

Location Map



Site Data

Total Site Area	(90,022 SF) 2.07 Ac.
Future Land Use	Light Industrial
Existing Zoning	Warehouse - Industrial
Existing Use	Vacant
Proposed Use	Warehouse Industrial / Office
Building Coverage	18,920 sf
Overall Building Area	22,960 sf
Building Stories	2
Maximum Building Height	35'
Proposed Building Height	29' 8"
Parcel Control Number	3323-610-0003-000-5 3323-610-0002-000-8

Setbacks	Required (Min.)	Provided
Front:	25'	82'
Side:	10'	26'
Rear:	10'	37'

Open Space	Open Space Required:	Open Space Provided:	Total Landscape Areas
	12,395 sf	28,738 sf	28,738 sf
	0.28 Ac.	0.66 Ac.	0.66 Ac.
	20%	32%	32%

Impervious Area	Building Coverage	Vehicular Use Area	Paved Areas / Walks
	18,920 sf	40,042 sf	2,404 sf
	0.43 Ac.	0.92 Ac.	0.05 Ac.
	21%	44%	3%
Total:	61,284 sf	1.40 Ac.	68%

Pervious Area	Total Landscape Areas
	28,738 sf
	0.66 Ac.
	32%

Building Data	Office	Warehouse	Total
Building A			
Unit / Bay 1-5 & 8-12:	150 Sf / 5%	936 Sf	3,171 Sf
Unit / Bay 6 & 7:	150 Sf / 4%	1,192 Sf	4,236 Sf
Total:	1,800 Sf / 13%	11,744 Sf	13,544 Sf
Building B			
Unit / Bay 13 - 20:	150 Sf / 12%	1,027 Sf	1,177 Sf
Total:	1,200 Sf / 12%	8,216 Sf	9,416 Sf
Total:	3,000 Sf / 13%	19,960 Sf	22,960 Sf

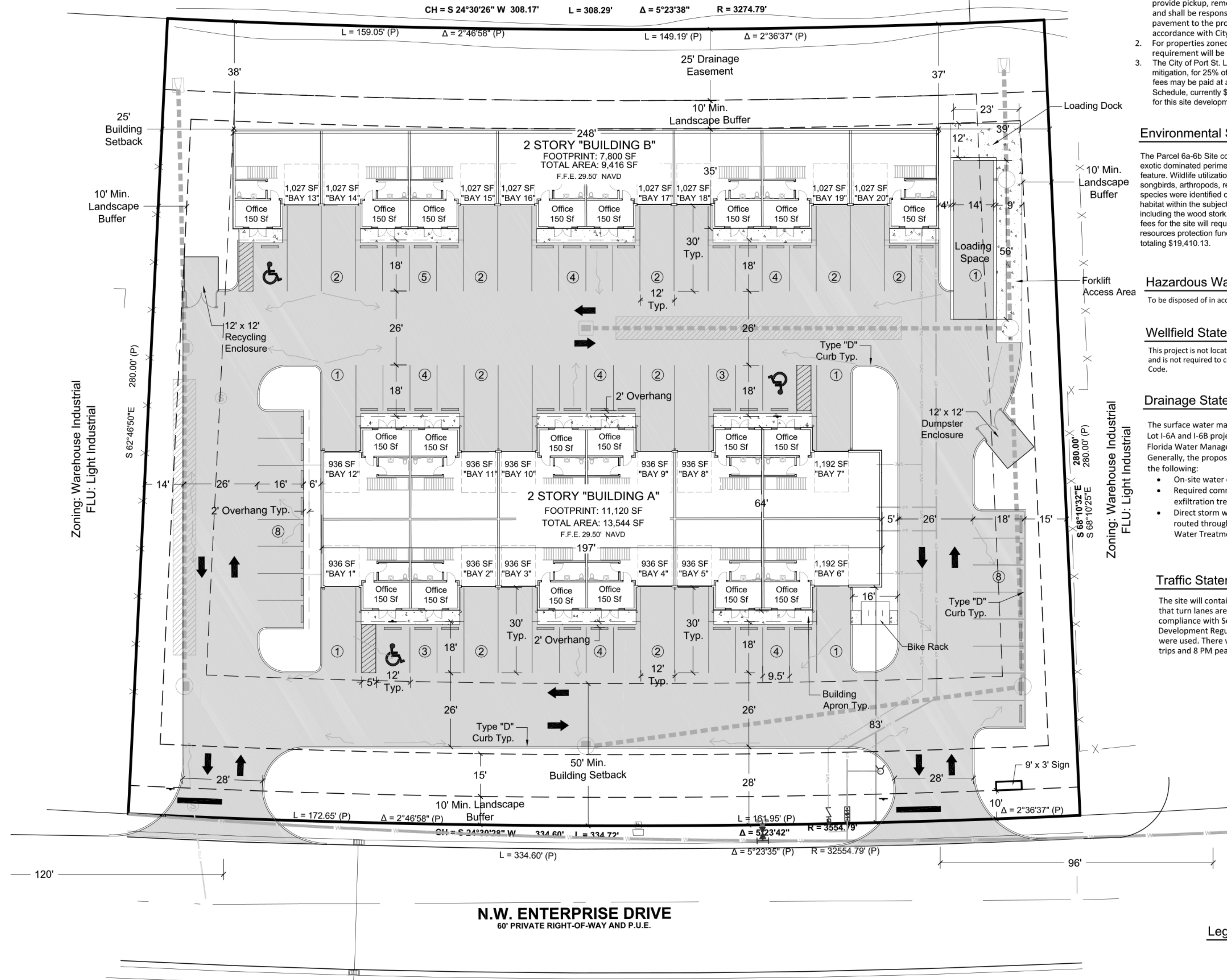
Parking Requirements (9.5' x 18')	Required	Provided
Warehouse	40 Spaces	44 Spaces
1 Space per 500 SF up to 10,000 SF (19,960/500)		
Office	15 Spaces	30 Spaces
1 Space per 200 SF (200 SF per Bay) (3,000/200)		
Total Parking Spaces	55 Spaces	74 Spaces

(Includes 3 Handicap Spaces & 21 Loading Spaces)

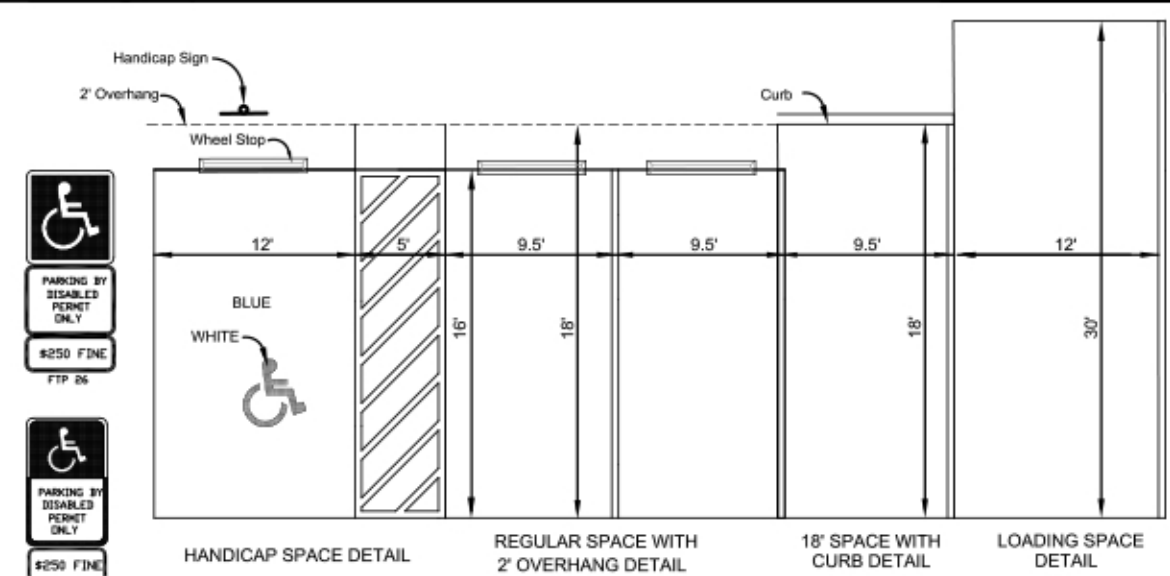
Legal Description

(PER TITLE COMMITMENT)
LOT 1-6A, BLOCK 4, ST. LUCIE WEST PLAT NO. 11- FIRST REPLAT IN COMMERCE PARK, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 27, PAGE 10, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, CONTAINING 46,455 SQUARE FEET OR 1.07 ACRES, MORE OR LESS.

LOT 1-6B, BLOCK 4, ST. LUCIE WEST PLAT NO. 11- FIRST REPLAT IN COMMERCE PARK, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 27, PAGE 10, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, CONTAINING 43,567 SQUARE FEET OR 1.00 ACRES, MORE OR LESS.

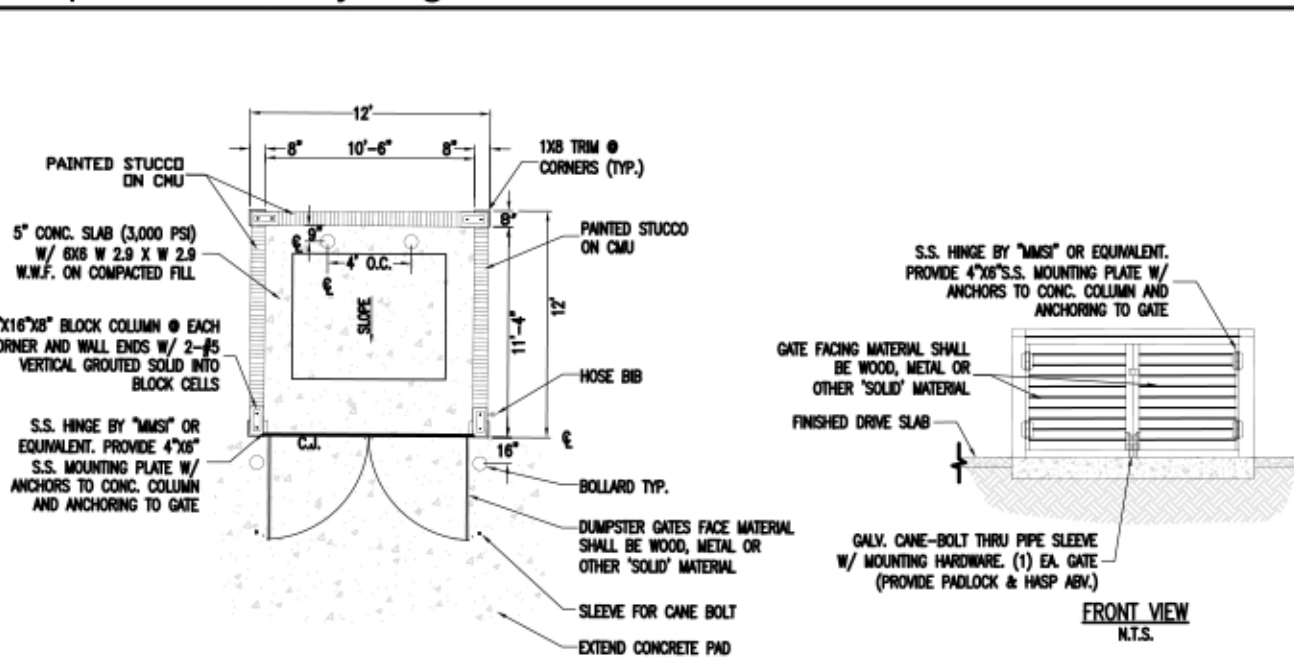


Parking Space Detail



NOTES:
1. TOP PORTION OF FTP 28 & 29 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. FTP 28 IS TO BE FABRICATED ON ONE PANEL OR TWO.
4. FTP 29 IS TO BE USED IN AREAS WHERE SPACE IS LIMITED.
5. IF NO CURBING IS USED, WHEEL STOPS MUST BE PROVIDED IN COMPLIANCE WITH CITY CODE.
6. DEVELOPER MAY HAVE THE OPTION TO PROVIDE WHEEL STOPS WHICH SHALL BE IN COMPLIANCE WITH CITY CODE.
7. 2' OVERHANG SHALL NOT ENDOURCH IN LANDSCAPE BUFFERS.
8. THE 3' PARKING SPACES ARE DOUBLED SPACED.

Dumpster and Recycling Detail



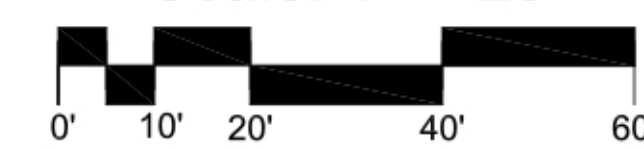
Development Team

Developer 660 PSL, LLC Alejandro Zuniga, Authorized Rep. 101 Pugnless Way Delray Beach, FL 33444 (561) 454-1625	Planning Consultant HJA Design Studio, LLC Michael Houston, President 50 SE Ocean Blvd, Suite 101 Stuart, FL 34994 (772) 678-7200	Environmental Consultant J. J. Goldasich & Associates, Inc. Jim Goldasich, SPWS 7050 W. Palmetto Park Rd., Suite 15-507 Boca Raton, FL 33433 (561) 883-9555
Civil Engineer Bowman Consulting Lisa Leonard, PE 301 SE Ocean Blvd, Suite 301 Stuart, FL 34994 (772) 283-1413	Surveyor Bowman Consulting Richard E. Barnes, PSM 301 SE Ocean Blvd, Suite 301 Stuart, FL 34994 (772) 283-1413	Traffic Engineer O'Rourke Engineering & Planning Susan E. O'Rourke, P.E. 22 SE Seminole Street Stuart, FL 34994 (772) 781-7918

Legend

→ Drainage Direction Flow

Scale: 1" = 20'



General Notes

- The property owner, contractor, and authorized representatives shall provide pickup, removal, and disposal of litter within the project limits and shall be responsible for maintenance of the area from the edge of pavement to the property line within the City's right-of-way in accordance with City Code, Section 41.08(g).
- For properties zoned WI, the parking lot interior islands tree requirement will be provided elsewhere on the property.
- The City of Port St. Lucie will require upland preservation, or appropriate mitigation, for 25% of the native habitat. Upland preservation "in lieu" fees may be paid at a rate specified by the City of Port St. Lucie Fee Schedule, currently \$25,005.00/acre and are estimated at \$19,410.13 for this site development.

Environmental Site Assessment Statement

The Parcel 6a-6b Site consists of a xeric slash pine flatwoods community with exotic dominated perimeter vegetation and a ditch and swale drainage feature. Wildlife utilization on the site is very low and consists of urban songbirds, arthropods, reptiles and amphibians in the swale. No listed species were identified onsite or in directly adjacent lands. There is no critical habitat within the subject site, and there is no suitable habitat for wading birds including the wood stork. The tree resources and natural system mitigation fees for the site will require a payment to the Port St. Lucie City natural resources protection fund for removal of the trees and native vegetation totaling \$19,410.13.

Hazardous Waste Statement

To be disposed of in accordance with all Local, State and Federal Regulations.

Wellfield Statement

This project is not located in a public water supply wellfield protection zone and is not required to comply with chapter 53, wellfield protection of the City Code.

Drainage Statement

The surface water management system for the proposed St. Lucie West Lot 1-6A and 1-6B project will comply with the requirements of the South Florida Water Management District. Generally, the proposed surface water management system will provide the following:
 • On-site water quality for commercial uses.
 • Required commercial dry pre-treatment will be provided in infiltration trench and/or dry retention.
 • Direct storm water runoff from the proposed project to be routed through the existing St. Lucie West Industrial Park Storm Water Treatment System.

Traffic Statement

The site will contain two full access driveways. The volumes are so low that turn lanes are not required. The placement of the driveways is in compliance with Section 158.222 of the City of Port St. Lucie Land Development Regulations. ITE Trip Generation, 10th Edition rates were used. There will be an estimated 112 daily trips, 30 AM peak hour trips and 8 PM peak hour trips.



50 E. Ocean Blvd., Suite 101
Stuart, Florida 34994

T 772.678.7200
F 772.678.7201

www.hjadesignstudio.com
LA 0000905

Saint Lucie West - Lot 1-6A & 1-6B
 Florida
 City of Port St. Lucie
 Site Plan

Copyright: The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements, and plans indicated or represented by this drawing are owned by and the property of the designer, and were created, evolved, and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or corporation for any purpose whatsoever without the written permission of the designer.

Job No.	2020-12
Drawn By	EB
Checked By	MH
Approved By	MH
Submission Dates	5-20-20
	8-14-20
Revision Dates	8-19-20

Sheet **1** of **1**

Project # P20-089