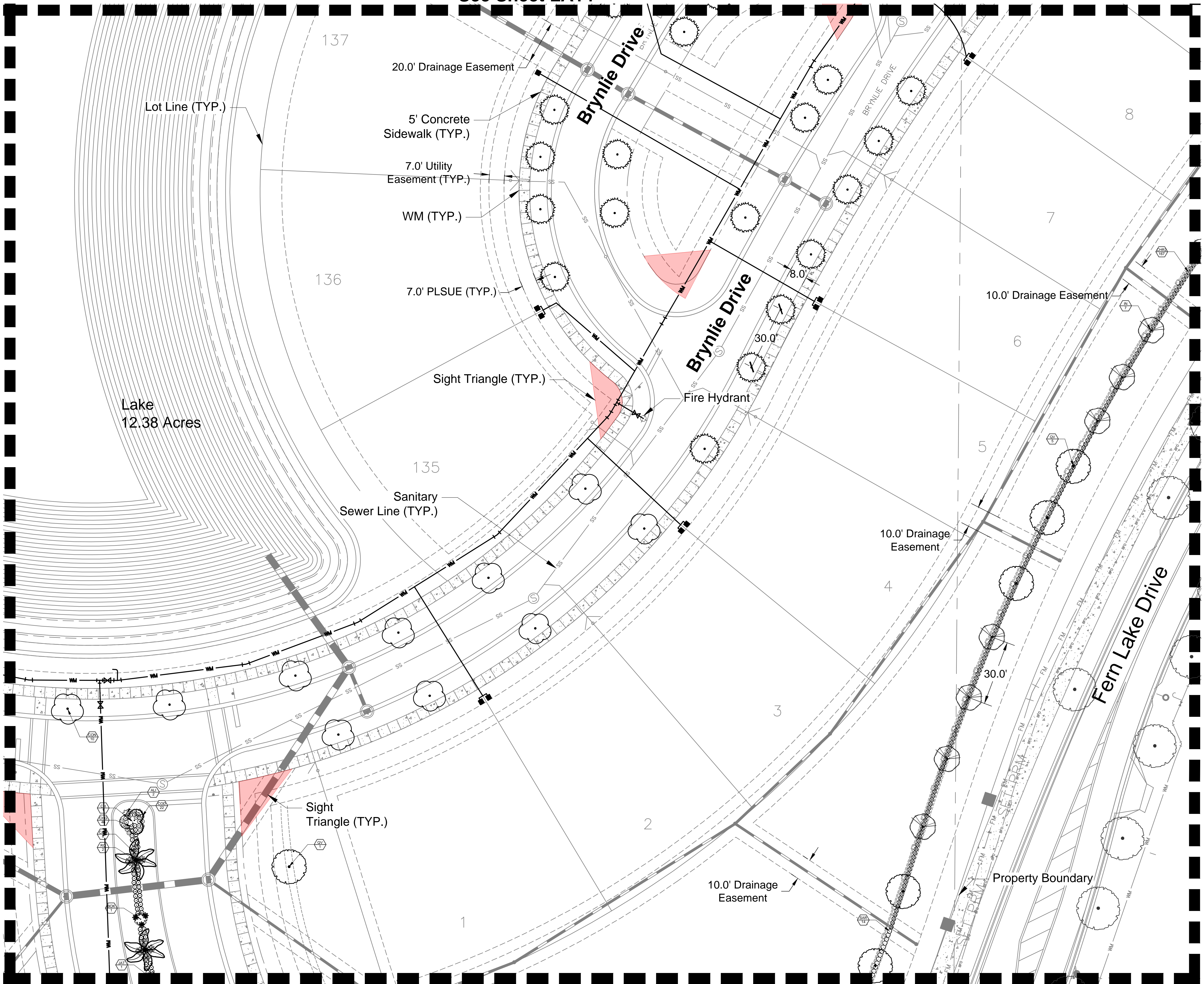
LA-18

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See Sheet LA17

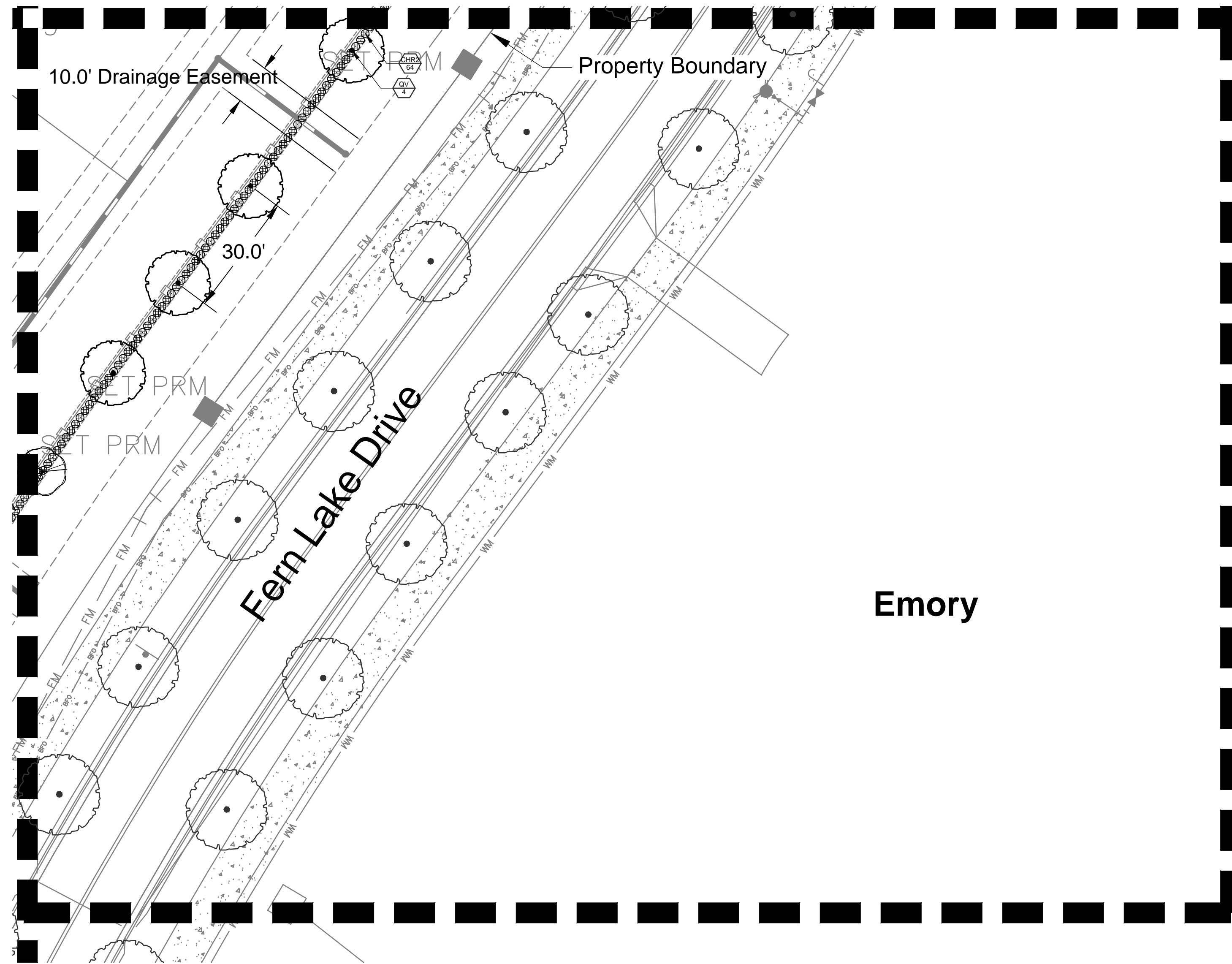
See Sheet LA19

See Sheet LA21

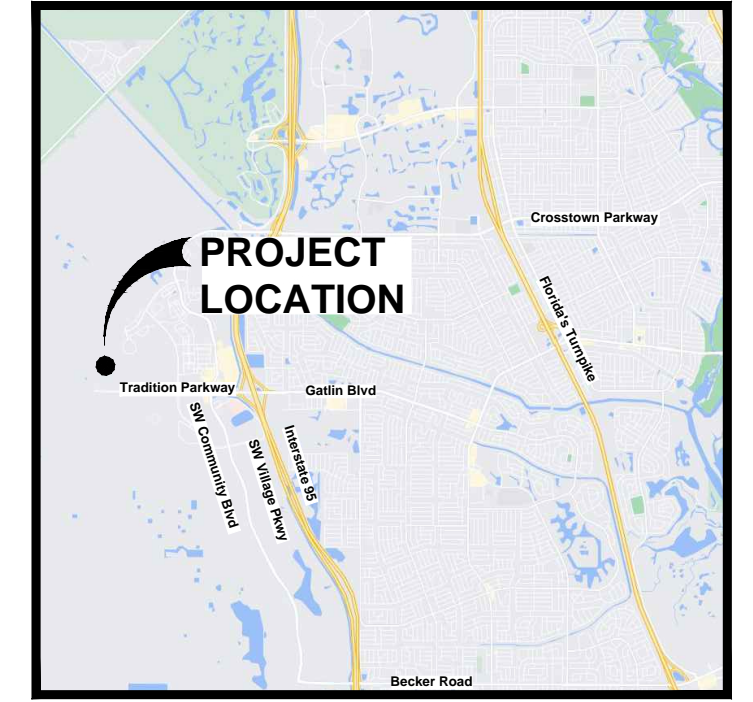


See Sheet LA15

See Sheet LA18



Key / Location:

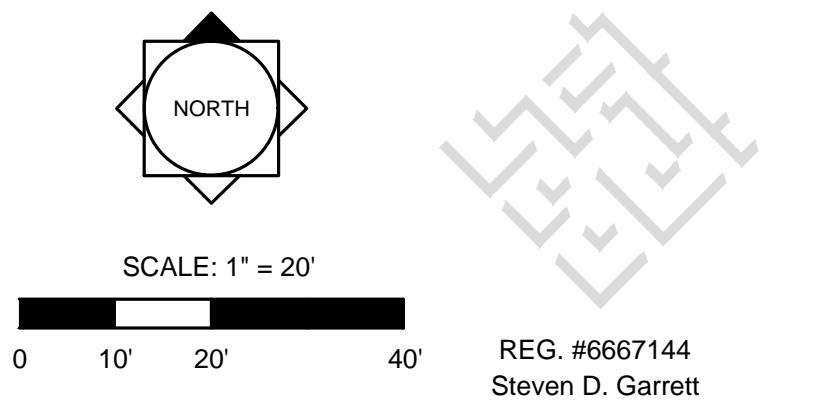


Project Team:

- Client & Property Owner:** Mattamy, LLC
 2500 Quantum Lakes Drive, Suite 215
 Boynton Beach, FL 33426
- Land Planner / Landscape Architect:** Lucido & Associates
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 Stuart, Florida 34994
- Environmental Consultant:** EW Consultants
 1000 SE Monterey Commons Blvd.,
 Suite 205
 Stuart, Florida 34996
- Engineer:** Engineer:
 Kimley-Horn
 445 24th Street, Suite 200
 Vero Beach, FL 32960
 772-794-4100
- Surveyor:** Caulfield & Wheeler, Inc.
 7900 Glades Road, Suite 100
 Boca Raton, FL 33434
 561-392-1991

Brynlie
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Landscape Plan
 P22-277
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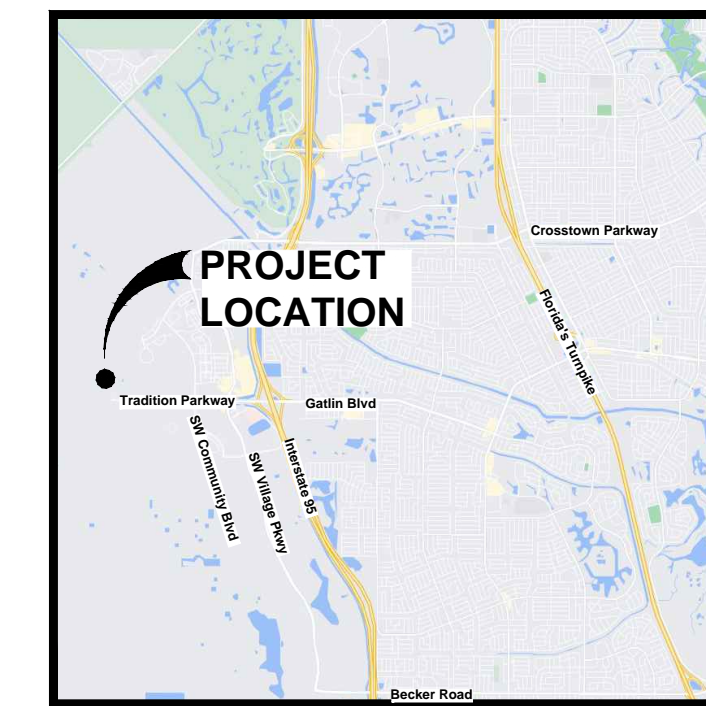
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07.01.24	EPD	Re-Submittal
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10.29.24	EPD	Re-Submittal



Designer	SJS	Sheet
Manager		LA-19
Project Number	20-276.38	
Municipal Number	P22-277	
Computer File	20-276.38 - Brynlie - Landscape Plan.dwg	

See Sheet LA17

Key / Location:



Project Team:

Client & Property Owner: Mattamy, LLC
 2500 Quantum Lakes Drive, Suite 215
 Boynton Beach, FL 33426

Land Planner / Landscape Architect: Lucido & Associates
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 Stuart, Florida 34994

Environmental Consultant: EW Consultants
 1000 SE Monterey Commons Blvd.,
 Suite 208
 Stuart, Florida 34996

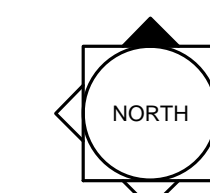
Engineer: Kimley-Horn
 445 24th Street, Suite 200
 Vero Beach, FL 32960
 772-794-4100

Surveyor: Caulfield & Wheeler, Inc.
 7900 Glades Road, Suite 100
 Boca Raton, FL 33434
 561-392-1991

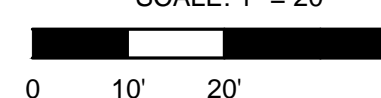
See Sheet LA21

Brynlie
 Tradition
 St. Lucie, Florida
Landscape Plan
 P22-277
 PSLUSD # 5429B

Date	By	Description
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19OCT22	SJS	Re-Submittal
04JAN22	SJS	Re-Submittal
03.01.23	SJS	Re-Submittal
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06.26.23	SJS	Re-Submittal
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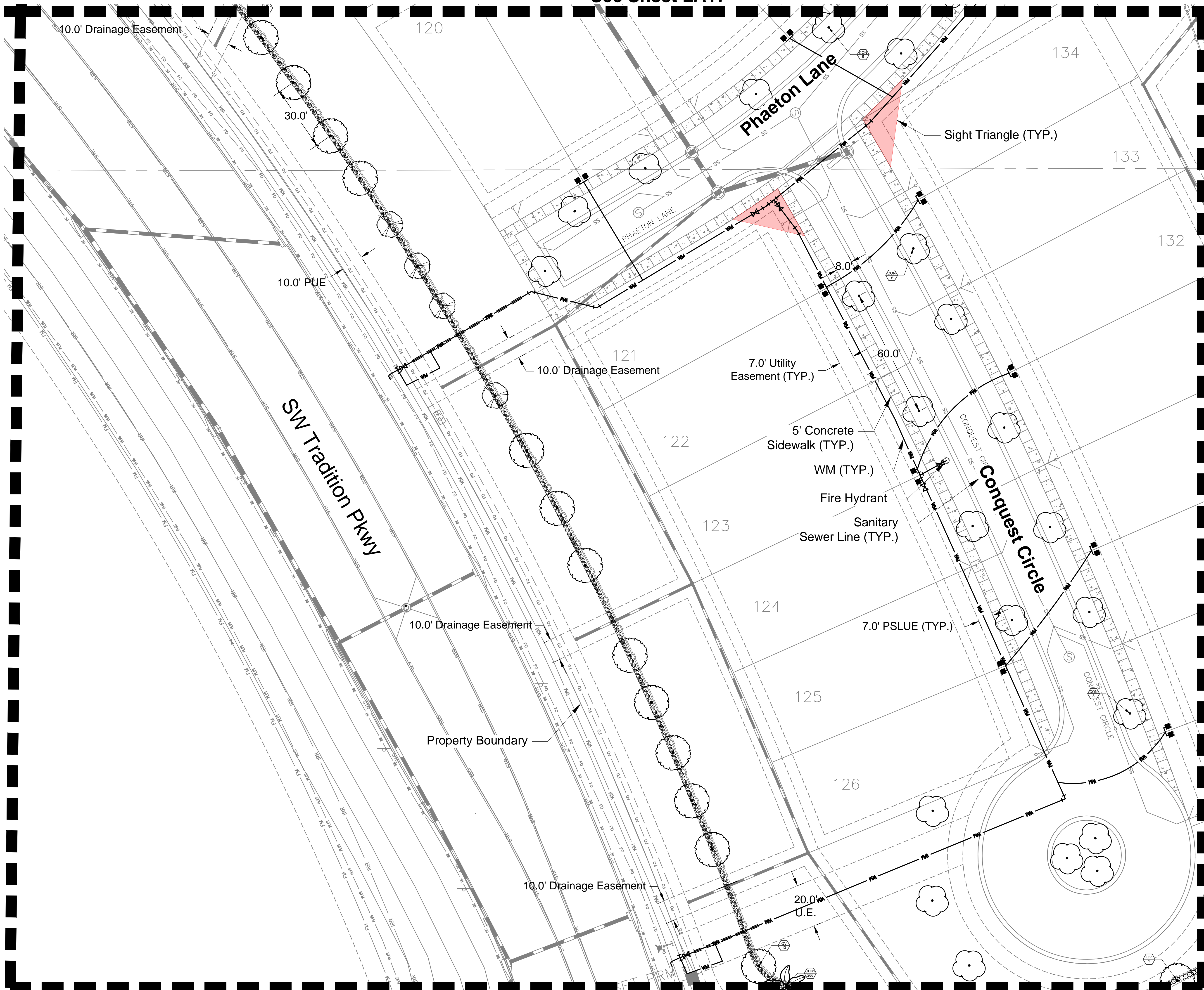
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REG. #6667144
Steven D. Garrett

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 Project Number: 20-276.38
 Municipal Number: P22-277
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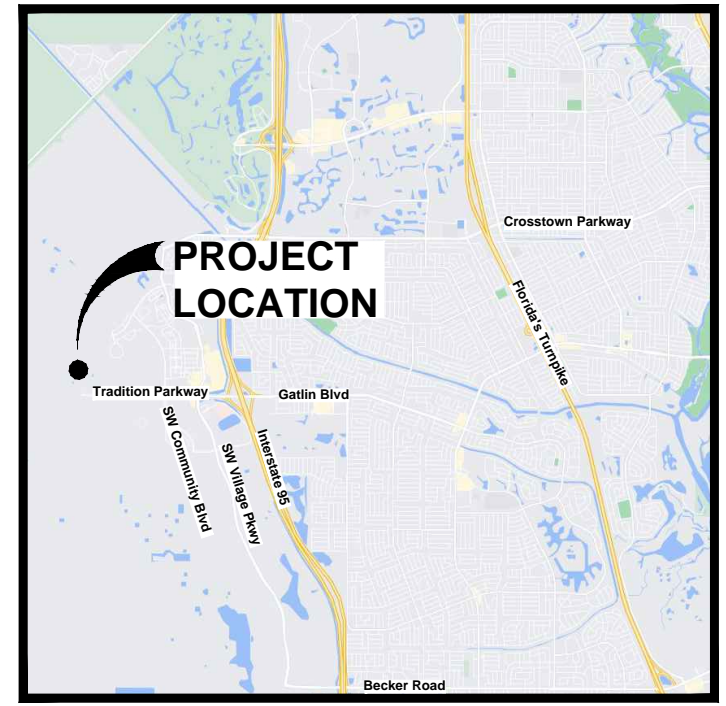
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See Sheet LA22

See Sheet LA18

Key / Location:



Project Team:

Client & Property Owner: Mattamy, LLC
 2500 Quantum Lakes Drive, Suite 215
 Boynton Beach, FL 33426

Land Planner / Landscape Architect: Lucido & Associates
 701 East Ocean Boulevard
 Stuart, Florida 34994

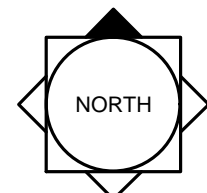
Environmental Consultant: EW Consultants
 1000 SE Monterey Commons Blvd.,
 Suite 208
 Stuart, Florida 34996

Engineer: Kimley-Horn
 445 24th Street, Suite 200
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 772-794-4100

Surveyor: Cauffman & Wheeler, Inc.
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 561-392-1991

Brynlie
 Tradition
 St. Lucie, Florida
Landscape Plan
 P22-277
 PSLUSD # 5429B

Date	By	Description
07SEP22	SJS	Submittal
19OCT22	SJS	Re-Submittal
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04.24.24	SJS	Re-Submittal
05.15.24	EFD	Re-Submittal
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10.29.24	EFD	Re-Submittal



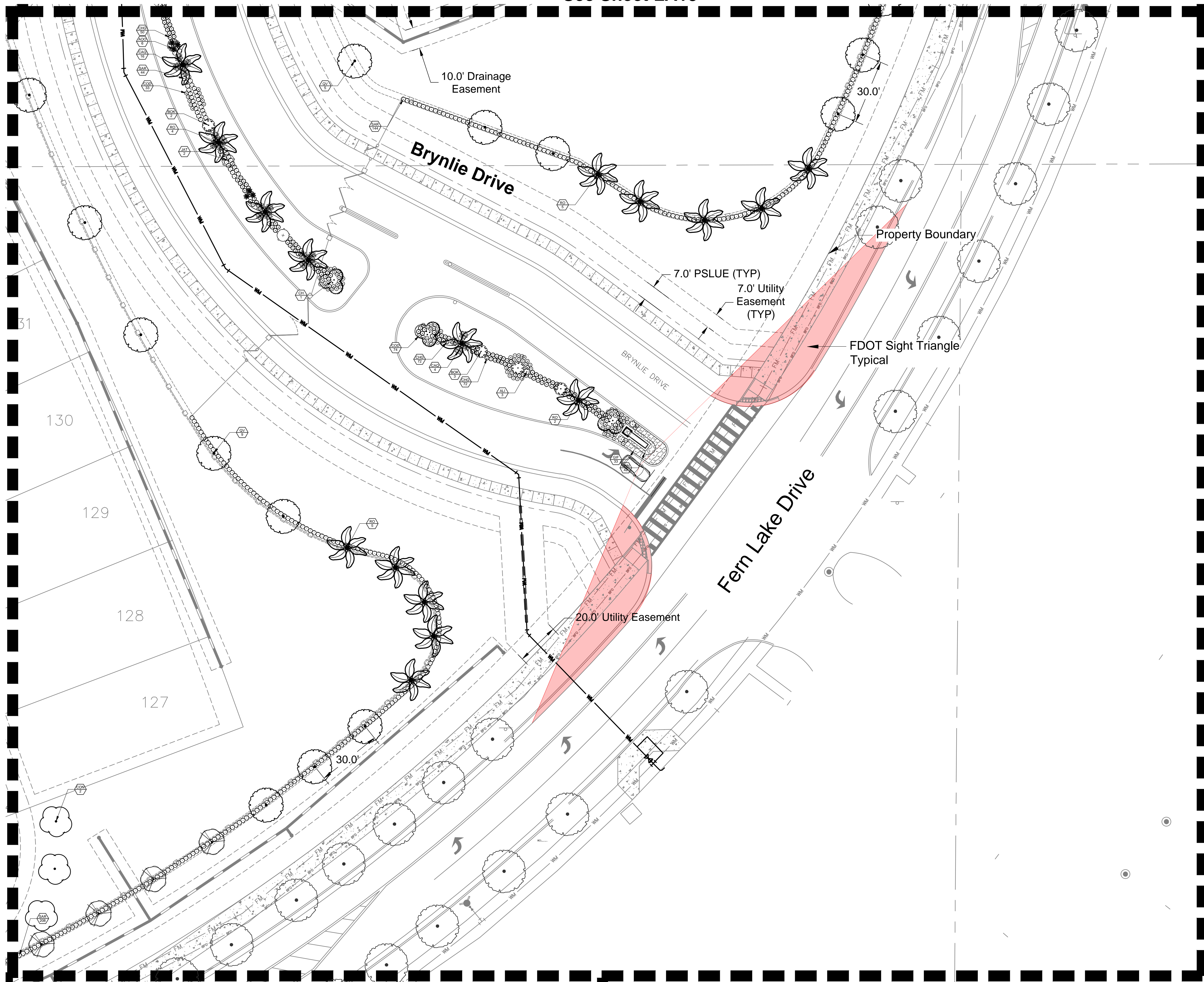
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REG. #6667144
 Steven D. Garrett

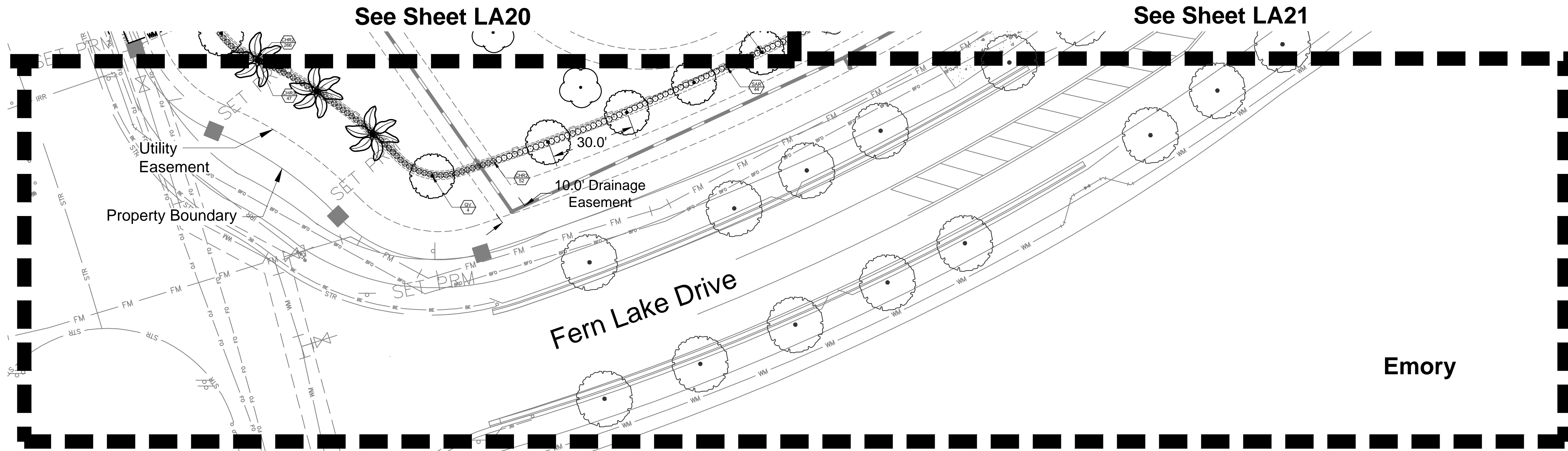
Designer: SJS Sheet
 Manager: LA-21
 Project Number: 20-276.38
 Municipal Number: P22-277
 Computer File: 20-276.38 - Brynlie - Landscape Plan.dwg

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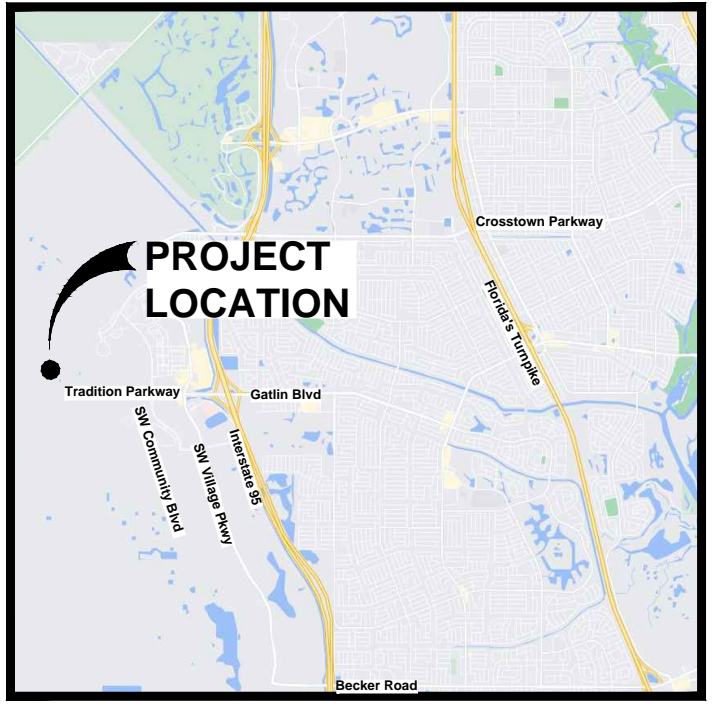
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See Sheet LA22



Key / Location:



Project Team:

- Client & Property Owner:** Mattamy, LLC
2500 Quantum Lakes Drive, Suite 215
Boynton Beach, FL 33426
- Land Planner / Landscape Architect:** Lucido & Associates
701 East Ocean Boulevard
Stuart, Florida 34994
- Environmental Consultant:** EW Consultants
1000 SE Monterey Commons Blvd.,
Suite 208
Stuart, Florida 34996
- Engineer:** Engineer:
Kimley-Horn
445 24th Street, Suite 200
Vero Beach, FL 32960
772-794-4100
- Surveyor:** Caulfield & Wheeler, Inc.
7900 Glades Road, Suite 100
Boca Raton, FL 33434
561-392-1991

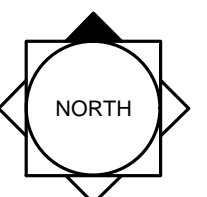
Brynlie

Tradition
St. Lucie, Florida

Landscape Plan

P22-277
PSLUSD # 5429B

Date	By	Description
07SEP22	SJS	Submittal
19OCT22	SJS	Re-Submittal
04JAN22	SJS	Re-Submittal
03.01.23	SJS	Re-Submittal
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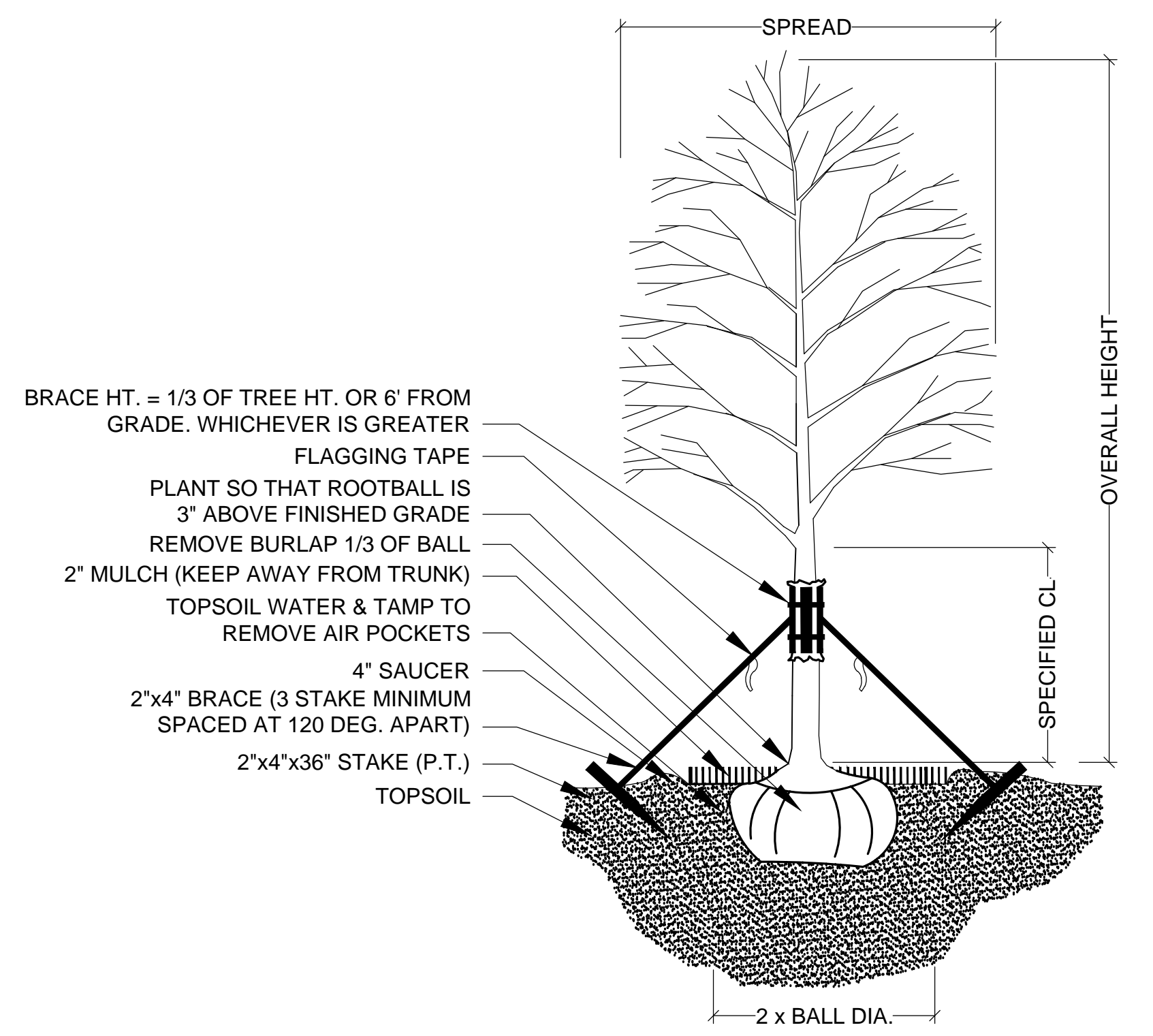


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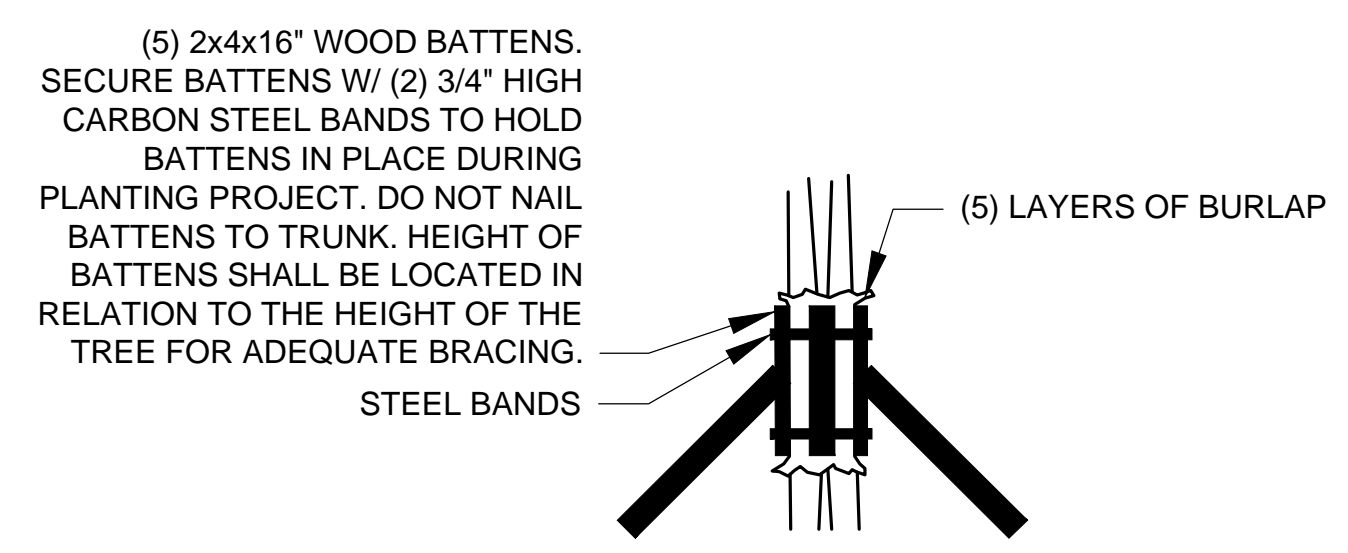


REG. #6667144
Steven D. Garrett

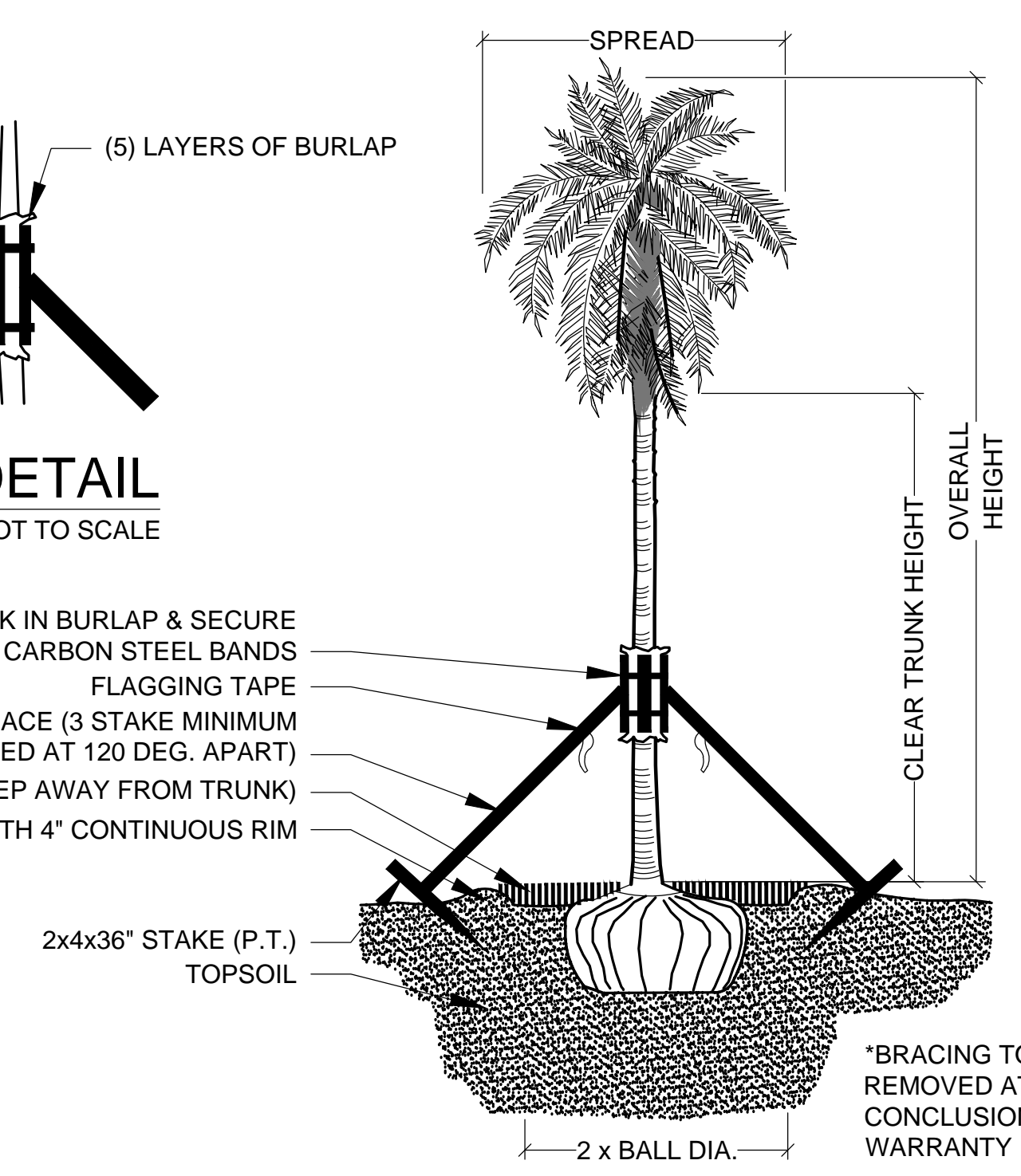
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Project Number	20-276.38	
Municipal Number	P22-277	
Computer File	20-276.38 - Brynlie - Landscape Plan.dwg	



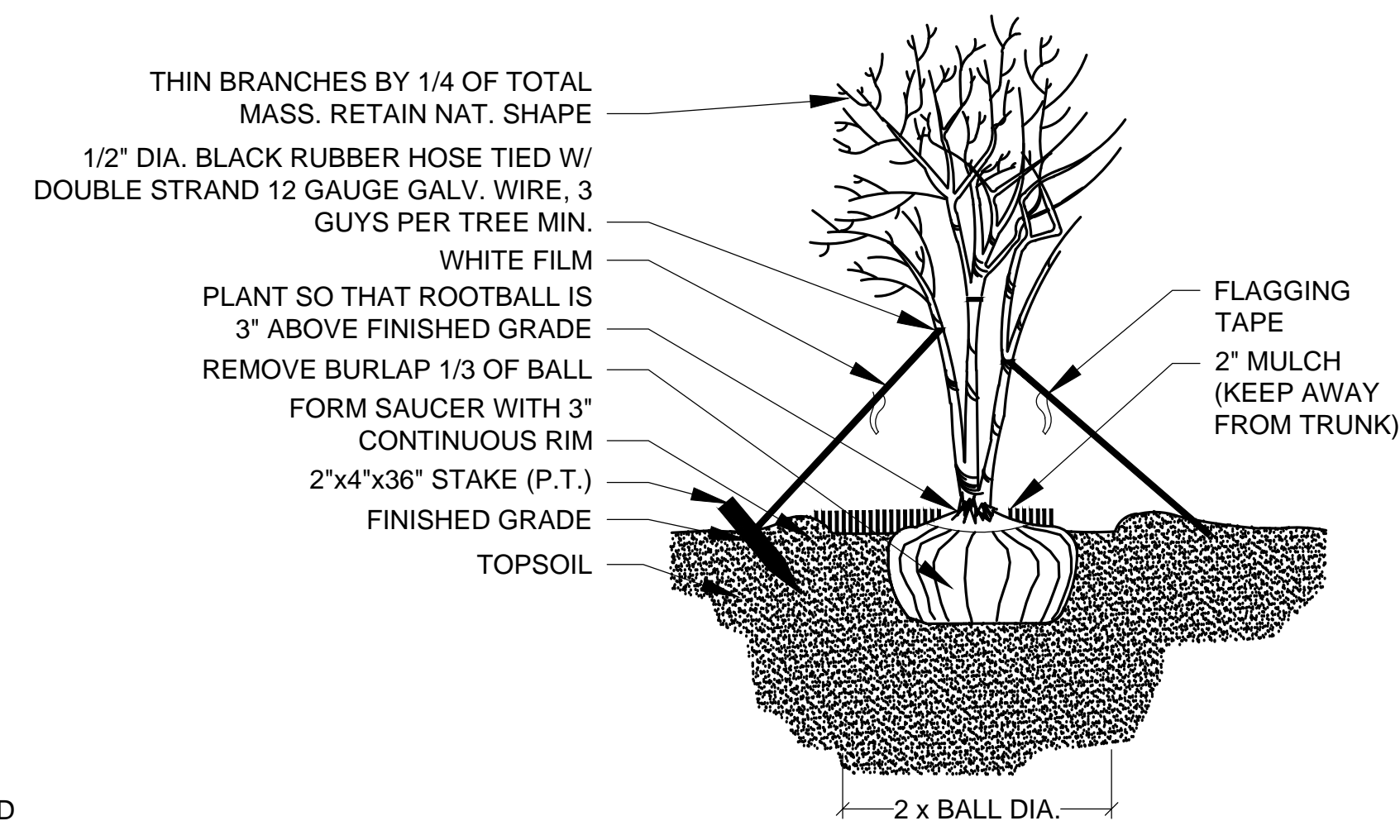
TREE PLANTING & STAKING
NOT TO SCALE



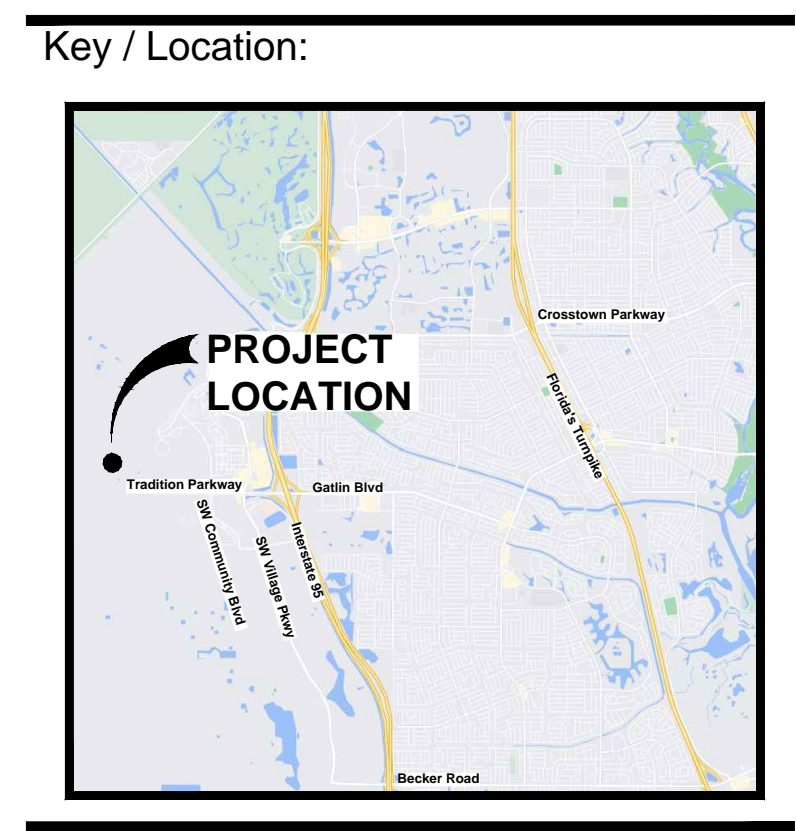
BRACING DETAIL
NOT TO SCALE



PALM PLANTING - ANGLE STAKE
NOT TO SCALE



MULTI-TRUNK PLANTING & GUYING



Project Team:

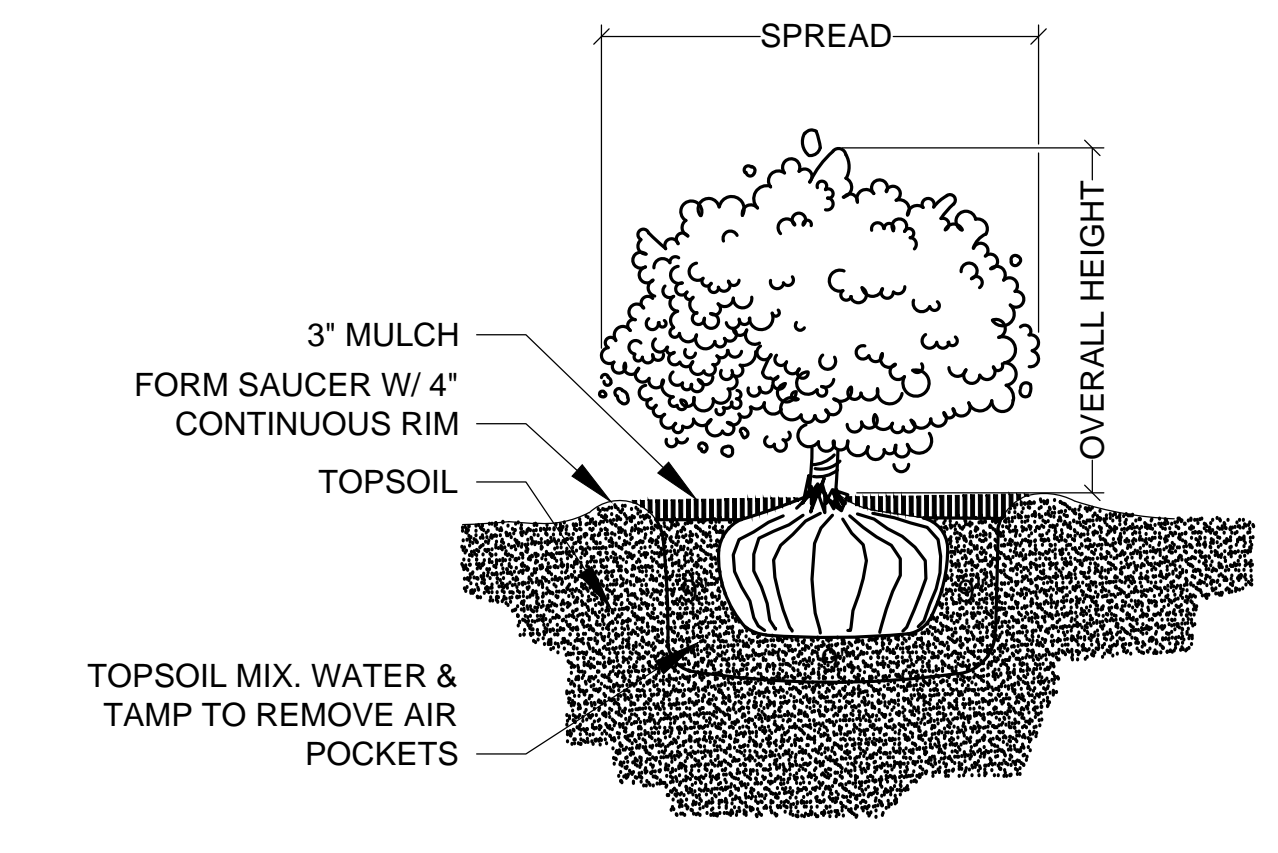
Client & Property Owner: Mattamy, LLC
2500 Quantum Lakes Drive, Suite 215
Boynton Beach, FL 33426

Land Planner / Landscape Architect: Lucido & Associates
701 East Ocean Boulevard
Stuart, Florida 34994

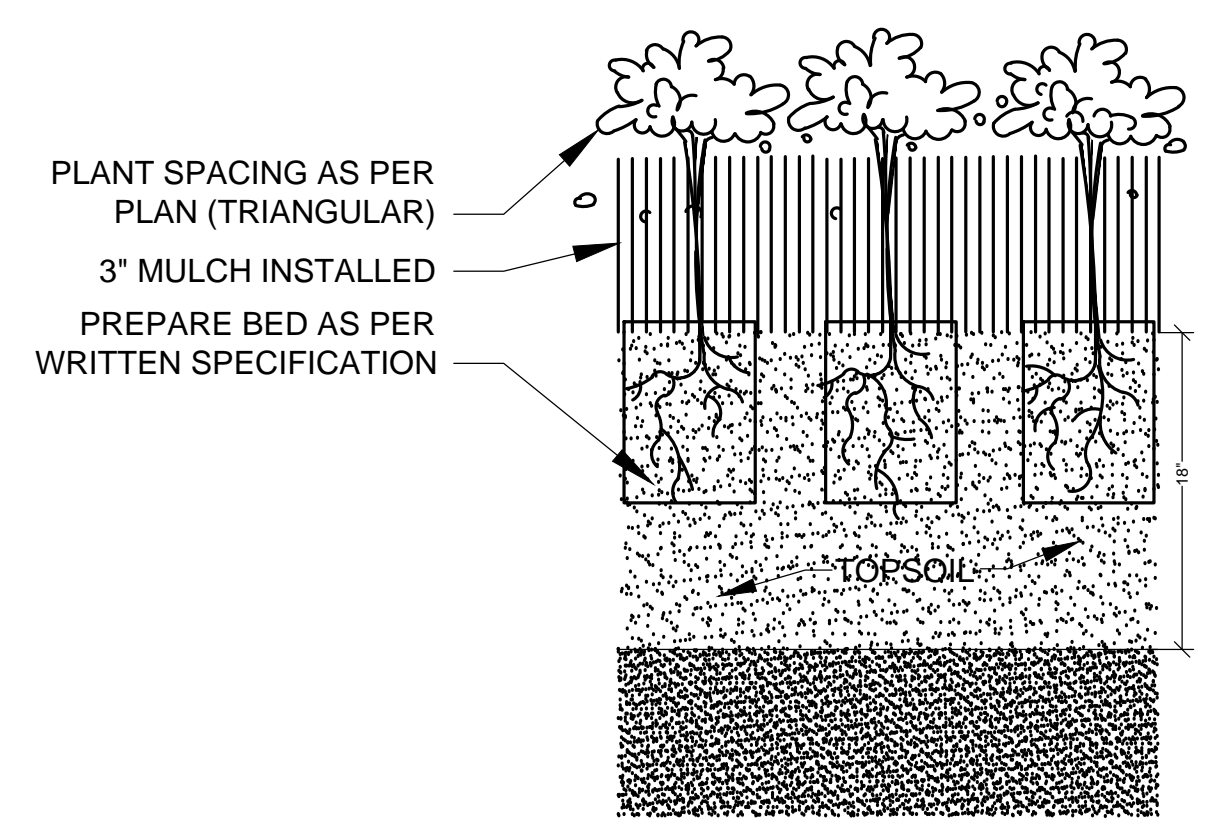
Environmental Consultant: EW Consultants
1000 SE Monterey Commons Blvd., Suite 208
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Engineer: Engineer: Kinley-Horn
445 24th Street, Suite 200
Vero Beach, FL 32960
772-794-4100

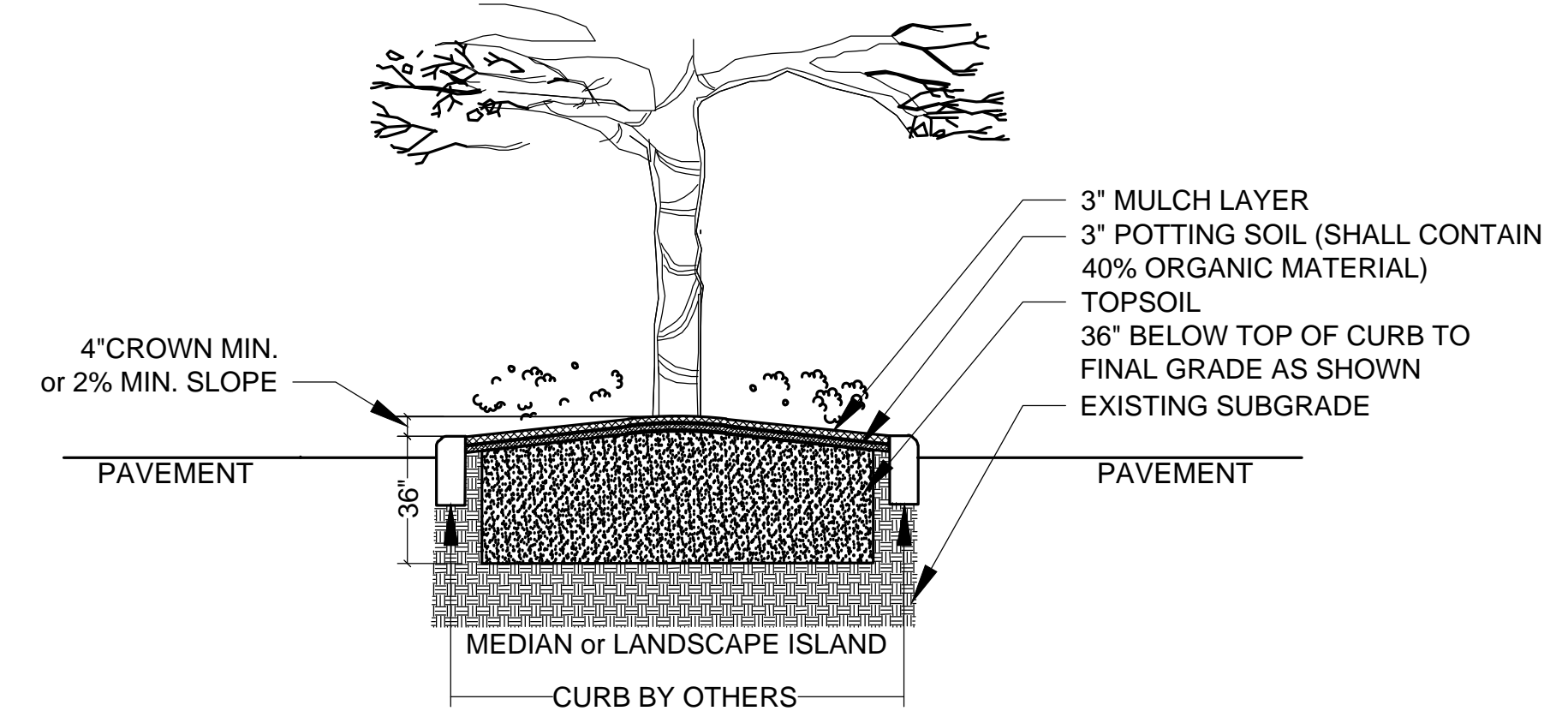
Surveyor: Cauffield & Wheeler, Inc.
7900 Glades Road, Suite 100
Boca Raton, FL 33434
561-392-1991



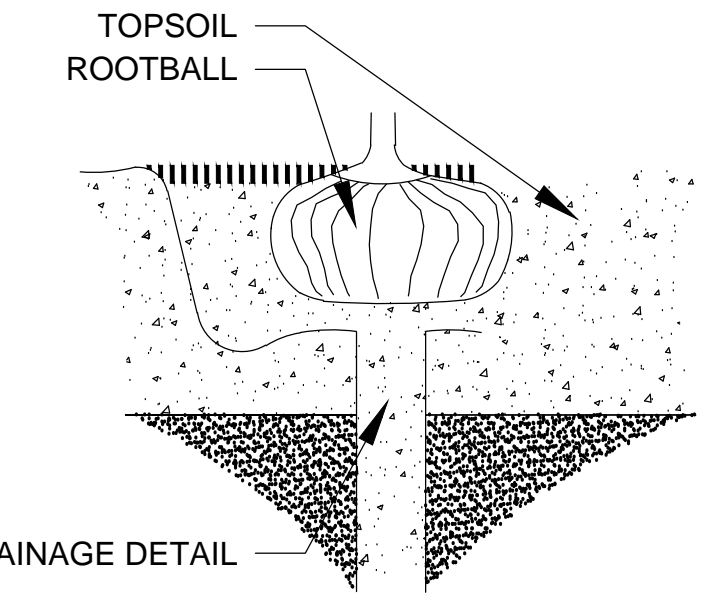
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GROUNDCOVER PLANTING DETAIL
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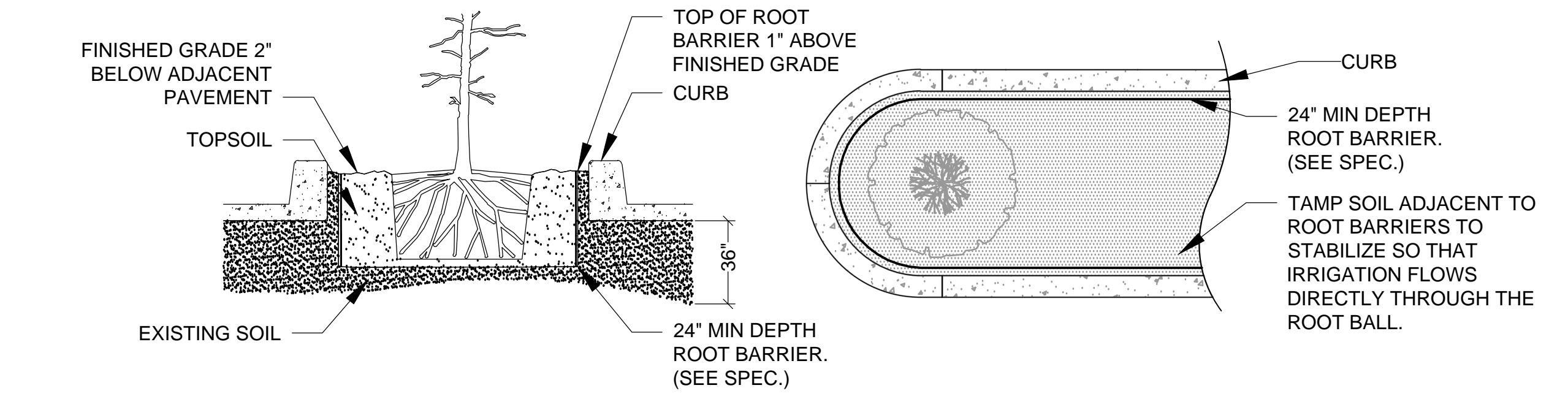
LANDSCAPE AREA PREPARATION DETAIL
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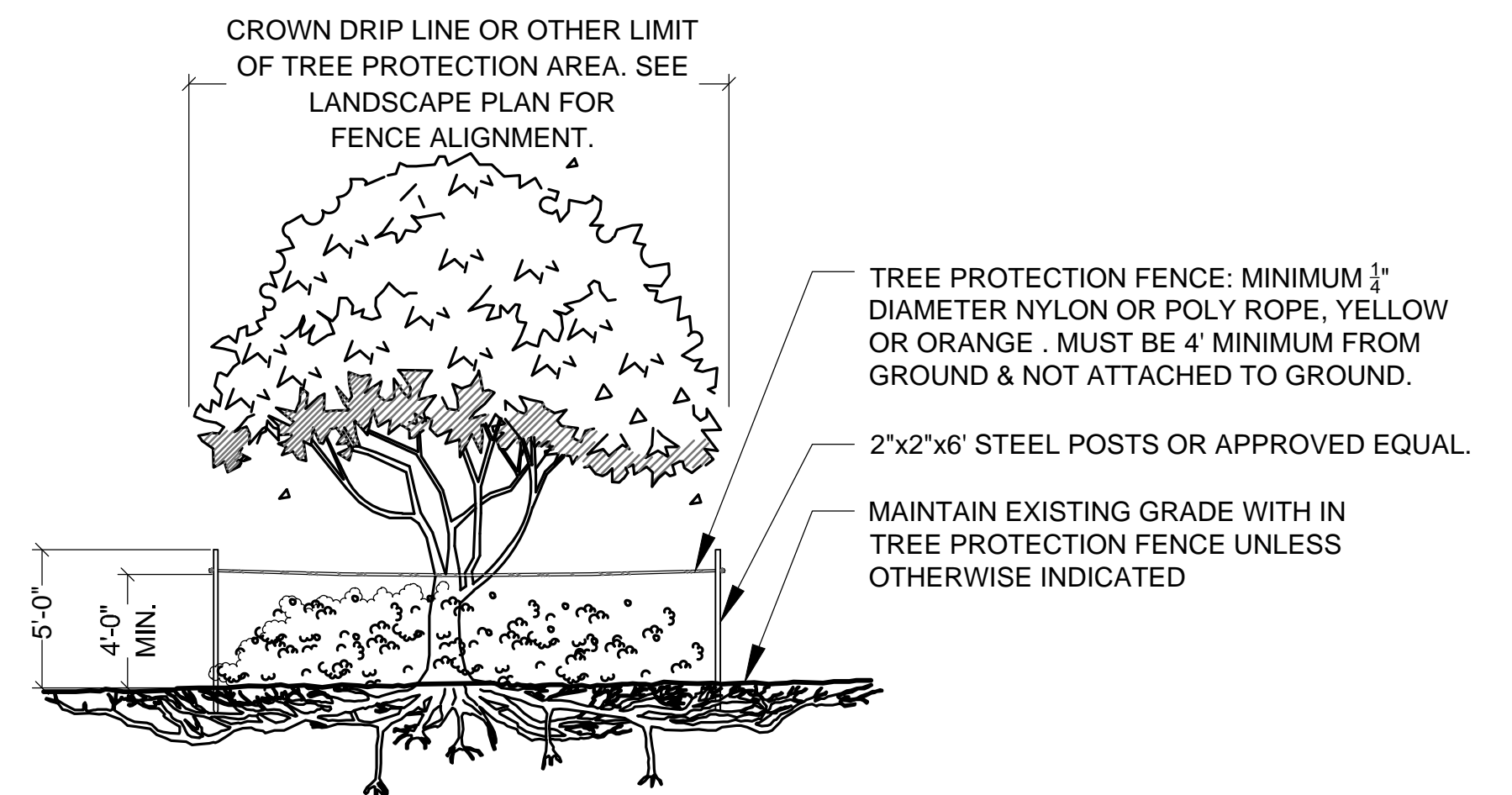
DRAINAGE TESTING DETAIL

THIS DETAIL SHOWN DEPICTS A MEDIAN AND/OR LANDSCAPE ISLAND AND IS FOR GRAPHIC PURPOSES ONLY; SOIL PREPARATION SHALL APPLY TO ALL TREE, SHRUB, & GROUND COVER AREAS. THIS DOES NOT INCLUDE SOD AREAS

*TOPSOIL SHALL BE NATURAL, FRIABLE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY OF THE PROJECT SITE THAT PRODUCES HEAVY GROWTH.
 *TOPSOIL SHALL HAVE A PH RANGE OF 5.5-7.4, FREE FROM SUBSOIL, WEEDS, LITTER, SOOS, CLAY, STONES, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH, OR HINDER PLANTING OPERATIONS.
 *TOPSOIL SHALL CONTAIN A MINIMUM OF 3% ORGANIC MATERIAL.
 *TOPSOIL MUST PERCOLATE WATER AT A RATE OF 1\"/>



SPECIAL APPLICATIONS ROOT BARRIER DETAIL
NOT TO SCALE



TREE PROTECTION BARRICADE
NOT TO SCALE

NOTES:
 1- SEE LANDSCAPE PLAN FOR FENCE ALIGNMENT.
 2- NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 3- NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.

DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS.

PRIOR TO PLANTING, ALL PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER.

A. DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.

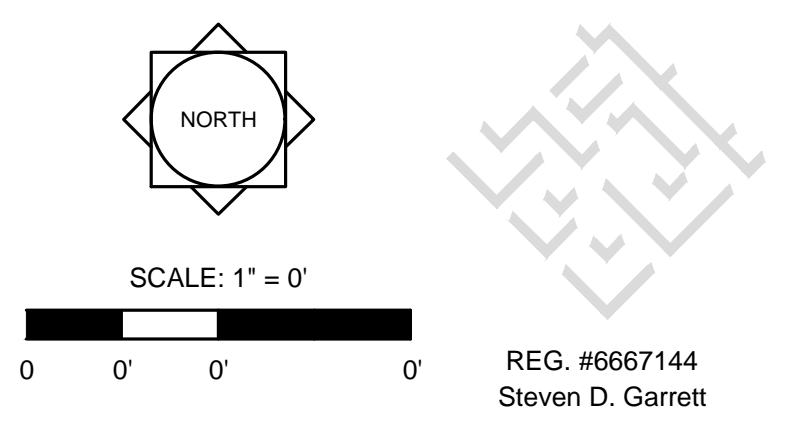
B. FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED. IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.

C. WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL)

D. ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.

E. WHEN BACKFILLING PLANTING PITS WITH NATIVE TOPSOIL, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.

Date	By	Description
07SEP22	SJS	Submittal
19OCT22	SJS	Re-Submittal
04JAN22	SJS	Re-Submittal
03.01.23	SJS	Re-Submittal
06.21.23	SJS	Re-Submittal
06.26.23	SJS	Re-Submittal
08.02.23	SJS	Re-Submittal
09.20.23	EPD	Re-Submittal
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04.02.24	SJS	Re-Submittal
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09.09.24	EPD	Re-Submittal
10.29.24	EPD	Re-Submittal



Designer: SJS
 Manager: SJS
 Project Number: 20-276.38
 Municipal Number: P22-277
 Computer File: 20-276.38 - Brynlie - Landscape Plan.dwg

LA-23

LANDSCAPE SPECIFICATIONS

PART 1: GENERAL CONDITIONS

- 1.01 SCOPE: The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.
1.02 AGENCY STANDARDS: Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in: Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.
1.03 SITE EXAMINATION: The Landscape Contractor shall personally examine the site and fully acquaint him/herself with all of the existing conditions in order that no mis-understanding may afterwards arise as to the character or extent of the work to be performed, and, additionally, in order to acquaint him/herself with all precautions to be taken in order to avoid injury to property or persons.
1.04 ERRORS AND OMISSIONS: The plant list is a part of the drawings and is furnished as a convenience. The plant list indicates the name, size and quantities of specific plant materials as called for and is located on the drawings.
B. The Landscape Contractor shall not take advantage of errors or omissions in the specifications or contract drawings.
C. If plans and specifications are found to disagree after the contract is awarded, the Landscape Architect shall be the judge as to which was intended.
1.05 EXECUTION OF THE WORK: The Landscape Contractor shall have his labor crews controlled and directed by a Foreman well versed in plant materials, planting methods, reading plans, and coordination between job and nursery in order to execute installation correctly and in a timely manner.
B. The Landscape Contractor shall provide a competent English-speaking Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work.
C. The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implementation of the job.
1.06 PROTECTION OF PUBLIC AND PROPERTY: The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public.
1.07 CHANGES AND EXTRAS: The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting forth the adjusted prices has been executed by the Owner and the Contractor.
1.08 GUARANTEE: The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of 18 MONTHS from the time of completion and acceptance by the Landscape Architect and Owner.
B. At the end of the specified guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Landscape Architect, shall be replaced.
1.09 CARE AND MAINTENANCE: The Landscape Contractor shall be responsible for the care and maintenance of all plant materials and irrigation when applicable until final acceptance by the Owner or Landscape Architect.
B. The Owner agrees to execute the instructions for such care and maintenance.
1.10 SAFETY: It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage.
B. It shall be the contractor's responsibility to conform to all local, state, and federal safety laws and codes including the Federal Occupational Safety And Health Act (O.S.H.A.).
1.11 CONTRACTOR QUALIFICATION: The Owner may require the apparent contractor (s) to qualify him/herself to be a responsible entity by furnishing any or all of the following documentary data:
1. A financial statement showing assets and liabilities of the company current to date.
2. A listing of not less than (3) completed projects of similar scope and nature.
3. Permanent name and address of place of business.
4. The number of regular employees of the organization and length of time the organization has been in business under the present name.

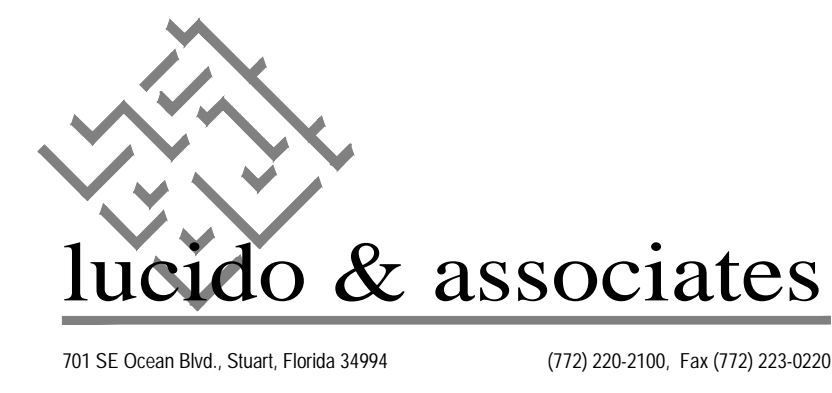
PART 2: MATERIALS

- 2.01 PLANT MATERIALS: A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary.
B. Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY upon written authorization by the Owner or the Landscape Architect.
C. All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal to or exceed the measurements specified in the plant list.
D. All plant materials shall be nursery grown, unless otherwise noted, Florida #1 or better and shall comply with all required inspections, grading standards and plant regulations as set forth by the Florida Department of Agriculture's Grades and Standards for Nursery Plants, most current addition and Grades and Standards for Nursery Plants, most current addition.
E. Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.
F. The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed properly and/or approved by the Landscape Architect at no additional cost to owner.

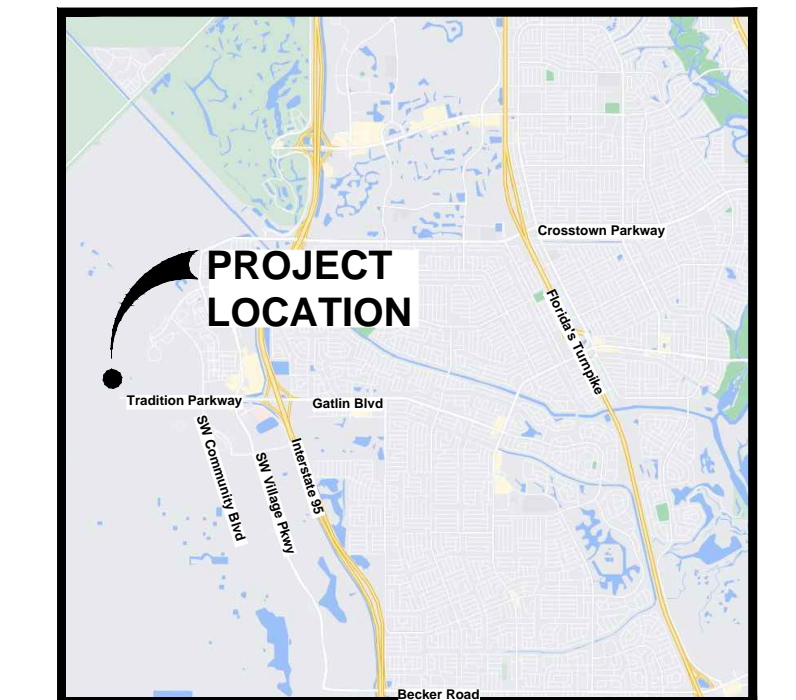
2.02 INSPECTION

- A. The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size and quality.
2.03 PROTECTION OF PLANT MATERIALS: Balled and burlapped plants (B & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant.
B. Plants with broken, damaged or insufficient rootballs will be rejected.
C. All plant material shall be protected from possible bark injury or breakage of branches.
D. Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other protection from the drying of wind and sun.
2.04 STORAGE: All plant materials shall be stored on the site in designated areas, specified by the Landscape Architect or Owner's agent.
B. No plant material shall be stored longer than seventy-two (72) hours unless approved by Landscape Architect and/or owner.
C. The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.
D. All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.
2.05 PROTECTION DURING PLANTING: Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens or other approved methods.
2.06 TOP SOIL: Planting soil for all plantings shall consist of topsoil and be natural, friable, fertile, fine loamy soil possessing characteristics of representative topsoil in the vicinity of the project site.
B. Landscape Area Preparation. The intent of this section is to ensure a healthy growing environment for all planting material in all landscaped areas.
Existing soils must meet all definitions of 'Topsoil' as described above in all planting areas throughout the site.
2.07 FERTILIZER: Commercial fertilizer shall comply with the state and local fertilizer laws.
A. Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.
C. Tableted fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal.
Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter.
2.08 MULCH: Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement.
B. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered.
PART 3
3.01 EXECUTION: The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead wires, underground pipes and cables.
3.02 GRADING: Grading for drainage, swales, etc. to within 4 inches of the finished grade to be provided by others.
B. It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation.
3.03 PLANTING: Planting shall take place during favorable weather conditions.
B. The Contractor shall call for utility locates and ascertain the location of all utilities and easements so proper precautions can be taken.
C. Tree Planting shall be located where it is shown on the plan.
D. Excavation of holes shall extend to the required subgrades as specified on the planting diagrams.
E. A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage.
F. Planting pits shall be excavated to the following dimensions and backfilled with Topsoil- see Landscape Area Preparation Detail:
G. No planting or laying of sod shall be initiated until the area has been cleaned of existing sod or other plant materials.
H. Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.

- I. All plants shall be set to ultimate finished grade.
J. All flagging ribbon shall be removed from trees and shrubs before planting.
K. Excess excavation (fill) from all holes shall be removed from the site.
L. All palms shall be backfilled with sand.
3.04 PRUNING: Remove dead and broken branches from all plant material.
B. Make all cuts with sharp instruments flush with trunk or adjacent branch.
C. Trees shall not be poled or topped.
D. Remove all trimming from site.
3.05 GUYING:
A. All trees over six (6) feet in height shall, immediately after setting to proper grade, be guyed with three sets of two strands, No. 12 gauge malleable galvanized iron, in tripod fashion.
B. Wires shall not come in direct contact with the tree but shall be covered with an approved protection device.
C. Stake & Brace all trees larger than 12" oa. See detail.
D. Turnbuckles for guying trees shall be galvanized or cadmium plated.
3.06 WATER: Each plant or tree shall be thoroughly watered in after planting.
B. Prior to installing any irrigation system components, the contractor shall obtain a water sample.
3.07 SOD: The Landscape Contractor shall sod all areas indicated on the drawings.
B. It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas.
C. The sod shall be firm, tough texture, having a compacted growth of grass with good root development.
D. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower.
E. 6-6-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft.
F. Solid sod shall be laid with closely abutting, staggered joints with a tamped or rolled, even surface.
G. The finished level of all sod areas after settlement shall be one (1") inch below the top of abutting curbs, walks, paving and wood borders.
H. If in the opinion of the Landscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface.
3.08 SEEDING: The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded.
B. Application: Argentine Bahia Grass seed- 200 Pounds per acre mixed with common hulled Bermuda seed- 30 lbs. per acre.
C. Roll immediately after seeding with a minimum 500 pound roller.
D. Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.
3.09 CLEANING UP: The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish.
3.10 MAINTENANCE: Maintenance shall begin immediately after each plant is installed.
B. Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.
C. Replacement of plants during the maintenance period shall be the responsibility of the Contractor.
D. In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them.
E. Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor.
3.11 COMPLETION, INSPECTION AND ACCEPTANCE: Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Drawings and in the Specifications.
B. Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner.
C. All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance.
D. After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship.
E. All trees & shrubs shall be straight and in correct position per the landscape plans, details and specifications.



Key / Location:



Project Team:

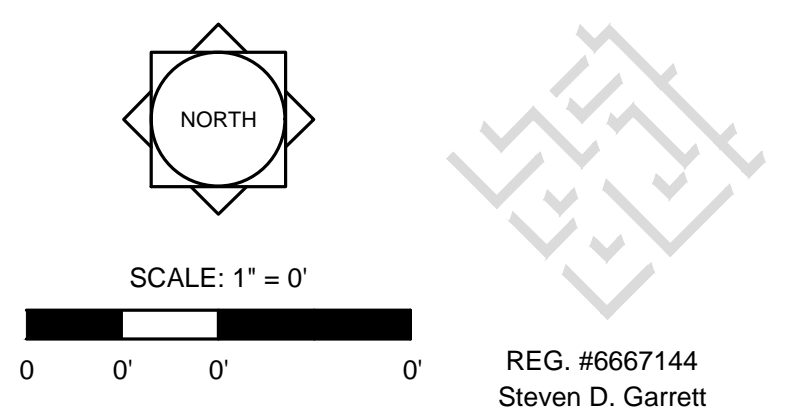
Table listing project team members: Client & Property Owner (Mattamy, LLC), Land Planner / Landscape Architect (Lucido & Associates), Environmental Consultant (EW Consultants), Engineer (Kimley-Horn), and Surveyor (Caulfield & Wheeler, Inc.).

Brynlie Tradition St. Lucie, Florida

Landscape Plan

P22-277 PSLUSD # 5429B

Revision table with columns: Date, By, Description. Includes entries for 07SEP22, 19OCT22, 04JAN22, 03.01.23, 06.26.23, 08.02.23, 09.20.23, 01.03.24, 04.02.24, 04.24.24, 05.15.24, 07.01.24, 09.09.24, and 10.29.24.



Design information table: Designer (SJS), Manager, Project Number (20-276.38), Municipal Number (P22-277), Computer File (20-276.38 - Brynlie - Landscape Plan.dwg), Sheet (LA-24).

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