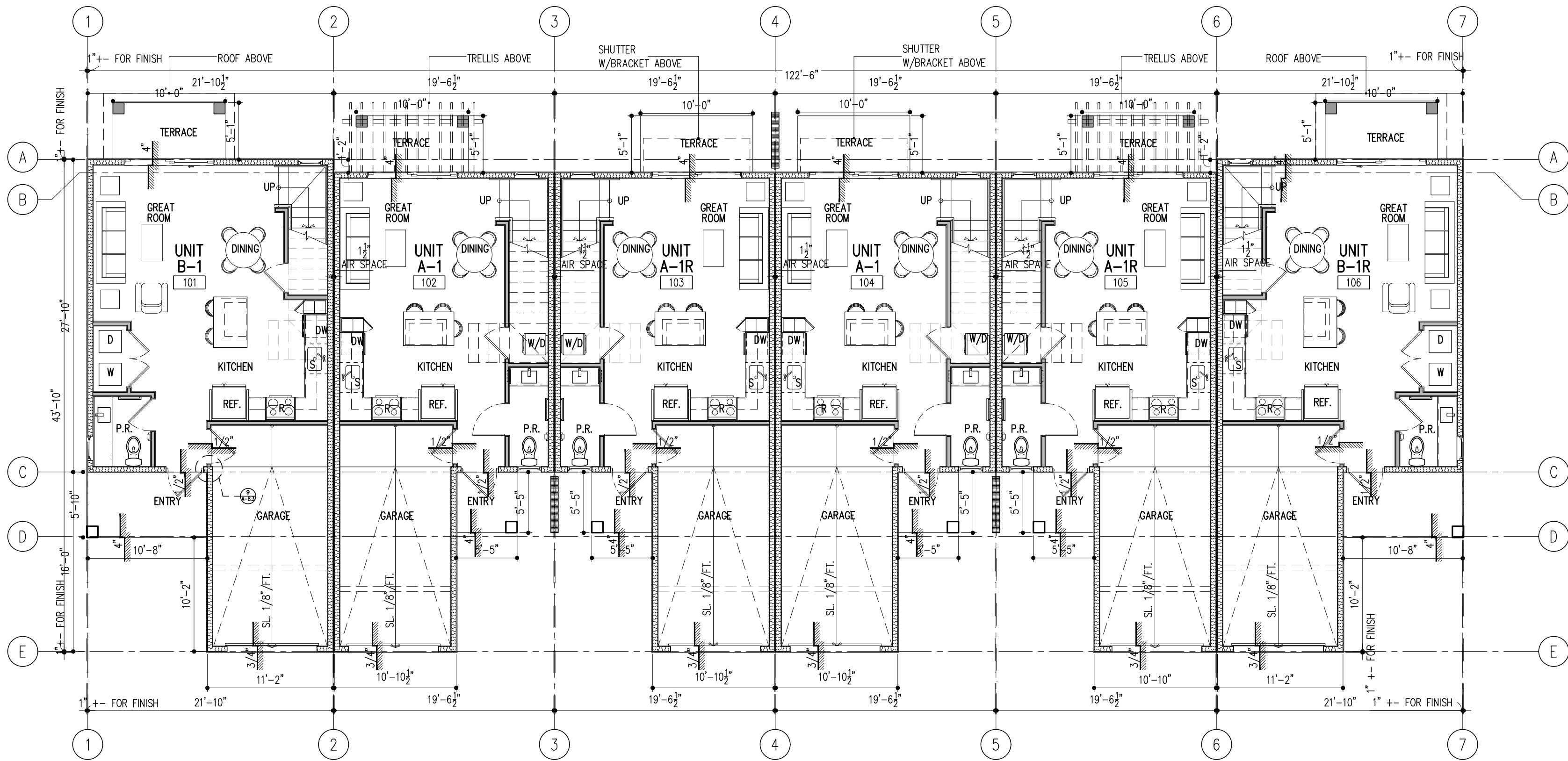
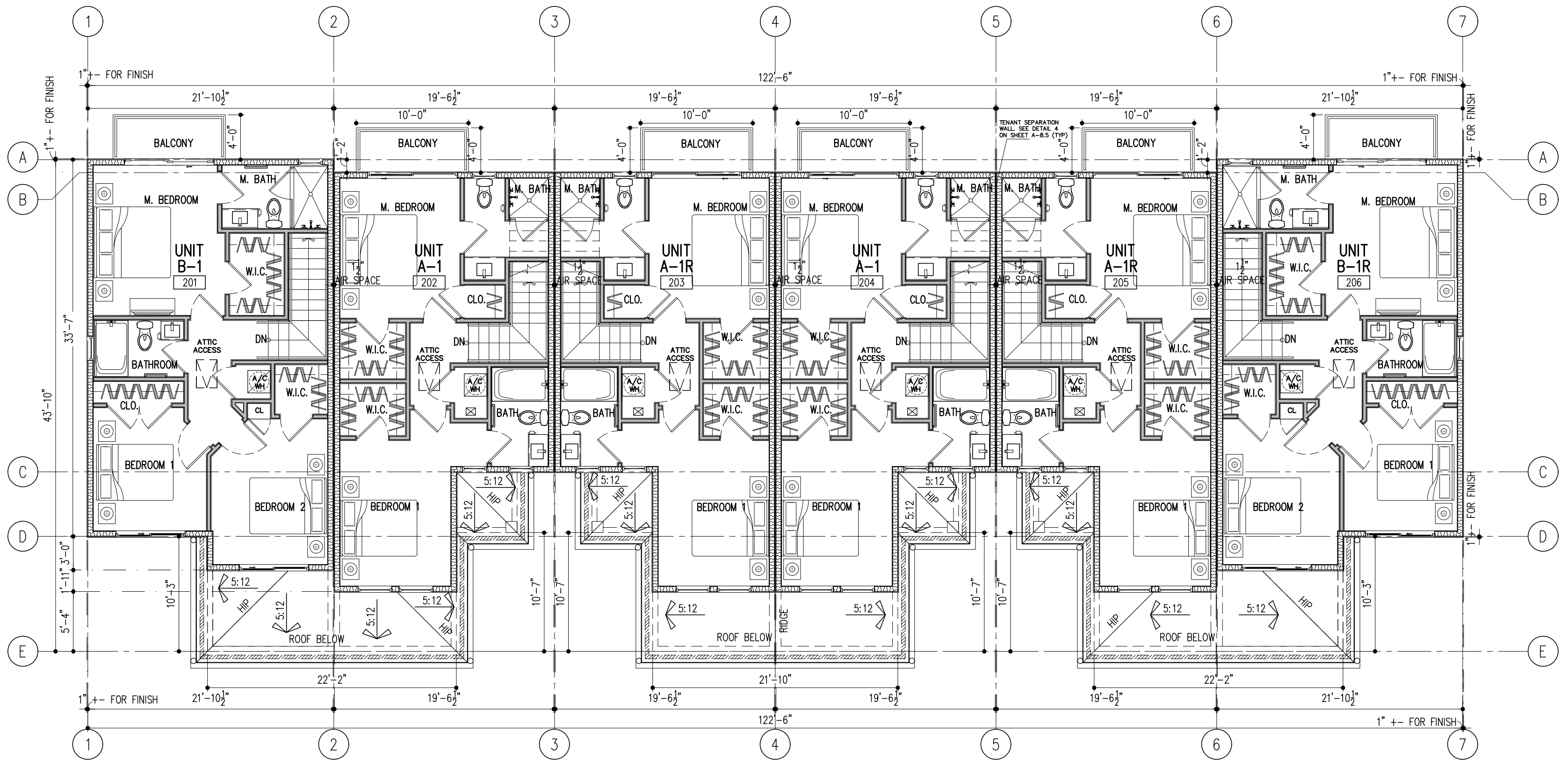




**BUILDING PLAN - GROUND LEVEL**

AREA: 3073 S.F. GROSS    GARAGE: 1337 S.F.    SCALE: 1/8"=1'-0"  
6 UNITS  
6 GARAGES



**BUILDING PLAN - SECOND LEVEL**

AREA: 3073 S.F. GROSS    GARAGE: 1337 S.F.    SCALE: 1/8"=1'-0"  
6 UNITS

UNIT FLOOR ELEV.  
ELEV. +0'-0" = (+0.0' N.A.V.D.)

NOTE: F.F.E.=0'-0" (G.C. TO CONFIRM W/CIVIL DWGS FOR CORRECT FLOOR ELEV)

NOTE: GARAGE ELEVATION @ X.XX' N.A.V.D. OR 1/2" BELOW TOWNHOUSE  
UNIT F.F.E. OR X.XX' N.A.V.D.

**TYPICAL BUILDING PLAN NOTES**

1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS, IN THE EVENT OF A CONFLICT NOTIFY ARCHITECT BEFORE PROCEEDING.

2. ALL DIMENSIONS ARE WALL FRAME TO WALL FRAME

3. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL WALLS AND COLUMN LOCATIONS, SIZE AND REINFORCING.

4. REFER TO LANDSCAPE DRAWINGS FOR WALKWAYS

5. EXTERIOR WALKWAYS TO BE SLOPED AWAY FROM THE BLDG. ENTRANCES AND NOT TO EXCEED 1:20 SLOPE.

6. ALL SIDEWALKS TO PROVIDE ACCESS TO GROUND FLOOR UNITS TO TO COMPLY WITH ADA AND FAIR HOUSING STANDARDS FOR ACCESSIBILITY.

7. REFER TO CIVIL FOR SIDEWALKS CONNECTING TO RESIDENTIAL BUILDING.

8. 1/4" BUILDING PLANS PROVIDE AS CONTROL DRAWING ONLY. REFER TO 1/4" UNIT LAYOUT SERIE A-4 FOR COMPLETE DIMENSIONS AND NOTES.

**WALL & SYMBOL LEGEND**

|  |                                                                                    |
|--|------------------------------------------------------------------------------------|
|  | 1 HR. RATED TENANT SEPARATION INTERIOR/ BEARING MIN 50 STC, (REFER TO SHEET A-9.1) |
|  | 1 HR. RATED EXTERIOR WD. BEARING (REFER TO SHEET A-9.1)                            |
|  | INTERIOR WD. FRAME WALL BEARING/ CLG. WALL MEMBRANE, (REFER TO SHEET A-9.1)        |
|  | 1 HR RATED EXTERIOR WALL (REFER TO SHEET A-9.1)                                    |

UNIT KEY NOTES  
REFER TO LEGEND FOR DESIGNATION

**KEY PLAN**

**TOWNHOUSE TYPE I- 6 UNITS**

EDEN AT TRADITION  
FOR:  
EDEN LIVING  
LOCATED AT:  
PORT ST. LUCIE, FLORIDA

MSA ARCHITECTS, INC.  
AAC000895

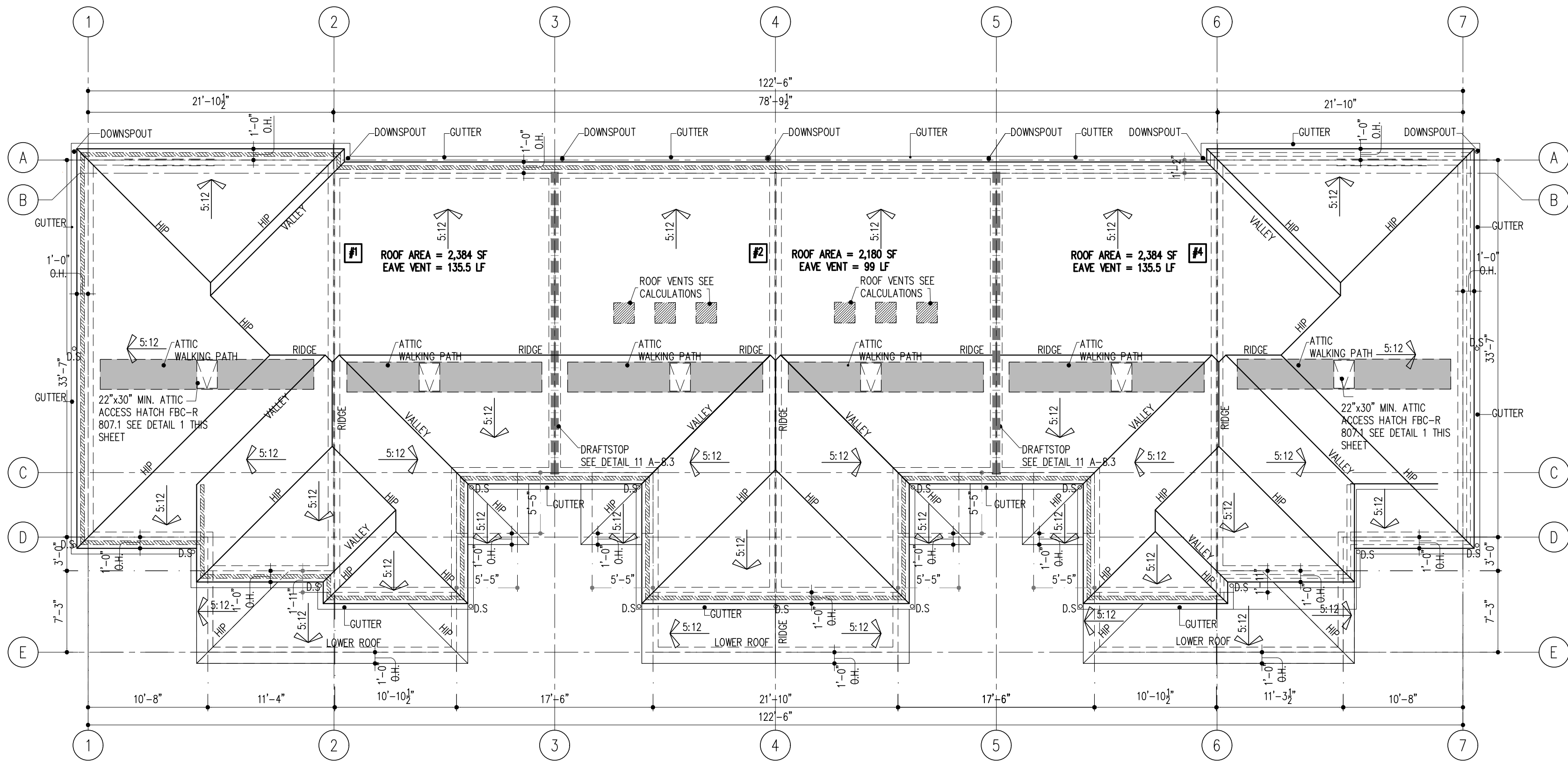
**MSA ARCHITECTS**  
ARCHITECTURE & PLANNING

8950 SW 74th COURT  
SUITE 1513  
MIAMI, FLORIDA 33156  
(305) 275-9911

ARCHITECT'S BUILDING CODE STATEMENT/ TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SEVENTH EDITION (2020) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 63.3 FLORIDA STATUTES.

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|               |                                    |
|---------------|------------------------------------|
| DRAWN         |                                    |
| DATE          | 03/04/2022                         |
| SCALE         | AS SHOWN                           |
| JOB NO.       | 2123.PRJ                           |
| SHEET TITLE:  | BUILDING PLANS<br>TOWNHOUSE TYPE I |
| SHEET NUMBER: | A-2.1.1                            |



ROOF PLAN  
SCALE: 1/8"=1'-0"

| #1 ROOF VENT. TABULATION                                                    | #2 ROOF VENT. TABULATION                                                    | #3 ROOF VENT. TABULATION                                                    |
|-----------------------------------------------------------------------------|-----------------------------------------------------------------------------|-----------------------------------------------------------------------------|
| 135.5 L.F.<br>ROOF AREA<br>2384 S.F.                                        | 99 L.F.<br>ROOF AREA<br>2180 S.F.                                           | 135.5 L.F.<br>ROOF AREA<br>2384 S.F.                                        |
| VENT. CALC.:<br>TOTAL VENT REQ. 2288 SQ.IN.<br>TOTAL VENT PROV. 2439 SQ.IN. | VENT. CALC.:<br>TOTAL VENT REQ. 2092 SQ.IN.<br>TOTAL VENT PROV. 2214 SQ.IN. | VENT. CALC.:<br>TOTAL VENT REQ. 2288 SQ.IN.<br>TOTAL VENT PROV. 2439 SQ.IN. |
| SOFFIT VENT PROV. 2439 SQ.IN.                                               | (6) VENTILATOR PROV. 432 SQ.IN.<br>SOFFIT VENT PROV. 1782 SQ.IN.            | SOFFIT VENT PROV. 2439 SQ.IN.                                               |

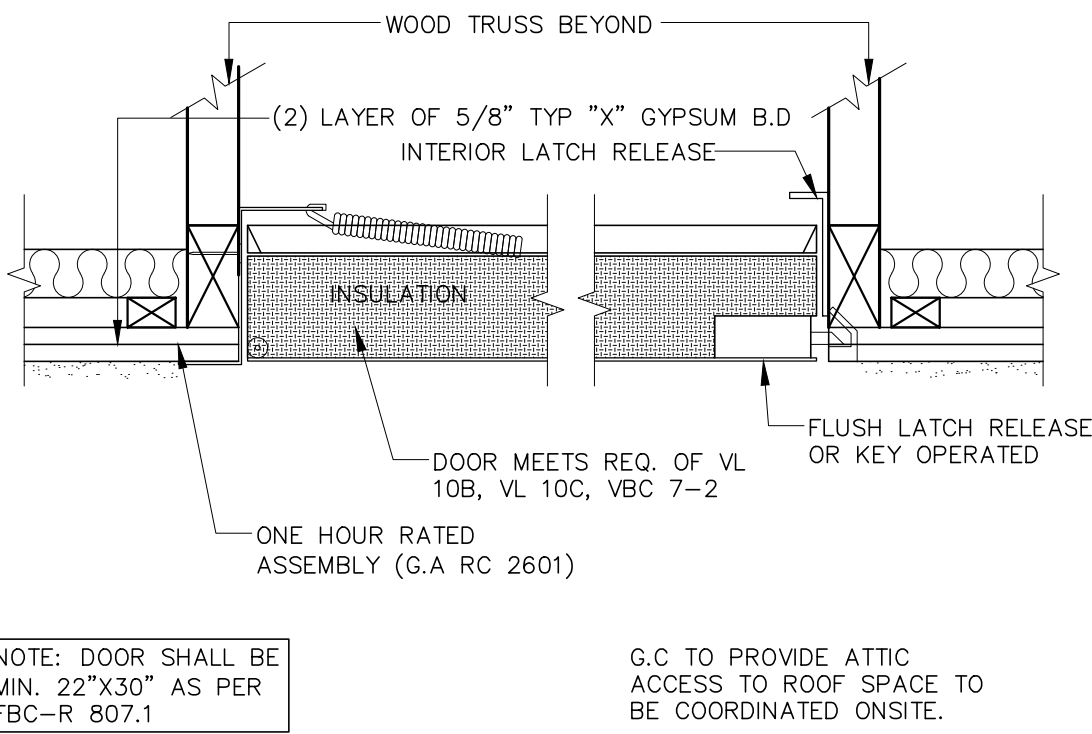
| LEGEND                                                                                                                                 |
|----------------------------------------------------------------------------------------------------------------------------------------|
| 1HR. RATED ATTIC ACCESS PANEL<br>REFER TO DET. 1/A-2.1.3                                                                               |
| ATTIC WALKING PATH<br>(5/8" PLYWOOD DECK NAILED TO TOP OF TRUSS BOT. CHORD)                                                            |
| ROOF VENT W/ A MIN. OF 72 SQ INCHES<br>(REFER TO CALCULATIONS FOR REQUIRED NET FREE VENTILATION AREA FOR EACH ROOF AREA) 32" W x 23" L |
| CONT. 4" LINEAR VENT 18 SQ.IN. PER LINEAL FEET                                                                                         |
| ALUM. 4" DOWNSPOUT W/ 6" GUTTER<br>(REFER TO CIVIL DWGS FOR STORMWATER CONNECTION)                                                     |
| DRAFTSTOP-AREA INDICATED FOR ATTIC VENTILATION CALCULATIONS                                                                            |

ROOF PLAN GENERAL NOTES:

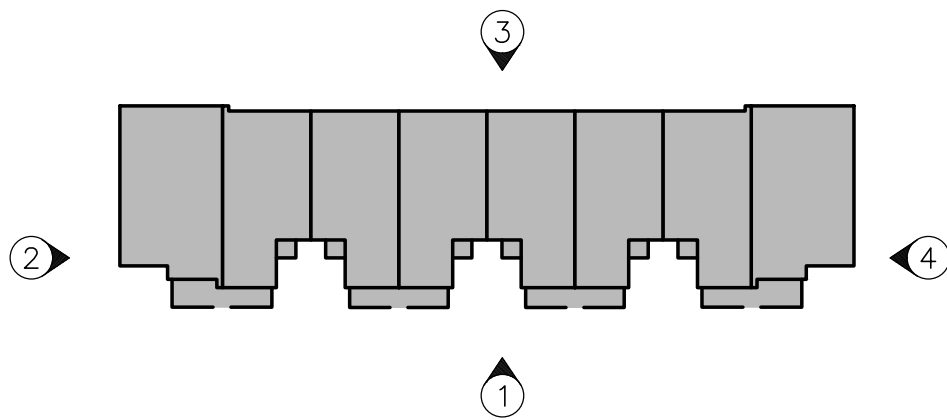
- 1.CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS AND SHALL NOTIFY ARCHITECT OF A CONFLICT BEFORE PROCEEDING.
- 2.ROOF ASSEMBLY SHALL HAVE A CURRENT FBC APPROVAL AND SHALL MEET THE WIND LOADING REQUIREMENTS AS NOTED IN STRUCTURAL DWGS.
- 3.ALL ROOF PITCHES TO BE 5:12 UNLESS NOTED OTHERWISE.
- 4.ALL ROOF VENTS AND/OR VENTILATORS SHALL BE SIZED IN ACCORDANCE W/ THE VENTILATION CALCULATIONS AND SHALL HAVE A CURRENT FBC APPROVAL. VENTS AND/OR VENTILATORS SHALL BE ACCEPTABLE FOR USE WITH TILE & METAL MANUFACTURER.
- 5.REFER TO STRUCTURAL DRAWINGS FOR TRUSS LAYOUT & CONFIGURATION.
- 6.ALL OVERHANGS TO BE 1'-0" UNLESS NOTED OTHERWISE.
- 7.CONTRACTOR SHALL COORDINATE AND INSTALL ROOF VENTS EVENLY SPACED BETWEEN TRUSSES AND LOCATE IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FT. ABOVE EAVE OR CORNICE VENTS UNLESS NOTED OTHERWISE.

- 8.ALUMINUM GUTTERS & DOWNSPOUTS  
CONTRACTOR TO COORDINATE LOCATION AND LENGTH OF GUTTER AND DOWNSPOUTS AS INDICATED ON ARCHITECTURAL PLANS AND ELEVATIONS. GUTTERS AND DOWNSPOUTS SHALL BE SIZED IN ACCORDANCE W/ THE REQUIREMENTS OF THE FLORIDA PLUMBING CODE, UNLESS NOTED OTHERWISE. ALUMINUM GUTTERS SHALL HAVE AN EQUIVALENT DIAMETER OF 6" WITH A 2 PERCENT MIN. SLOPE. PROVIDE GUTTER GUARDS AT ALL INSIDE OR VALLEY CONDITIONS. UNLESS NOTED OTHERWISE, DOWNSPOUTS SHALL HAVE AN EQUIVALENT DIAMETER OF 4". GUTTER AND DOWNSPOUT RUNS SHALL BE CONTINUOUS TO THE EXTENT POSSIBLE AND ATTACHED TO SUBSTRATE EVERY 24 INCHES O.C. FOR GUTTERS AND 10 FEET FOR DOWNSPOUTS. STORM-WATER WILL DISCHARGE AT GROUND LEVEL. PROVIDE EROSION CONTROL SPLASH PAD/BLOCKS. CONTRACTOR TO COORDINATE DOWNSPOUT DRAINAGE AWAY FROM BUILDING WITH CIVIL DWGS. AS NECESSARY.

- NOTE:**  
ATTIC VENTS MUST BE COVERED WITH SCREENING, WITH OPENINGS A MAXIMUM OF 1/8"
- NOTE:**  
INSULATION MATERIALS TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450- PER FBC BUILDING, 719.2.



1 HR FIRE RATED ATTIC. ACCESS DOOR  
DETAIL #WH1-491-PSH-0191  
SCALE: 1 1/2"=1'-0"



KEY PLAN

TOWNHOUSE TYPE I- 6 UNITS

|                                   |    |
|-----------------------------------|----|
| 04/20/2022<br>SITE PLAN SUBMITTAL | BY |
|                                   |    |
|                                   |    |
|                                   |    |
|                                   |    |
|                                   |    |
|                                   |    |

EDEN AT TRADITION  
FOR:  
EDEN LIVING  
LOCATED AT:  
PORT ST. LUCIE, FLORIDA

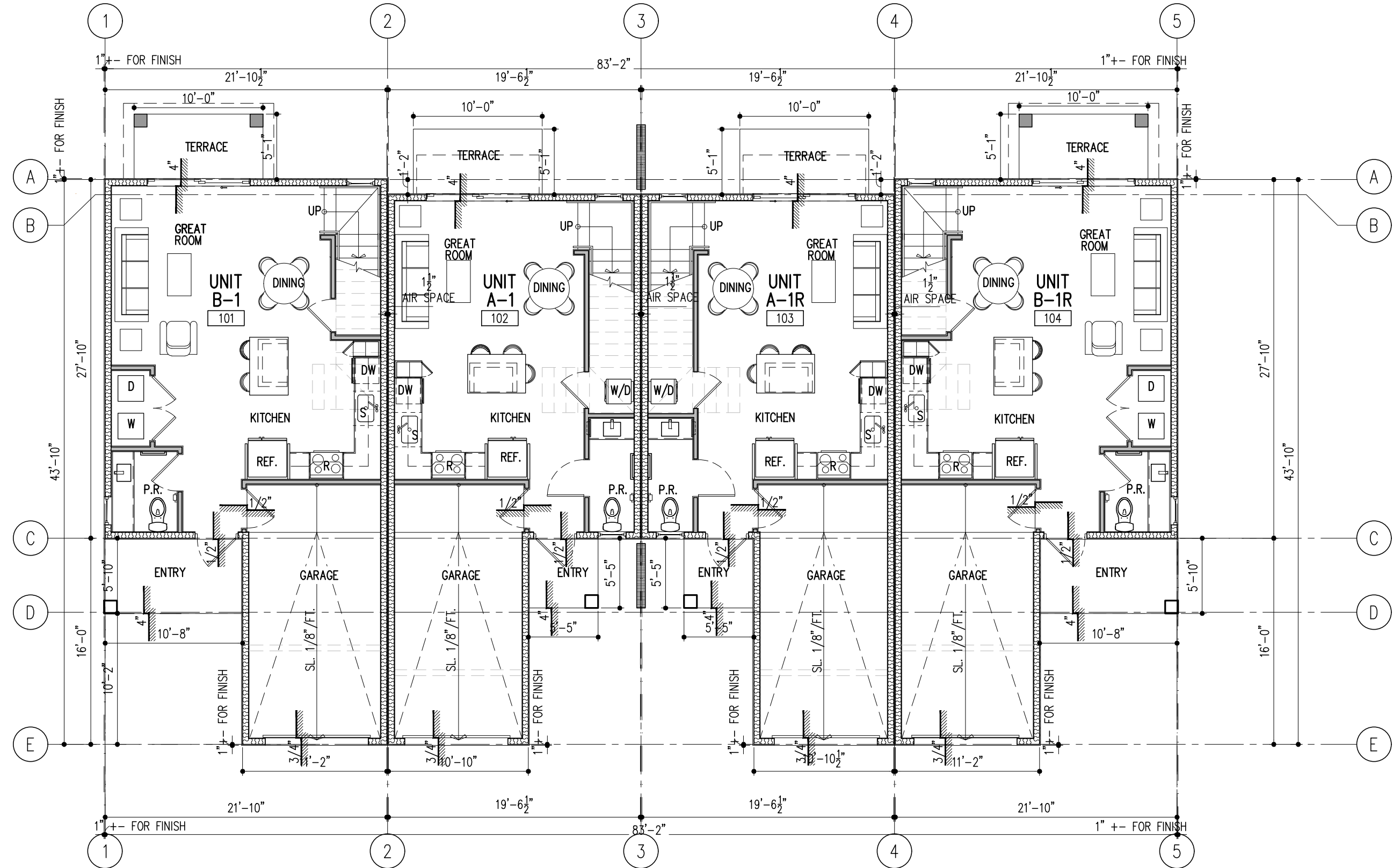
MSA ARCHITECTS, INC.  
AAC000895

8950 SW 74th COURT  
MIAMI, FLORIDA 33156  
(305) 273-9911



|               |                               |
|---------------|-------------------------------|
| DRAWN         |                               |
| DATE          | 03/04/2022                    |
| SCALE         | AS SHOWN                      |
| JOB NO.       | 2123.PRJ                      |
| SHEET TITLE:  | ROOF PLAN<br>TOWNHOUSE TYPE I |
| SHEET NUMBER: |                               |

A-2.1.2



BUILDING PLAN - GROUND LEVEL

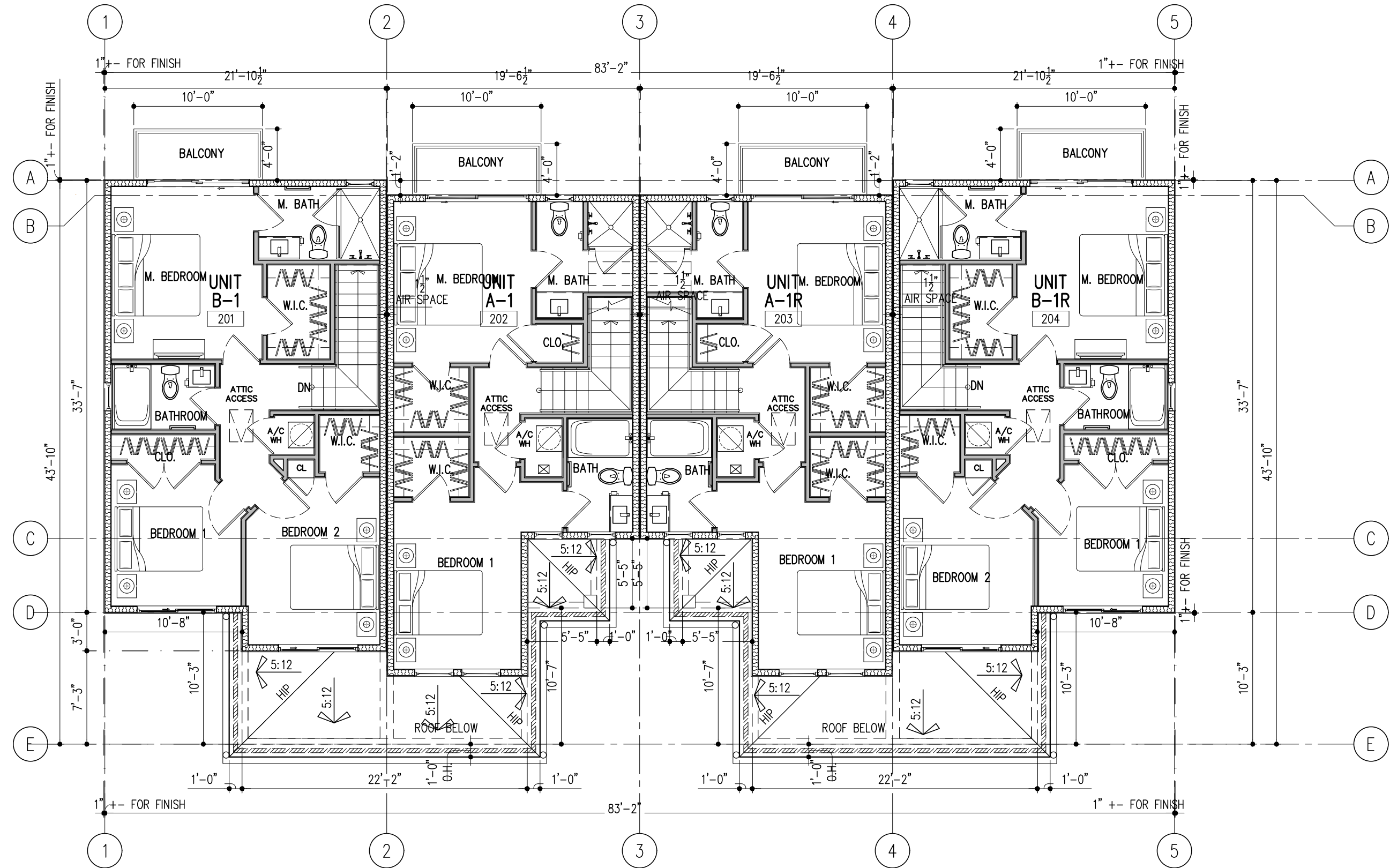
AREA: 2107 S.F. GROSS GARAGE: 896 S.F. SCALE: 1/8"=1'-0"  
4 UNITS  
4 GARAGES

UNIT FLOOR ELEV.  
ELEV. +0'-0" = (+0.0' N.A.V.D.)

NOTE: F.F.E.=0'-0" (G.C. TO CONFIRM W/CIVIL DWGS FOR CORRECT FLOOR ELEV)

NOTE: GARAGE ELEVATION @ X.XX' N.A.V.D. OR 1/2" BELOW TOWNHOUSE UNIT F.F.E. OR X.XX' N.A.V.D.

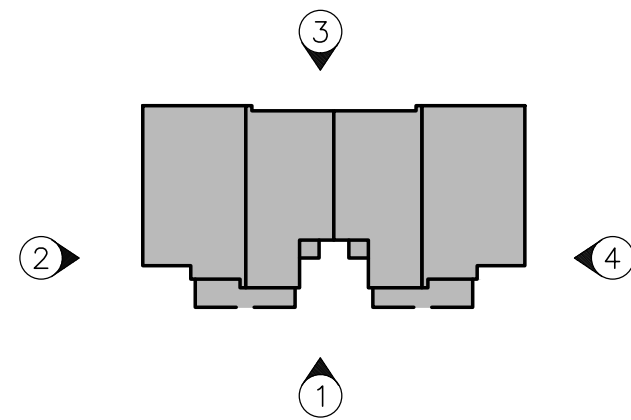
- TYPICAL BUILDING PLAN NOTES**
- DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS. IN THE EVENT OF A CONFLICT NOTIFY ARCHITECT BEFORE PROCEEDING.
  - ALL DIMENSIONS ARE WALL FRAME TO WALL FRAME
  - REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL WALLS AND COLUMN LOCATIONS, SIZE AND REINFORCING.
  - REFER TO LANDSCAPE DRAWINGS FOR WALKWAYS
  - EXTERIOR WALKWAYS TO BE SLOPED AWAY FROM THE BLDG. ENTRANCES AND NOT TO EXCEED 1:20 SLOPE.
  - ALL SIDEWALKS TO PROVIDE ACCESS TO GROUND FLOOR UNITS TO COMPLY WITH ADA AND FAIR HOUSING STANDARDS FOR ACCESSIBILITY.
  - REFER TO CIVIL FOR SIDEWALKS CONNECTING TO RESIDENTIAL BUILDING.
  - 1/4" BUILDING PLANS PROVIDE AS CONTROL DRAWING ONLY. REFER TO 1/4" UNIT LAYOUT SERIE A-4 FOR COMPLETE DIMENSIONS AND NOTES.



BUILDING PLAN - SECOND LEVEL

AREA: 3073 S.F. GROSS GARAGE: 1337 S.F. SCALE: 1/8"=1'-0"  
4 UNITS

- WALL & SYMBOL LEGEND**
- |   |                                                                                    |
|---|------------------------------------------------------------------------------------|
| A | 1 HR. RATED TENANT SEPARATION INTERIOR/ BEARING MIN 50 STC, (REFER TO SHEET A-9.1) |
| B | 1 HR. RATED EXTERIOR WD. BEARING (REFER TO SHEET A-9.1)                            |
| C | INTERIOR WD. FRAME WALL BEARING/ CLG. WALL MEMBRANE, (REFER TO SHEET A-9.1)        |
| D | 1 HR. RATED EXTERIOR WALL (REFER TO SHEET A-9.1)                                   |
| 1 | UNIT KEY NOTES                                                                     |
| 1 | REFER TO LEGEND FOR DESIGNATION                                                    |
| 1 | DOOR DESIGNATION REFER TO DOOR SCHEDULE                                            |
| A | WINDOW DESIGNATION REFER TO WINDOW SCHEDULE                                        |
| - | DESIGNATES SOFFIT OR CEILING HEIGHT A.F.F.                                         |
- NOTE: PER F.B.C. ALL INTERIOR BEARING WALLS SHALL BE 1 HR RATED TO MAINTAIN PROPER FIRE ENCLOSURE. (REFER TO STRUCTURAL DRAWINGS FOR BEARING AND NON BEARING WALL LOCATION)



KEY PLAN

TOWNHOUSE TYPE II- 4 UNITS

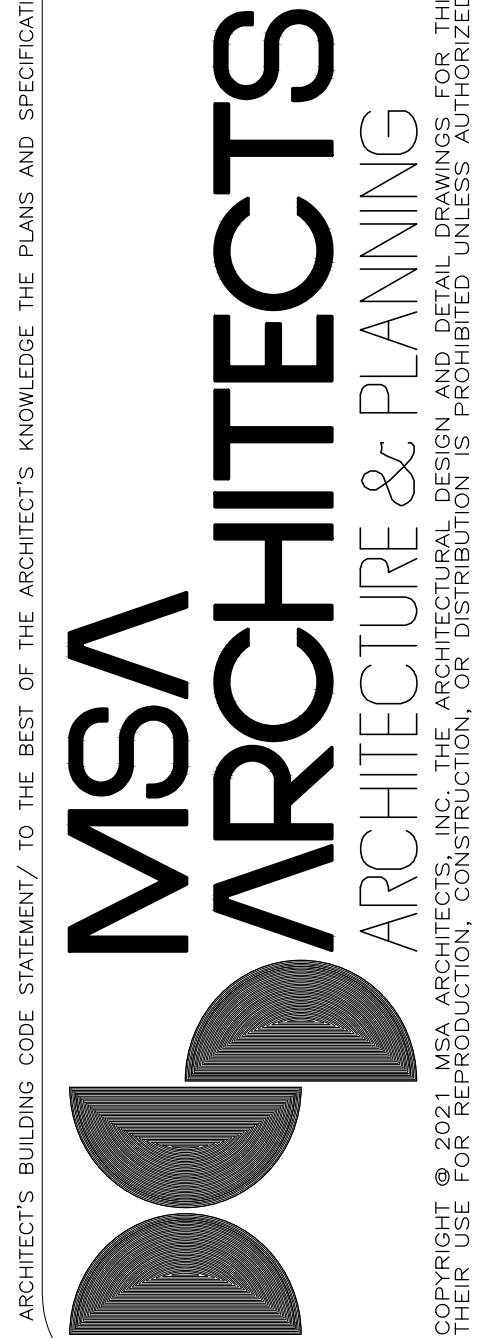
|                     |    |
|---------------------|----|
|                     | BY |
| 04/20/2022          |    |
| SITE PLAN SUBMITTAL |    |
|                     |    |
|                     |    |
|                     |    |
|                     |    |
|                     |    |

EDEN AT TRADITION

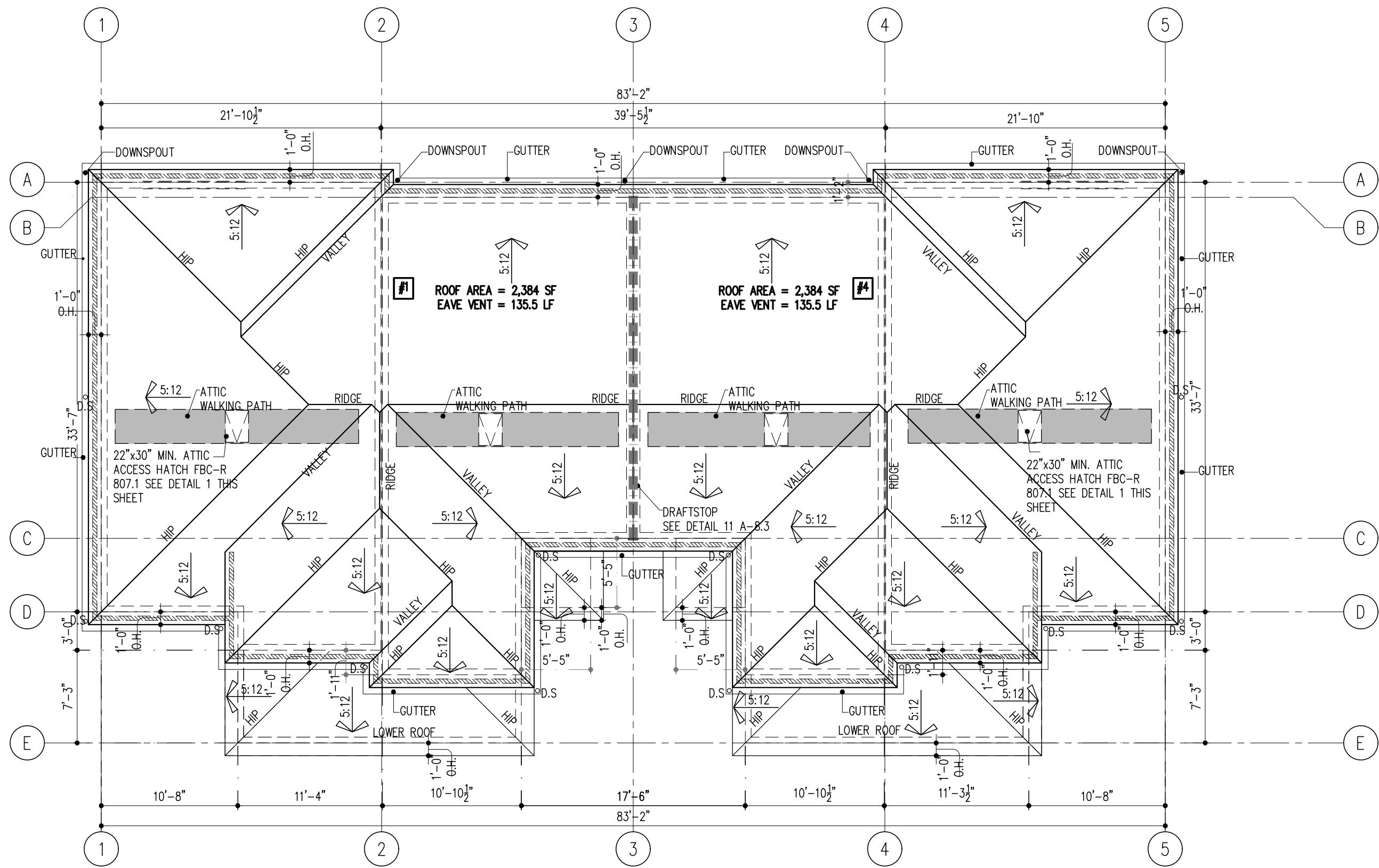
FOR:  
EDEN LIVING  
LOCATED AT:  
PORT ST. LUCIE, FLORIDA

MSA ARCHITECTS, INC.  
AAC000895

8950 SW 74th COURT  
MIAMI, FLORIDA 33156  
(305) 273-9911



|               |                                     |
|---------------|-------------------------------------|
| DRAWN         | 03/04/2022                          |
| DATE          | AS SHOWN                            |
| SCALE         | 2123.PRJ                            |
| JOB NO.       |                                     |
| SHEET TITLE:  | BUILDING PLANS<br>TOWNHOUSE TYPE II |
| SHEET NUMBER: | A-2.2.1                             |



ROOF PLAN  
SCALE: 1/8"=1'-0"

| #1 ROOF VENT. TABULATION             | #2 ROOF VENT. TABULATION                                          | #3 ROOF VENT. TABULATION             |
|--------------------------------------|-------------------------------------------------------------------|--------------------------------------|
| 135.5 L.F.<br>ROOF AREA<br>2384 S.F. | 99 L.F.<br>ROOF AREA<br>2180 S.F.                                 | 135.5 L.F.<br>ROOF AREA<br>2384 S.F. |
| VENT. CALC.:                         | VENT. CALC.:                                                      | VENT. CALC.:                         |
| TOTAL VENT. REQ. 2288 SQ.IN.         | TOTAL VENT. REQ. 2092 SQ.IN.                                      | TOTAL VENT. REQ. 2288 SQ.IN.         |
| TOTAL VENT. PROV. 2439 SQ.IN.        | TOTAL VENT. PROV. 2214 SQ.IN.                                     | TOTAL VENT. PROV. 2439 SQ.IN.        |
| SOFFIT VENT. PROV. 2439 SQ.IN.       | (6) VENTILATOR PROV. 432 SQ.IN.<br>SOFFIT VENT. PROV. 1782 SQ.IN. | SOFFIT VENT. PROV. 2439 SQ.IN.       |

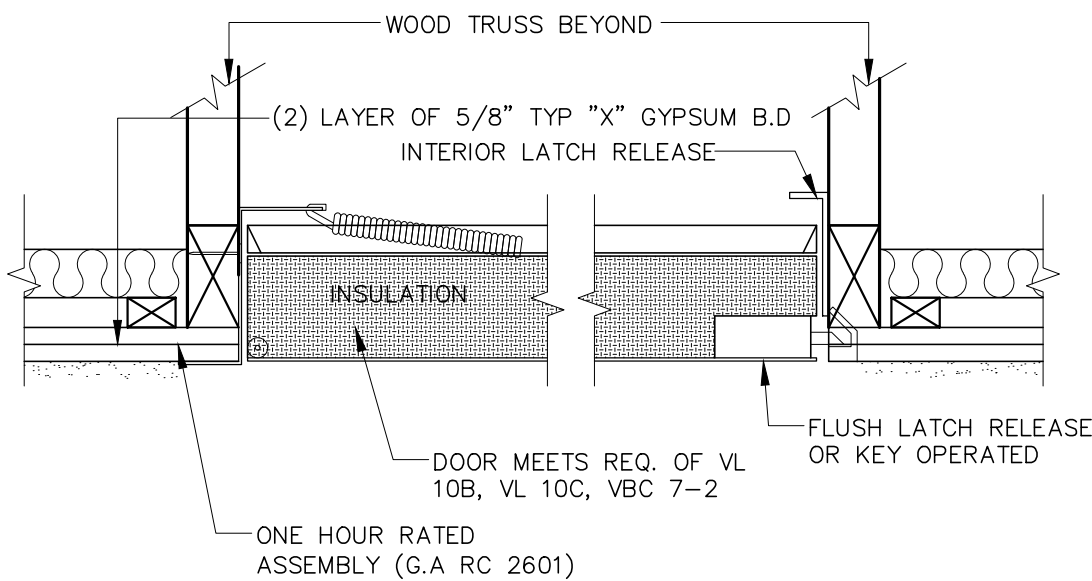
| LEGEND                                                                                                                                  |
|-----------------------------------------------------------------------------------------------------------------------------------------|
| 1HR. RATED ATTIC ACCESS PANEL<br>REFER TO DET. 1/A-2.1.3                                                                                |
| ATTIC WALKING PATH<br>(5/8" PLYWOOD DECK NAILED TO TOP OF TRUSS BOT. CHORD)                                                             |
| ROOF VENT W/ A MIN. OF 72 SQ. INCHES<br>(REFER TO CALCULATIONS FOR REQUIRED NET FREE VENTILATION AREA FOR EACH ROOF AREA) 32" W x 23" L |
| CONT. 4" LINEAR VENT 18 SQ. IN. PER LINEAL FEET                                                                                         |
| ALUM. 4" DOWNSPOUT W/ 6" GUTTER<br>(REFER TO CIVIL DWGS FOR STORMWATER CONNECTION)                                                      |
| DRAFTSTOP-AREA INDICATED FOR ATTIC VENTILATION CALCULATIONS                                                                             |

ROOF PLAN GENERAL NOTES:

- 1.CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS AND SHALL NOTIFY ARCHITECT OF A CONFLICT BEFORE PROCEEDING.
- 2.ROOF ASSEMBLY SHALL HAVE A CURRENT FBC APPROVAL AND SHALL MEET THE WIND LOADING REQUIREMENTS AS NOTED IN STRUCTURAL DWGS.
- 3.ALL ROOF PITCHES TO BE 5:12 UNLESS NOTED OTHERWISE.
- 4.ALL ROOF VENTS AND/OR VENTILATORS SHALL BE SIZED IN ACCORDANCE W/ THE VENTILATION CALCULATIONS AND SHALL HAVE A CURRENT FBC APPROVAL. VENTS AND/OR VENTILATORS SHALL BE ACCEPTABLE FOR USE WITH TILE & METAL MANUFACTURER.
- 5.REFER TO STRUCTURAL DRAWINGS FOR TRUSS LAYOUT & CONFIGURATION.
- 6.ALL OVERHANGS TO BE 1'-0" UNLESS NOTED OTHERWISE.
- 7.CONTRACTOR SHALL COORDINATE AND INSTALL ROOF VENTS EVENLY SPACED BETWEEN TRUSSES AND LOCATE IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FT. ABOVE EAVE OR CORNICE VENTS UNLESS NOTED OTHERWISE.

- 8.ALUMINUM GUTTERS & DOWNSPOUTS  
CONTRACTOR TO COORDINATE LOCATION AND LENGTH OF GUTTER AND DOWNSPOUTS AS INDICATED ON ARCHITECTURAL PLANS AND ELEVATIONS. GUTTERS AND DOWNSPOUTS SHALL BE SIZED IN ACCORDANCE W/ THE REQUIREMENTS OF THE FLORIDA PLUMBING CODE, UNLESS NOTED OTHERWISE. ALUMINUM GUTTERS SHALL HAVE AN EQUIVALENT DIAMETER OF 6" WITH A 2 PERCENT MIN. SLOPE. PROVIDE GUTTER GUARDS AT ALL INSIDE OR VALLEY CONDITIONS. UNLESS NOTED OTHERWISE, DOWNSPOUTS SHALL HAVE AN EQUIVALENT DIAMETER OF 4". GUTTER AND DOWNSPOUT RUNS SHALL BE CONTINUOUS TO THE EXTENT POSSIBLE AND ATTACHED TO SUBSTRATE EVERY 24 INCHES O.C. FOR GUTTERS AND 10 FEET FOR DOWNSPOUTS. STORM-WATER WILL DISCHARGE AT GROUND LEVEL. PROVIDE EROSION CONTROL SPLASH PAD/BLOCKS. CONTRACTOR TO COORDINATE DOWNSPOUT DRAINAGE AWAY FROM BUILDING WITH CIVIL DWGS. AS NECESSARY.

- NOTE:**  
ATTIC VENTS MUST BE COVERED WITH SCREENING, WITH OPENINGS A MAXIMUM OF 1/8"
- NOTE:**  
INSULATION MATERIALS TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450- PER FBC BUILDING, 719.2.



NOTE: DOOR SHALL BE MIN. 22"x30" AS PER FBC-R 807.1

G.C TO PROVIDE ATTIC ACCESS TO ROOF SPACE TO BE COORDINATED ONSITE.

1 HR FIRE RATED ATTIC. ACCESS DOOR  
DETAIL #WH1-491-PSH-0191

SCALE: 1 1/2"=1'-0"

KEY PLAN

TOWNHOUSE TYPE II- 4 UNITS

|                                   |    |
|-----------------------------------|----|
| 04/20/2022<br>SITE PLAN SUBMITTAL | BY |
|                                   |    |
|                                   |    |
|                                   |    |
|                                   |    |
|                                   |    |
|                                   |    |

EDEN AT TRADITION

FOR:  
EDEN LIVING  
LOCATED AT:  
PORT ST. LUCIE, FLORIDA

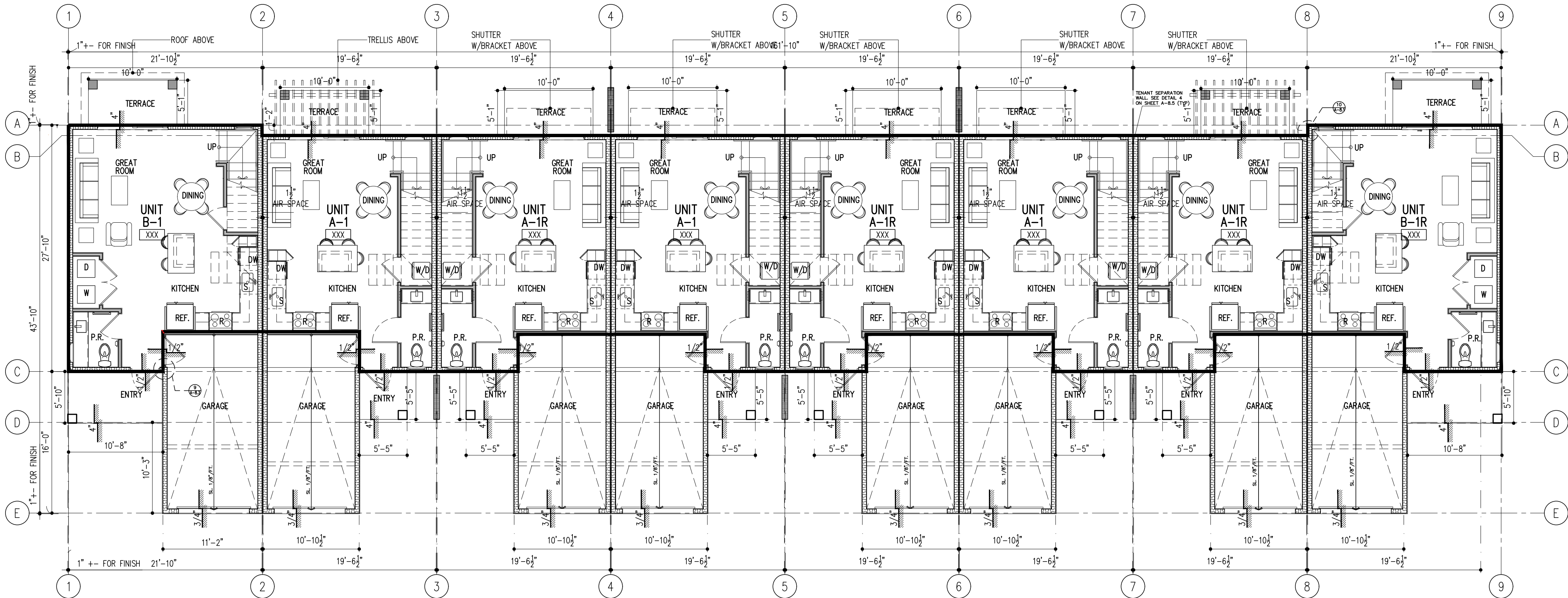
MSA ARCHITECTS, INC.  
AAC000895

8950 SW 74th COURT  
MIAMI, FLORIDA 33156  
(305) 273-9911



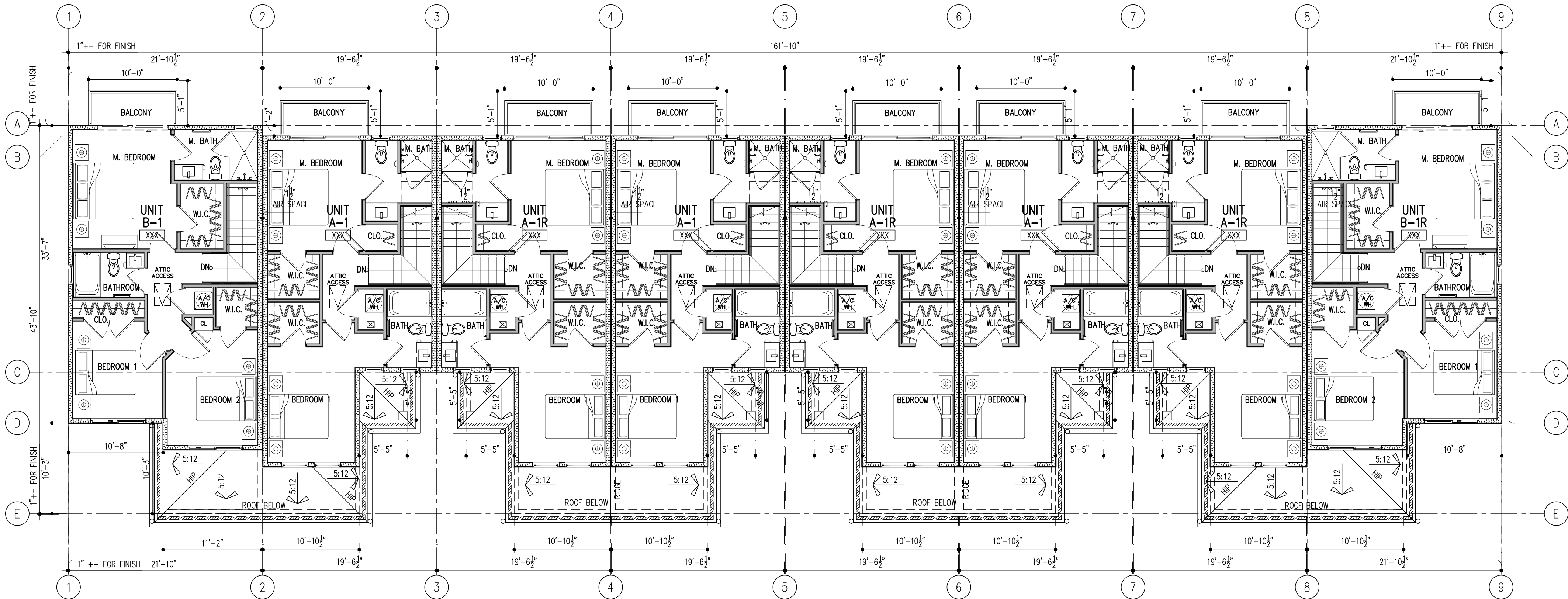
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|---------------|--------------------------------|
| DRAWN         |                                |
| DATE          | 03/04/2022                     |
| SCALE         | AS SHOWN                       |
| JOB NO.       | 2123.PRJ                       |
| SHEET TITLE:  | ROOF PLAN<br>TOWNHOUSE TYPE II |
| SHEET NUMBER: |                                |

A-2.2.2



**BUILDING PLAN - GROUND LEVEL**

AREA: 3,999 SQ. FT. S.F. GROSS GARAGE: 1824 S.F.  
8 UNITS  
8 GARAGES  
SCALE: 1/8"=1'-0"



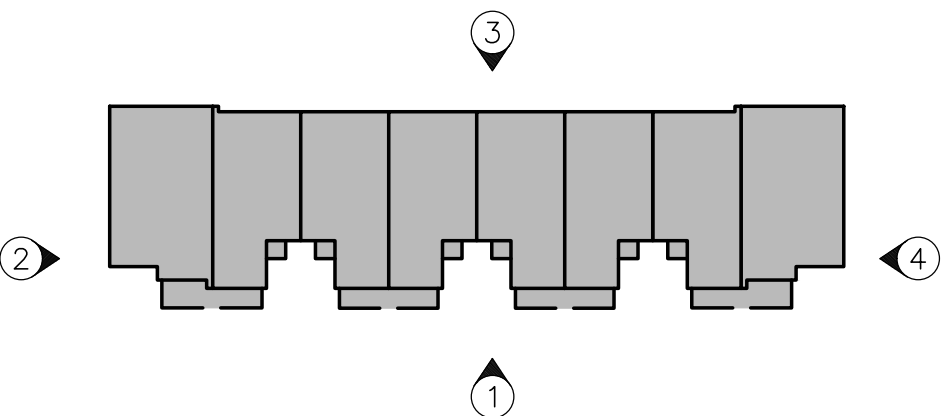
**BUILDING PLAN - SECOND LEVEL**

AREA: 3,999 SQ. FT. S.F. GROSS GARAGE: 1824 S.F.  
8 UNITS  
SCALE: 1/8"=1'-0"

- UNIT FLOOR ELEV.  
ELEV. +0'-0" = (+0.0' N.A.V.D.)
- NOTE: F.F.E.=0'-0" (G.C. TO CONFIRM W/CIVIL DWGS FOR CORRECT FLOOR ELEV)
- NOTE: GARAGE ELEVATION @ X.XX' N.A.V.D. OR 1/2" BELOW TOWNHOUSE UNIT F.F.E. OR X.XX' N.A.V.D.
- BUILDING GROUND FLOOR ELEVATIONS AND SITE GRADING ELEVATIONS SHOWN IN N.A.V.D. WERE ESTABLISHED AND PROVIDED BY (PROSSER ENGINEERING) CONTRACTOR TO CONFIRM AND COORDINATE WITH CIVIL DRAWINGS
- # DOOR SCHEDULE SEE SHEETS A-4.1.5
- # WINDOW SCHEDULE SEE SHEET A-4.1.5

- TYPICAL BUILDING PLAN NOTES**
- DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS. IN THE EVENT OF A CONFLICT NOTIFY ARCHITECT BEFORE PROCEEDING.
  - ALL DIMENSIONS ARE WALL FRAME TO WALL FRAME
  - REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL WALLS AND COLUMN LOCATIONS, SIZE AND REINFORCING.
  - REFER TO LANDSCAPE DRAWINGS FOR WALKWAYS
  - EXTERIOR WALKWAYS TO BE SLOPED AWAY FROM THE BLDG. ENTRANCES AND NOT TO EXCEED 1:20 SLOPE.
  - ALL SIDEWALKS TO PROVIDE ACCESS TO GROUND FLOOR UNITS TO COMPLY WITH ADA AND FAIR HOUSING STANDARDS FOR ACCESSIBILITY.
  - REFER TO CIVIL FOR SIDEWALKS CONNECTING TO RESIDENTIAL BUILDING.
  - 1/4" BUILDING PLANS PROVIDE AS CONTROL DRAWING ONLY. REFER TO 1/4" UNIT LAYOUT SERIE A-4 FOR COMPLETE DIMENSIONS AND NOTES.

- WALL & SYMBOL LEGEND**
- A 1 HR. RATED TENANT SEPARATION INTERIOR/ BEARING MIN 50 STC. (REFER TO SHEET A-9.1)
- B 1 HR. RATED EXTERIOR WD. BEARING (REFER TO SHEET A-9.1)
- C INTERIOR WD. FRAME WALL BEARING/ CLG. WALL MEMBRANE. (REFER TO SHEET A-9.1)
- D 1 HR RATED EXTERIOR WALL (REFER TO SHEET A-9.1)
- 1 UNIT KEY NOTES  
REFER TO LEGEND FOR DESIGNATION  
DOOR DESIGNATION REFER TO DOOR SCHEDULE  
WINDOW DESIGNATION REFER TO WINDOW SCHEDULE  
DESIGNATES SOFFIT OR CEILING HEIGHT A.F.F.
- NOTE: PER F.B.C. ALL INTERIOR BEARING WALLS SHALL BE 1 HR RATED TO MAINTAIN PROPER FIRE ENCLOSURE. (REFER TO STRUCTURAL DRAWINGS FOR BEARING AND NON BEARING WALL LOCATION)



**KEY PLAN**

**TOWNHOUSE TYPE III- 8 UNITS**

EDEN AT TRADITION  
FOR:  
EDEN LIVING  
LOCATED AT:  
PORT ST. LUCIE, FLORIDA

MSA ARCHITECTS, INC.  
AAC000895  
8950 SW 74th COURT  
MIAMI, FLORIDA 33156  
(305) 273-9911

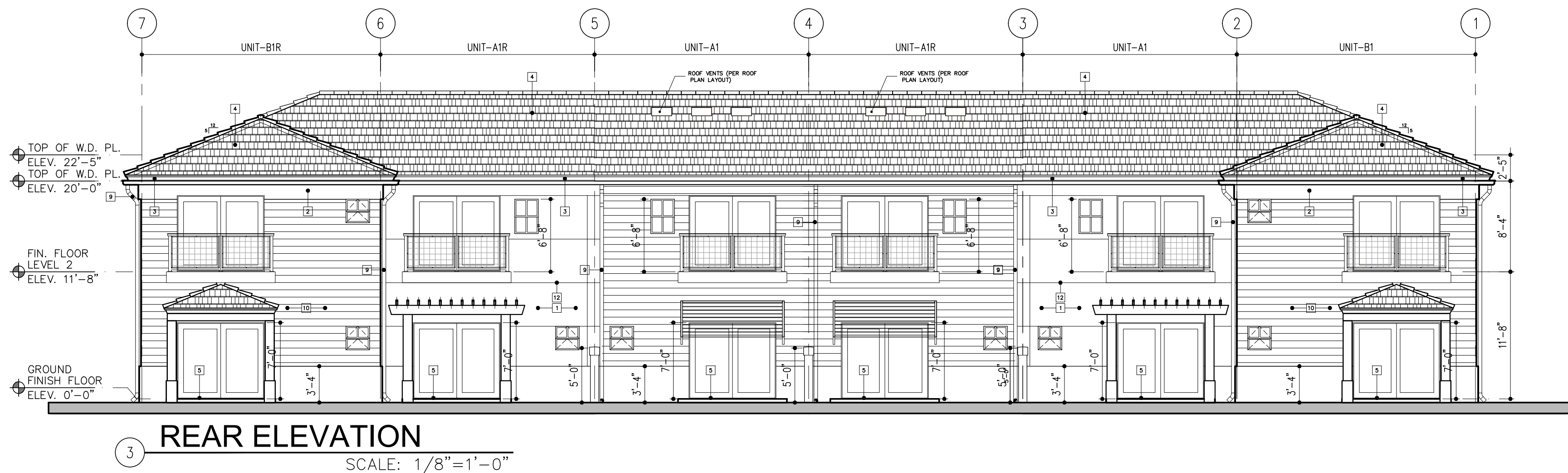
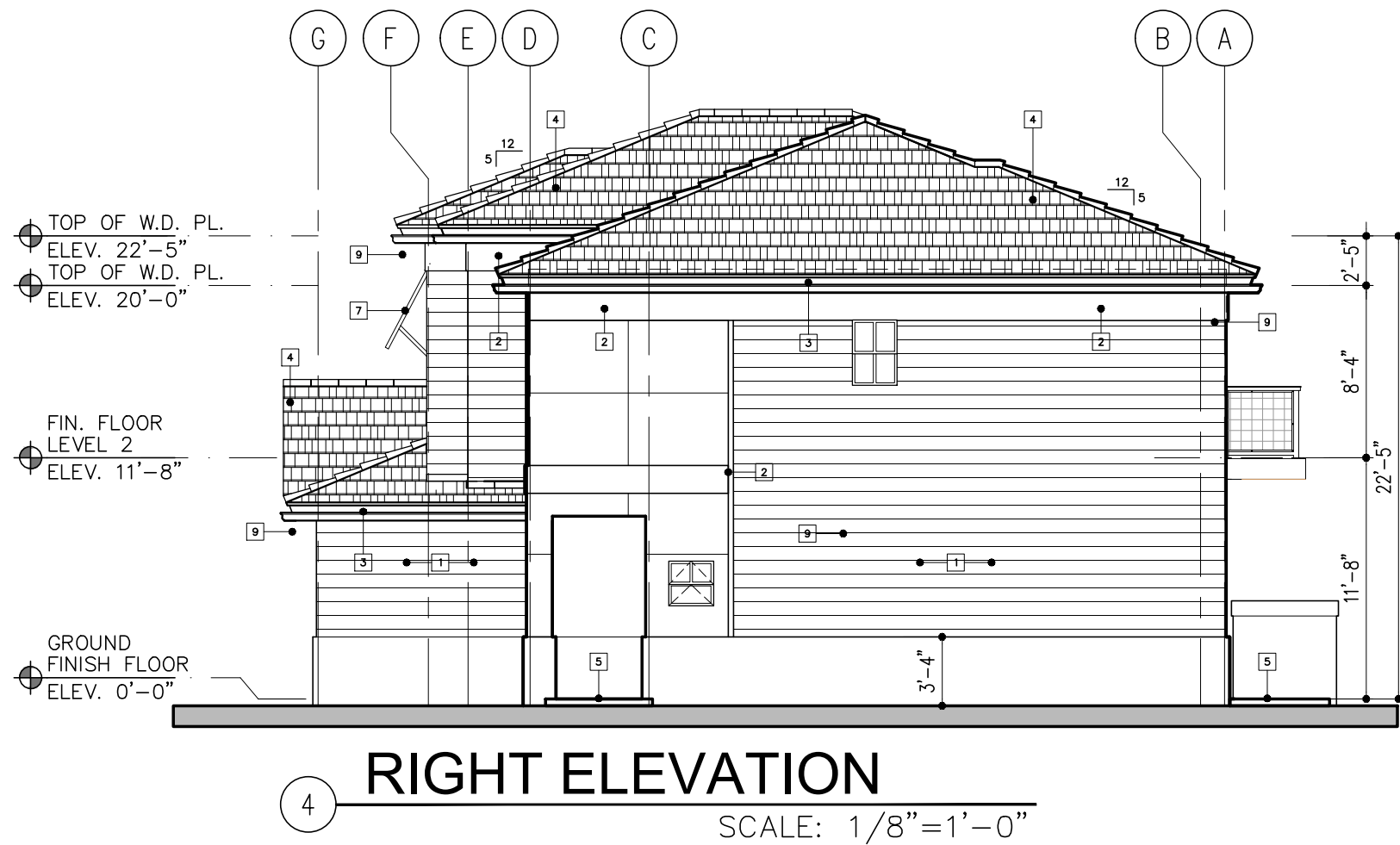
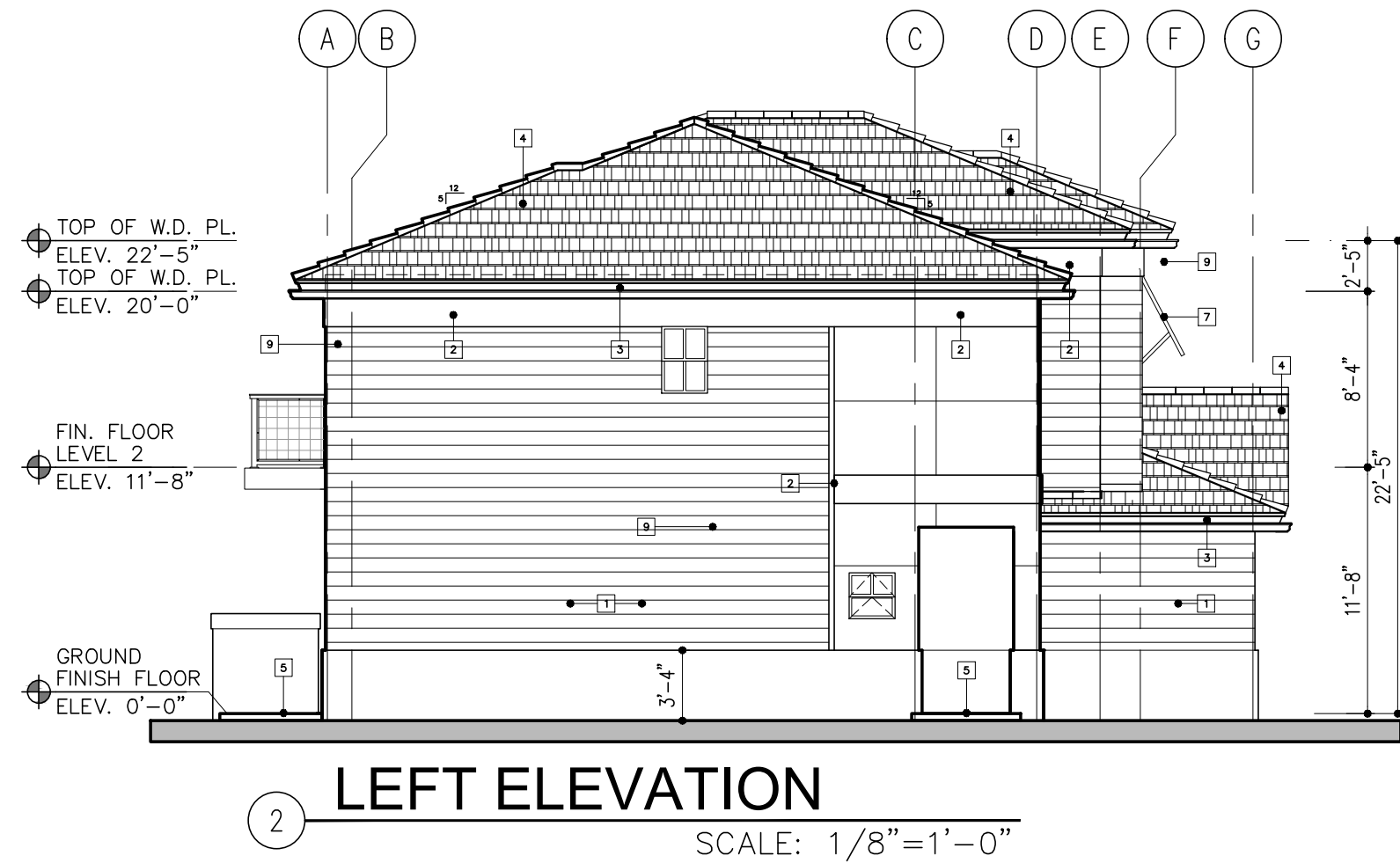
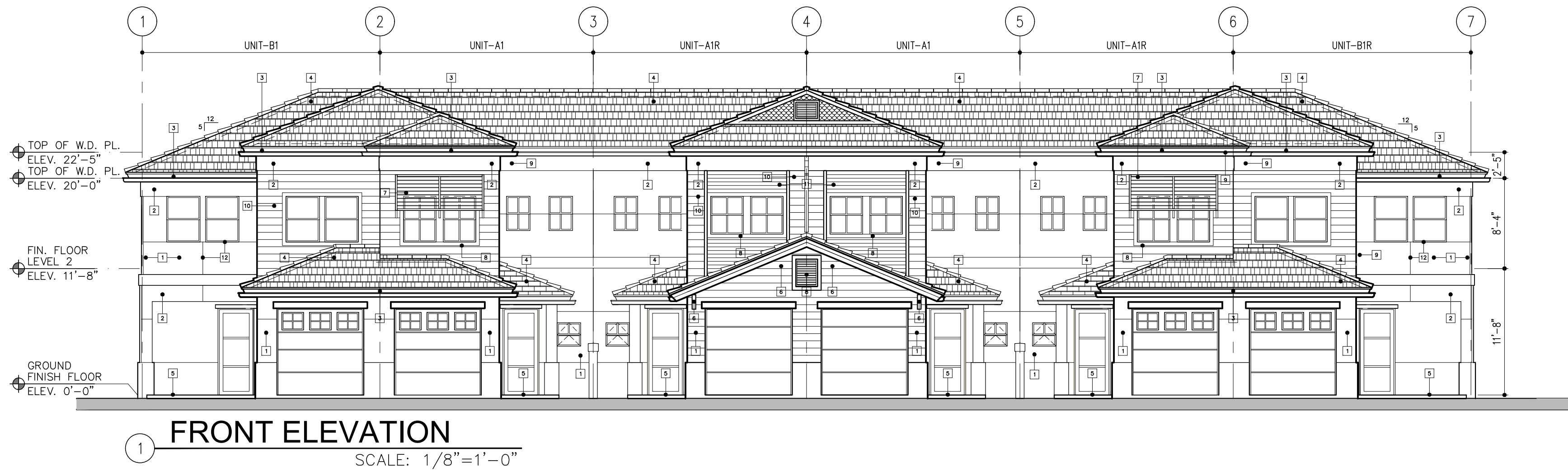
**MSA ARCHITECTS**  
ARCHITECTURE & PLANNING

ARCHITECT'S BUILDING CODE STATEMENT / TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SEVENTH EDITION (2020) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES

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|               |                                      |
|---------------|--------------------------------------|
| DRAWN         |                                      |
| DATE          | 03/04/2022                           |
| SCALE         | AS SHOWN                             |
| JOB NO.       | 2123.PRJ                             |
| SHEET TITLE:  | BUILDING PLANS<br>TOWNHOUSE TYPE III |
| SHEET NUMBER: | A-2.3.1                              |



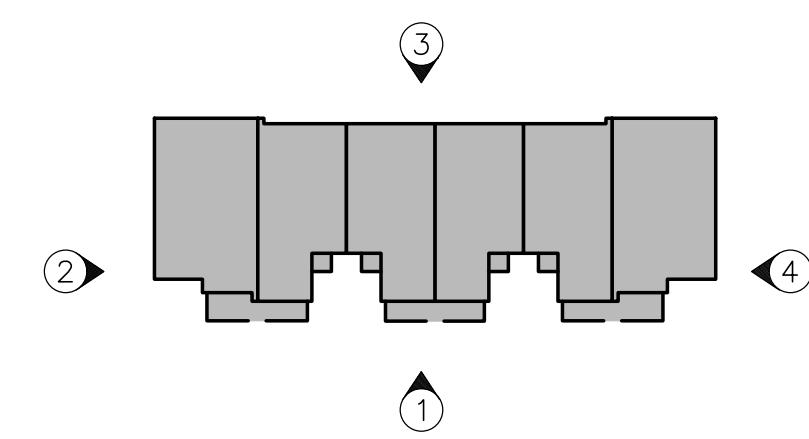


| COLOR LEGEND |                                    |
|--------------|------------------------------------|
| (A)          | MAIN STUCCO SW 7006 EXTRA WHITE    |
| (B)          | ACCENT 1 - SW 2822 DOWNING SAND    |
| (C)          | ACCENT 2 - SW 7534 OUTER BANKS     |
| (D)          | ACCENT 3 - SW 7515 HOMESTEAD BROWN |
| (E)          | ROOF TILE BORAL SAXONY SLATE       |

| ELEVATION LEGEND |                                                            |
|------------------|------------------------------------------------------------|
| 1                | 7/8" STUCCO FINISH, LIGHT TEXTURE                          |
| 2                | 14" FRIEZE BAND                                            |
| 3                | 2"x10" P.T. WD FASCIA BOARD (TYP.)                         |
| 4                | THICK BUTT ROOF SHINGLES TO BE SELECTED BY ARCHITECT/OWNER |
| 5                | CONCRETE STOOP AT ALL ENTRY DOORS & TERRACE                |
| 6                | RESIN DECORATIVE BRACKETS                                  |
| 7                | ALUMN CANOPY                                               |
| 8                | 8"x6" TRIM AT BOTTOM OF WINDOW                             |
| 9                | 4" ALUM.GUTLER & DOWNSPOUT CONNECTED TO U.G STORM LINE.    |
| 10               | LAP SIDING 8" EXPOSURE                                     |
| 11               | LAP SIDING 4" EXPOSURE                                     |
| 12               | HORIZONTAL JOINTS @ 4'X8' HARDIE BOARDS                    |

NOTE 1:  
8"x8" SIGNS WITH INSERT RF IN MALTESE CROSS TO BE POSTED AT EXTERIOR  
BUILDING ACCORDANCE WITH SECTION 633.222 OF FS AND RULE 69A-60.0081 OF FAC. AFFIXED WITHIN 24" OF THE PRIMARY ENTRY DOOR TO BUILDING. MOUNTED 48" TO BOTTOM OF SIGN AND 72" TO TOP OF SIGN FROM GRADE, WALKING SURFACE OR FINISHED FLOOR. FINAL LOCATION APPROVED BY AUTHORITY HAVING JURISDICTION.

NOTE 2:  
GUARDRAILS IN ACCORDANCE WITH FBC 101.5



KEY PLAN

TOWNHOUSE TYPE I- 6 UNITS

|                     |    |
|---------------------|----|
| 04/20/2022          | BY |
| SITE PLAN SUBMITTAL |    |
|                     |    |
|                     |    |
|                     |    |
|                     |    |
|                     |    |
|                     |    |

EDEN AT TRADITION

FOR:  
EDEN LIVING  
LOCATED AT:  
PORT ST. LUCIE, FLORIDA

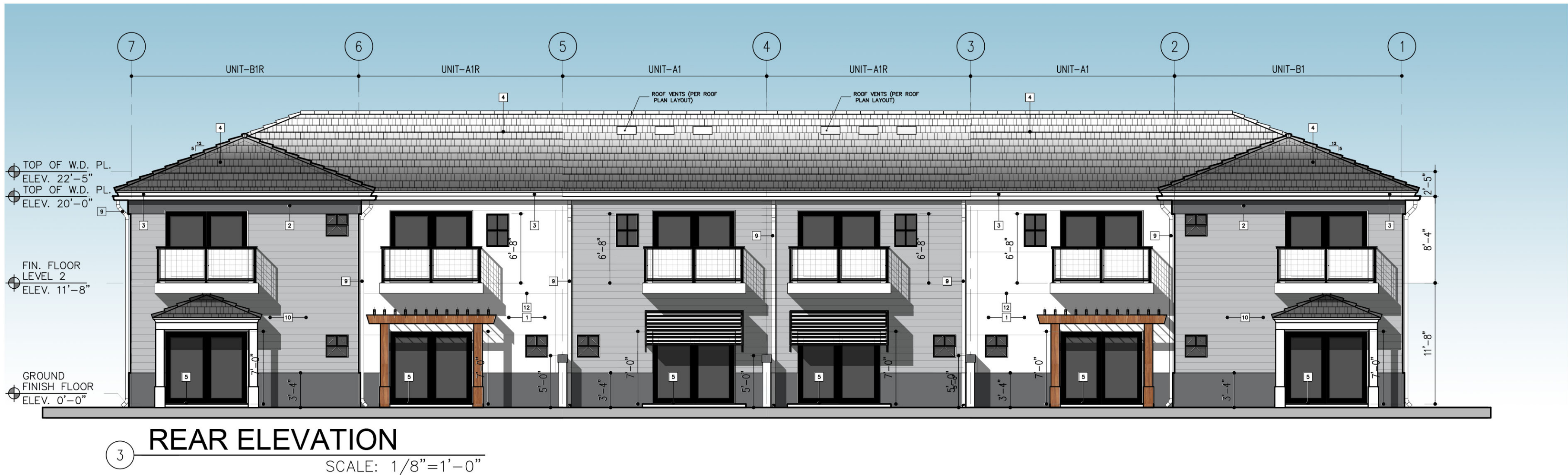
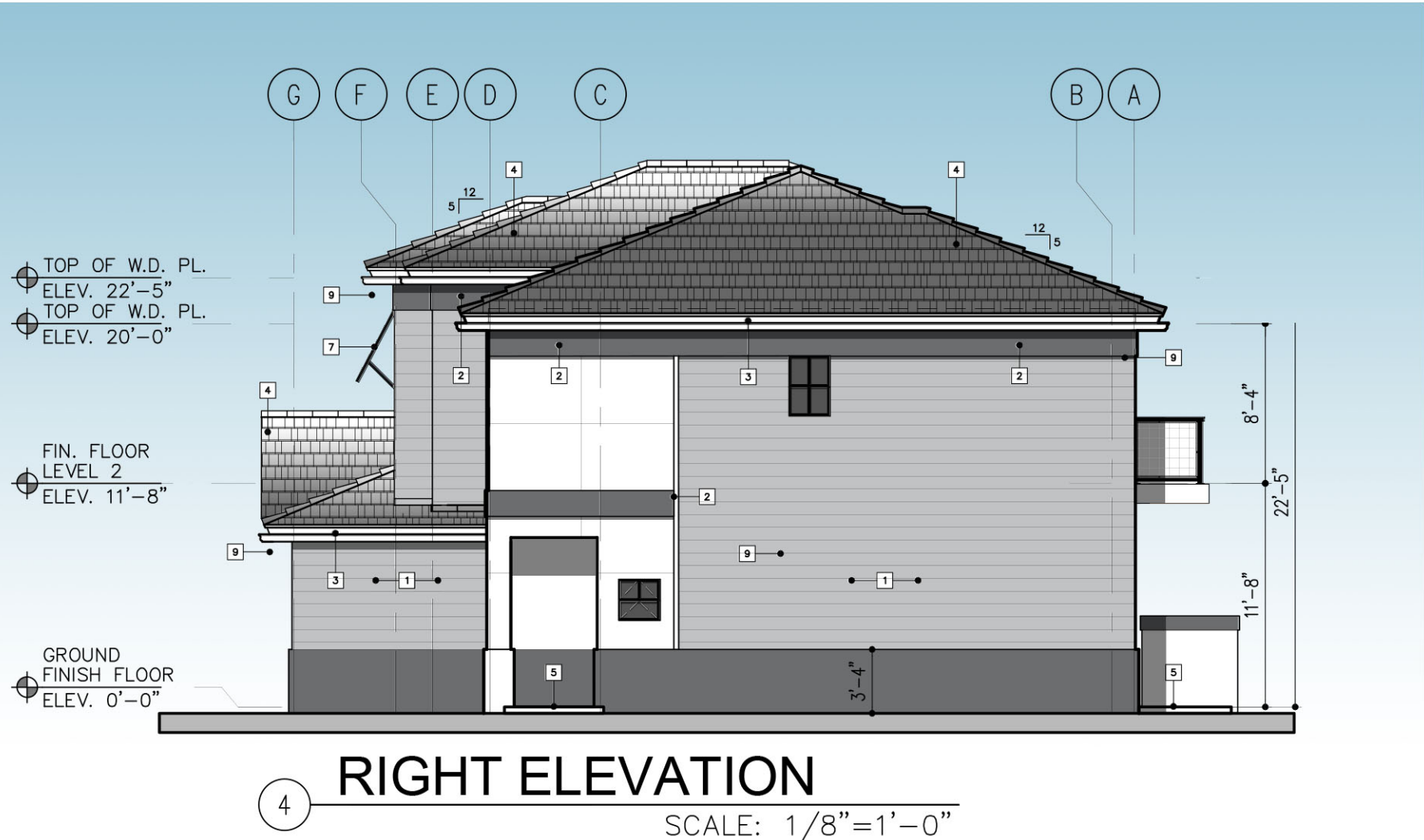
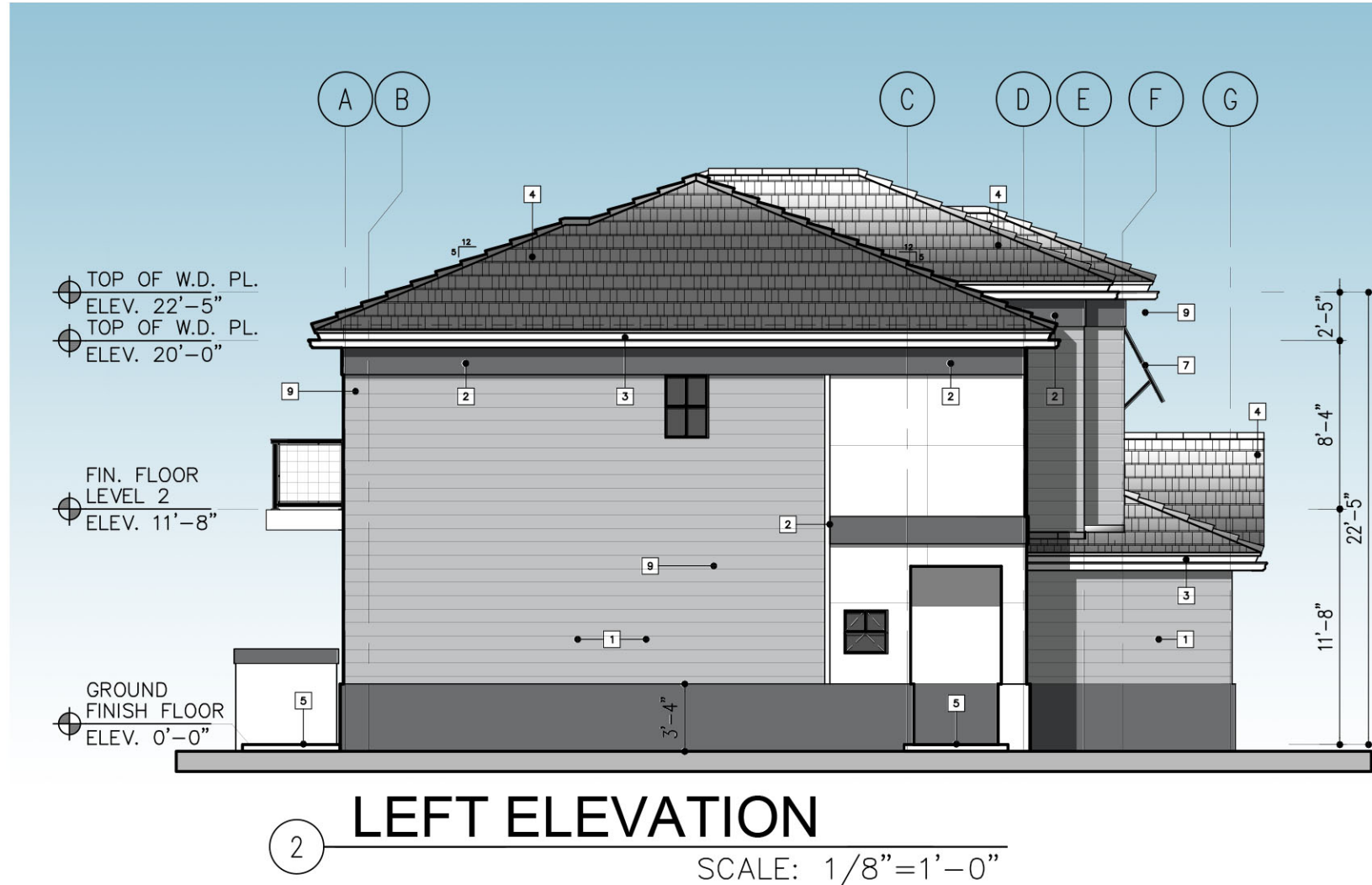
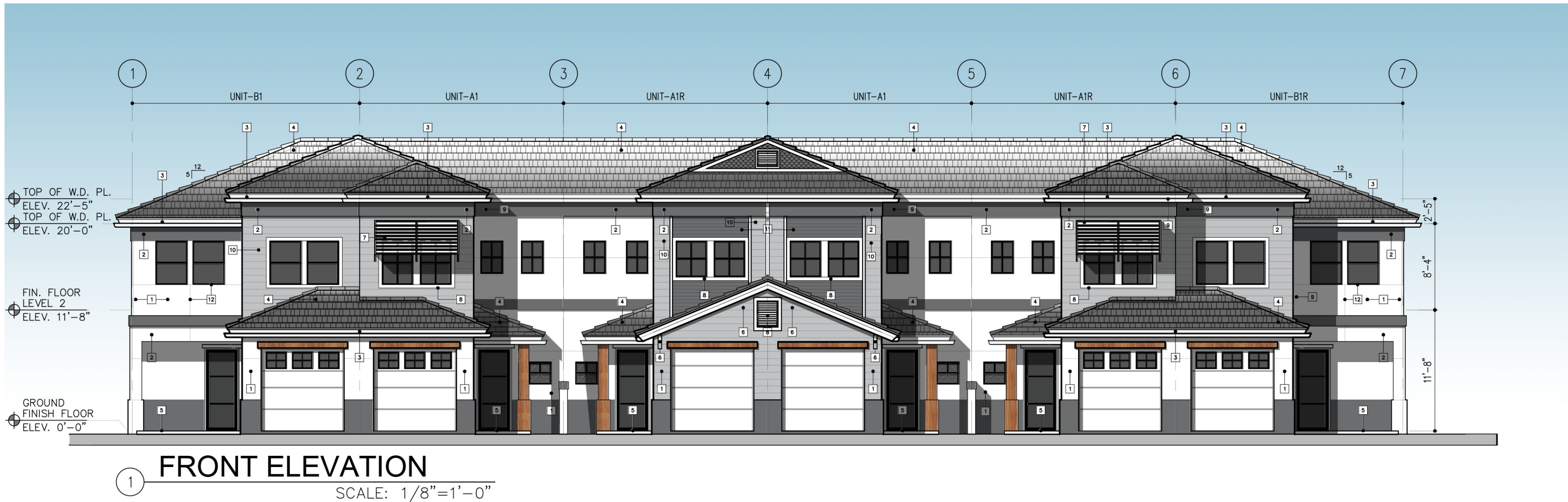
MSA ARCHITECTS, INC.  
AAC000895

ARCHITECTS  
ARCHITECTURE & PLANNING

8950 SW 74th COURT  
SUITE 100  
MIAMI, FLORIDA 33156  
(305) 273-9911

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|                             |            |
|-----------------------------|------------|
| DRAWN                       |            |
| DATE                        | 03/04/2022 |
| SCALE                       | AS SHOWN   |
| JOB NO.                     | 2123.PRJ   |
| SHEET TITLE:                |            |
| TOWNHOUSE TYPE I ELEVATIONS |            |
| SHEET NUMBER:               |            |
| A-3.1.1                     |            |



COLOR SCHEME

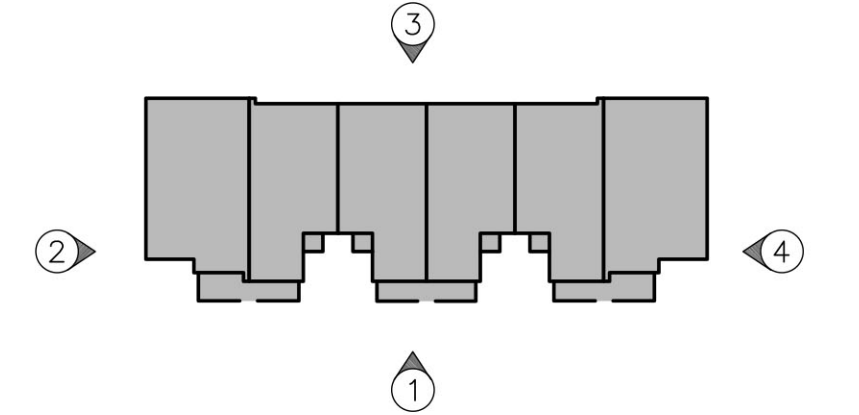
COLOR SCHEME (OPTION 2)

| ELEVATION LEGEND |                                                            |
|------------------|------------------------------------------------------------|
| 1                | 7/8" STUCCO FINISH, LIGHT TEXTURE                          |
| 2                | 14" FRIEZE BAND                                            |
| 3                | 2"x10" P.T. WD FASCIA BOARD (TYP.)                         |
| 4                | THICK BUTT ROOF SHINGLES TO BE SELECTED BY ARCHITECT/OWNER |
| 5                | CONCRETE STOOP AT ALL ENTRY DOORS & TERRACE                |
| 6                | RESIN DECORATIVE BRACKETS                                  |
| 7                | ALUMN CANOPY                                               |
| 8                | 8"x6" TRIM AT BOTTOM OF WINDOW                             |
| 9                | 4" ALUM.GUTLER & DOWNSPOUT CONNECTED TO U.G STORM LINE.    |
| 10               | LAP SIDING 8" EXPOSURE                                     |
| 11               | LAP SIDING 4" EXPOSURE                                     |
| 12               | HORIZONTAL JOINTS @ 4'X8' HARDIE BOARDS                    |

NOTE 1:  
8"x8" SIGNS WITH INSERT RF IN MALTESE CROSS TO BE POSTED AT EXTERIOR BUILDING ACCORDANCE WITH SECTION 633.222 OF FS AND RULE 69A-60.0081 OF FAC. AFFIXED WITHIN 24" OF THE PRIMARY ENTRY DOOR TO BUILDING, MOUNTED 48" TO BOTTOM OF SIGN AND 72" TO TOP OF SIGN FROM GRADE, WALKING SURFACE OR FINISHED FLOOR. FINAL LOCATION APPROVED BY AUTHORITY HAVING JURISDICTION.



NOTE 2:  
GUARDRAILS IN ACCORDANCE WITH FBC 101.5



KEY PLAN

TOWNHOUSE TYPE I- 6 UNITS

04/20/2022  
SITE PLAN SUBMITTAL

BY

EDEN AT TRADITION  
FOR:  
EDEN LIVING  
LOCATED AT:  
PORT ST. LUCIE, FLORIDA

MSA ARCHITECTS, INC.  
AAC0000895  
8850 SW 74th COURT  
SUITE 1513  
MIAMI, FLORIDA 33156  
(305) 273-9911

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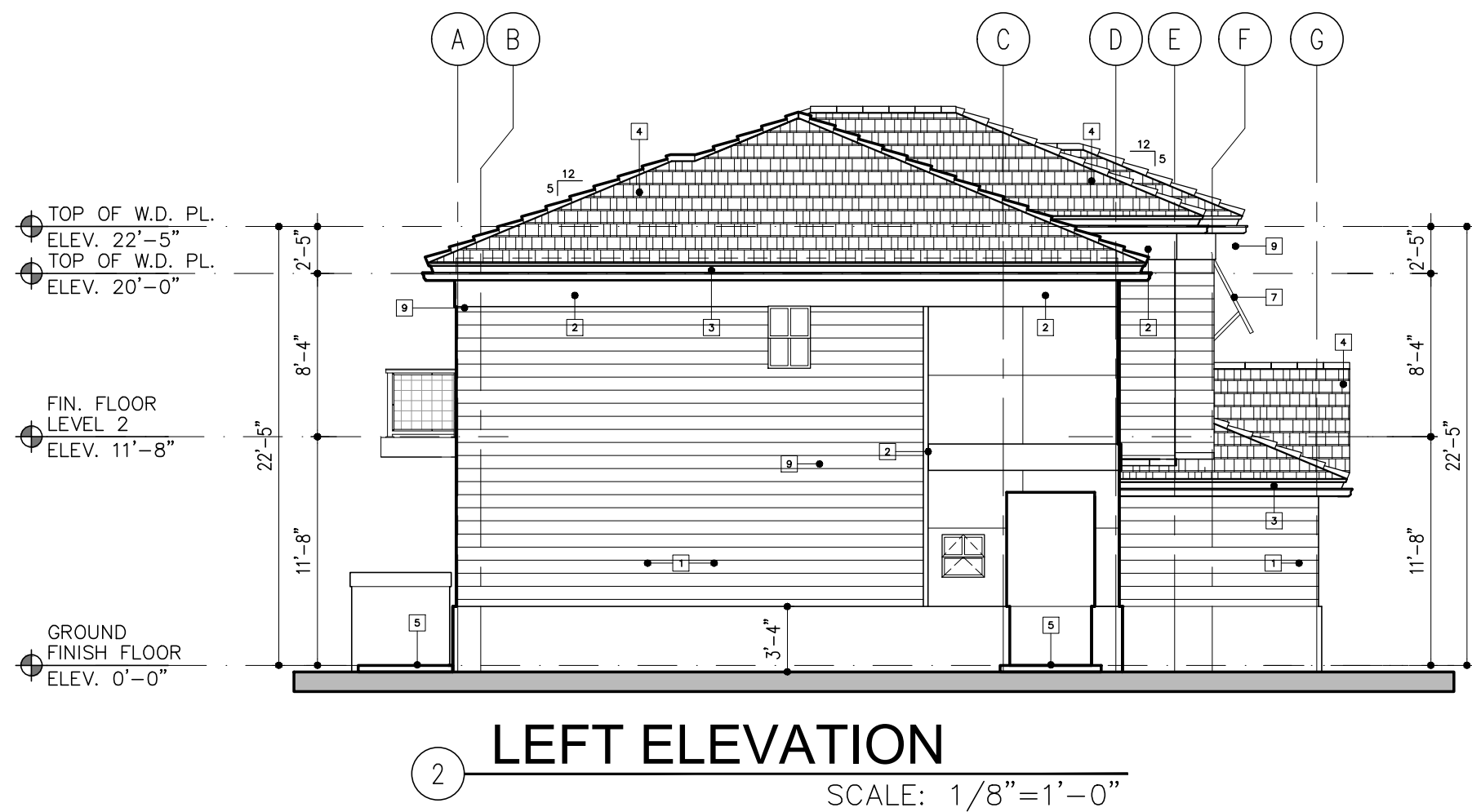
ARCHITECT'S BUILDING CODE STATEMENT// TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SEVENTH EDITION (2020) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.  
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DRAWN  
DATE 03/04/2022  
SCALE AS SHOWN  
JOB NO. 2123.PRJ  
SHEET TITLE:  
TOWNHOUSE TYPE I  
ELEVATIONS  
SHEET NUMBER:  
A-3.1.1



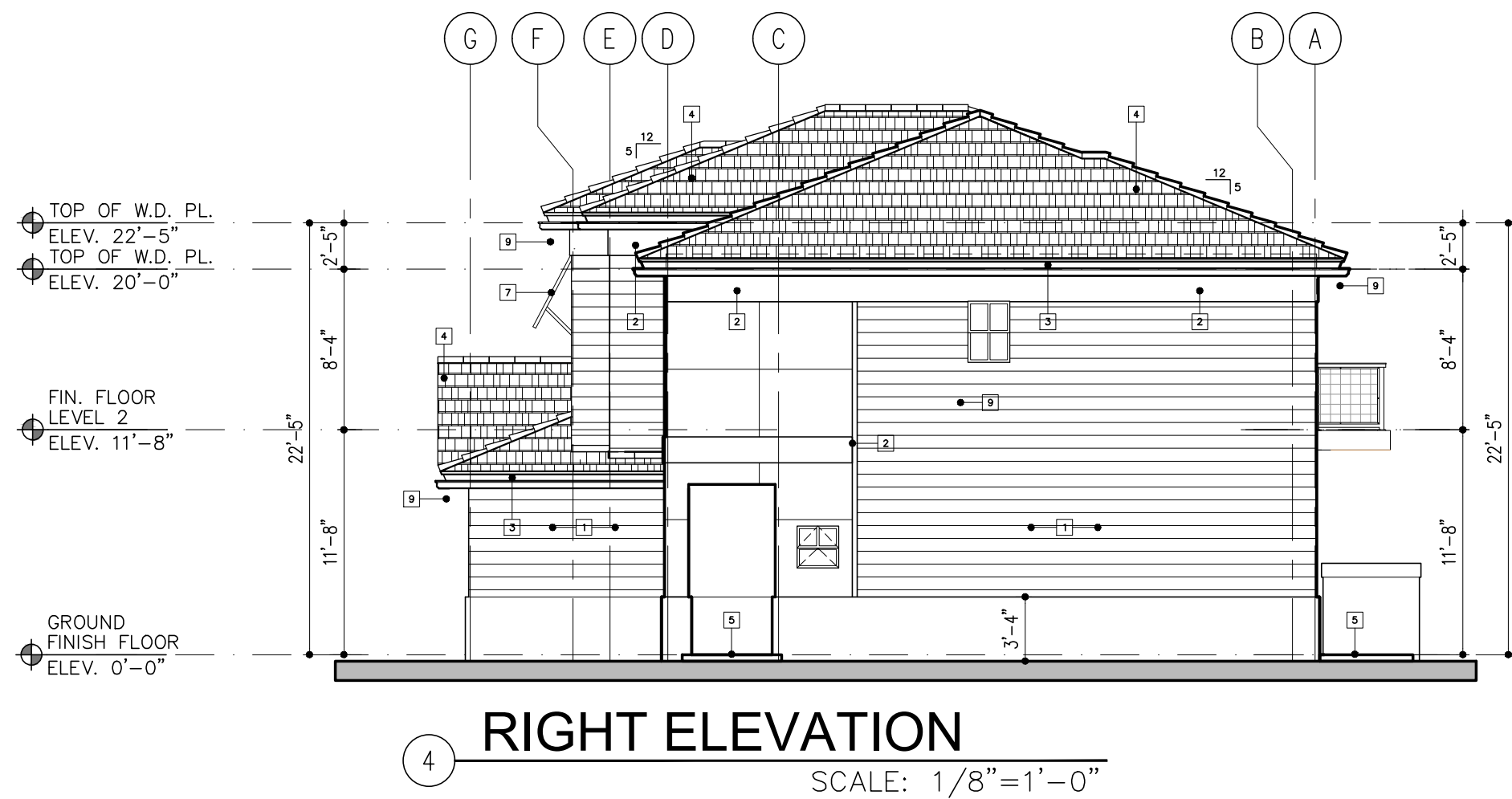
1 FRONT ELEVATION

SCALE: 1/8"=1'-0"



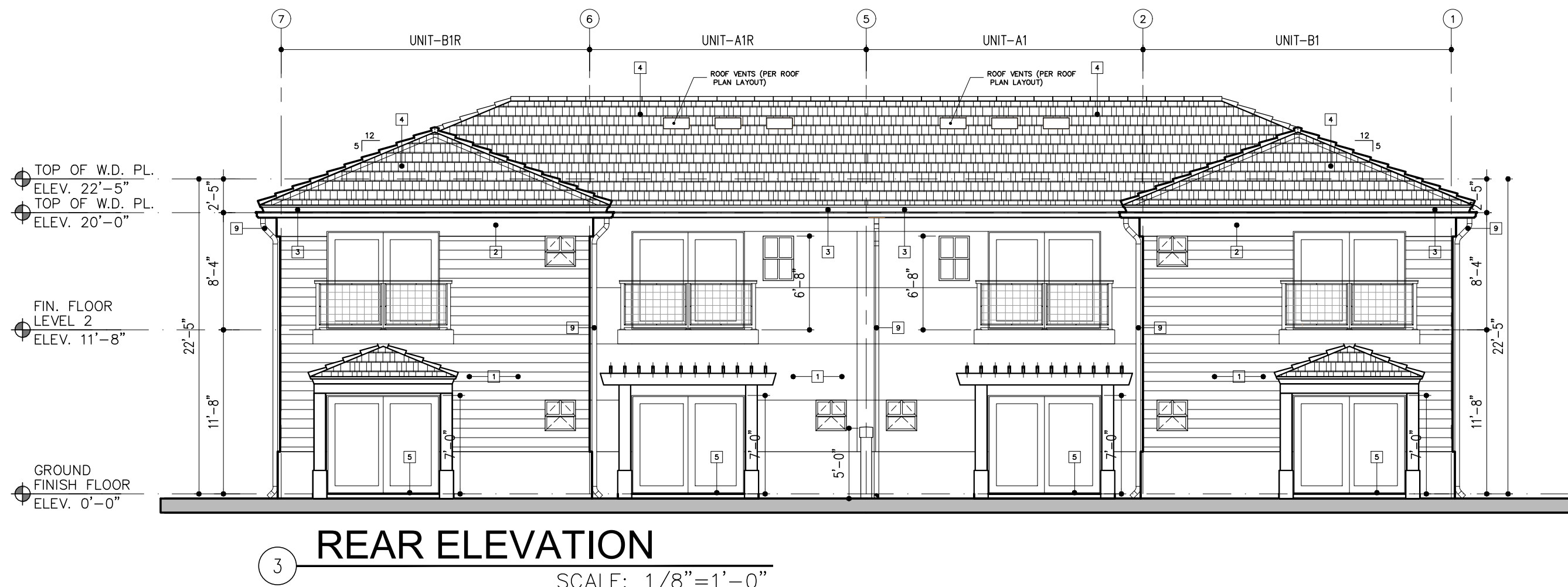
2 LEFT ELEVATION

SCALE: 1/8"=1'-0"



4 RIGHT ELEVATION

SCALE: 1/8"=1'-0"



3 REAR ELEVATION

SCALE: 1/8"=1'-0"

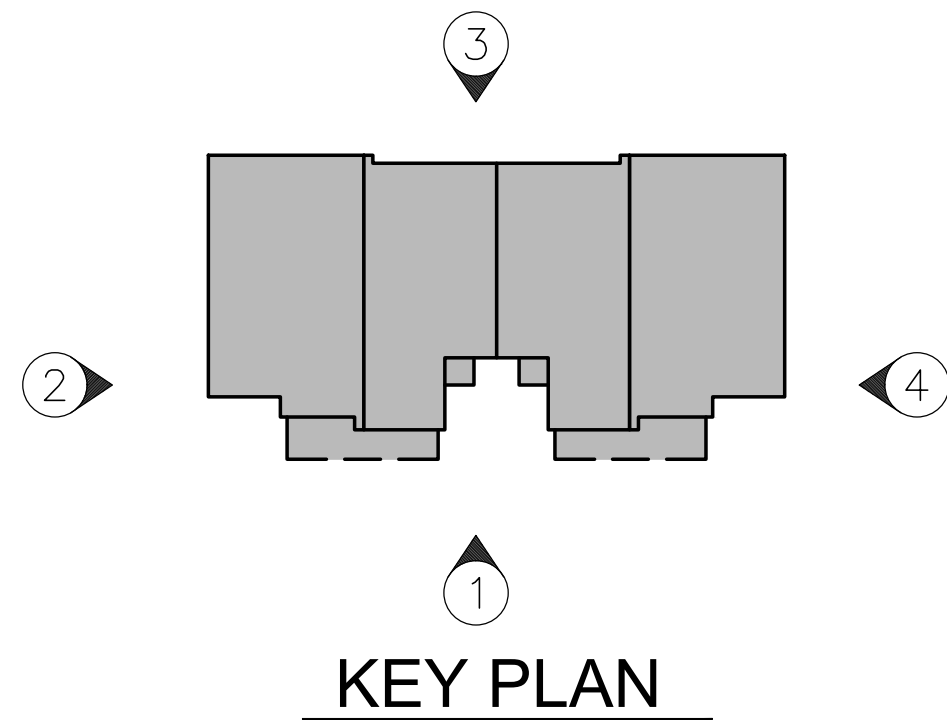
| COLOR LEGEND |                                    |
|--------------|------------------------------------|
| (A)          | MAIN STUCCO SW 7006 EXTRA WHITE    |
| (B)          | ACCENT 1 – SW 2822 DOWNING SAND    |
| (C)          | ACCENT 2 – SW 7534 OUTER BANKS     |
| (D)          | ACCENT 3 – SW 7515 HOMESTEAD BROWN |
| (E)          | ROOF TILE BORAL SAXONY SLATE       |

| ELEVATION LEGEND |                                                            |
|------------------|------------------------------------------------------------|
| 1                | 7/8" STUCCO FINISH, LIGH TEXTURE                           |
| 2                | 14" FRIEZE BAND                                            |
| 3                | 2"x10" P.T. WD FASCIA BOARD (TYP.)                         |
| 4                | THICK BUTT ROOF SHINGLES TO BE SELECTED BY ARCHITECT/OWNER |
| 5                | CONCRETE STOOP AT ALL ENTRY DOORS & TERRACE                |
| 6                | RESIN DECORATIVE BRACKETS                                  |
| 7                | ALUMN CANOPY                                               |
| 8                | 3/8"x6" TRIM AT BOTTOM OF WINDOW                           |
| 9                | 4" ALUM.GUTLER & DOWNSPOUT CONNECTED TO U.G STORM LINE.    |
| 10               | LAP SIDING 8" EXPOSURE                                     |
| 11               | LAP SIDING 4" EXPOSURE                                     |
| 12               | HORIZONTAL JOINTS @ 4'X8' HARDIE BOARDS                    |

NOTE 1:  
8"x8" SIGNS WITH INSERT RF IN MALTESE CROSS TO BE POSTED AT EXTERIOR BUILDING ACCORDANCE WITH SECTION 633.222 OF FS AND RULE 69A-60.0081 OF FAC. AFFIXED WITHIN 24" OF THE PRIMARY ENTRY DOOR TO BUILDING. MOUNTED 48" TO BOTTOM OF SIGN AND 72" TO TOP OF SIGN FROM GRADE, WALKING SURFACE OR FINISHED FLOOR. FINAL LOCATION APPROVED BY AUTHORITY HAVING JURISDICTION.



NOTE 2:  
GUARDRAILS IN ACCORDANCE WITH FBC 101.5



KEY PLAN

TOWNHOUSE TYPE II- 4 UNITS

|                     |    |
|---------------------|----|
| 04/20/2022          | BY |
| SITE PLAN SUBMITTAL |    |
|                     |    |
|                     |    |
|                     |    |
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|                     |    |
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|                     |    |
|                     |    |

EDEN AT TRADITION

FOR:  
EDEN LIVING  
LOCATED AT:  
PORT ST. LUCIE, FLORIDA

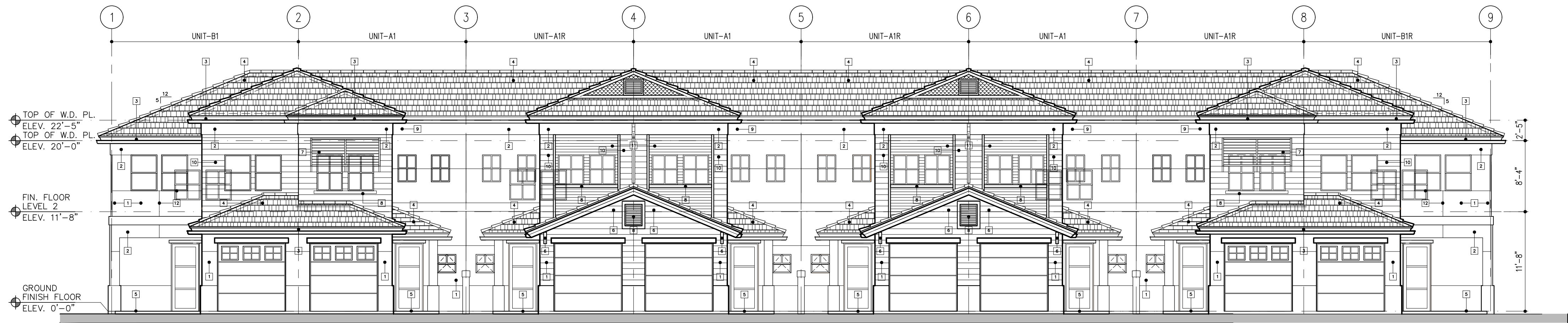
MSA ARCHITECTS, INC.  
AAC000895

8950 SW 74th COURT  
SUITE 100  
MIAMI, FLORIDA 33156  
(305) 273-9911

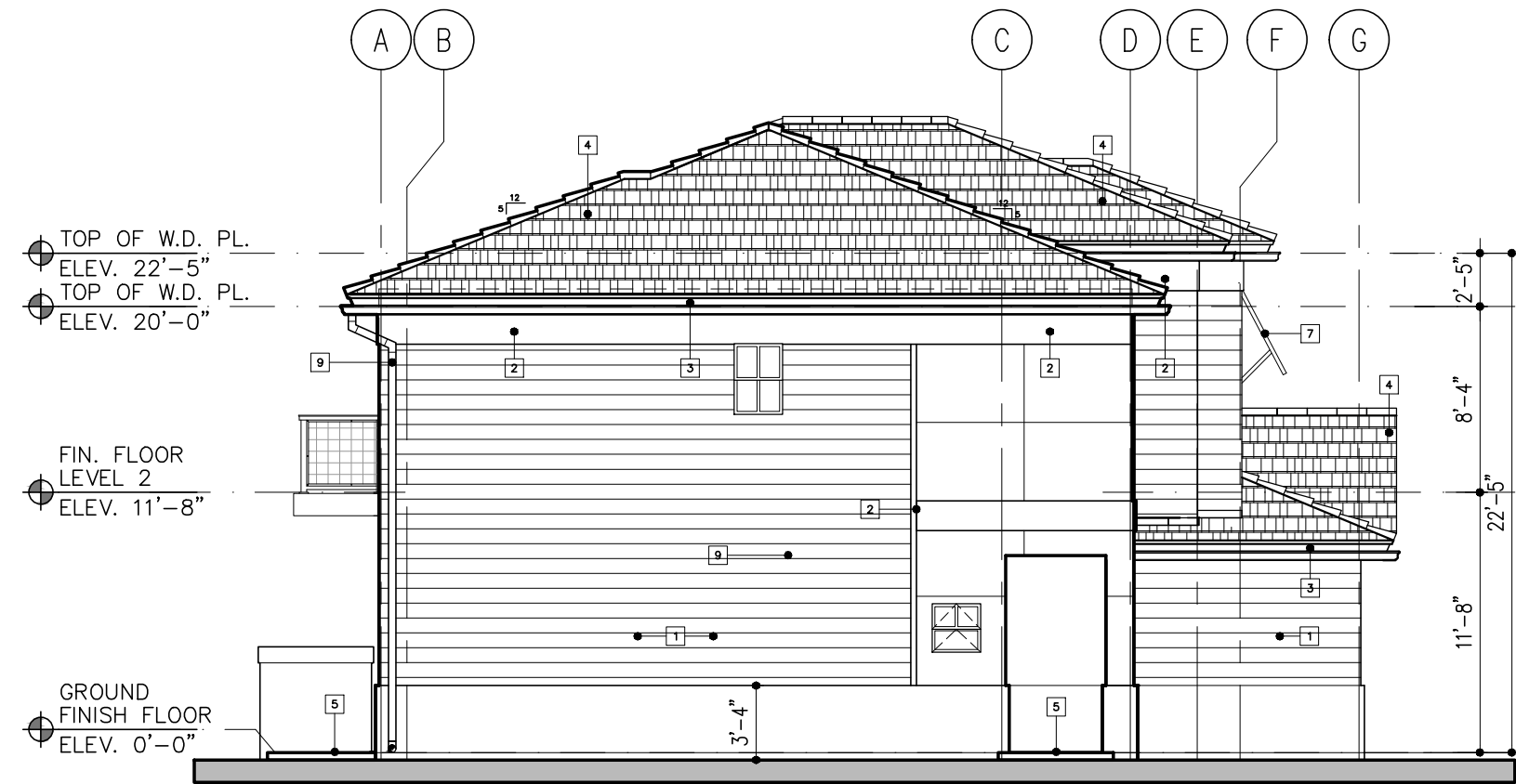
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ARCHITECTURE & PLANNING

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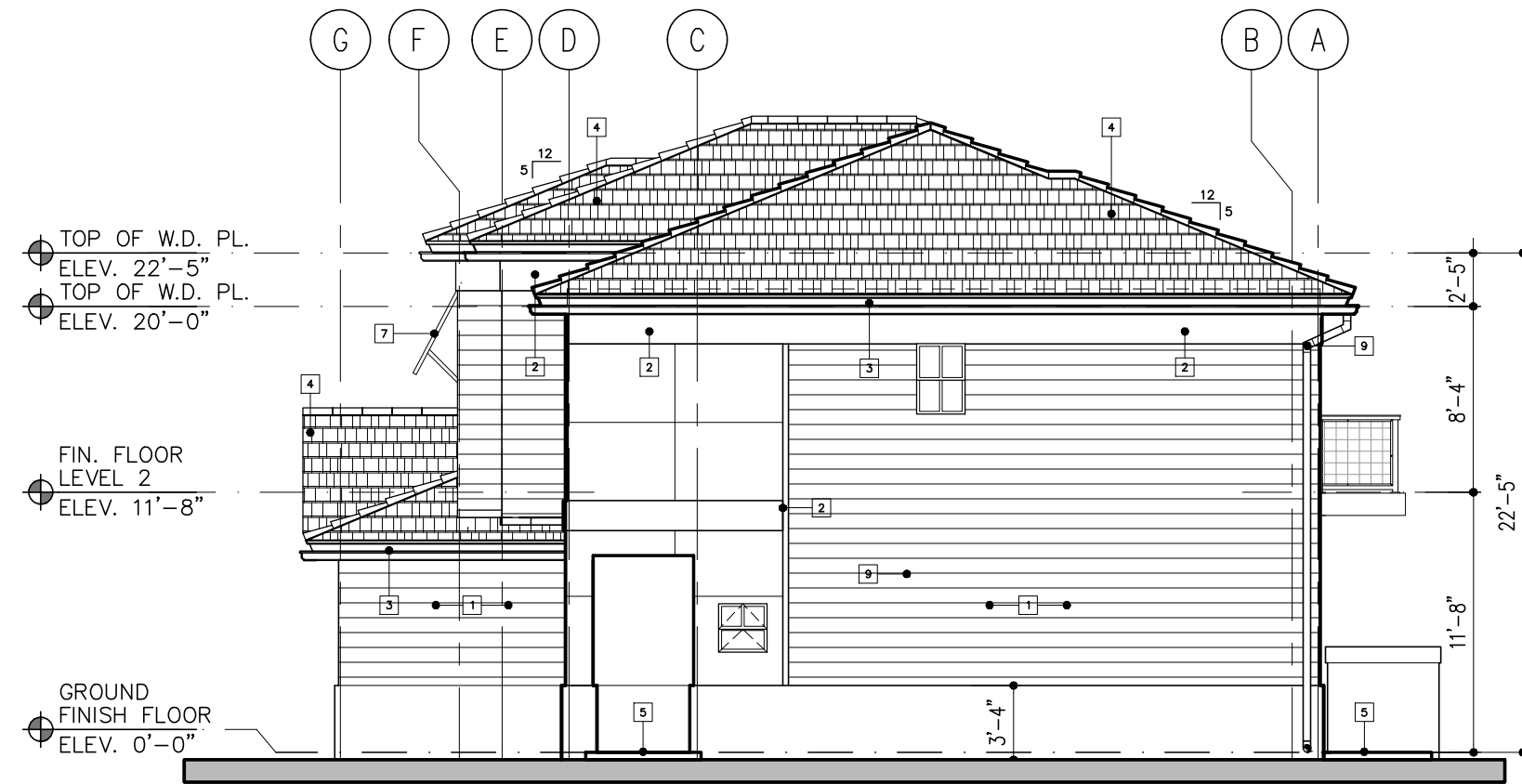
|               |                              |
|---------------|------------------------------|
| DRAWN         |                              |
| DATE          | 03/04/2022                   |
| SCALE         | AS SHOWN                     |
| JOB NO.       | 2123.PRJ                     |
| SHEET TITLE:  | TOWNHOUSE TYPE II ELEVATIONS |
| SHEET NUMBER: | A-3.2.1                      |



1 FRONT ELEVATION  
SCALE: 1/8"=1'-0"



2 LEFT ELEVATION  
SCALE: 1/8"=1'-0"



4 RIGHT ELEVATION  
SCALE: 1/8"=1'-0"



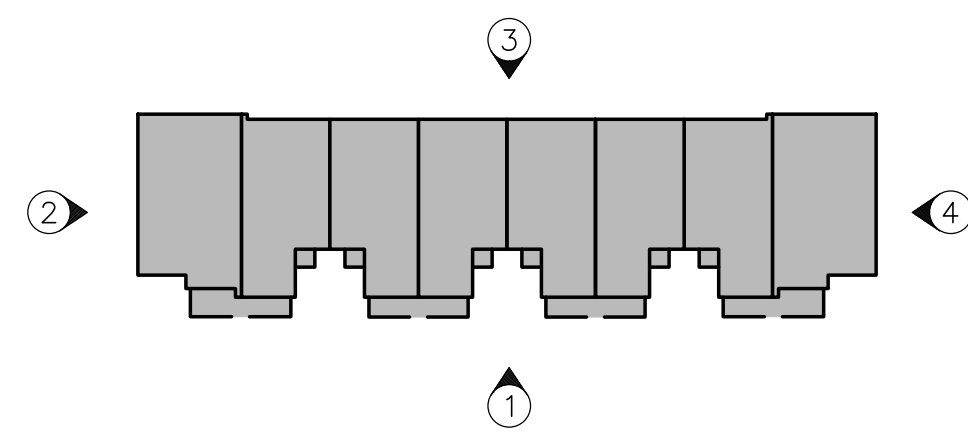
3 REAR ELEVATION  
SCALE: 1/8"=1'-0"

| ELEVATION LEGEND |                                                            |
|------------------|------------------------------------------------------------|
| 1                | 7/8" STUCCO FINISH, LIGH TEXTURE                           |
| 2                | 14" FRIEZE BAND                                            |
| 3                | 2"x10" P.T. WD FASCIA BOARD (TYP.)                         |
| 4                | THICK BUTT ROOF SHINGLES TO BE SELECTED BY ARCHITECT/OWNER |
| 5                | CONCRETE STOOP AT ALL ENTRY DOORS & TERRACE                |
| 6                | RESIN DECORATIVE BRACKETS                                  |
| 7                | ALUMN CANOPY                                               |
| 8                | 8"x6" TRIM AT BOTTOM OF WINDOW                             |
| 9                | 4" ALUM.GUTLER & DOWNSPOUT CONNECTED TO U.G STORM LINE.    |
| 10               | LAP SIDING 8" EXPOSURE                                     |
| 11               | LAP SIDING 4" EXPOSURE                                     |
| 12               | HORIZONTAL JOINTS @ 4'X8' HARDIE BOARDS                    |

| COLOR LEGEND |                                    |
|--------------|------------------------------------|
| A            | MAIN - STUCCO SW 7006 EXTRA WHITE  |
| B            | ACCENT 1 - SW 2822 DOWNING SAND    |
| C            | ACCENT 2 - SW 7534 OUTER BANKS     |
| D            | ACCENT 3 - SW 7515 HOMESTEAD BROWN |
| E            | ROOF TILE BORAL SAXONY SLATE       |

NOTE 1:  
8"x8" SIGNS WITH INSERT RF IN MALTESE CROSS TO BE POSTED AT EXTERIOR BUILDING ACCORDANCE WITH SECTION 633.222 OF FS AND RULE 69A-60.0081 OF FAC. AFFIXED WITHIN 24" OF THE PRIMARY ENTRY DOOR TO BUILDING. MOUNTED 48" TO BOTTOM OF SIGN AND 72" TO TOP OF SIGN FROM GRADE, WALKING SURFACE OR FINISHED FLOOR. FINAL LOCATION APPROVED BY AUTHORITY HAVING JURISDICTION.

NOTE 2:  
GUARDRAILS IN ACCORDANCE WITH FBC 101.5



TOWNHOUSE TYPE III- 8 UNITS

04/20/2022  
SITE PLAN SUBMITTAL

BY

EDEN AT TRADITION

FOR:  
EDEN LIVING  
LOCATED AT:  
PORT ST. LUCIE, FLORIDA

MSA ARCHITECTS, INC.  
AAC000895

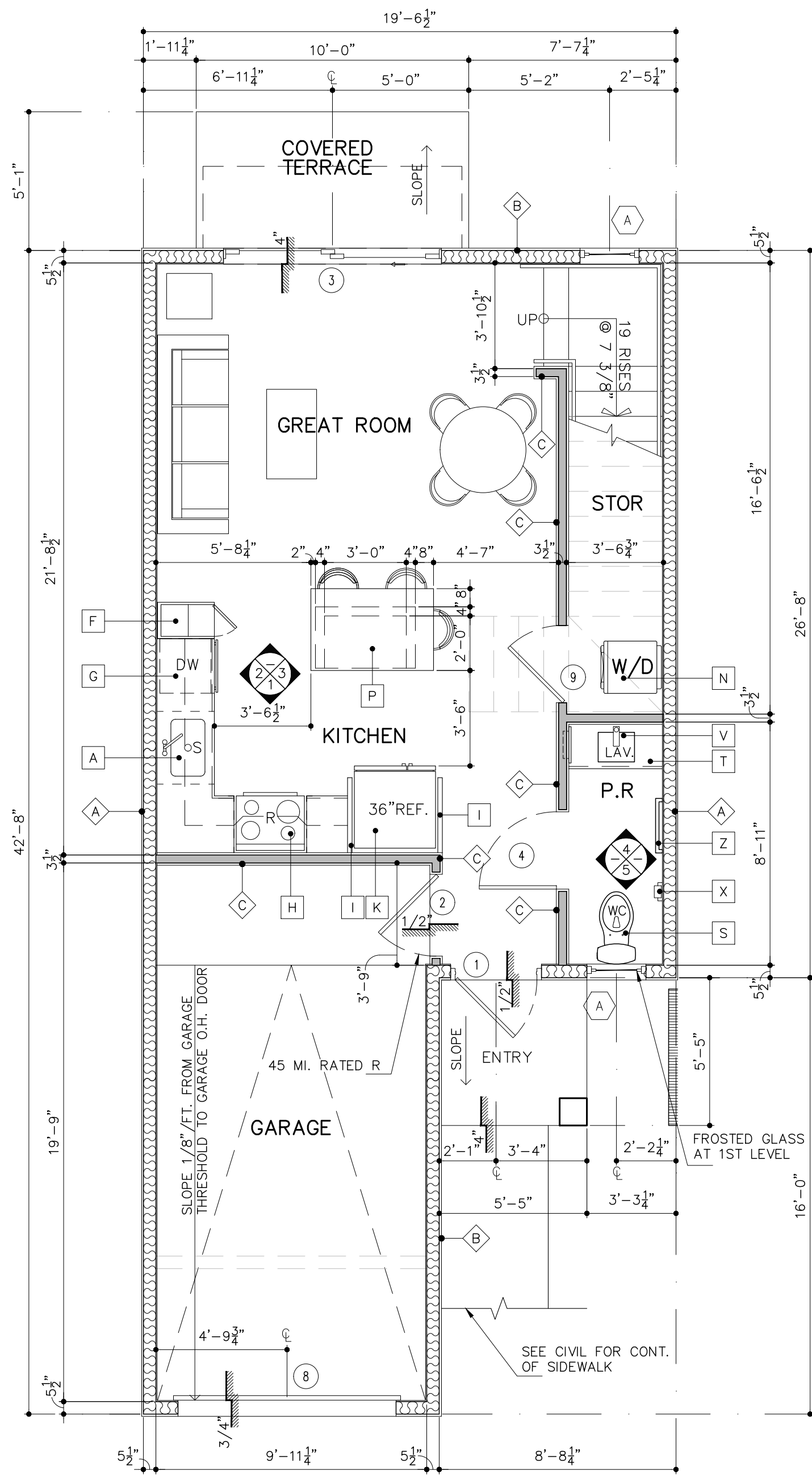
ARCHITECTS

ARCHITECTURE & PLANNING

8950 SW 74th COURT  
SUITE 100  
MIAMI, FLORIDA 33156  
(305) 273-9911

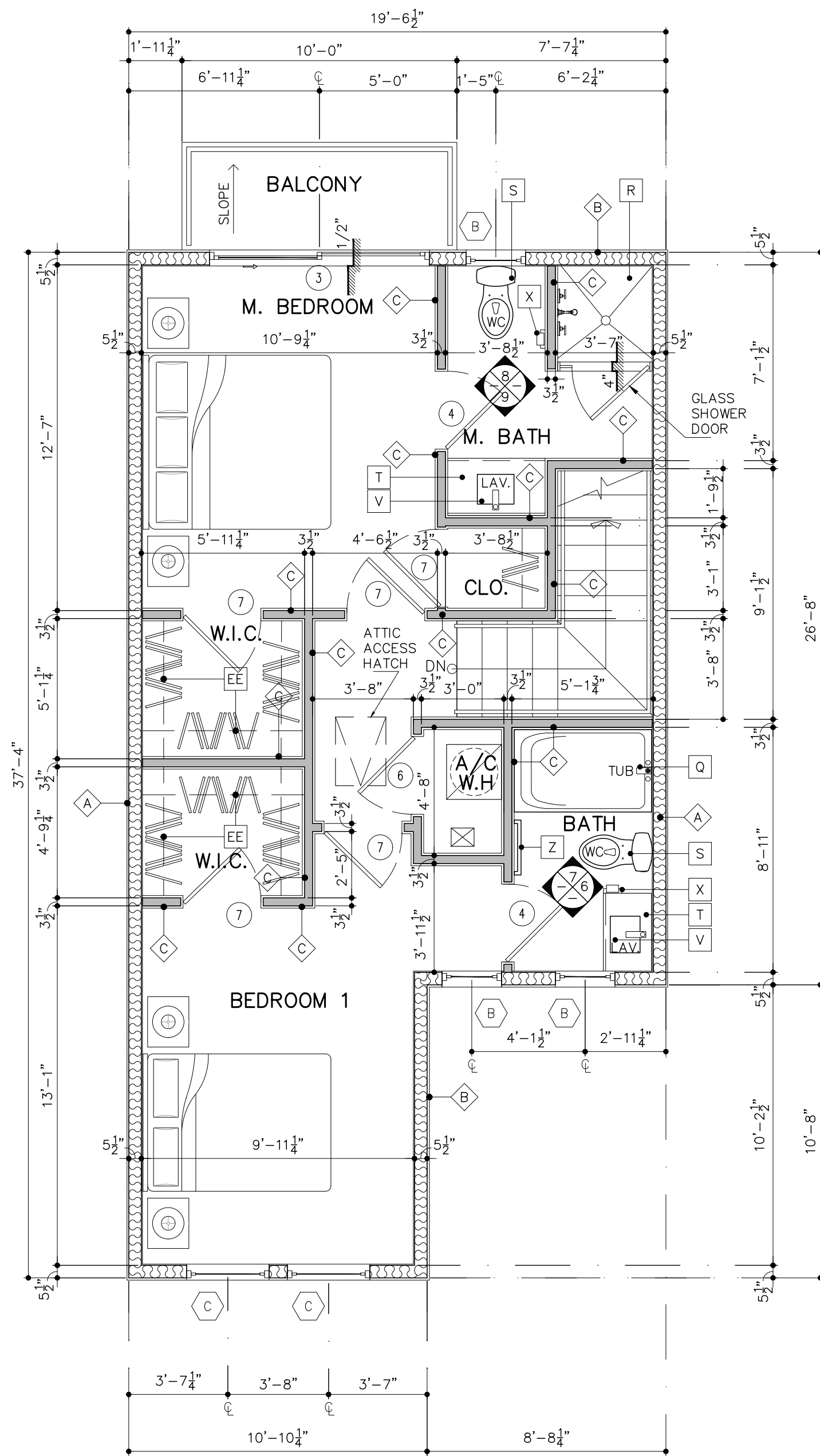
ARCHITECT'S BUILDING CODE STATEMENT/ TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SEVENTH EDITION (2020) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

DRAWN  
DATE 03/04/2022  
SCALE AS SHOWN  
JOB NO. 2123.PRJ  
SHEET TITLE:  
TOWNHOUSE TYPE III  
ELEVATIONS  
SHEET NUMBER:  
A-3.3.1



**TH UNIT A-1 LEVEL 1 (2 BD/2.5 BTH)**

GROSS A/C AREA = 483 SQ. FT. SCALE: 1/4"=1'-0"  
GARAGE = 221 SQ. FT.



**TH UNIT A-1 LEVEL 2 (2 BD/2.5 BTH)**

GROSS A/C AREA = 596 SQ. FT. SCALE: 1/4"=1'-0"

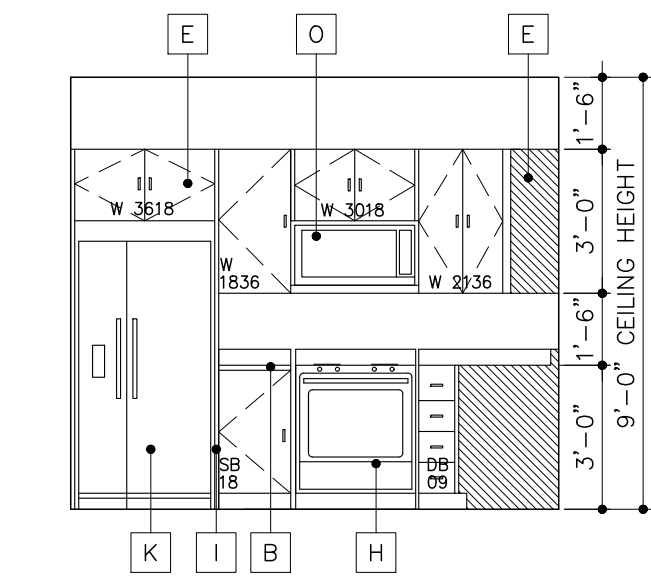
**UNIT PLAN AND INTERIOR ELEVATION LEGEND**

- THIS LEGEND APPLIES TO UNIT FLOOR PLANS AND INTERIOR ELEVATION ONLY, LOCATED ON SERIES 4 SHEETS
- A. UNDERCOUNTER MOUNTED STAINLESS STEEL, SINK W/DISPOSAL
  - B. QUARTS COUNTER TOP (3CM) KITCHEN TOP /BLACKSPASH (2CM ) BATHROOM
  - C. TUB
  - D. WOOD BASE CABINETS
  - E. WOOD OVERHEAD CABINETS (FLUSH CABINETS ABOVE REF. W/ COUNTER & SIDE PANEL)
  - F. PANTRY CABINET
  - G. 24" DISHWASHER (BASIS OF DESIGN)
  - H. 30" RANGE / OVEN (BASIS OF DESIGN)
  - I. REFRIGERATOR MILLWORK SIDE PANEL
  - J. WOOD SHELVES
  - K. REFRIGERATOR / FREEZER 30 1/4"D. W/O HANDLE X 29 1/2" W. (BASIS OF DESIGN)
  - L. WASHER
  - M. DRYER
  - N. STACKABLE WASHER AND DRYER
  - O. MICROWAVE WITH RECIRCULATING EXHAUST HOOD
  - P. GRANITE COUNTER ON ISLAND BASE ON SKIRT WALL (3 5/8" W/ 1/2" DRYWALL) W/ CABINET BELOW, PROVIDE 2" WD. TRIM BELOW GRANITE
  - Q. 30" & 36" x 60" TUB W/FILLER AND SHOWER FIXTURES W/BOW TYPE CURTAIN ROD.
  - R. SHOWER ENCLOSURE W/GLASS DOOR.
  - S. WATER CLOSET-ELONGATED BOWL
  - T. VANITY BASE CABINET
  - U. LINEN CABINET
  - V. UNDER COUNTER MOUNTED LAVATORY
  - W. SOAP DISH W/ CONCEALED SCREWS
  - X. TOILET PAPER HOLDER AT 24" A.F.F. W/ CONCEALED SCREWS
  - Y. MIRROR (SPEC. BY OWNER)
  - Z. 24" TOWEL BAR (PROVIDE PT WOOD BLOCKING AS REQUIRED) @ 48" A.F.F. & 60" BEHIND TOILET. W/ CONCEALED SCREWS
  - AA. GRAB BAR (PROVIDE PT WOOD BLOCKING AS REQUIRED)
  - BB. (5) 16" VINYL COATED VENTILATED SHELVES
  - CC. (5) 12" VINYL COATED VENTILATED SHELVES
  - DD. (2) 12" VINYL COATED VENTILATED SHELVES W/HANGER ROD
  - EE. (1) 12" VINYL COATED VENTILATED SHELVES W/HANGER ROD
  - FF. CARPET
  - GG. VINYL PLANK FLOORING
  - HH. CERAMIC TILE
  - II. CONCRETE (BROOM FINISH)
  - JJ. CONCRETE (BROOM FINISH W/ PENETRATING SEALER)
  - KK. 42" HIGH GUARDRAIL (SUBMIT SHOP DRAWINGS)
  - LL. ELECTRICAL PANEL (RECESSED)
  - MM. VANITY LIGHT FIXTURE
  - NN. GYPSUM DRYWALL SOFFIT (REFER TO UNIT PLANS FOR HEIGHTS)
  - OO. CERAMIC TILE ON CEMENT BOARD AT TUB AND SHOWER WALLS
  - PP. CERAMIC TILE BASEBOARD
  - QQ. WOOD BASEBOARD
  - RR. SHOWER HEAD MOUNTED AT 6'-6" A.F.F. TO BOTTOM OF HEAD
  - SS. SHOWER ENCLOSURE W/ TEMP. SAFETY GLASS/DOORS CATEGORY II TESTED IN ACCORDANCE W/ 16 CFR 1201 TABLE 2406.2 (1)

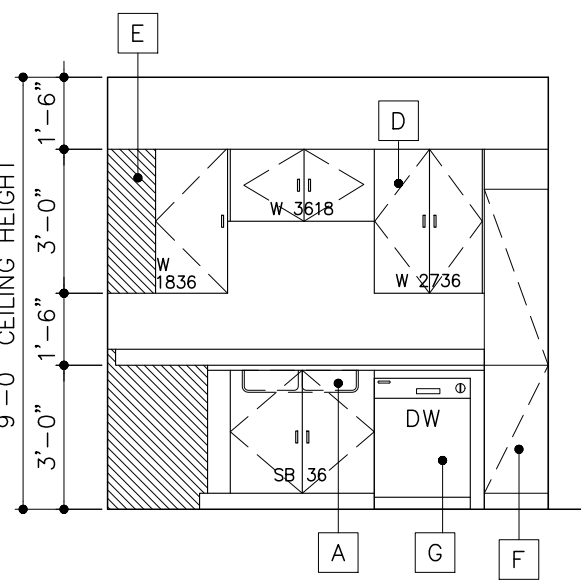
**WALL & SYMBOL LEGEND**

- 1 HR. RATED TENANT SEPARATION INTERIOR/ BEARING MIN 50 STC, (REFER TO SHEET A-9.1)
- 1 HR. RATED EXTERIOR WD. BEARING (REFER TO SHEET A-9.1)
- INTERIOR WD. FRAME WALL BEARING/ CLG. WALL MEMBRANE, (REFER TO SHEET A-9.1)
- 1 HR RATED EXTERIOR WALL (REFER TO SHEET A-9.1)
- UNIT KEY NOTES REFER TO LEGEND FOR DESIGNATION
- DOOR DESIGNATION REFER TO DOOR SCHEDULE
- WINDOW DESIGNATION REFER TO WINDOW SCHEDULE
- DESIGNATES SOFFIT OR CEILING HEIGHT A.F.F.

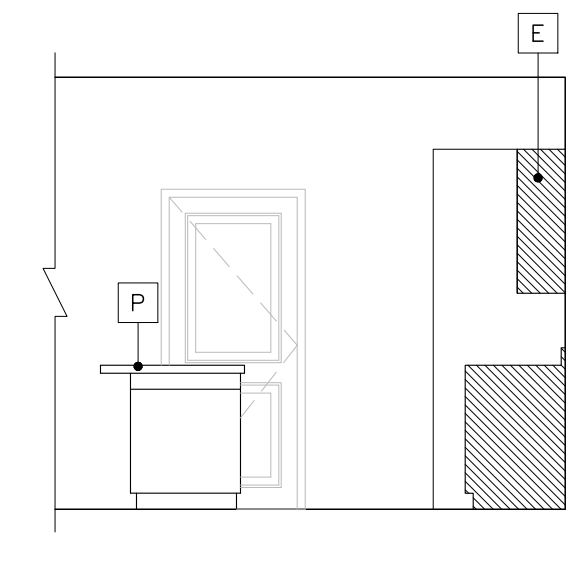
NOTE: PER F.B.C. ALL INTERIOR BEARING WALLS SHALL BE 1 HR RATED TO MAINTAIN PROPER FIRE ENCLOSURE.  
(REFER TO STRUCTURAL DRAWINGS FOR BEARING AND NON BEARING WALL LOCATION)



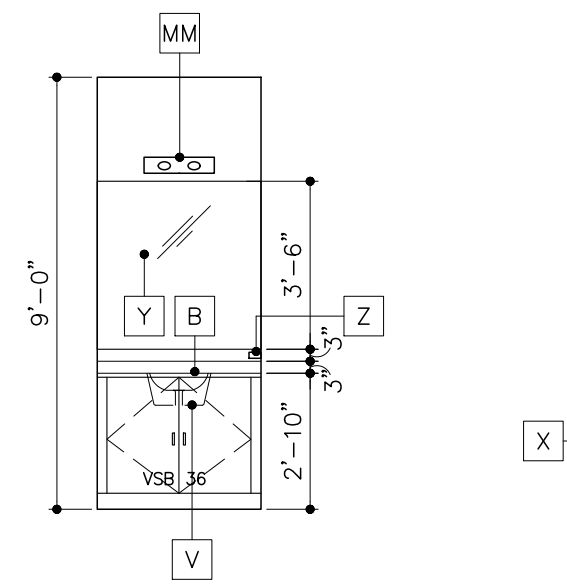
**1 KITCHEN (UNIT A1)**  
SCALE: 1/4"=1'-0"



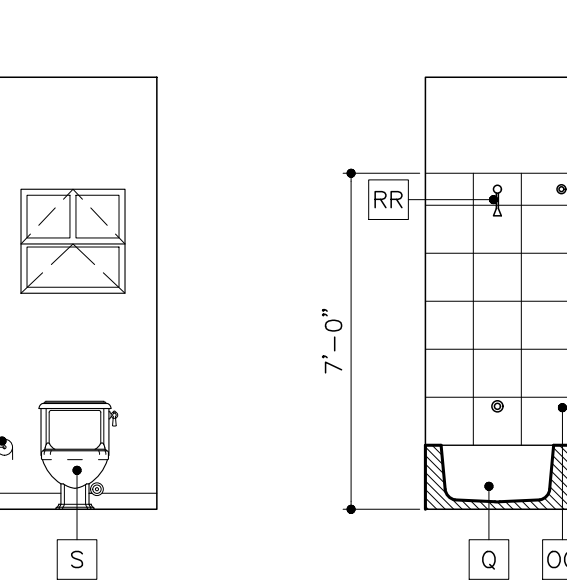
**2 KITCHEN (UNIT A1)**  
SCALE: 1/4"=1'-0"



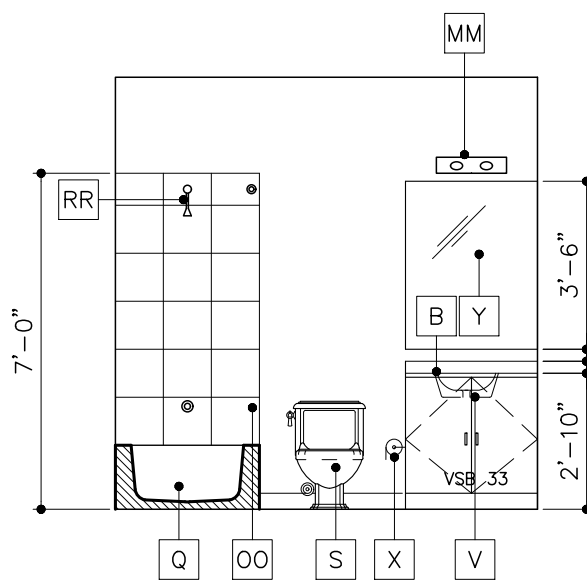
**3 KITCHEN (UNIT A1)**  
SCALE: 1/4"=1'-0"



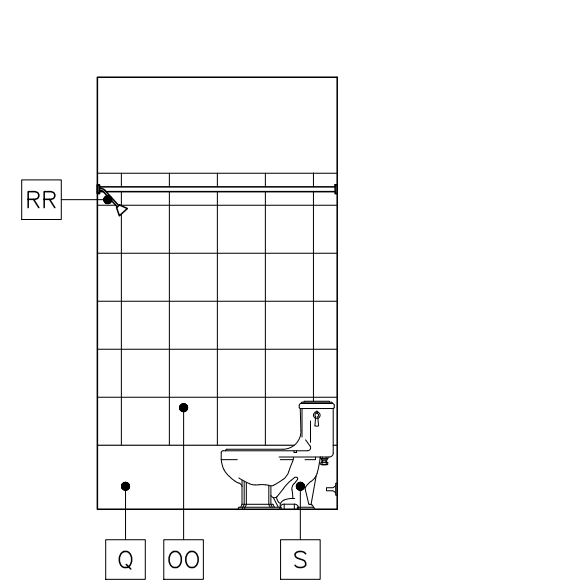
**4 BATHROOM (UNIT A1)**  
SCALE: 1/4"=1'-0"



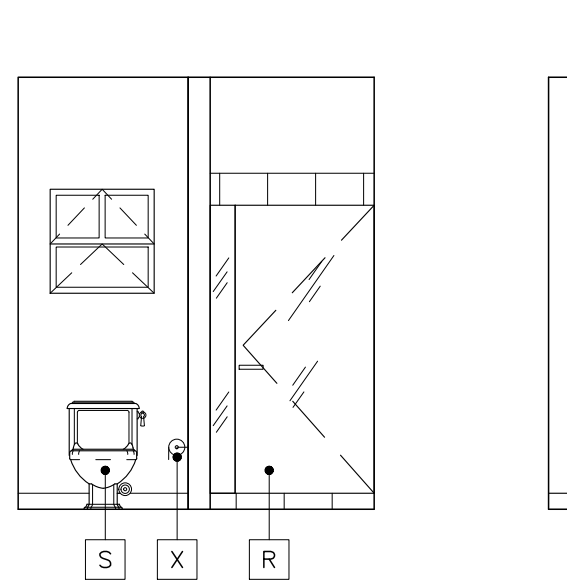
**5 BATHROOM (UNIT A1)**  
SCALE: 1/4"=1'-0"



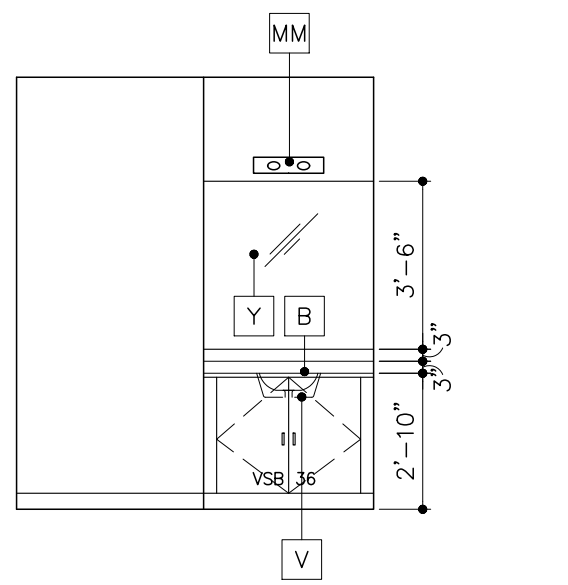
**6 BATHROOM (UNIT A1)**  
SCALE: 1/4"=1'-0"



**7 BATHROOM (UNIT A1)**  
SCALE: 1/4"=1'-0"



**8 BATHROOM (UNIT A1)**  
SCALE: 1/4"=1'-0"



**9 BATHROOM (UNIT A1)**  
SCALE: 1/4"=1'-0"

**TOWNHOUSE - UNIT PLANS**

MSA ARCHITECTS, INC.  
AAC000895

**MSA ARCHITECTS**  
ARCHITECTURE & PLANNING

DRAWN  
DATE 03/04/2022  
SCALE AS SHOWN  
JOB NO. 2123.PRJ

SHEET TITLE:  
**TOWNHOUSE  
UNIT PLANS**

SHEET NUMBER:  
**A-4.1**

**EDEN AT TRADITION**

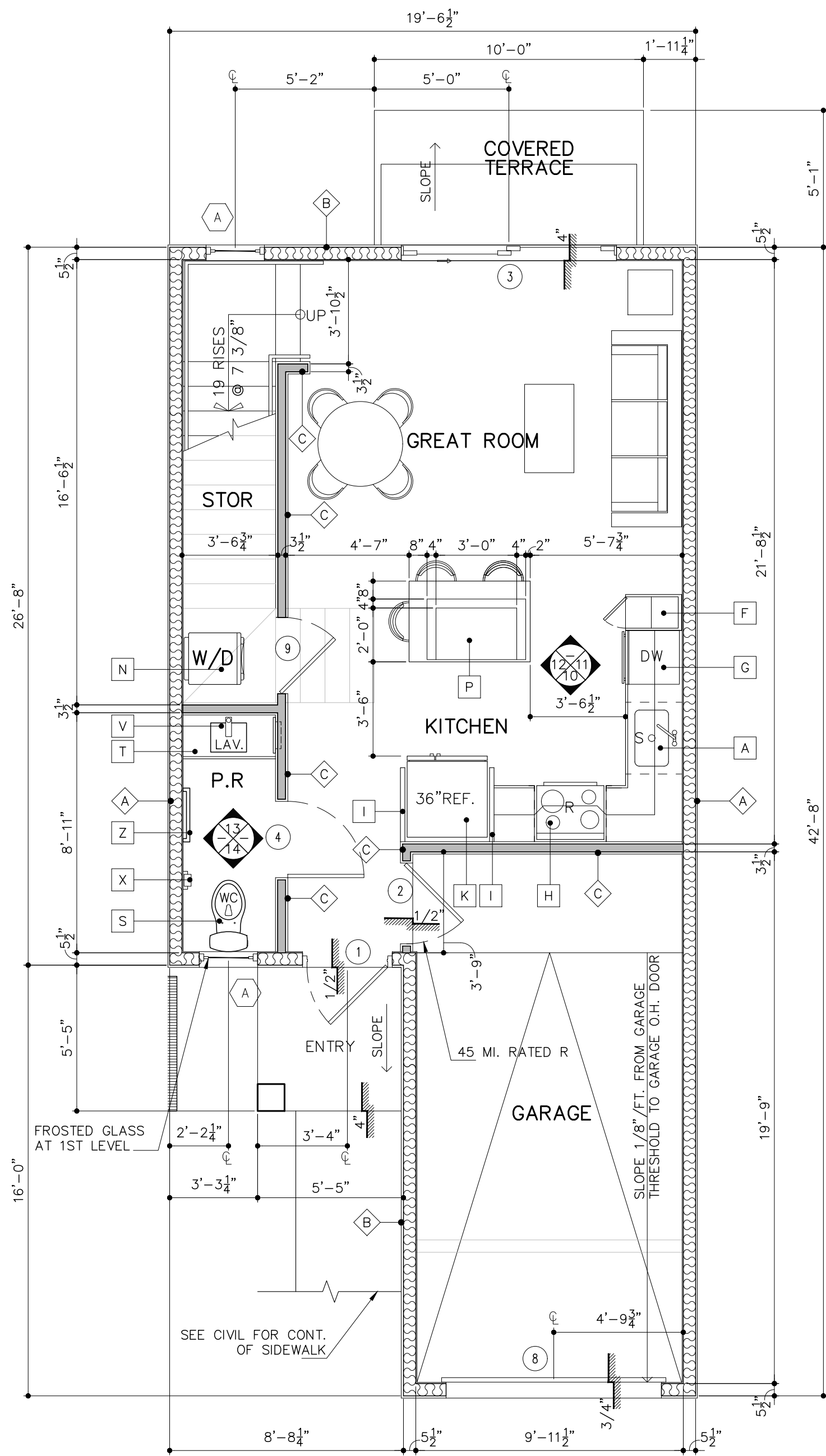
FOR:  
**EDEN LIVING**  
LOCATED AT:  
**PORT ST. LUCIE, FLORIDA**

MSA ARCHITECTS, INC.  
AAC000895  
8950 SW 74th COURT  
MIAMI, FLORIDA 33156  
(305) 273-9911

ARCHITECT'S BUILDING CODE STATEMENT/ TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SEVENTH EDITION (2020) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

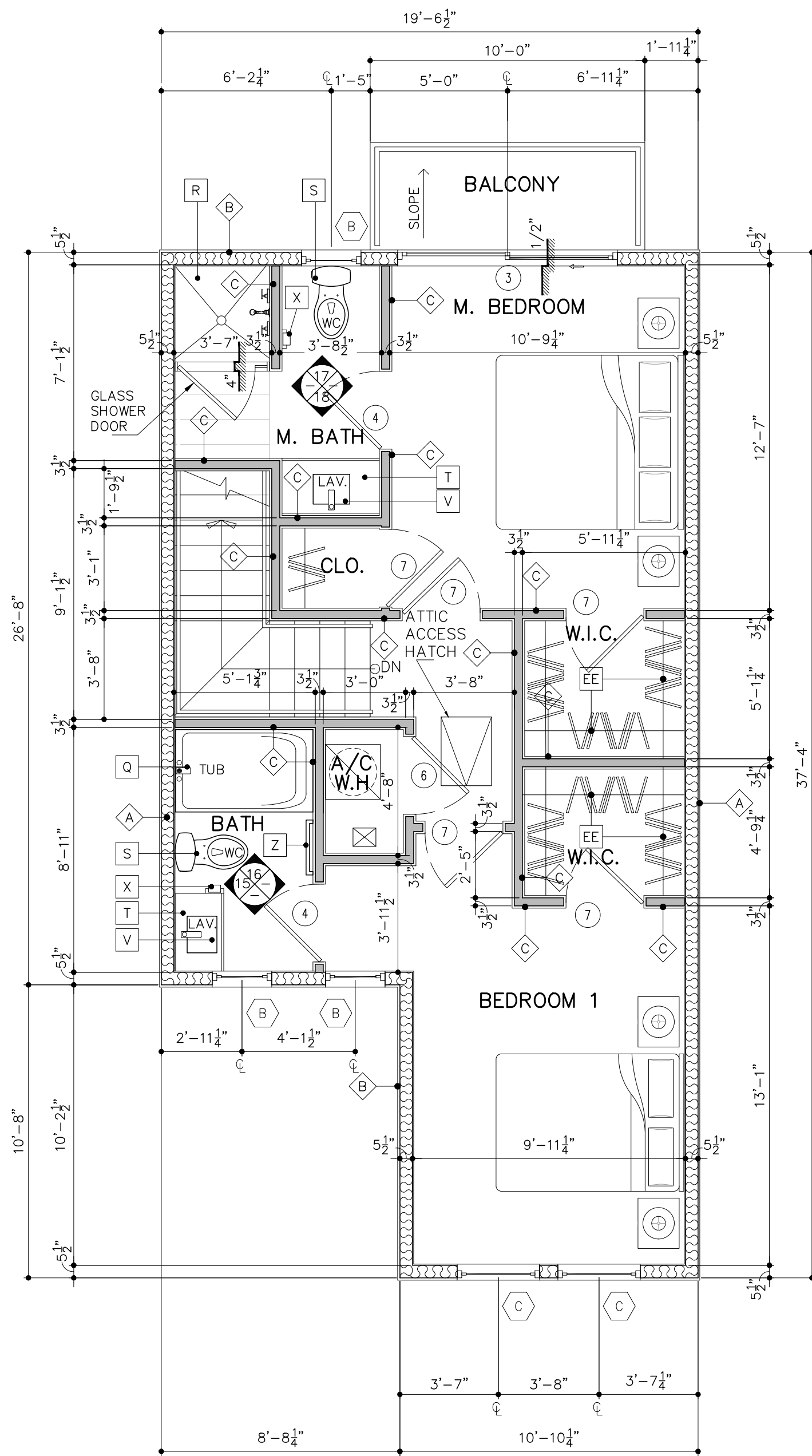
FOR THE ARCHITECT:  
EDEN LIVING  
LOCATED AT:  
PORT ST. LUCIE, FLORIDA

ALL RIGHTS ARE RESERVED BY THE ARCHITECT.



**TH UNIT A-1R LEVEL 1 (2 BD/2.5 BTH)**

GROSS A/C AREA = 483 SQ. FT. SCALE: 1/4"=1'-0"  
GARAGE = 221 SQ. FT.



**TH UNIT A-1R LEVEL 2 (2 BD/2.5 BTH)**

GROSS A/C AREA = 596 SQ. FT. SCALE: 1/4"=1'-0"

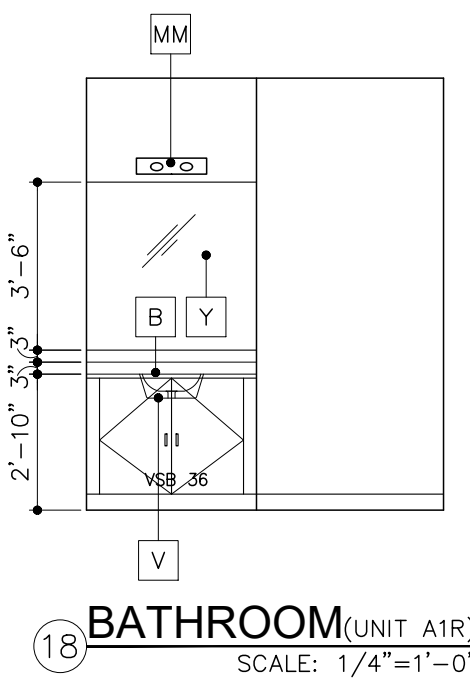
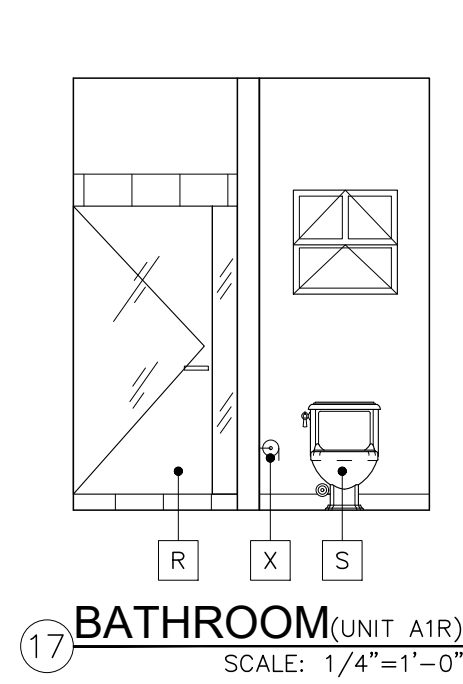
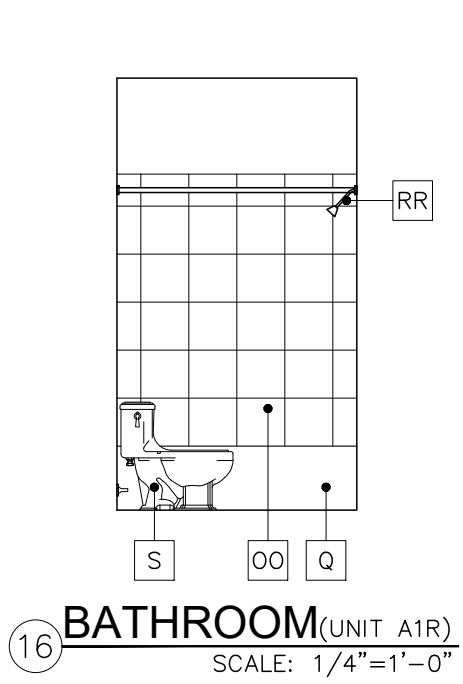
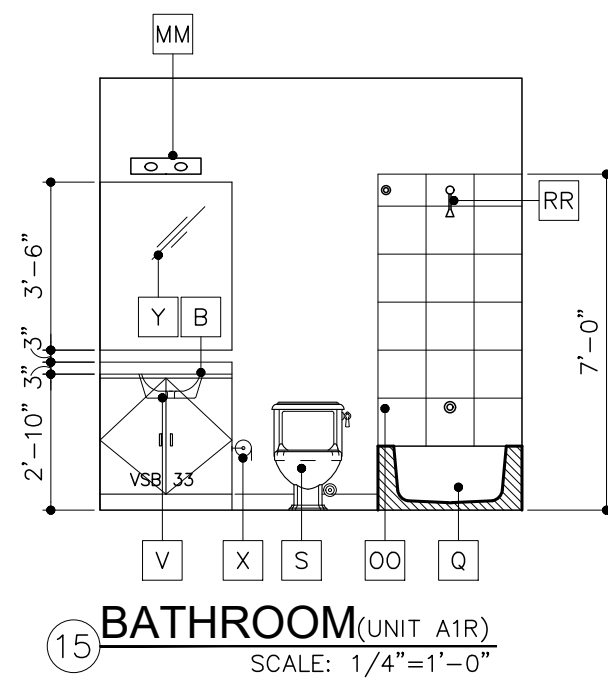
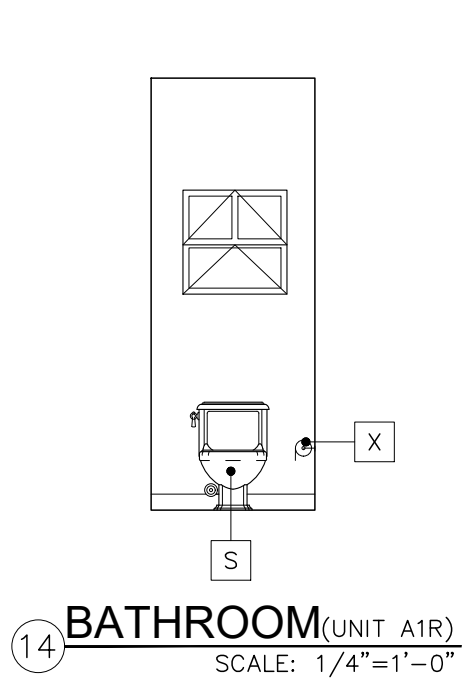
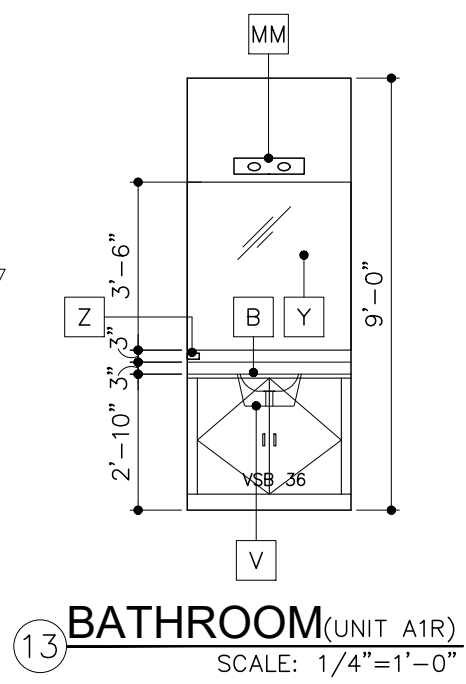
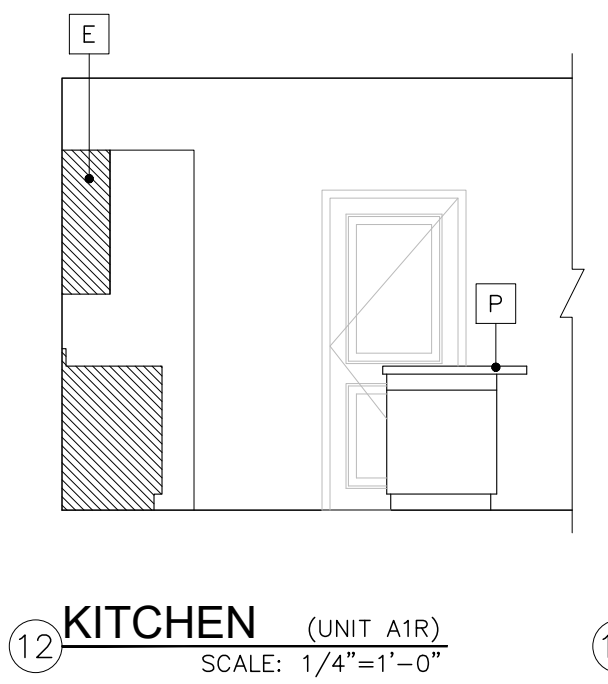
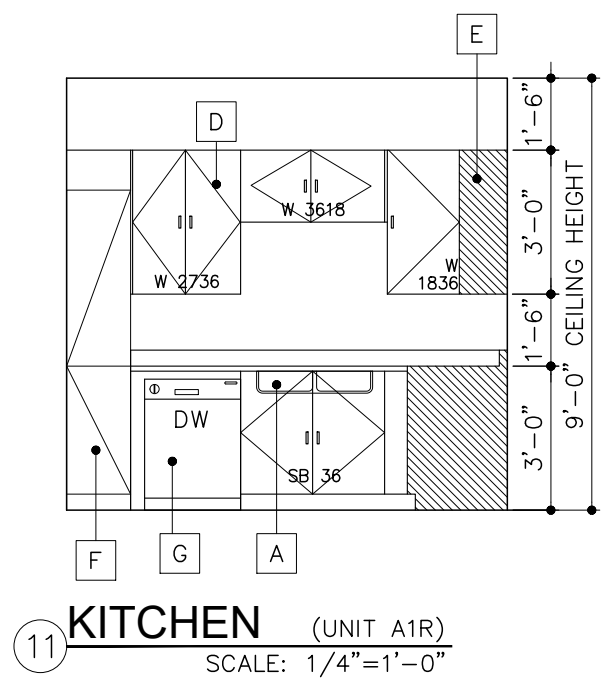
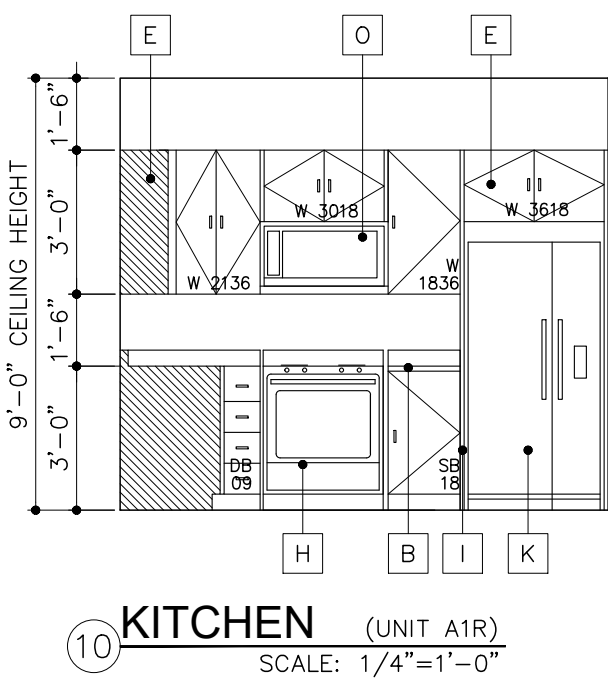
**UNIT PLAN AND INTERIOR ELEVATION LEGEND**

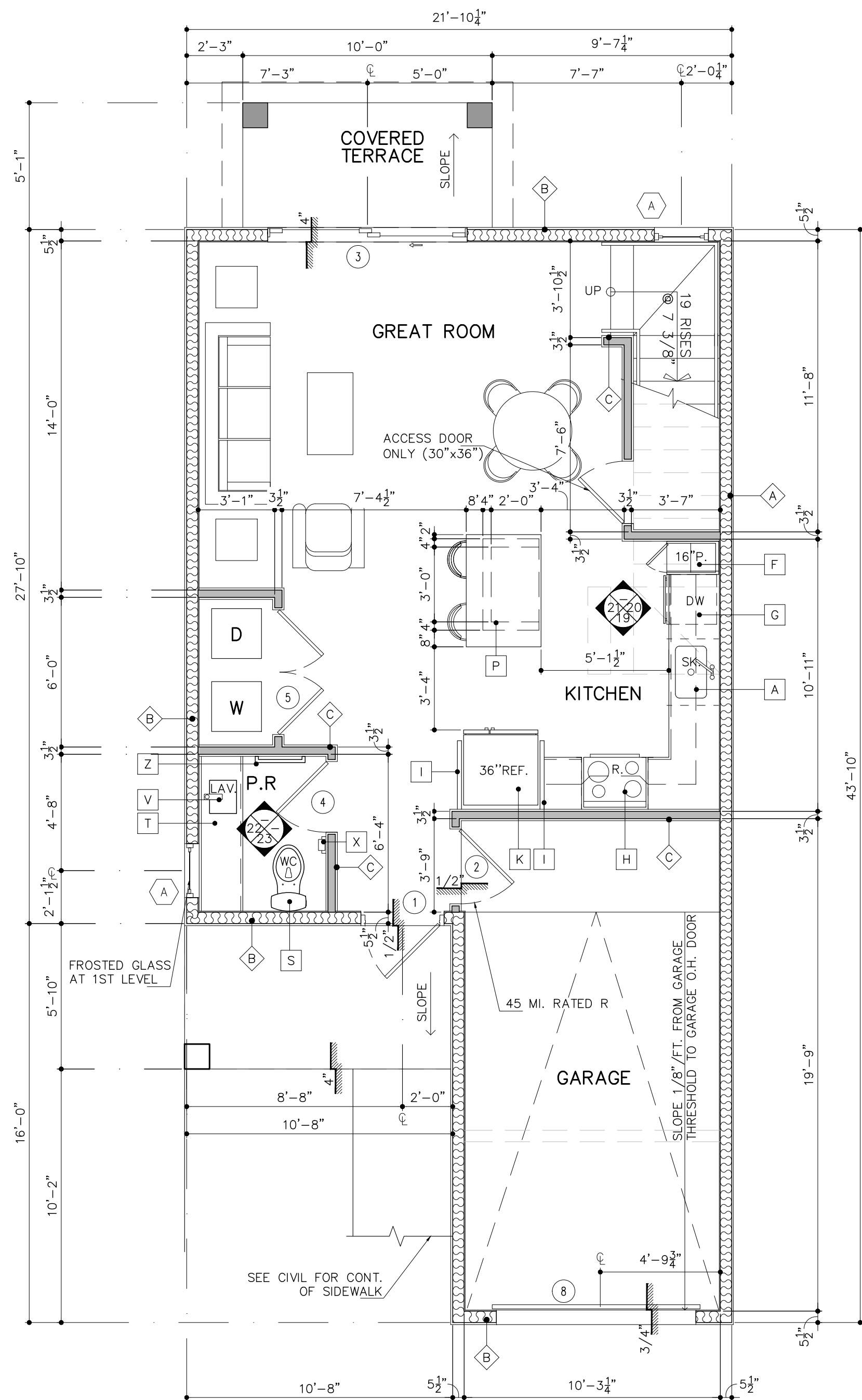
- THIS LEGEND APPLIES TO UNIT FLOOR PLANS AND INTERIOR ELEVATION ONLY, LOCATED ON SERIES 4 SHEETS
- A. UNDERCOUNTER MOUNTED STAINLESS STEEL, SINK W/DISPOSAL
  - B. QUARTS COUNTER TOP (3CM) KITCHEN TOP /BLACKSPASH (2CM ) BATHROOM
  - C. TUB
  - D. WOOD BASE CABINETS
  - E. WOOD OVERHEAD CABINETS (FLUSH CABINETS ABOVE REF. W/ COUNTER & SIDE PANEL)
  - F. PANTRY CABINET
  - G. 24" DISHWASHER (BASIS OF DESIGN)
  - H. 30" RANGE / OVEN (BASIS OF DESIGN)
  - I. REFRIGERATOR MILLWORK SIDE PANEL
  - J. WOOD SHELVES
  - K. REFRIGERATOR / FREEZER 30 1/4"D. W/O HANDLE X 29 1/2" W. (BASIS OF DESIGN)
  - L. WASHER
  - M. DRYER
  - N. STACKABLE WASHER AND DRYER
  - O. MICROWAVE WITH RECIRCULATING EXHAUST HOOD
  - P. GRANITE COUNTER ON ISLAND BASE ON SKIRT WALL (3 5/8" W/ 1/2" DRYWALL) W/ CABINET BELOW, PROVIDE 2" WD. TRIM BELOW GRANITE
  - Q. 30" & 36" x 60" TUB W/FILLER AND SHOWER FIXTURES W/BOW TYPE CURTAIN ROD.
  - R. SHOWER ENCLOSURE W/GLASS DOOR.
  - S. WATER CLOSET-ELONGATED BOWL
  - T. VANITY BASE CABINET
  - U. LINEN CABINET
  - V. UNDER COUNTER MOUNTED LAVATORY
  - W. SOAP DISH W/ CONCEALED SCREWS
  - X. TOILET PAPER HOLDER AT 24" A.F.F. W/ CONCEALED SCREWS
  - Y. MIRROR (SPEC. BY OWNER)
  - Z. 24" TOWEL BAR (PROVIDE PT WOOD BLOCKING AS REQUIRED) @ 48" A.F.F. & 60" BEHIND TOILET. W/ CONCEALED SCREWS
  - AA. GRAB BAR (PROVIDE PT WOOD BLOCKING AS REQUIRED)
  - BB. (5) 16" VINYL COATED VENTILATED SHELVES
  - CC. (5) 12" VINYL COATED VENTILATED SHELVES
  - DD. (2) 12" VINYL COATED VENTILATED SHELVES W/HANGER ROD
  - EE. (1) 12" VINYL COATED VENTILATED SHELVES W/HANGER ROD
  - FF. CARPET
  - GG. VINYL PLANK FLOORING
  - HH. CERAMIC TILE
  - II. CONCRETE (BROOM FINISH)
  - JJ. CONCRETE (BROOM FINISH W/ PENETRATING SEALER)
  - KK. 42" HIGH GUARDRAIL SUBMIT SHOP DRAWINGS)
  - LL. ELECTRICAL PANEL (RECESSED)
  - MM. VANITY LIGHT FIXTURE
  - NN. GYPSUM DRYWALL SOFFIT (REFER TO UNIT PLANS FOR HEIGHTS)
  - OO. CERAMIC TILE ON CEMENT BOARD AT TUB AND SHOWER WALLS
  - PP. CERAMIC TILE BASEBOARD
  - QQ. WOOD BASEBOARD
  - RR. SHOWER HEAD MOUNTED AT 6'-6" A.F.F. TO BOTTOM OF HEAD
  - SS. SHOWER ENCLOSURE W/ TEMP. SAFETY GLASS/DOORS CATEGORY II TESTED IN ACCORDANCE W/ 16 CFR 1201 TABLE 2406.2 (1)

**WALL & SYMBOL LEGEND**

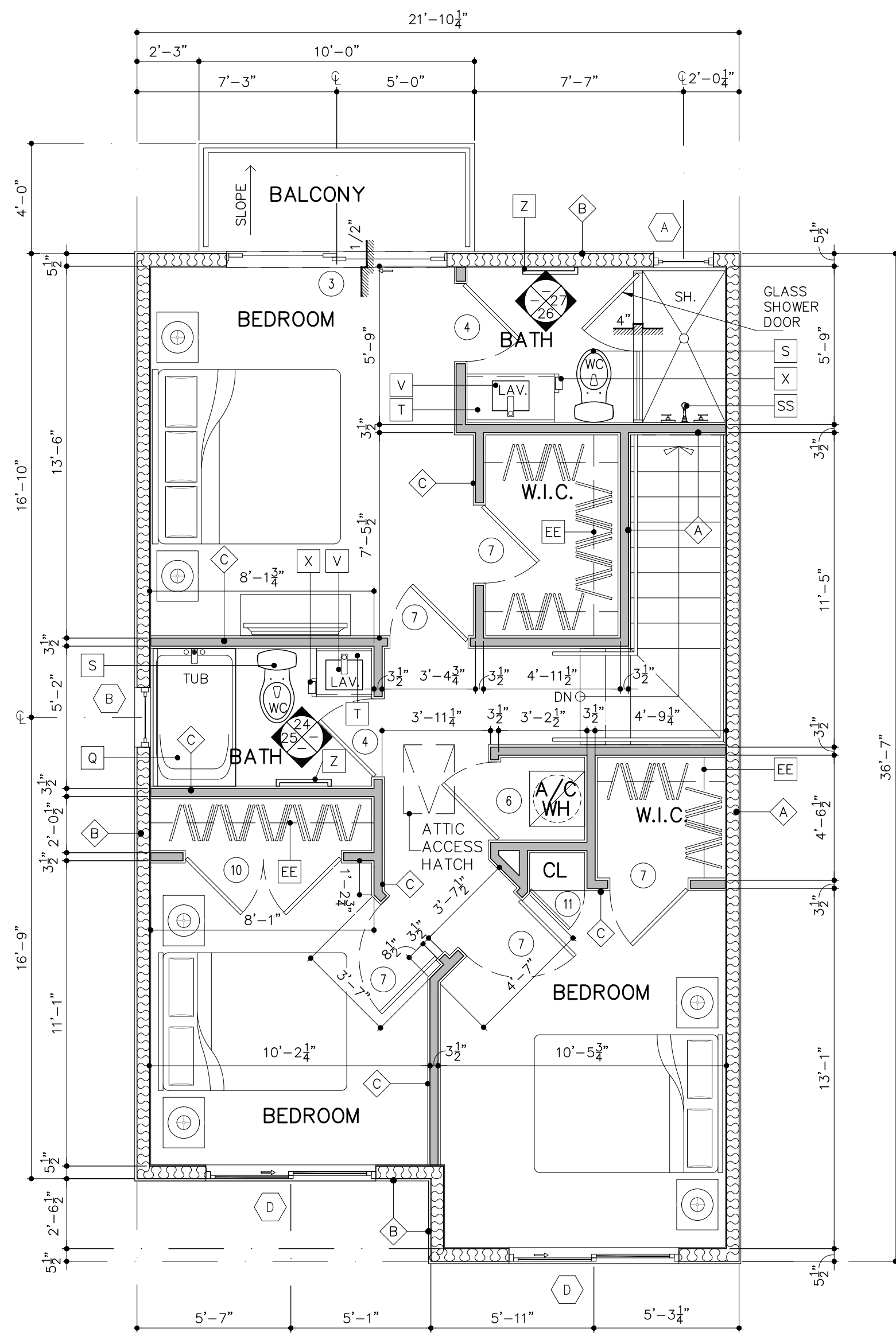
- A 1 HR. RATED TENANT SEPARATION INTERIOR/ BEARING MIN 50 STC, (REFER TO SHEET A-9.1)
- B 1 HR. RATED EXTERIOR WD. BEARING (REFER TO SHEET A-9.1)
- C INTERIOR WD. FRAME WALL BEARING/ CLG. WALL MEMBRANE, (REFER TO SHEET A-9.1)
- D 1 HR RATED EXTERIOR WALL (REFER TO SHEET A-9.1)
- 1 UNIT KEY NOTES REFER TO LEGEND FOR DESIGNATION
- 1 DOOR DESIGNATION REFER TO DOOR SCHEDULE
- A WINDOW DESIGNATION REFER TO WINDOW SCHEDULE
- DESIGNATES SOFFIT OR CEILING HEIGHT A.F.F.

NOTE: PER F.B.C. ALL INTERIOR BEARING WALLS SHALL BE 1 HR RATED TO MAINTAIN PROPER FIRE ENCLOSURE. (REFER TO STRUCTURAL DRAWINGS FOR BEARING AND NON BEARING WALL LOCATION)





TH UNIT B-1 LEVEL 1 (3 BD/2.5 BTH)  
GROSS A/C AREA = 560 SQ. FT. SCALE: 1/4"=1'-0"  
GARAGE = 228 SQ. FT.



TH UNIT B-1 LEVEL 2 (3 BD/2.5 BTH)  
GROSS A/C AREA = 714 SQ. FT. SCALE: 1/4"=1'-0"

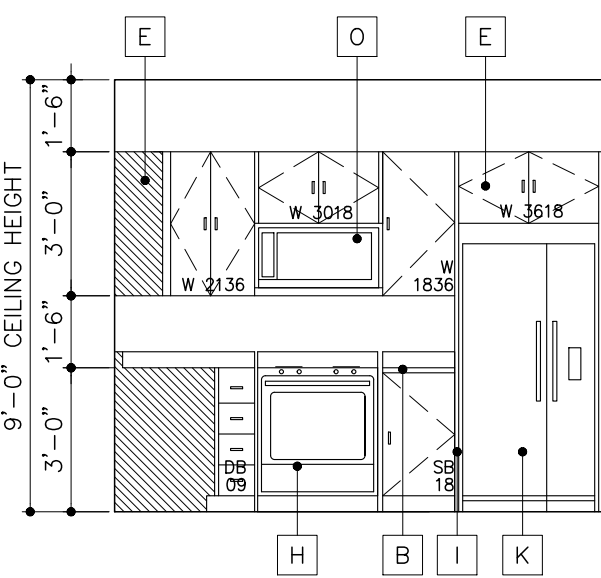
UNIT PLAN AND INTERIOR ELEVATION LEGEND

- THIS LEGEND APPLIES TO UNIT FLOOR PLANS AND INTERIOR ELEVATION ONLY, LOCATED ON SERIES 4 SHEETS
- A. UNDERCOUNTER MOUNTED STAINLESS STEEL SINK W/DISPOSAL
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  - C. TUB
  - D. WOOD BASE CABINETS
  - E. WOOD OVERHEAD CABINETS (FLUSH CABINETS ABOVE REF. W/ COUNTER & SIDE PANEL)
  - F. PANTRY CABINET
  - G. 24" DISHWASHER (BASIS OF DESIGN)
  - H. 30" RANGE / OVEN (BASIS OF DESIGN)
  - I. REFRIGERATOR MILLWORK SIDE PANEL
  - J. WOOD SHELVES
  - K. REFRIGERATOR / FREEZER 30 1/4"D. W/O HANDLE X 29 1/2" W. (BASIS OF DESIGN)
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  - M. DRYER
  - N. STACKABLE WASHER AND DRYER
  - O. MICROWAVE WITH RECIRCULATING EXHAUST HOOD
  - P. GRANITE COUNTER ON ISLAND BASE ON SKIRT WALL (3 5/8" W/ 1/2" DRYWALL) W/ CABINET BELOW, PROVIDE 2" WD. TRIM BELOW GRANITE
  - Q. 30" & 36" x 60" TUB W/FILLER AND SHOWER FIXTURES W/BOW TYPE CURTAIN ROD.
  - R. SHOWER ENCLOSURE W/GLASS DOOR.
  - S. WATER CLOSET-ELONGATED BOWL
  - T. VANITY BASE CABINET
  - U. LINEN CABINET
  - V. UNDER COUNTER MOUNTED LAVATORY
  - W. SOAP DISH W/ CONCEALED SCREWS
  - X. TOILET PAPER HOLDER AT 24" A.F.F. W/ CONCEALED SCREWS
  - Y. MIRROR (SPEC. BY OWNER)
  - Z. 24" TOWEL BAR (PROVIDE PT WOOD BLOCKING AS REQUIRED) @ 48" A.F.F. & 60" BEHIND TOILET. W/ CONCEALED SCREWS
  - AA. GRAB BAR (PROVIDE PT WOOD BLOCKING AS REQUIRED)
  - BB. (5) 16" VINYL COATED VENTILATED SHELVES
  - CC. (5) 12" VINYL COATED VENTILATED SHELVES
  - DD. (2) 12" VINYL COATED VENTILATED SHELVES W/HANGER ROD
  - EE. (1) 12" VINYL COATED VENTILATED SHELVES W/HANGER ROD
  - FF. CARPET
  - GG. VINYL PLANK FLOORING
  - HH. CERAMIC TILE
  - II. CONCRETE (BROOM FINISH)
  - JJ. CONCRETE (BROOM FINISH W/ PENETRATING SEALER)
  - KK. 42" HIGH GUARDRAIL SUBMIT SHOP DRAWINGS
  - LL. ELECTRICAL PANEL (RECESSED)
  - MM. VANITY LIGHT FIXTURE
  - NN. GYPSUM DRYWALL SOFFIT (REFER TO UNIT PLANS FOR HEIGHTS)
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  - PP. CERAMIC TILE BASEBOARD
  - QQ. WOOD BASEBOARD
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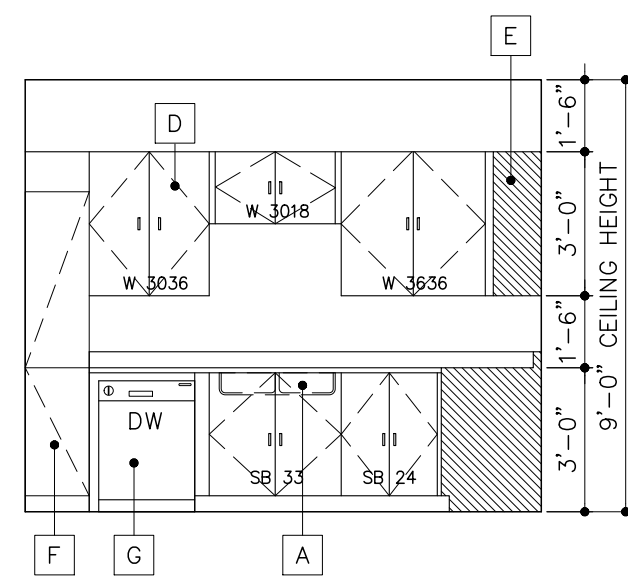
WALL & SYMBOL LEGEND

- A. 1 HR. RATED TENANT SEPARATION INTERIOR/ BEARING MIN 50 STC, (REFER TO SHEET A-9.1)
- B. 1 HR. RATED EXTERIOR WD. BEARING (REFER TO SHEET A-9.1)
- C. INTERIOR WD. FRAME WALL BEARING/ CLG. WALL MEMBRANE, (REFER TO SHEET A-9.1)
- D. 1 HR RATED EXTERIOR WALL (REFER TO SHEET A-9.1)
- 1. UNIT KEY NOTES REFER TO LEGEND FOR DESIGNATION
- 1. DOOR DESIGNATION REFER TO DOOR SCHEDULE
- A. WINDOW DESIGNATION REFER TO WINDOW SCHEDULE
- DESIGNATES SOFFIT OR CEILING HEIGHT A.F.F.

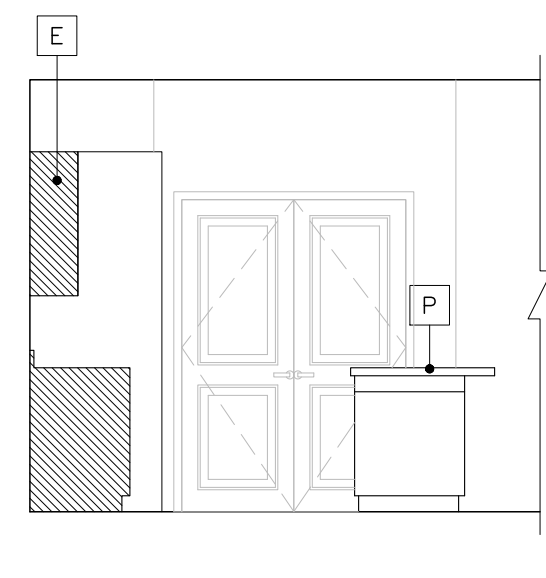
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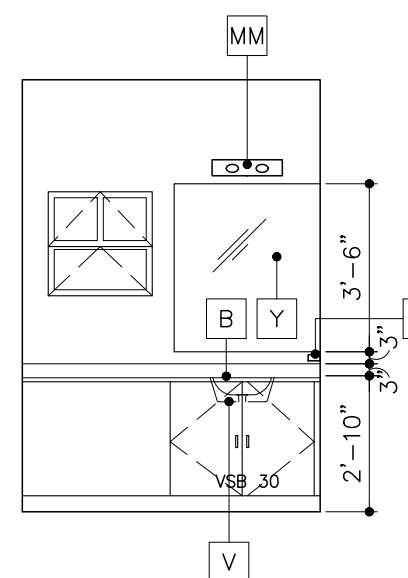
19 KITCHEN (UNIT B1)  
SCALE: 1/4"=1'-0"



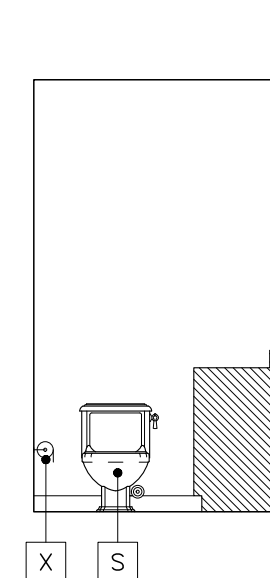
20 KITCHEN (UNIT B1)  
SCALE: 1/4"=1'-0"



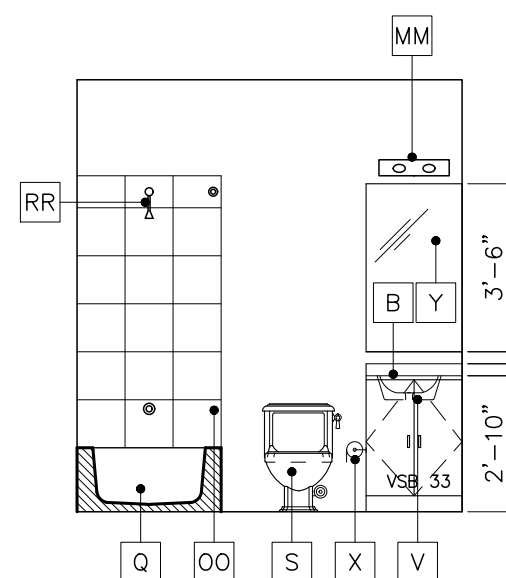
21 KITCHEN (UNIT B1)  
SCALE: 1/4"=1'-0"



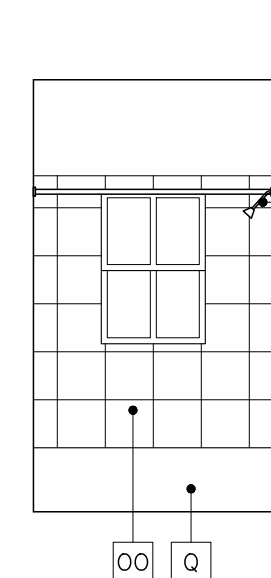
22 BATHROOM (UNIT B1)  
SCALE: 1/4"=1'-0"



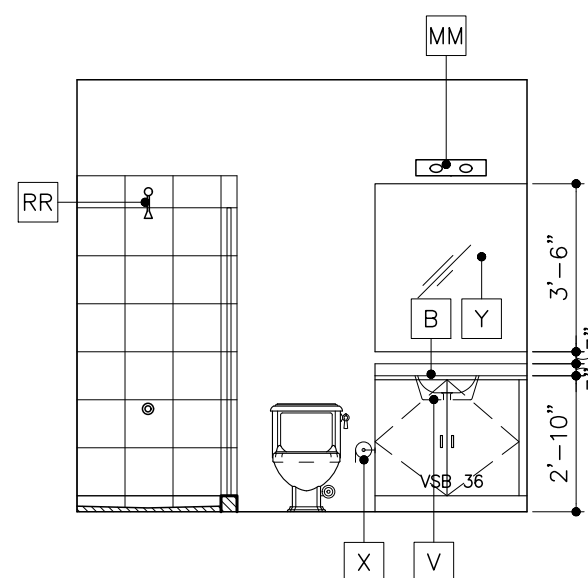
23 BATHROOM (UNIT B1)  
SCALE: 1/4"=1'-0"



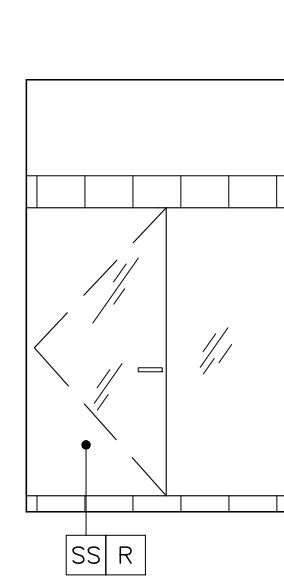
24 BATHROOM (UNIT B1)  
SCALE: 1/4"=1'-0"



25 BATHROOM (UNIT B1)  
SCALE: 1/4"=1'-0"



26 BATHROOM (UNIT B1)  
SCALE: 1/4"=1'-0"



27 BATHROOM (UNIT B1)  
SCALE: 1/4"=1'-0"

TOWNHOUSE - UNIT PLANS

MSA ARCHITECTS, INC.  
AAC000895

ARCHITECTURE & PLANNING

MSA ARCHITECTS

DRAWN  
DATE 03/04/2022  
SCALE AS SHOWN  
JOB NO. 2123.PRJ

SHEET TITLE:  
TOWNHOUSE  
UNIT PLANS

SHEET NUMBER:  
A-4.3

EDEN AT TRADITION  
FOR:  
EDEN LIVING  
LOCATED AT:  
PORT ST. LUCIE, FLORIDA

MSA ARCHITECTS, INC.  
AAC000895  
8950 SW 74th COURT  
MIAMI, FLORIDA 33156  
(305) 273-9911

ARCHITECTURE & PLANNING

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SHEET TITLE:  
TOWNHOUSE  
UNIT PLANS

SHEET NUMBER:  
A-4.3

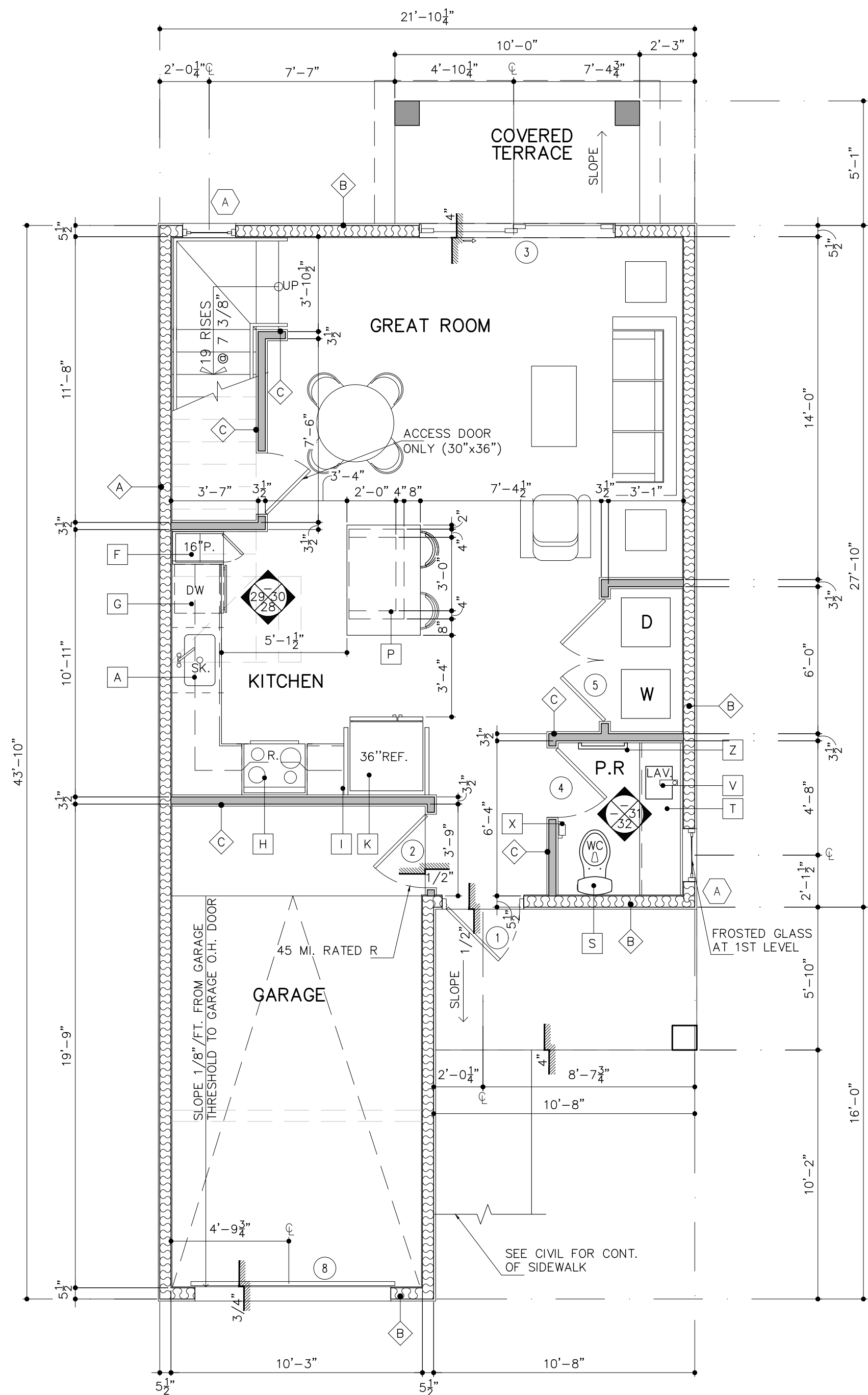
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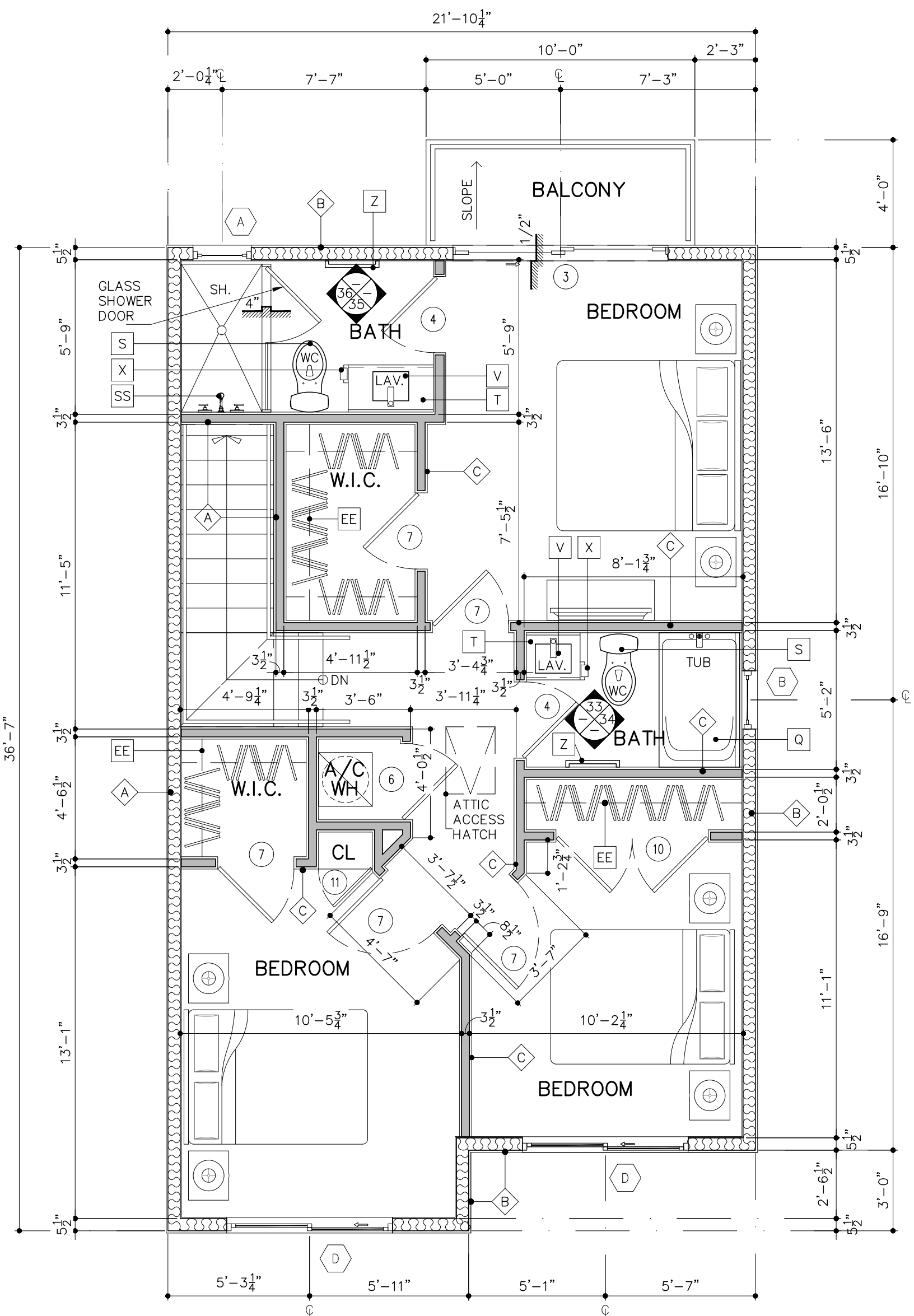
DRAWN  
DATE 03/04/2022  
SCALE AS SHOWN  
JOB NO. 2123.PRJ

SHEET TITLE:  
TOWNHOUSE  
UNIT PLANS

SHEET NUMBER:  
A-4.3



TH UNIT B-1R LEVEL 1 (3 BD/2.5 BTH)  
GROSS A/C AREA = 560 SQ. FT. SCALE: 1/4"=1'-0"  
GARAGE = 228 SQ. FT.



TH UNIT B-1R LEVEL 2 (3 BD/2.5 BTH)  
GROSS A/C AREA = 714 SQ. FT. SCALE: 1/4"=1'-0"

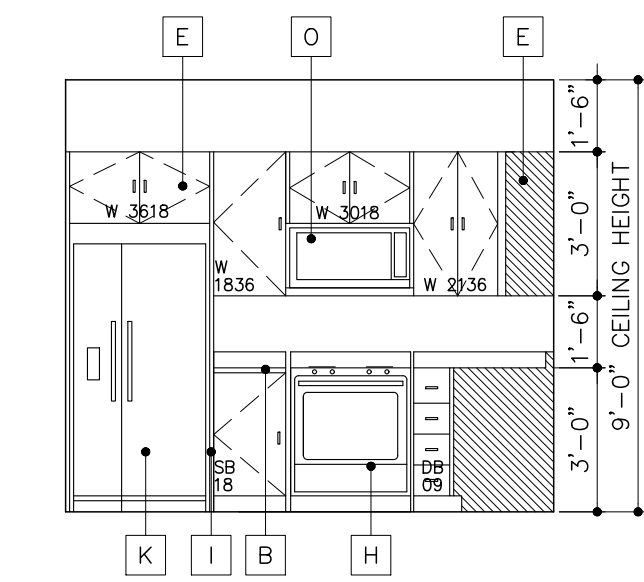
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  - Y. MIRROR (SPEC. BY OWNER)
  - Z. 24" TOWEL BAR (PROVIDE PT WOOD BLOCKING AS REQUIRED) @ 48" A.F.F. & 60" BEHIND TOILET. W/ CONCEALED SCREWS
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  - BB. (5) 16" VINYL COATED VENTILATED SHELVES
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  - HH. CERAMIC TILE
  - II. CONCRETE (BROOM FINISH)
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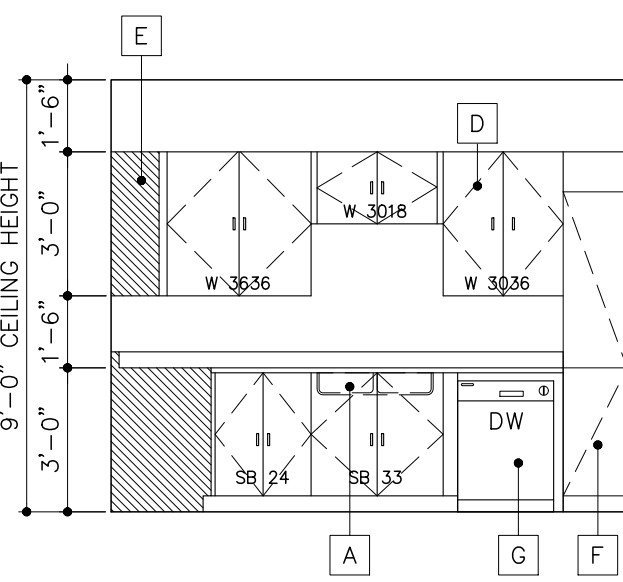
WALL & SYMBOL LEGEND

- A. 1 HR. RATED TENANT SEPARATION INTERIOR/ BEARING MIN 50 STC, (REFER TO SHEET A-9.1)
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- DESIGNATES SOFFIT OR CEILING HEIGHT A.F.F.

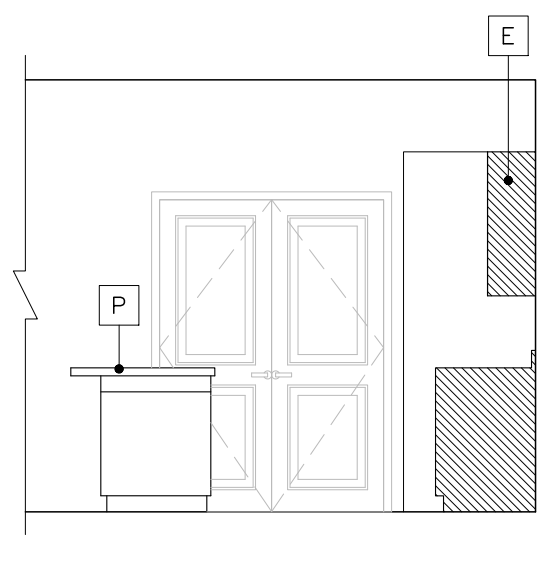
NOTE: PER F.B.C. ALL INTERIOR BEARING WALLS SHALL BE 1 HR RATED TO MAINTAIN PROPER FIRE ENCLOSURE. (REFER TO STRUCTURAL DRAWINGS FOR BEARING AND NON BEARING WALL LOCATION)



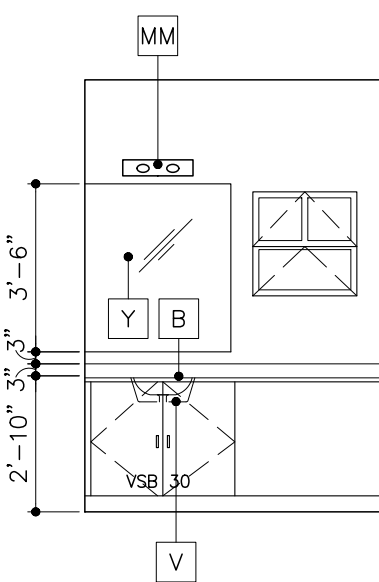
28 KITCHEN (UNIT B1R)  
SCALE: 1/4"=1'-0"



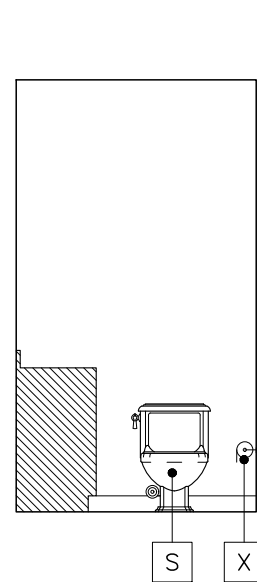
29 KITCHEN (UNIT B1R)  
SCALE: 1/4"=1'-0"



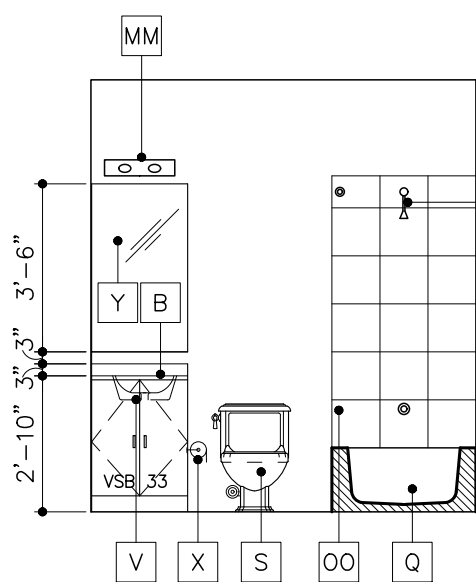
30 KITCHEN (UNIT B1R)  
SCALE: 1/4"=1'-0"



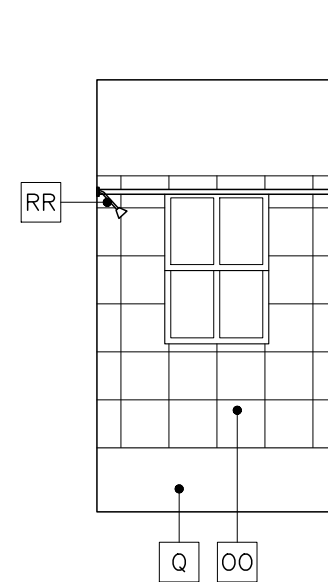
31 BATHROOM (UNIT B1R)  
SCALE: 1/4"=1'-0"



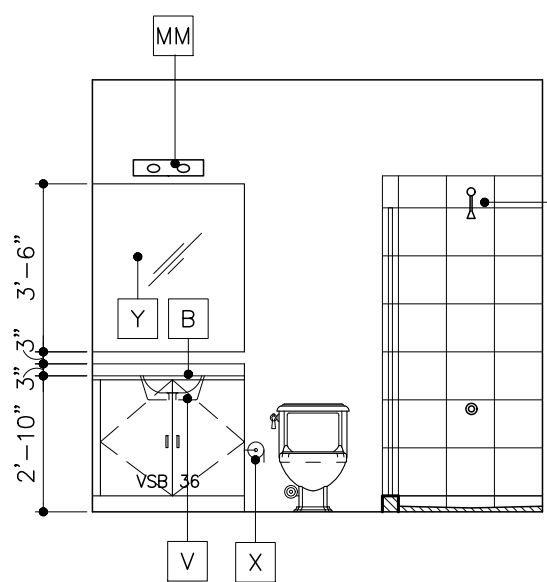
32 BATHROOM (UNIT B1R)  
SCALE: 1/4"=1'-0"



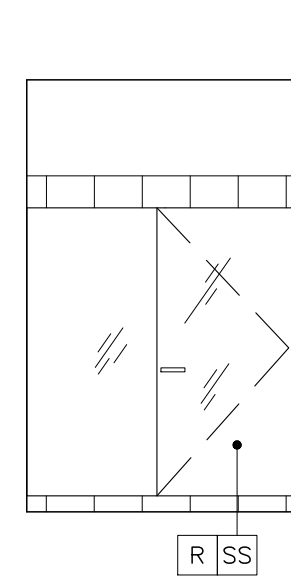
33 BATHROOM (UNIT B1R)  
SCALE: 1/4"=1'-0"



34 BATHROOM (UNIT B1R)  
SCALE: 1/4"=1'-0"



35 BATHROOM (UNIT B1R)  
SCALE: 1/4"=1'-0"



36 BATHROOM (UNIT B1R)  
SCALE: 1/4"=1'-0"

TOWNHOUSE - UNIT PLANS

04/20/2022  
SITE PLAN SUBMITTAL

BY

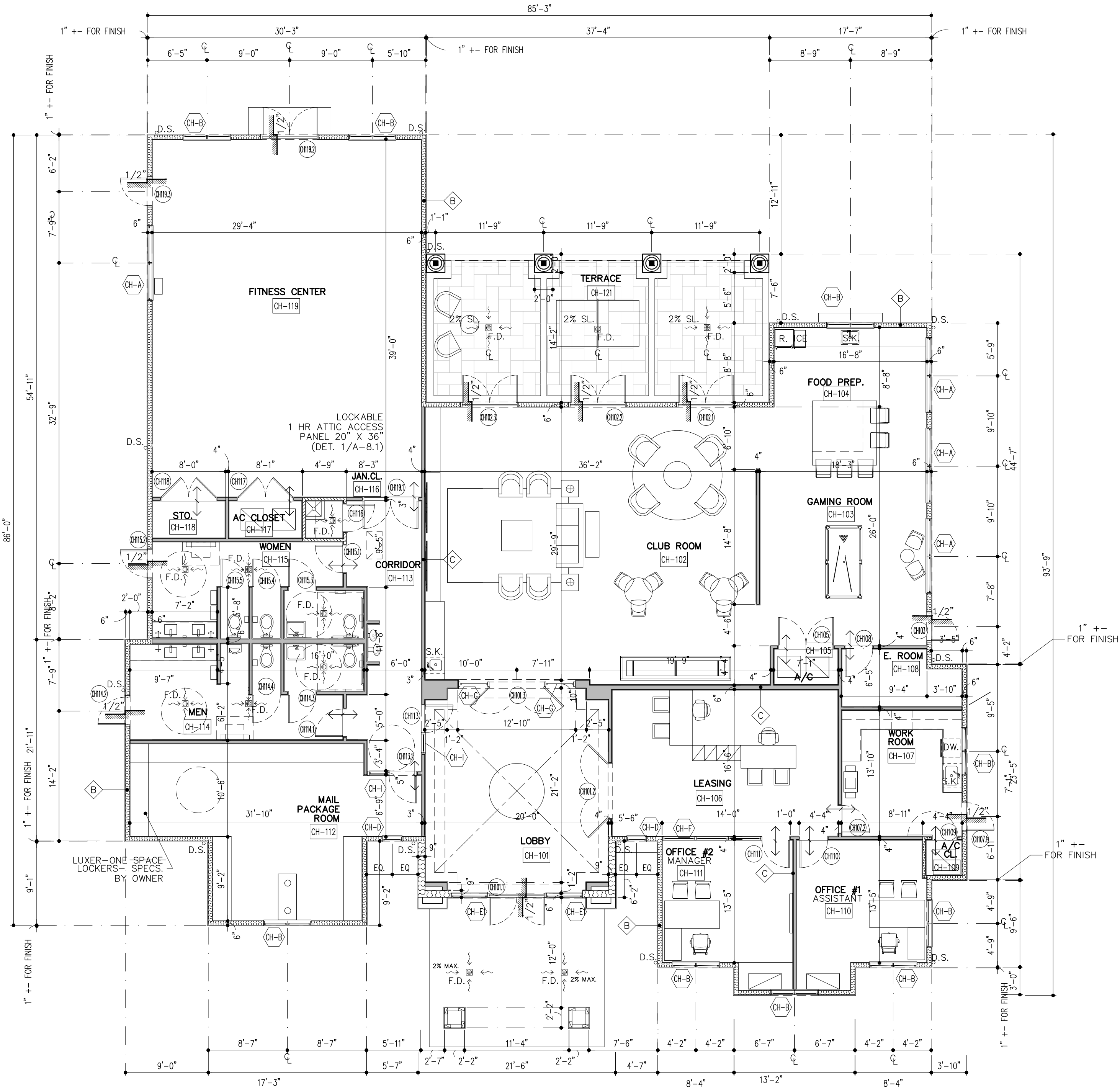
EDEN AT TRADITION  
FOR:  
EDEN LIVING  
LOCATED AT:  
PORT ST. LUCIE, FLORIDA

MSA ARCHITECTS, INC.  
AAC000895  
8950 SW 74th COURT  
MIAMI, FLORIDA 33156  
(305) 273-9911

ARCHITECTURE & PLANNING

ARCHITECT'S BUILDING CODE STATEMENT/ TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SEVENTH EDITION (2020) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

DRAWN  
DATE 03/04/2022  
SCALE AS SHOWN  
JOB NO. 2123.PRJ  
SHEET TITLE:  
TOWNHOUSE  
UNIT PLANS  
SHEET NUMBER:  
A-4.4



GROUND PLAN  
SCALE: 1/8"=1'-0"

WALL & SYMBOL LEGEND

1 HR. RATED TENANT SEPARATION INTERIOR BEARING MIN. 50 STC. (REFER TO SHEET A-9.1) (NOT USED)

1 HR. RATED EXTERIOR WD. BEARING (REFER TO SHEET A-9.1)

INTERIOR WD. FRAME WALL BEARING/ CLG. WALL MEMBRANE, (REFER TO SHEET A-9.1)

1 HR RATED EXTERIOR WALL (REFER TO SHEET A-9.1)

UNIT KEY NOTES  
REFER TO LEGEND FOR DESIGNATION

DOOR DESIGNATION REFER TO DOOR SCHEDULE

WINDOW DESIGNATION REFER TO WINDOW SCHEDULE

DESIGNATES SOFFIT OR CEILING HEIGHT A.F.F.

NOTE: PER F.B.C. ALL INTERIOR BEARING WALLS SHALL BE 1 HR RATED TO MAINTAIN PROPER FIRE ENCLOSURE. (REFER TO STRUCTURAL DRAWINGS FOR BEARING AND NON BEARING WALL LOCATION)

| FLOOR | ROOM NAME         | AREA       |
|-------|-------------------|------------|
|       | LOBBY             | 435 S.F.   |
|       | CLUB ROOM         | 1,132 S.F. |
|       | GAMING ROOM       | 433 S.F.   |
|       | FOOD PREP. AREA   | 145 S.F.   |
|       | A/C               | 28 S.F.    |
|       | LEASING           | 396 S.F.   |
|       | WORK ROOM         | 183 S.F.   |
|       | ELEC. ROOM        | 75 S.F.    |
|       | A/C CL.           | 15 S.F.    |
|       | OFFICE #1         | 208 S.F.   |
|       | OFFICE #2         | 207 S.F.   |
|       | MAIL PACKAGE ROOM | 451 S.F.   |
|       | CORRIDOR          | 209 S.F.   |
|       | MEN               | 257 S.F.   |
|       | WOMEN             | 233 S.F.   |
|       | JAN. CL.          | 17 S.F.    |
|       | AC CLOSET         | 34 S.F.    |
|       | STO.              | 33 S.F.    |
|       | FITNESS CENTER    | 1,145 S.F. |
|       | TERRACE           | 604 S.F.   |
|       | TOTAL             | 6,240 S.F. |

|                                   |    |
|-----------------------------------|----|
| 04/20/2022<br>SITE PLAN SUBMITTAL | BY |
|                                   |    |
|                                   |    |
|                                   |    |
|                                   |    |
|                                   |    |
|                                   |    |
|                                   |    |

EDEN AT TRADITION

FOR:  
EDEN LIVING  
LOCATED AT:  
PORT ST. LUCIE, FLORIDA

MSA ARCHITECTS, INC.  
AAC000895

8950 SW 74th COURT  
MIAMI, FLORIDA 33156  
(305) 273-9911

ARCHITECTURE & PLANNING

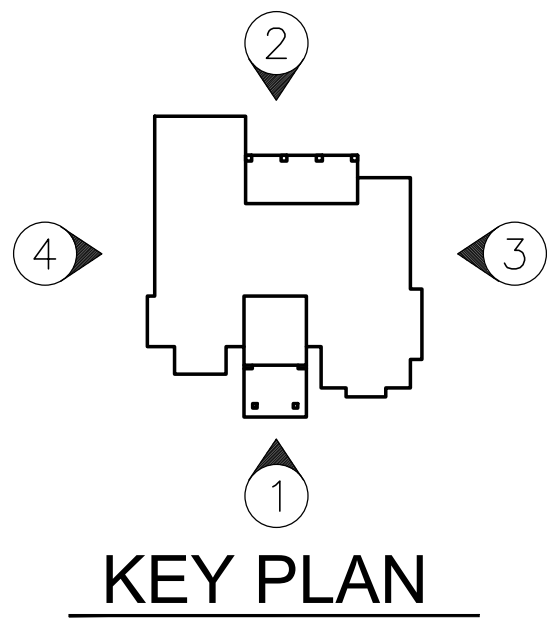
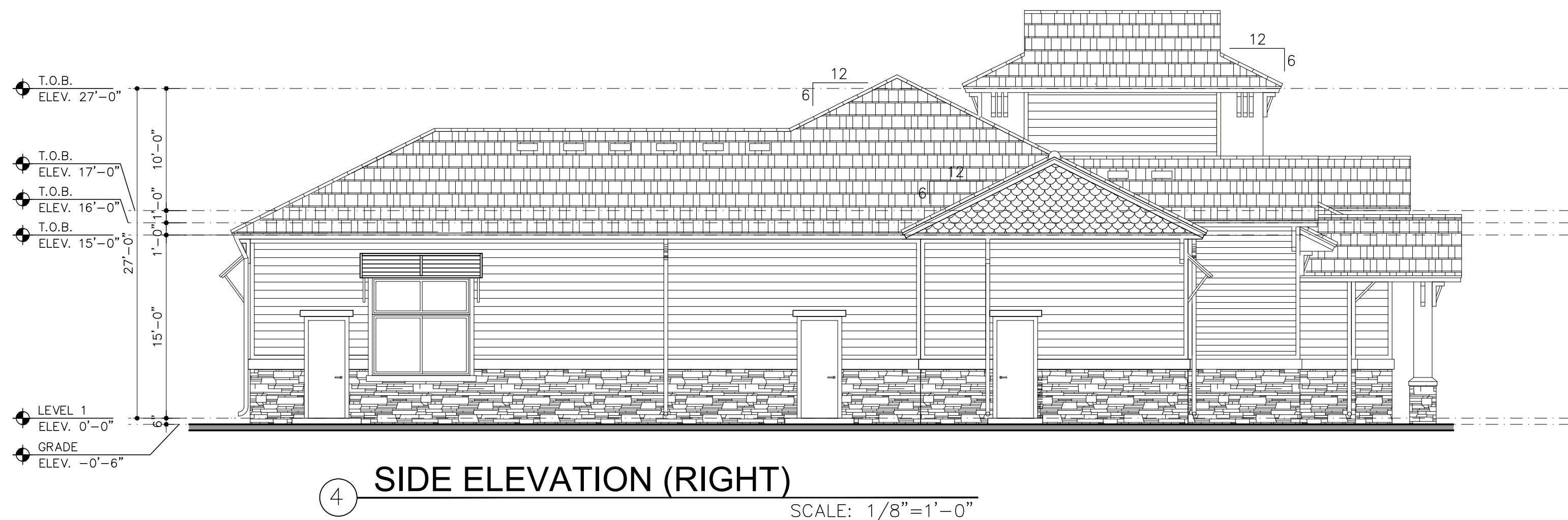
ARCHITECT'S BUILDING CODE STATEMENT/ TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SEVENTH EDITION (2020) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

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CLUB HOUSE

NORTH

|               |                           |
|---------------|---------------------------|
| DRAWN         |                           |
| DATE          | 03/04/2022                |
| SCALE         | AS SHOWN                  |
| JOB NO.       | 2123.PRJ                  |
| SHEET TITLE:  | CLUB HOUSE<br>GROUND PLAN |
| SHEET NUMBER: | CH-2.1                    |



CLUB HOUSE - ELEVATIONS

SCALE: 1/8"=1'-0"

ARCHITECT'S BUILDING CODE STATEMENT/ TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SEVENTH EDITION (2020) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633, FLORIDA STATUTES.

04/20/2022  
SITE PLAN SUBMITTAL

BY

EDEN AT TRADITION

FOR:  
EDEN LIVING  
LOCATED AT:  
PORT ST. LUCIE, FLORIDA

MSA ARCHITECTS, INC.  
AAC000895

**MSA ARCHITECTS**  
ARCHITECTURE & PLANNING

8950 SW 74th COURT  
SUITE 200  
MIAMI, FLORIDA 33156  
(305) 273-9911

DRAWN

DATE 03/04/2022

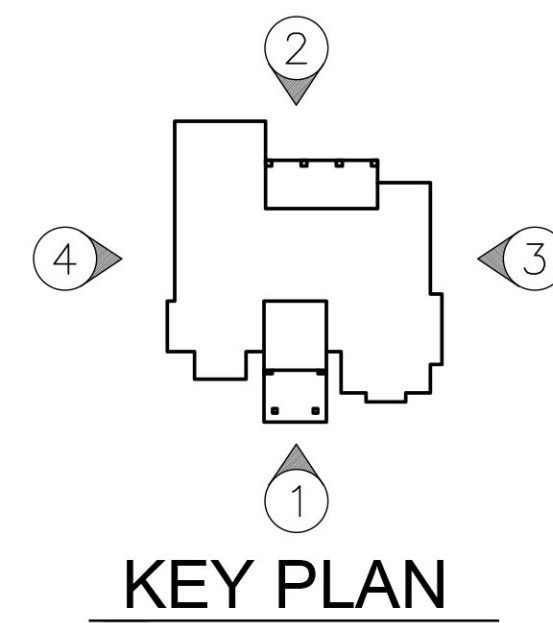
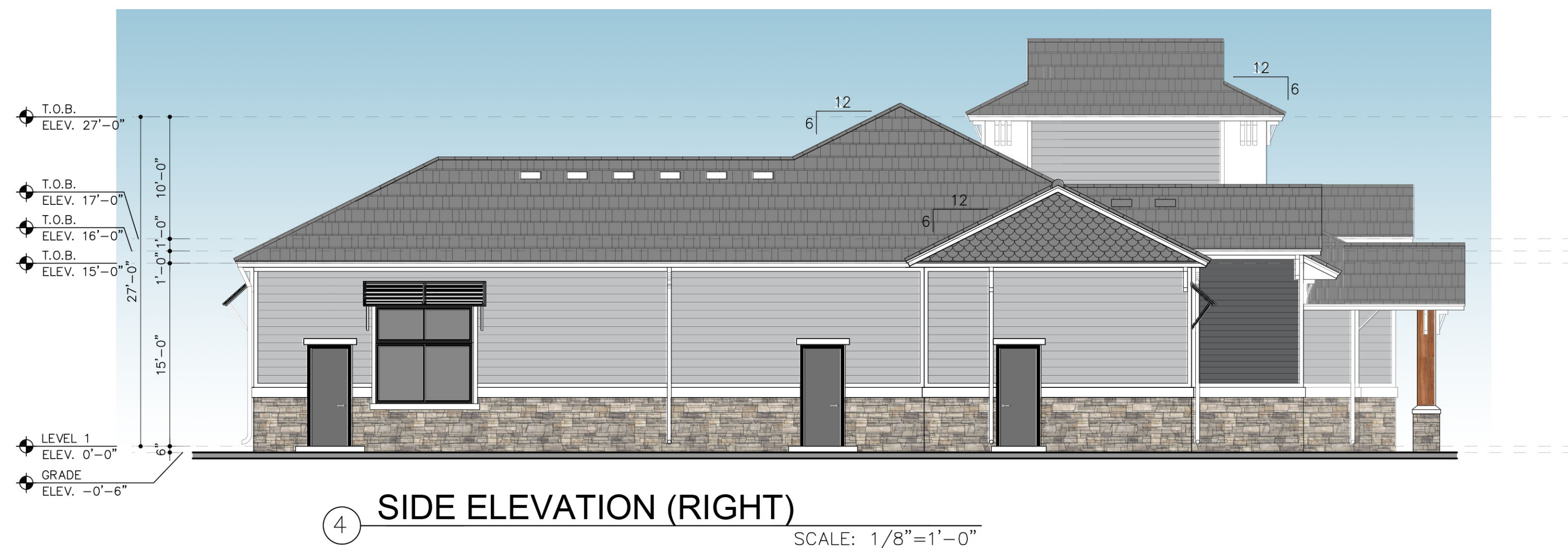
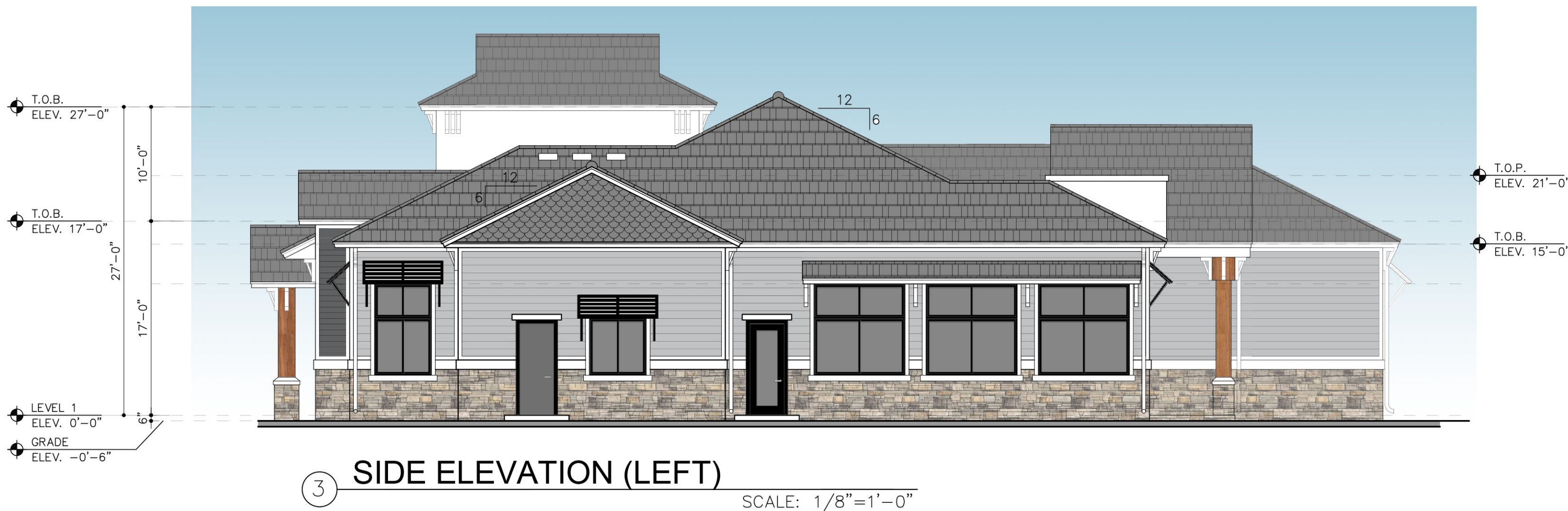
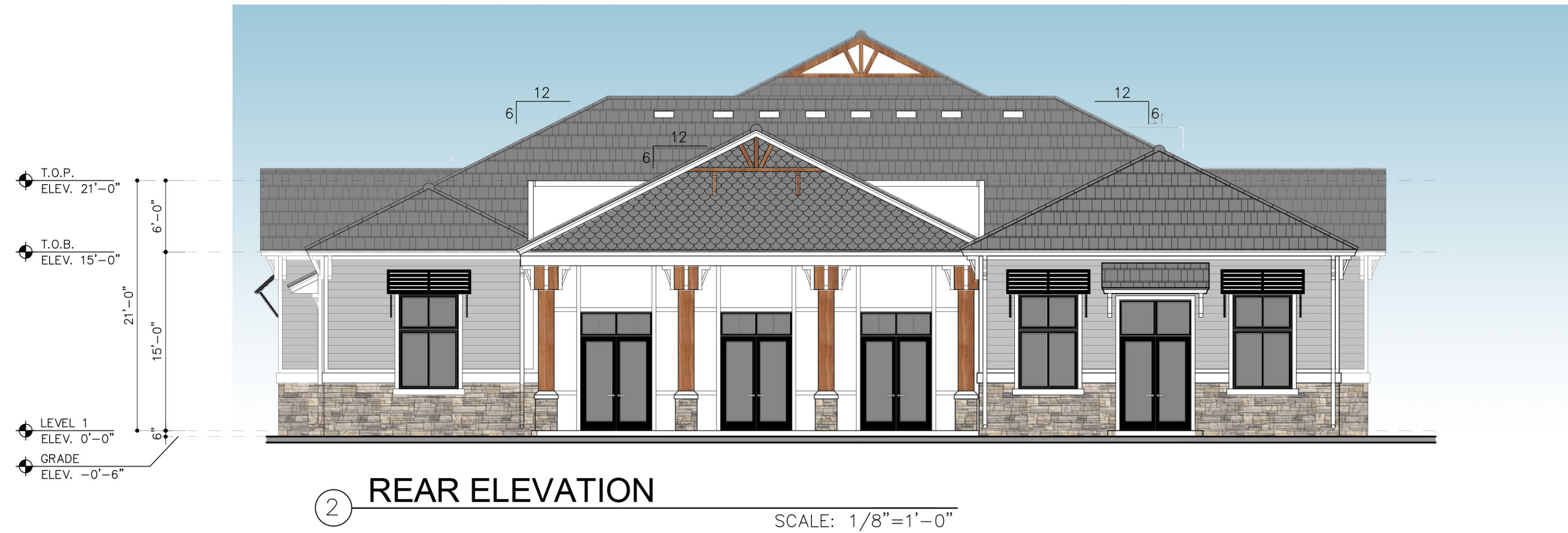
SCALE AS SHOWN

JOB NO. 2123.PRJ

SHEET TITLE:  
CLUBHOUSE  
ELEVATIONS

SHEET NUMBER:  
CH-3.1

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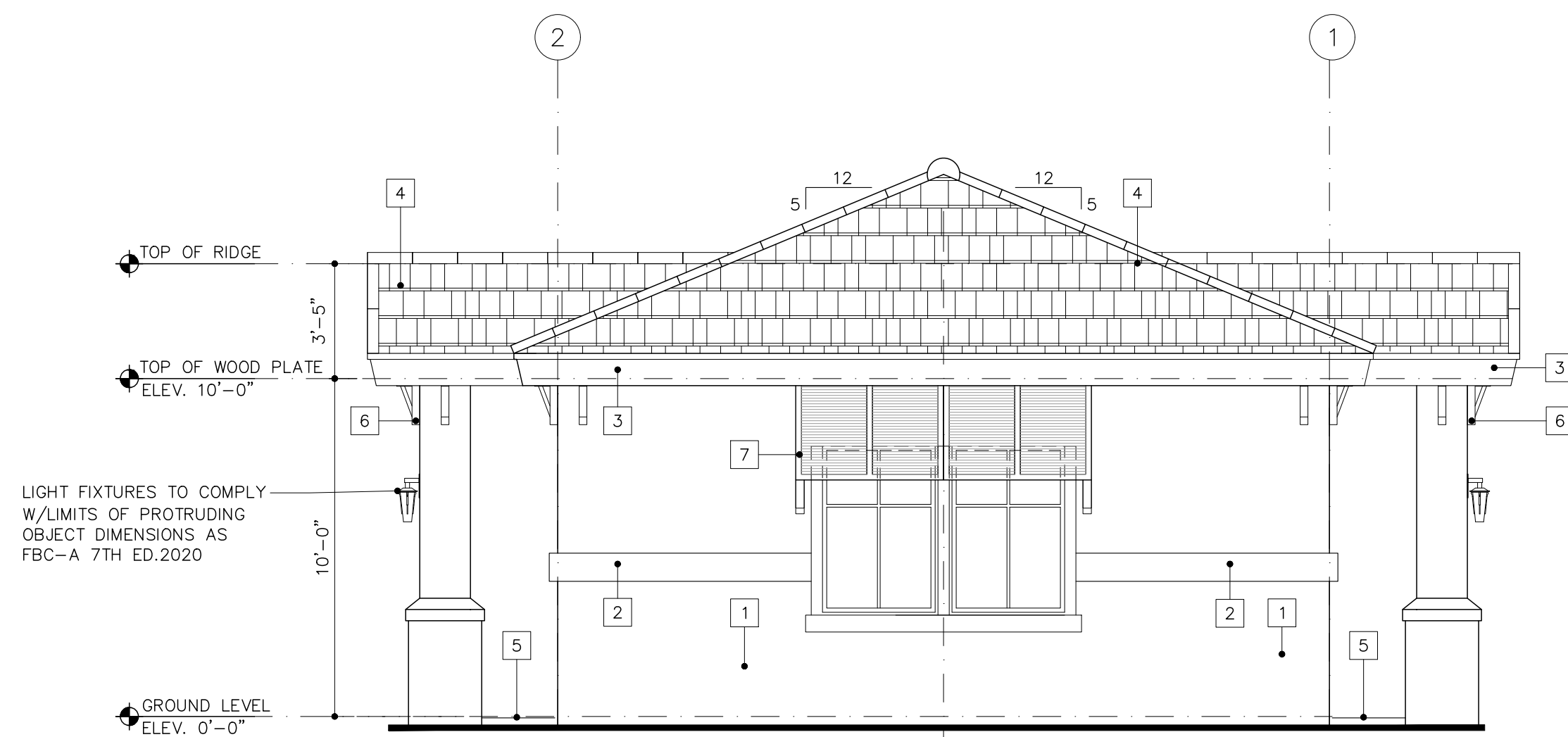


CLUB HOUSE - ELEVATIONS

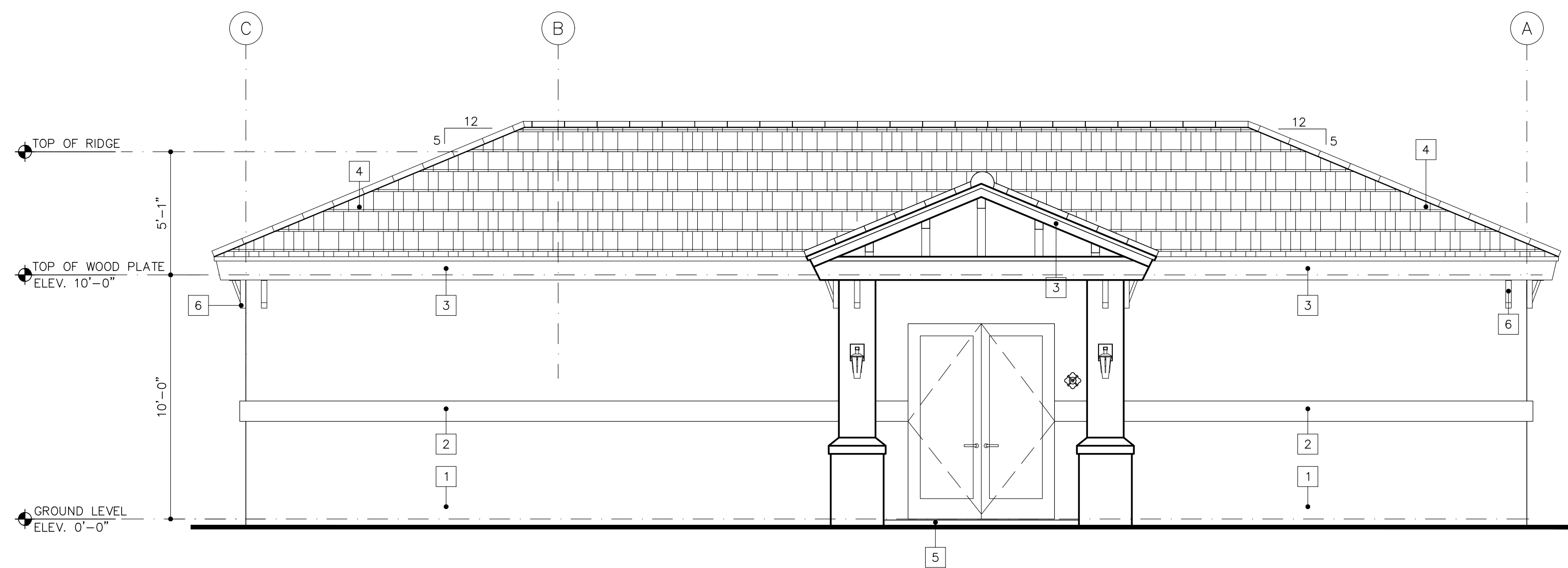
SCALE: 1/8"=1'-0"

|                                                                                                                                                                                                                                                                                         |  |                                                                                                                                                                                                                                                                                                                            |    |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|
| ARCHITECT'S BUILDING CODE STATEMENT/ TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SEVENTH EDITION (2020) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES. |  | 04/20/2022<br>SITE PLAN SUBMITTAL                                                                                                                                                                                                                                                                                          | BY |
| EDEN AT TRADITION                                                                                                                                                                                                                                                                       |  | FOR:<br>EDEN LIVING                                                                                                                                                                                                                                                                                                        |    |
|                                                                                                                                                                                                                                                                                         |  | LOCATED AT:                                                                                                                                                                                                                                                                                                                |    |
|                                                                                                                                                                                                                                                                                         |  | PORT ST. LUCIE, FLORIDA                                                                                                                                                                                                                                                                                                    |    |
| MSA ARCHITECTS, INC.<br>AAC000895                                                                                                                                                                                                                                                       |  | 8950 SW 74th COURT<br>SUITE 100<br>MIAMI, FLORIDA 33156<br>(305) 273-9911                                                                                                                                                                                                                                                  |    |
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| DRAWN                                                                                                                                                                                                                                                                                   |  | 03/04/2022                                                                                                                                                                                                                                                                                                                 |    |
| DATE                                                                                                                                                                                                                                                                                    |  | AS SHOWN                                                                                                                                                                                                                                                                                                                   |    |
| SCALE                                                                                                                                                                                                                                                                                   |  | 2123.PRJ                                                                                                                                                                                                                                                                                                                   |    |
| JOB NO.                                                                                                                                                                                                                                                                                 |  | SHEET TITLE:                                                                                                                                                                                                                                                                                                               |    |
|                                                                                                                                                                                                                                                                                         |  | CLUBHOUSE<br>ELEVATIONS                                                                                                                                                                                                                                                                                                    |    |
| SHEET NUMBER:                                                                                                                                                                                                                                                                           |  | CH-3.1C                                                                                                                                                                                                                                                                                                                    |    |





2 LEFT ELEVATION  
SCALE: 1/4"=1'-0"



4 REAR ELEVATION  
SCALE: 1/4"=1'-0"

- 1 7/8" STUCCO FINISH, LIGHT TEXTURE
- 2 14" FRIEZE BAND
- 3 2"x10" P.T. WD FASCIA BOARD (TYP.)
- 4 THICK BUTT ROOF SHINGLES TO BE SELECTED BY ARCHITECT/OWNER
- 5 CONCRETE STOOP AT ALL ENTRY DOORS & TERRACE
- 6 RESIN DECORATIVE BRACKETS
- 7 ALUMN CANOPY
- 8 RIDGE VENT 3' FROM RIDGE
- 9 1 1/2" RAISED STUCCO BASE, TO PROVIDE EIFS BOARD FOR APPROVAL
- 10 1" SCORE LINE, TO PROVIDE SAMPLE ONSITE FOR ARCHITECT/OWNER APPROVAL.

NOTE: REFER TO CIVIL C-5 SERIES SHEETS FOR INDIVIDUAL BUILDING FLOOR ELEVATIONS.

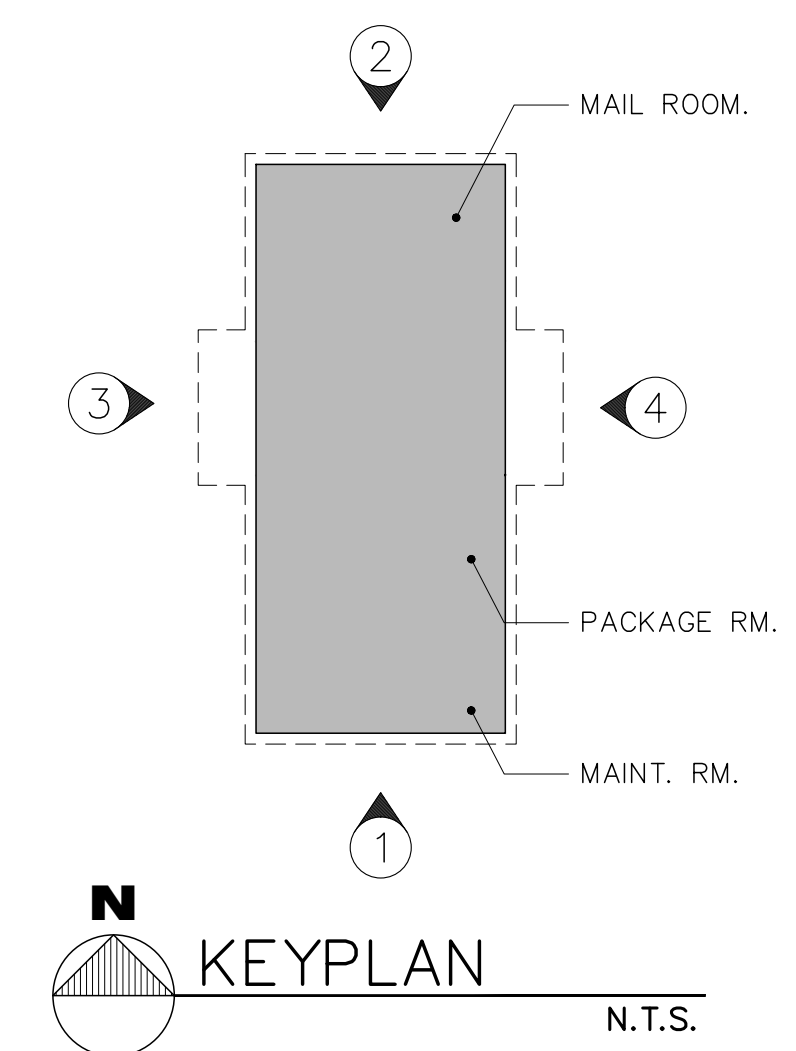
- (A) MAIN - STUCCO SW 7006 EXTRA WHITE
- (B) ACCENT 1 - SW 2822 DOWNING SAND
- (C) ACCENT 2 - SW 7534 OUTER BANKS
- (D) ACCENT 3 - SW 7515 HOMESTEAD BROWN
- (E) ROOF TILE BORAL SAXONY SLATE

NOTES:

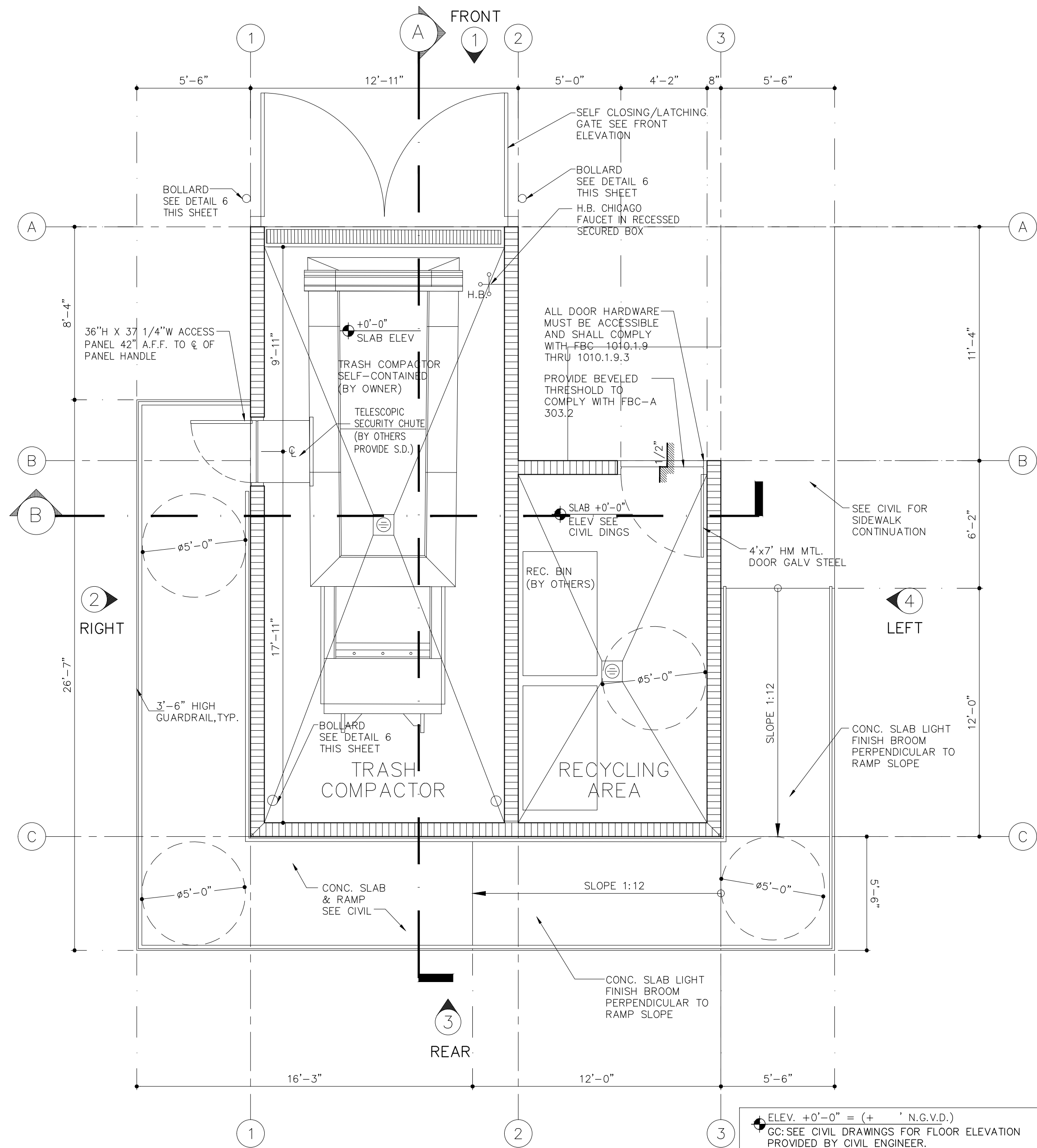
1. ALL FOAM TRIM PROFILES TO RECEIVE A SYNTHETIC STUCCO FINISH.
2. CONTRACTOR TO PROVIDE WATER PROOFING ON WALL PRIOR TO INSTALLATION OF ANY FOAM TRIM PROFILES.

1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS. IN THE EVENT OF A CONFLICT NOTIFY ARCHITECT BEFORE PROCEEDING.
2. ALL ROOF PITCHES TO BE 5:12 UNLESS OTHERWISE NOTED.
3. REFER TO STRUCTURAL DRAWINGS FOR TRUSS LAYOUT AND CONFIGURATION.
4. ALL OVERHANGS TO BE 1'-0" UNLESS OTHERWISE NOTED.

NOTE 1:  
8"x8" SIGNS WITH INSERT RF IN MALTESE CROSS TO BE POSTED AT EXTERIOR BUILDING ACCORDANCE WITH SECTION 633.222 OF FS AND RULE 69A-6.0081 OF FAC. AFFIXED WITHIN 24" OF THE PRIMARY ENTRY DOOR TO BUILDING. MOUNTED 48" TO BOTTOM OD SIGN AND 72" TO TOP OF SIGN FROM GRADE, WALKING SURFACE OR FINISHED FLOOR. FINAL LOCATION APPROVED BY AUTHORITY HAVING JURISDICTION.



## MAIL KIOSK



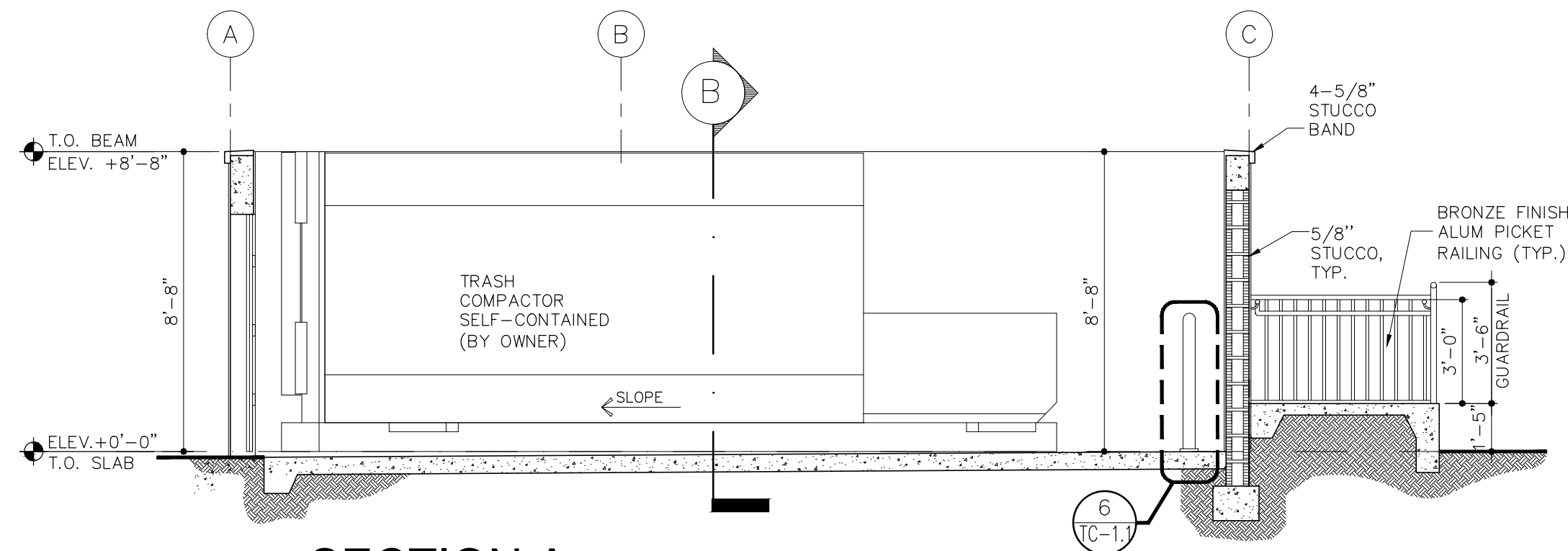
**TRASH COMPACTOR /  
RECYCLING ENCLOSURE PLAN**  
AREA = 559 SQ. FT.  
SCALE: 1/4"=1'-0"

FBC-A405.9 MAXIMUM 4" MAXIMUM FROM THE RAMP TO THE BOTTOM HORIZONTAL BAR OF THE GUARD RAIL PER FBC-A 405.9.2 AND EDGE PROTECTION

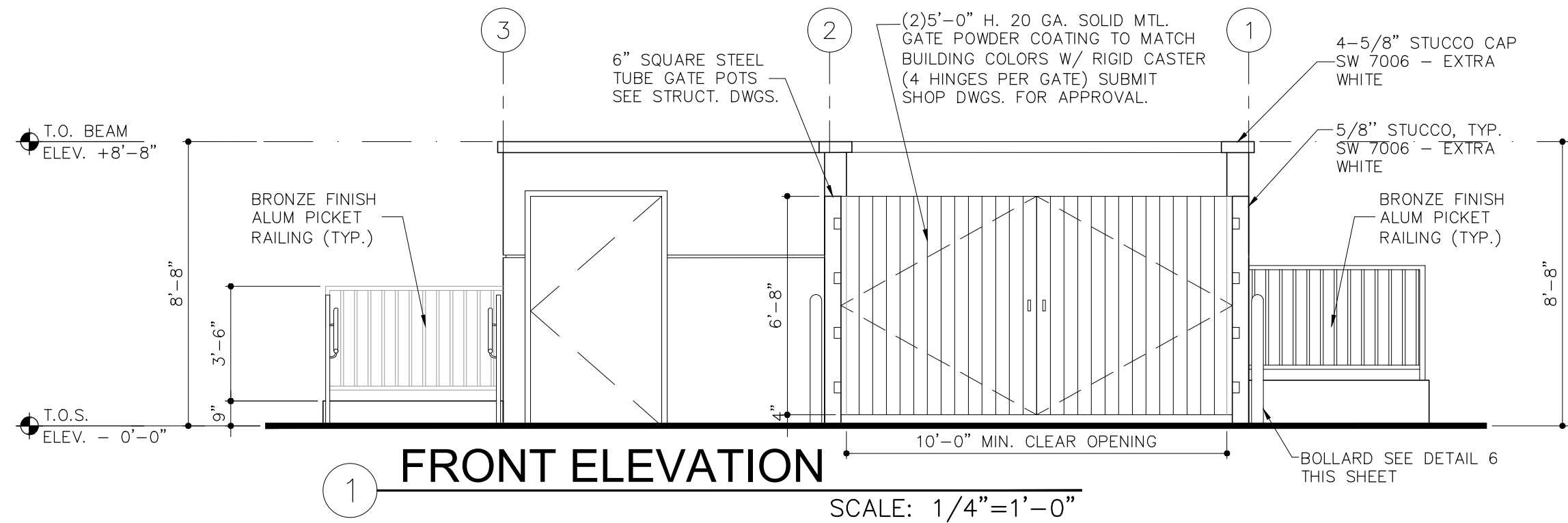
ELEV. +0'-0" = (+ ' N.G.V.D.)  
FBC: SEE CIVIL DRAWINGS FOR FLOOR ELEVATION PROVIDED BY CIVIL ENGINEER.  
CONTRACTOR TO CONFIRM AND COORDINATE WITH CIVIL DRAWINGS

STUCCO CAP = SW 7006 EXTRA WHITE  
STUCCO WALLS = SW 7006 EXTRA WHITE

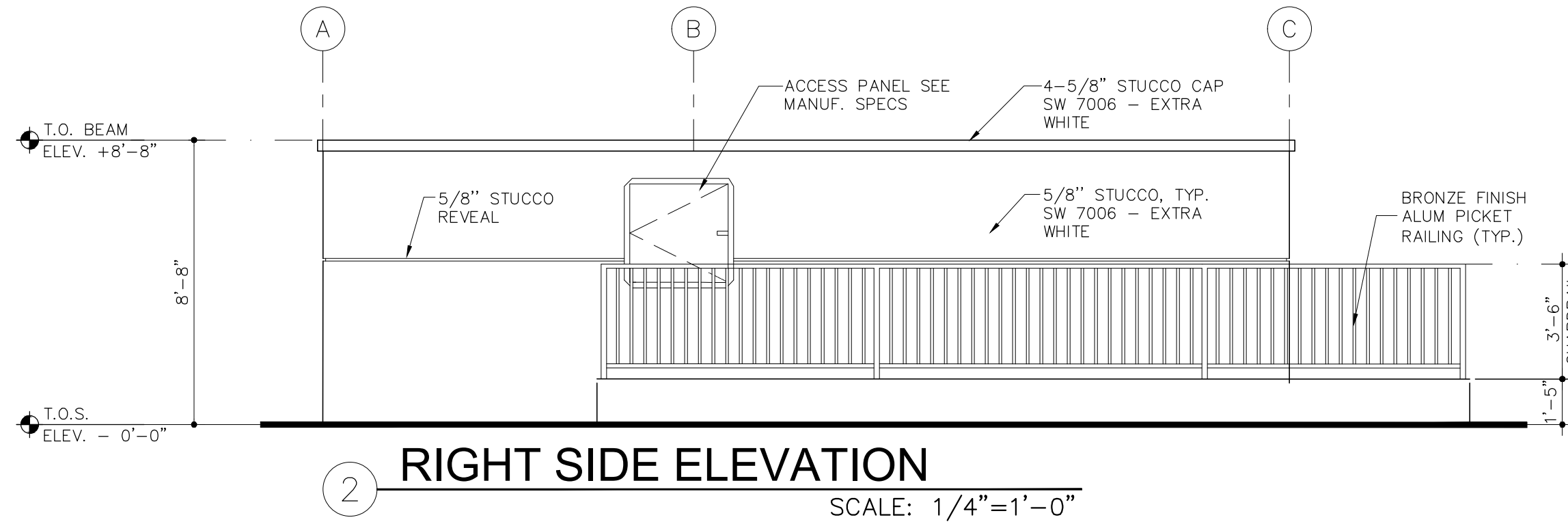
FAC 505.10.1 RAMP HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12 INCHES MINIMUM BEYOND THE TOP AND BOTTOM OF RAMP RUNS. INDICATE ON THE PLANS CODE COMPLIANT HANDRAILS AT THE END OF THE RAMP RUNS



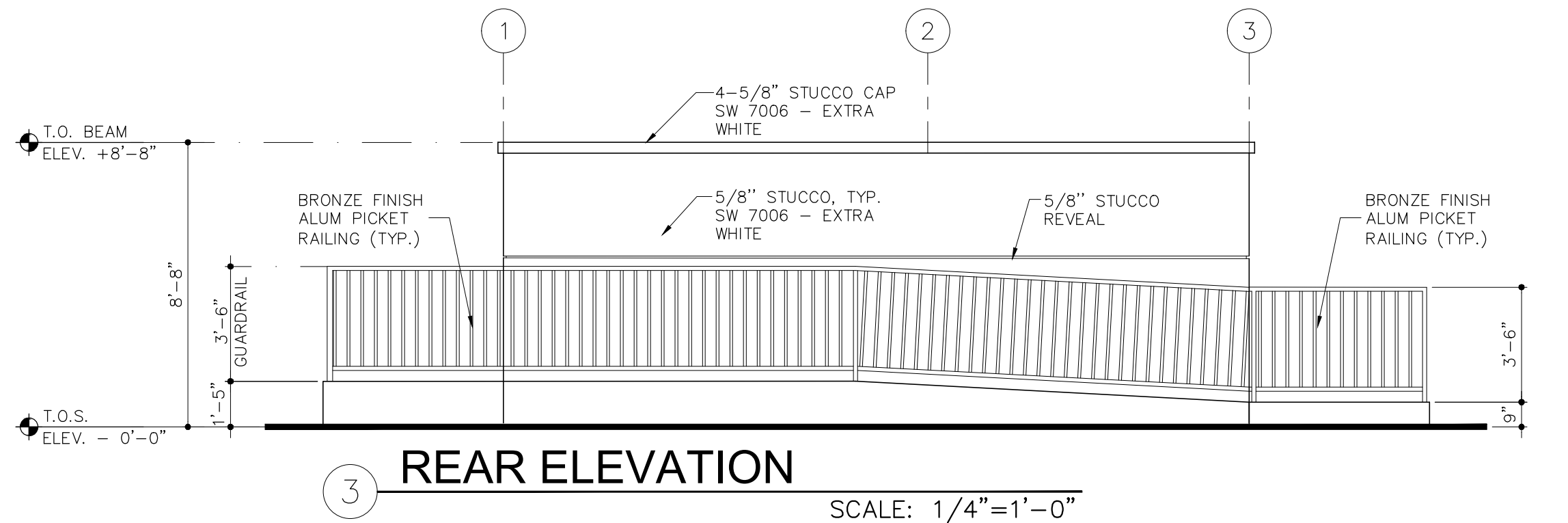
**SECTION A**  
SCALE: 1/4"=1'-0"



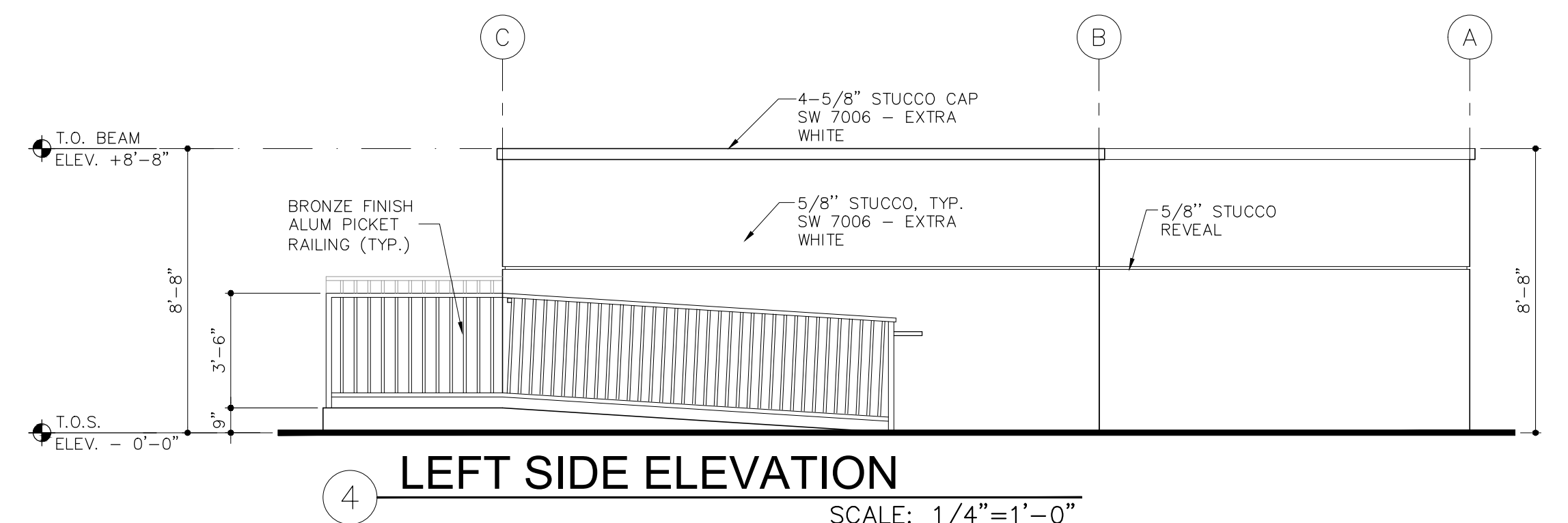
**1 FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



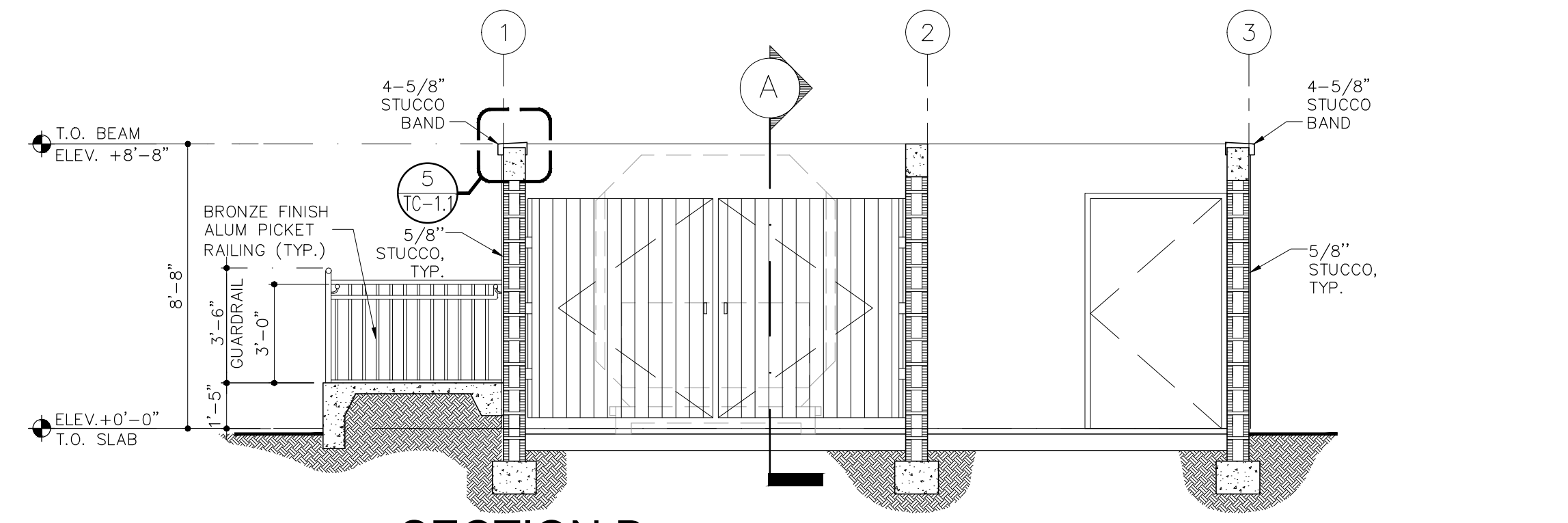
**2 RIGHT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



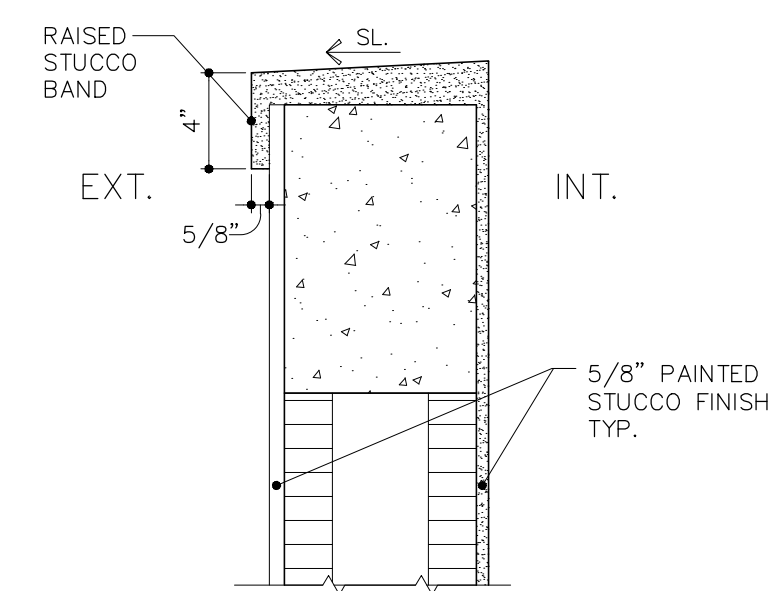
**3 REAR ELEVATION**  
SCALE: 1/4"=1'-0"



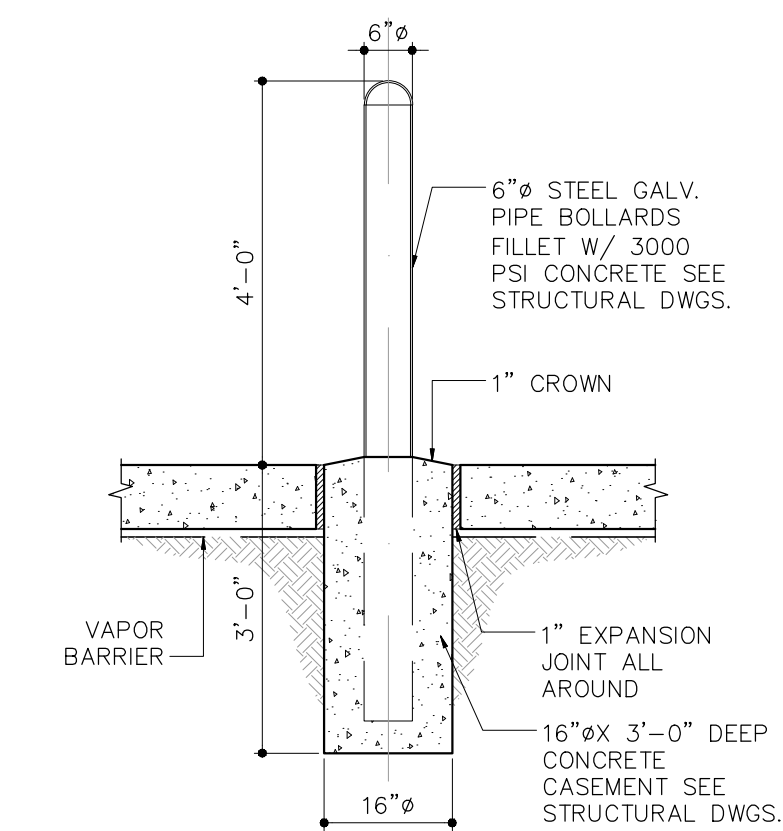
**4 LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



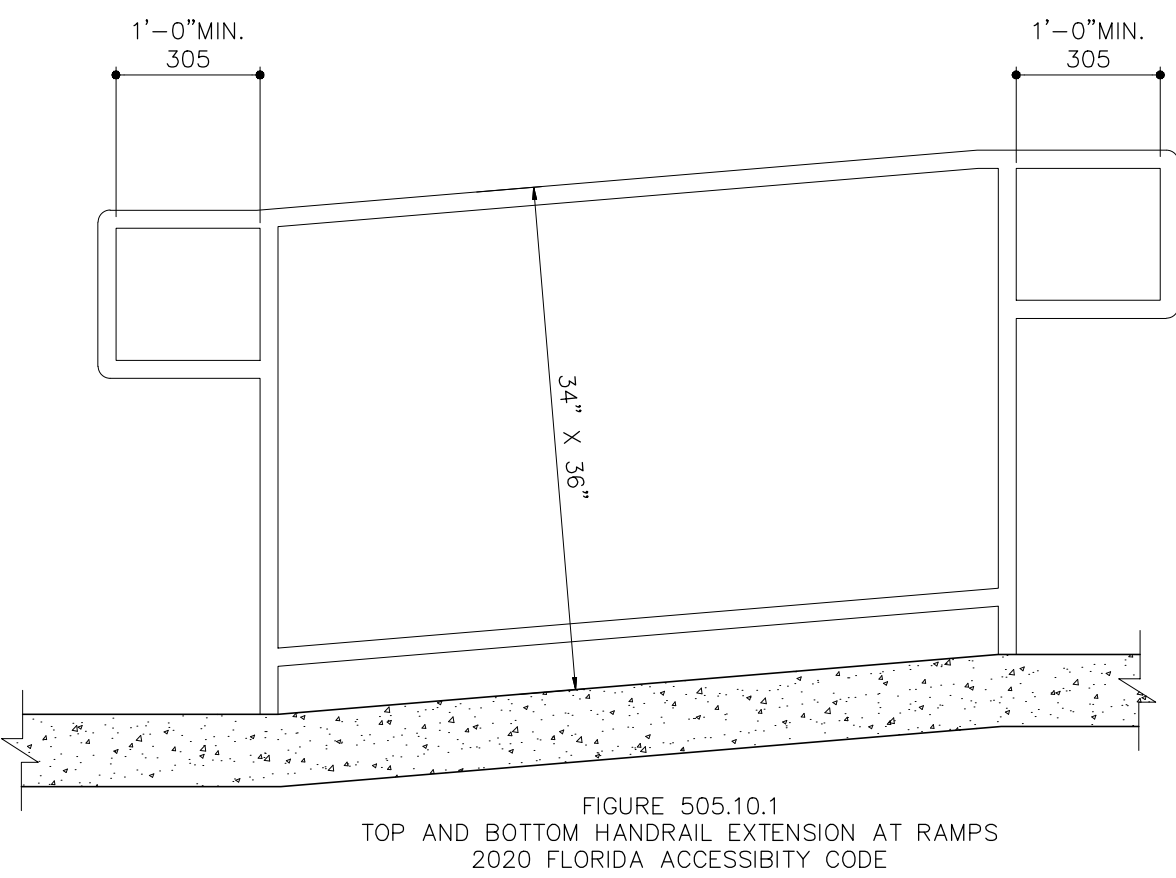
**SECTION B**  
SCALE: 1/4"=1'-0"



**5 STUCCO CAP DTL.**  
SCALE: 1.5"=1'-0"



**6 6" STL. BOLLARD DTL.**  
SCALE: 1/2"=1'-0"



**HANDRAIL TOP AND BOTTOM EXTENSION AT RAMPS**  
SCALE: 3/4" = 1'-0"

TRASH COMPACTOR

FIGURE 505.10.1  
TOP AND BOTTOM HANDRAIL EXTENSION AT RAMPS  
2020 FLORIDA ACCESSIBILITY CODE

FIGURE 505.4  
HANDRAIL HEIGHT  
2020 FLORIDA ACCESSIBILITY CODE

FIGURE 505.4 HEIGHT, TOP OF GRIPPING SURFACES OF  
HANDRAILS SHALL BE 34" INCHES (865mm) MINIMUM AND 38" INCHES (965 mm) MAXIMUM VERTICALLY ABOVE WALKING SURFACES,STAIR NOSINGS,AND RAMP SURFACES.HANDRAILS SHALL BE AT A CONSISTENT HEIGHT ABOVE WALKING SURFACES,STAIR NOSINGS,AND RAMP SURFACES.

HANDRAIL  
SCALE: 3/4" = 1'-0"

TRASH COMPACTOR

**TRASH COMPACTOR PLAN & ELEVATIONS**  
SCALE: 1/4" = 1'-0"

04/20/2022  
SITE PLAN SUBMITTAL

BY

EDEN AT TRADITION

FOR:  
EDEN LIVING  
LOCATED AT:  
PORT ST. LUCIE, FLORIDA

MSA ARCHITECTS, INC.  
AAC000895

**MSA ARCHITECTS**  
ARCHITECTURE & PLANNING

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DATE  
SCALE  
JOB NO.  
SHEET TITLE:  
SHEET NUMBER:

03/04/2022  
AS SHOWN  
2123.PRJ  
TRASH COMPACTOR  
PLAN & ELEVATIONS  
TC-1