

City of Port St. Lucie

121 SW Port St. Lucie Blvd.
Port St. Lucie, Florida 34984



Meeting Agenda

Tuesday, August 5, 2025

6:00 PM

Council Chambers, City Hall

Planning and Zoning Board

Melody Creese, Chair

Jim Norton, Vice Chair

Peter Previte, Chair Pro-Tem

Eric Reikenis, At-Large

John "Jack" Doughney, At-Large

Greg Pettibon, At-Large

Peter Louis Spatara, At-Large

Rose Mocerino, Alternate

Douglas Harvey, Alternate

Please visit www.cityofpsl.com/tv for new public comment options.

1. Meeting Called to Order**2. Roll Call****3. Determination of a Quorum****4. Pledge of Allegiance****5. Approval of Minutes**

5.a Approval of Minutes: July 1, 2025

[2025-714](#)

6. Consent Agenda**7. Public Hearings - Non Quasi-Judicial****8. Public Hearing - Quasi-Judicial**

8.a P24-231 Coyne, Dale P. & Gail A. (McDonald's) - Special
Exception Use

[2025-404](#)

Location: The property is located at 10180 S. US Highway 1, on the
northeast corner of S. US Highway 1 and SE Jennings Road.

Legal Description: St. Lucie Gardens, Block 4, Lot 10

This is a request for a special exception to allow a restaurant with
drive-through service lanes, in the General Commercial (CG) zoning
district.

8.b P25-086 Jared Greenberg - Variance

[2025-089](#)

Location: The property is located at 702 SW Abode Avenue.

Legal Description: Port St. Lucie Section 33, Block 2326, Lot 21

This request is to grant the following variances: 1) a variance of 745 SF
to allow the construction of a 945 square foot carport, 2) a variance of
four (4) feet to allow for a six (6) foot side yard setback on the west side
of the property, and 3) a variance to allow the proposed carport to
extend beyond the front corners of the house.

- 8.c** P25-096 Verano South POD H PUD - Amendment No. 1 - [2025-725](#)
Planned Unit Development (PUD) Amendment
Location: The property is located south of Glades Cut Off Road, east of Range Line Road, north of Crosstown Parkway, and west of Sundance Vista Boulevard.
This request is to amend the PUD to add a 24-hour free standing emergency department as a permitted use, update the street tree requirements, and to update the conceptual plan to show the ingress/egress location off of Crosstown Parkway to a commercial parcel.
- 8.d** P25-108 Cemar Realty, LLC - Rezoning [2025-715](#)
Location: The property is located on the northeast corner of SW Gatlin Boulevard and SW Brighton Street.
Legal Description: Port St. Lucie Section 16, Block 1501, Lot 1
This is a request to rezone property from Single-Family Residential (RS-2) to the General Commercial (CG) Zoning District.
- 8.e** P25-111 Tri-County - Biltmore Properties - Rezoning [2025-719](#)
Location: The property is located at 801 and 817 SW Biltmore Street
Legal Description: Port St. Lucie Section 28, Block 75, Lots 6 and Lot 7
This is a request to rezone the property from the General Commercial (CG) Zoning District to the Service Commercial (CS) Zoning District.

9. New Business

10. Old Business

11. Public to be Heard

12. Adjourn

Notice: No stenographic record by a certified court reporter will be made of the foregoing meeting. Accordingly, any person who may seek to appeal a decision involving the matters noticed herein will be responsible for making a verbatim record of the testimony and evidence at said meeting upon which any appeal is to be based.

Notice: In accordance with the Americans with Disabilities Act of 1990, persons needing special accommodation to participate in this proceeding should contact the City Clerk's office at (772) 871-5157 for assistance.

As a courtesy to the people recording the meeting, please put your cell phone on silent.



Agenda Summary

2025-714

Agenda Date: 8/5/2025

Agenda Item No.: 5.a

Placement: Minutes

Action Requested: Motion / Vote

Approval of Minutes: July 1, 2025

Submitted By: Pat Shutt, Administrative Assistant, Planning & Zoning Department

Executive Summary: July 1, 2025 minutes attached.

Presentation Information: N/A

Staff Recommendation: Move that the Board Move that the Board approve the minutes.

Alternate Recommendations:

1. Move that the Board amend the recommendation and approve the minutes with changes.
2. Move that the Board not approve the minutes and provide staff direction.

Background: N/A

Issues/Analysis: N/A

Special Consideration: N/A

Location of Project: N/A

Attachments: July 1, 2025 minutes.

City of Port St. Lucie

Planning and Zoning Board

Meeting Minutes

121 SW Port St. Lucie
Blvd.
Port St. Lucie, Florida
34984

Melody Creese, Chair
Jim Norton, Vice Chair
Peter Previte, Chair Pro-Tem
Eric Reikenis, At-Large
John "Jack" Doughney, At-Large
Greg Pettibon, At-Large
Peter Louis Spatara, At-Large
Rose Mocerino, Alternate
Douglas Harvey, Alternate

Please visit www.cityofpsl.com/tv for new public comment options.

Tuesday, July 1, 2025	6:00 PM	Council Chambers, City Hall
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1. Meeting Called to Order

A Regular Meeting of the PLANNING AND ZONING BOARD of the City of Port St. Lucie was called to order by Vice Chair Norton at 6:00 p.m., on July 1, 2025, at Port St. Lucie City Hall, 121 SW Port St. Lucie Boulevard, Council Chambers, Port St. Lucie, Florida.

2. Roll Call

Members Present:

Jim Norton, Vice Chair
John "Jack" Doughney
Peter Previte
Eric Reikenis
Greg Pettibon
Rose Mocerino, Alternate

Members Not Present:

Melody Creese, Chair
Peter Spatara

3. Determination of a Quorum

4. Pledge of Allegiance

Chair Creese led the assembly in the Pledge of Allegiance.

5. Approval of Minutes

5.a Approval of Minutes - June 3, 2025

[2025-603](#)

There being no corrections, Mr. Pettibon moved to approve the minutes. Mr. Previte seconded the motion, which passed unanimously by voice vote.

6. Consent Agenda

There was nothing to be heard under this item.

7. Public Hearings - Non Quasi-Judicial

There was nothing to be heard under this item.

8. Public Hearing - Quasi-Judicial

The Deputy City Attorney read the Quasi-Judicial Rules into the record for items 8.a through 8.c and the Deputy City Clerk swore in staff and applicants.

8.a P25-031 Bayshore Industrial Properties, Inc - Variances

[2025-604](#)

Location: The Property is located at 1791 SW Biltmore St

Legal Description: Port St. Lucie Section 13, Block 624 Lots 12, & 13 and 14

This is a request to grant variances of 10 feet from Section 154.03(C)1.a. of the Zoning Code which requires a 10' wide perimeter landscape buffer for 209 feet along the property frontage and two (2) feet from Section 158.126(C)(8) which requires an 8', opaque fence around outdoor storage and that no stored material be visible beyond the height of the fence.

Vice Chair Norton inquired if there was any ex-parte communication, to which Mr. Pettibon, Vice Chair Norton, Mr. Reikenis, Mr. Doughney, and Ms. Mocerino responded in the negative and Mr. Previte responded in the affirmative. (Clerk's Note: Mr. Previte submitted Abstention Form 8b to the Deputy City Clerk.)

(Clerk's Note: A PowerPoint presentation was shown at this time.) Planner Marissa Da Breo-Latchman stated that she was sworn in and that the file was submitted to the City Clerk's Office 5 days prior to the meeting and requested that it be entered into the record. She presented to the Board and stated that the request was to grant a variance of 10 ft. from Section 154.03(C)1.a of the Zoning Code. She provided a background to the project, exhibited the Future Land Use, Zoning Map, Site Plan, Landscape Plan, Dimensioned Site Plan, and property photos.

Michael Heissenberg, Expert Shutter Services, represented the applicant and spoke to the Board, stating that they need this space for the business to grow. Ms. Mocerino inquired as to who was maintaining the landscape

buffer, to which Mr. Heissenberg replied that they hired someone. Mr. Pettibon inquired as to what was on the racks, to which Mr. Heissenberg replied that there were aluminum extrusions to produce hurricane and security shutters. Mr. Pettibon inquired as to what was located across the street, to which Mr. Heissenberg replied that it was propane. Vice Chair Norton inquired as to how the metal objects were secured onto the rack, to which Mr. Heissenberg replied that the supplies were not secured, but the racks were bolted down and in the event of a hurricane, the supplies were lowered down to the ground.

Vice Chair Norton opened the Public Hearing. There being no public to be heard, he closed the Public Hearing. It was then clarified that the previous landscape had been approved but is now being altered for these racks.

There being no further discussion, Mr. Pettibon moved to approve P25-031 Bayshore Industrial Properties, Inc. – Variance with the following conditions:

- 1) The variances shall terminate if the current tenant vacates the property.
- 2) If the current tenant vacates the property, the landscape buffer shall be restored per the existing landscape plan.

Mr. Doughney seconded the motion which passed by voice vote.

8.b P25-086 Jared Greenberg - Variance

[2025-089](#)

Location: The property is located at 702 SW Abode Avenue.

Legal Description: Port St. Lucie Section 33, Block 2326, Lot 21

This request is to grant the following variances: 1) a variance of 750 SF to allow the construction of a 950 square foot carport, 2) a variance of nine (9) feet to allow for a one (1) foot side yard setback on the west side of the property, and 3) a variance to allow the proposed carport to extend beyond the front corners of the house.

There being no discussion, Mr. Previte moved to table P25-086 Jared Greenburg – Variance to the August 5, 2025 Planning & Zoning meeting. Mr. Reikenis seconded the motion which passed unanimously by voice vote.

8.c P25-087 SLW-TAV Port St. Lucie, LLC - Rezone

[2025-556](#)

Location: The property is located at 760 NW Enterprise Dr

Legal Description: All of Lot 6, St. Lucie West Plat No. 133, St. Lucie West Industrial Park

This is a request to rezone 8.31 acres from the Industrial Zoning District (IN) to the Warehouse Industrial (WI) Zoning District.

Vice Chair Norton inquired if there was any ex-parte communication, to which the Board responded in the negative.

(Clerk's Note: A PowerPoint presentation was shown at this time.) Cody

Sisk, Planner, stated that he was sworn in and that the file was submitted to the City Clerk's Office 5 days prior to the meeting and requested that it be entered into the record. He presented to the Board and stated that the request was to rezone approximately 8.31 acres from Industrial (IN) Zoning District to Warehouse Industrial (WI) Zoning District. He discussed the surrounding areas, justification, and Policy 1.1.4.13 – Future Land Use.

Alejandro Toro, Haley Ward, represented the applicant. Mr. Pettibon inquired if the current use was for warehousing, to which Mr. Toro replied that there was a portion of the property being used for warehousing, but the purpose of the rezoning was to identify more purposes for the property.

Vice Chair Norton opened the Public Hearing. There being no public to be heard, he closed the Public Hearing. There being no discussion, Mr. Pettibon moved to recommend approval of P25-087 SLW-TAV Port St. Lucie, LLC - Rezone to the City Council. Mr. Reikenis seconded the motion which passed unanimously by voice vote.

9. New Business

There was nothing to be heard under this item.

10. Old Business

There was nothing to be heard under this item.

11. Public to be Heard

Resident Jared Greenberg spoke about being previously cited by the city for having a fence that had been approved by the South Florida Water Management District, and he requested that the Planning & Zoning Board come up with a resolution. Vice Chair Norton stated that staff would research and get back to him within 10 days.

12. Adjourn

There being no further business, the meeting adjourned at 6:24 p.m.

Jim Norton, Vice Chair/Acting Chair

Jasmin De Freese, Deputy City Clerk



Agenda Summary

2025-404

Agenda Date: 8/5/2025

Agenda Item No.: 8.a

Placement: Public Hearing - Quasi Judicial

Action Requested: Motion / Vote

P24-231 Coyne, Dale P. & Gail A. (McDonald's) - Special Exception Use

Location: The property is located at 10180 S. US Highway 1, on the northeast corner of S. US Highway 1 and SE Jennings Road.

Legal Description: St. Lucie Gardens, Block 4, Lot 10

This is a request for a special exception to allow a restaurant with drive-through service lanes, in the General Commercial (CG) zoning district.

Submitted By: Bethany Grubbs, AICP, Senior Planner/Public Art Program

Executive Summary: This is a request for a special exception to allow a restaurant with drive-through service lanes, in the General Commercial (CG) zoning district.

Presentation Information: Staff will provide a presentation.

Staff Recommendation: Move that the Board review the special exception use application and recommend approval, approval with conditions or denial to the City Council.

Background: The City of Port St. Lucie has received a request from Daryl Johnson with Corporate Property Services, Inc., acting as agent for Dayle P. Coyne & Gail A. Coyne, for a special exception to allow a restaurant with drive-through service lanes, in the General Commercial (CG) zoning district per Section 158.124(C)(13) of the Zoning Code. The 1.56-acre property is located at 10180 S. US Highway 1, on the northeast corner of S. US Highway 1 and SE Jennings Road.

The Site Plan Review Committee recommended approval of the concept plan at their May 28, 2025 meeting.

Issues/Analysis: See the attached staff report.

Special Consideration: N/A

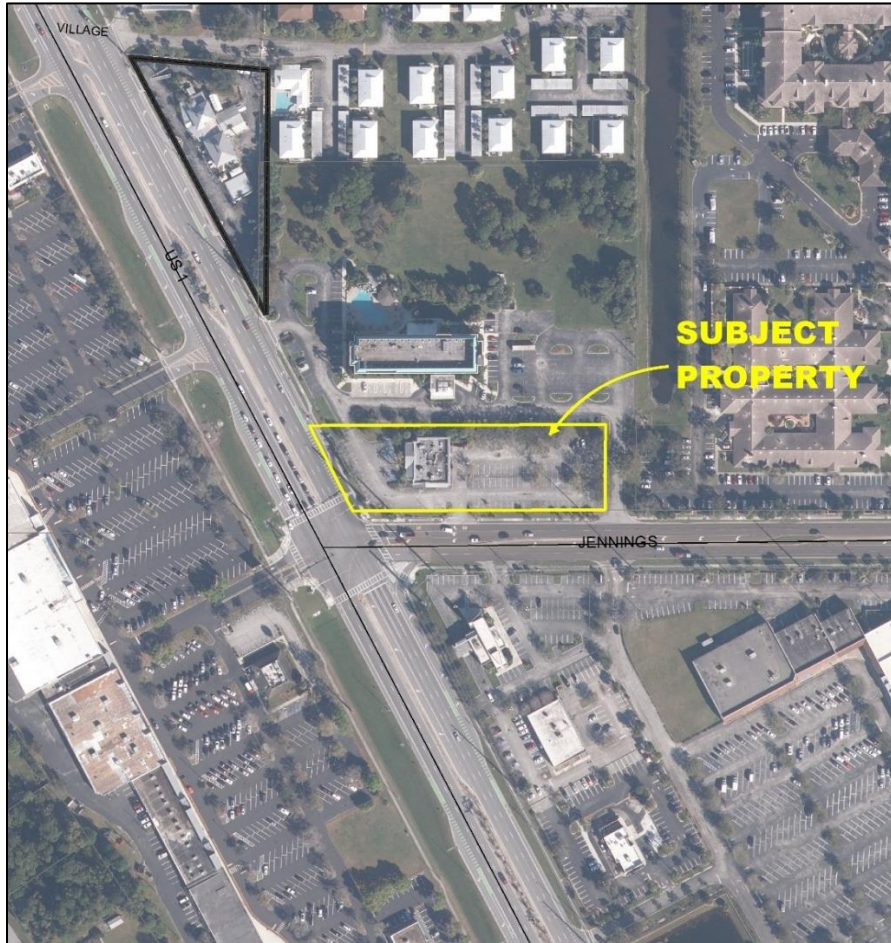
Location of Project: The property is located at 10180 S. US Highway 1, on the northeast corner of S. US Highway 1 and SE Jennings Road

Attachments:

1. Staff Report

2. SEU Criteria Responses
3. Conceptual Site Plan
4. Conceptual Landscape Plan
5. Architectural Building Elevations
6. Application
7. Warranty Deed
8. Agent Authorization Letter
9. Queuing Analysis
10. Public Works Traffic Memo
11. CRA Support Memo
12. Staff Presentation

Coyne, Dale P. & Gail A. (McDonald's)
Special Exception Use
P25-231



Project Aerial Map

SUMMARY

Applicant's Request:	The request is for approval of a Special Exception Use (SEU) to allow a restaurant with drive-through service lanes in the General Commercial (CG) Zoning District, per Section 158.124(C)(13) of the Zoning Code.
Applicant/Property Owner(s):	Dale P. Coyne & Gail A. Coyne
Agent:	Daryl Johnson, Corporate Property Services, Inc.
Location:	The property is located at 10180 S. US Highway 1, at the northeast corner of the intersection of S. US Highway 1 and SE Jennings Road.
Project Planner:	Bethany Grubbs, AICP, Senior Planner/Public Art Program

Project Description

The City of Port St. Lucie has received a request from Daryl Johnson with Corporate Property Services, Inc., acting as the authorized agent for property owners Dayle P. Coyne and Gail A. Coyne, for a Special Exception Use approval to allow a fast-food restaurant with drive-through service lanes. The request is submitted pursuant to Section 158.124(C)(13) of the City's Zoning Code, which permits restaurants with drive-through service as a special exception use within the General Commercial (CG) zoning district.

The subject property is approximately 1.56 acres in size and is located at 10180 S. US Highway 1, positioned at the northeast corner of the intersection of S. US Highway 1 and SE Jennings Road. The site was formerly developed with a Sonny's BBQ restaurant, which is currently closed and will be demolished to accommodate the new development.

The applicant proposes to construct a 3,859-square-foot McDonald's restaurant featuring a dual-lane drive-through and 54 off-street parking spaces. Site improvements will include landscaping enhancements, stormwater management upgrades, new utility connections, and pedestrian access along SE Jennings Road. The project has been designed to meet all applicable land development regulations and to ensure compatibility with surrounding commercial uses.

Public Notice Requirements

Notice of this request for a Special Exception Use was mailed on July 24, 2025, to owners of property within a 750-foot radius of the subject property.

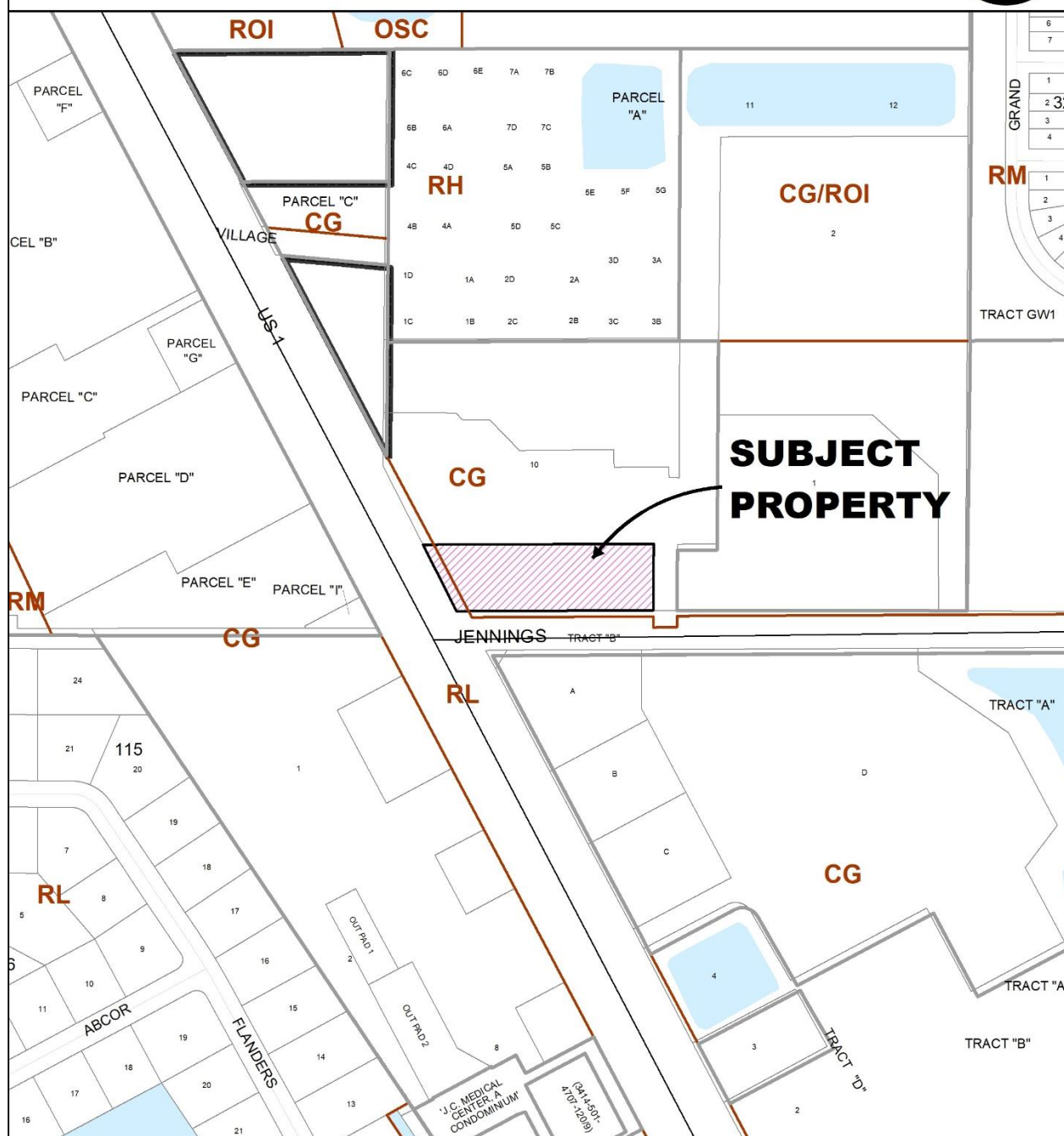
Location and Site Information

Parcel Number:	3414-501-3810-100-1
Property Size:	1.56-acres
Legal Description:	St Lucie Gardens 37 40 Block 4 that part of Lot 10 Lying E of US #1 - Less N 473 Feet and Less E 54 Feet and Less S 40 Feet
Future Land Use:	CG (General Commercial)
Existing Zoning:	CG (General Commercial)
Existing Use:	Vacant restaurant

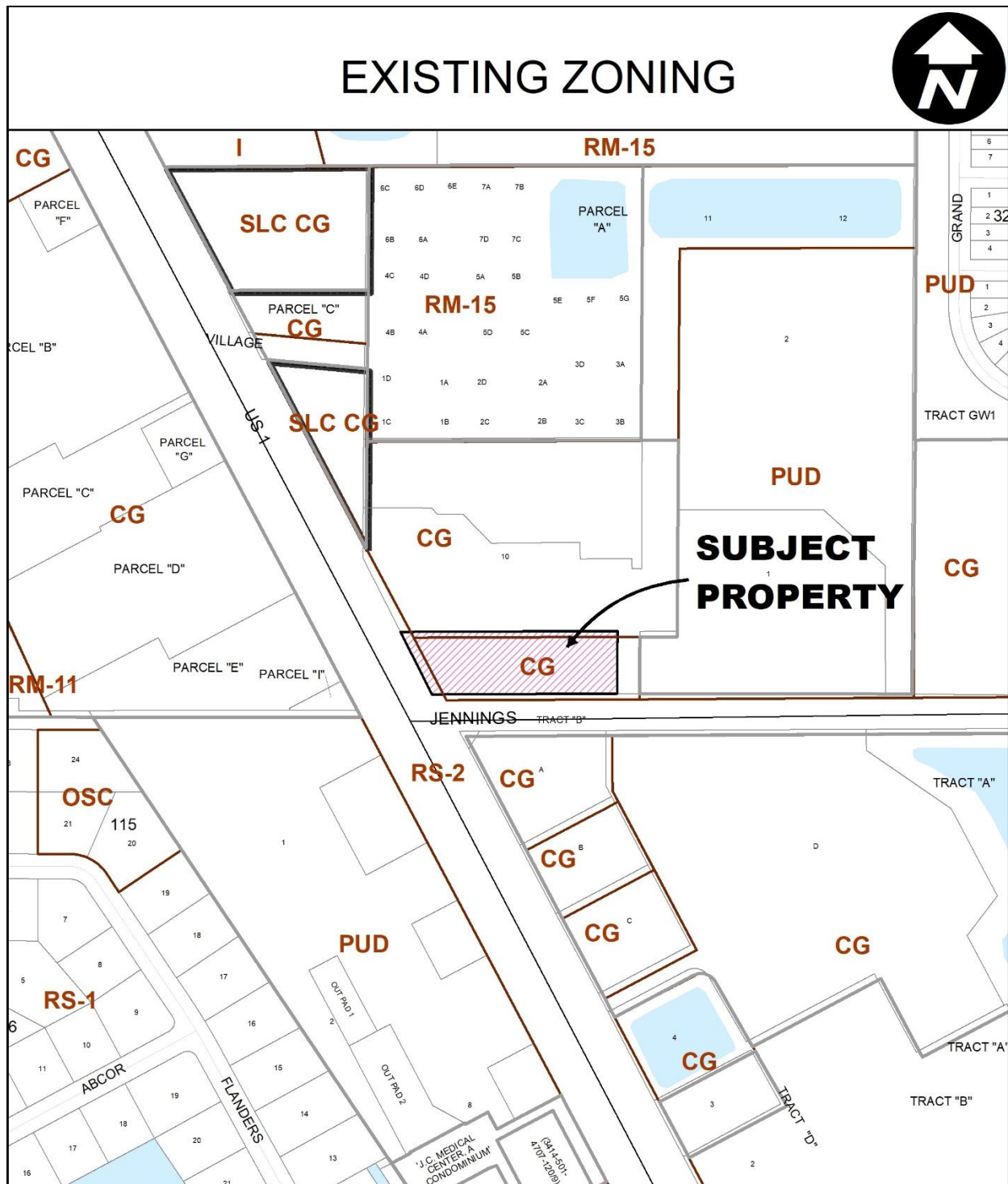
Surrounding Uses

Direction	Future Land Use	Zoning	Existing Use
North	CG	CG	Hotel
South	-----	----	Jennings Road Right-of-Way
East	CG	CG	Nursing Home
West	RL	RS-2	US 1 Right-of-Way

CG-General Commercial, RL-Low Density Residential, RS-2-Single Family Residential



Land Use Map



Zoning Map

PROJECT ANALYSIS

Special exceptions are uses that would only be allowed under certain conditions and are reviewed to be compatible with the existing neighborhood. Approval of a special exception application shall only be granted by the City Council if it meets the criteria established under Section 158.260 (A) through (L) as noted below. The applicant's response to the criteria is attached. Staff's review is provided below.

Evaluation of Special Exception Criteria (Section 158.260)

(A) Adequate ingress and egress may be obtained to and from the property, with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or other emergency.

- Applicant's Response: Vehicular access will be provided via three connection points. Two access points will be provided via internal drives with the parcel to the north and the third via an ingress/egress drive located in the middle of the eastern property line off of S.E. Jennings Road. The curb cut off of S.E. Jennings Road is a right-in/right-out. The site layout proposes one-way traffic around the entire site to promote safe site circulation. In addition, an ADA sidewalk is proposed to connect the building into SE Jennings Road. Pavement markings and signage are also provided throughout the site to ensure safe traffic flow.
- Staff findings: The site provides three points of access, two via internal connections to the parcel to the north and one via a right-in/right-out driveway on SE Jennings Road. The layout promotes safe one-way vehicular circulation around the building and includes ADA pedestrian connectivity, appropriate signage, and pavement markings to ensure safe access for vehicles, pedestrians, and emergency responders.

(B) Adequate off-street parking and loading areas may be provided, without creating undue noise, glare, odor, or other detrimental effects upon adjoining properties.

- Applicant's Response: The off-street parking and loading areas will not create undue noise, glare, odor or detrimental effects upon adjoining properties. The site is heavily landscaped which creates a green screen to adjoining properties. The dumpster is setback away from the adjoining properties and is located in the rear of the property and will be concealed by landscaping and opaque gates. There will be no undue odor to the adjoining properties. There is pedestrian access into the dumpster for safety.
- Staff findings: Adequate off-street parking and loading areas are provided without creating undue noise, glare, odor, or other detrimental effects upon adjoining properties. The use requires 52 parking spaces, which are provided as a combination of 60- and 90-degree angled spaces.

(C) Adequate and properly located utilities are available or may be reasonably provided to serve the proposed development.

- Applicant's Response: The project scope includes site grading, erosion control, and the installation of utilities such as water, sewer and stormwater management systems. Stormwater from the new development will be directed to four proposed inlets, which will then connect to the existing on-site stormwater utility structure that discharges offsite. The proposed stormwater design aligns with the purpose and intent of the original study, which concluded the development would not negatively impact downstream properties. Utilities

will be coordinated with the utility providers to ensure they are properly located and available to serve the McDonald's restaurant.

- Staff findings: Adequate utilities including water, sewer, and stormwater infrastructure are available and will be extended or improved as part of the development. Stormwater runoff will be managed on-site through a system of proposed inlets connecting to existing infrastructure.

(D) Adequate screening or buffering. Additional buffering beyond that which is required by the code may be required in order to protect and provide compatibility with adjoining properties.

- Applicant's Response: McDonald's is proposing additional landscaping along the perimeter of the site that will provide screening, as well as environmental benefits to the adjoining properties, as it is compatible and enhances the aesthetic appeal. McDonald's is proposing to enhance the site with new trees, hedges, shrubs, groundcover and ornamental grasses. The site will meet and/or exceed code requirements and will bring a new vibrant look to the parcel.
- Staff findings: No additional buffering is required as the proposed drive-through windows do not face a roadway. All General Commercial (CG) zoning district building setback and landscape requirements are met which provides adequate screening and buffering.

(E) Signs, if any, and proposed exterior lighting will be designed and arranged so as to promote traffic safety and to eliminate or minimize any undue glare, incompatibility, or disharmony with adjoining properties. Light shields or other screening devices may be required.

- Applicant's Response: The proposed site lighting will not cause glaring on either street. The building wall signage is very minimal and will cause no undue glare on motorists. The monument signs are strategically placed in order to assist motorists in making a safe transition into the site from either roadway. The menu board signs are very minimal in size and will not be seen from either roadway, as they are only intended to assist customers in the drive thru and are not designed to attract customers. All of the site signage and site lighting complies with the Land Development Code and will minimize any and all undue glare, disharmony and incompatibility with adjoining properties or motorists.
- Staff findings: All proposed signage and site lighting shall comply with applicable code requirements. The outdoor lighting will be designed and arranged so that no source of lighting will be a visible nuisance to adjoining roadways or properties. Drive-through menu boards are shielded from view and oriented to serve customers on-site internal to the site.

(F) Yards and open spaces will be adequate to properly serve the proposed development and to ensure compatibility with adjoining properties.

- Applicant's Response: The proposed setbacks and open space within the McDonald's development ensures consistency and compatibility with the adjoining properties; therefore, providing harmony. McDonald's is proposing to enhance the site yards and open spaces with new trees, hedges, shrubs, groundcover and ornamental grass, which will enhance the aesthetic appeal of the proposed McDonald's, while at the same time ensuring compatibility with the adjacent properties.
- Staff findings: The proposed development includes sufficient yard setbacks and open space. No negative impacts to adjacent properties are anticipated.

(G) The use as proposed will be in conformance with all stated provisions and requirements of this chapter.

- Applicant's Response: All design elements of the project will be in compliance with or exceed the Land Development Regulations, and will be consistent with the adjoining, similar commercial uses developed within the same zoning district.
- Staff findings: The proposed Special Exception Use is permitted as defined by Section 158.124(C)(8)-CG (General Commercial) Zoning District and shall conform to all provisions of the City's Zoning Code.

(H) Establishment and operation of the proposed use upon the particular property involved will not impair the health, safety, welfare, or convenience of residents and workers in the City.

- Applicant's Response: The proposed use on this site will be an asset to the City of Port St. Lucie, as it will not impair the safety and welfare of the residents and workers in the community. McDonald's is a community-based restaurant that promotes safety and welfare of its customers and employees. The proposed McDonald's will provide the convenience of employment for the residents of Port St. Lucie, as well as an affordable breakfast, lunch and dinner dining option for the residents.
- Staff findings: By adhering to City Codes and Regulations, the establishment and operation of the proposed use is not anticipated to impair the health, safety, welfare, or convenience of residents and workers in the City.

(I) The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use the facility, or because of the hours of operation, or because of vehicular movement, noise, fume generation, or type of physical activity.

- Applicant's Response: The proposed use will not constitute a nuisance or hazard as the hours of operation are consistent with other previously approved similar uses within the City. Vehicular movements to enter or exit the site will not create any noise or fume generation that will be detrimental to the City, any more than other similar restaurants or commercial uses within Port St. Lucie.
- Staff findings: The proposed development is not expected to generate noise, traffic, or activity levels that would constitute a nuisance. The hours of operation are consistent with similar commercial uses in the area. Queuing for the dual drive-through lanes has been evaluated and can be accommodated entirely on-site without disrupting internal circulation or affecting adjacent roadways. Vehicular movement is typical for this use and is not anticipated to create adverse impacts to nearby properties.

(J) The use as proposed for development will be compatible with the existing or permitted uses of adjacent property. The proximity or separation and potential impact of the proposed use (including size and height of buildings, access location, light and noise) on nearby property will be considered in the submittal and analysis of the request. The City may request project design changes or changes to the proposed use to mitigate the impacts upon adjacent properties and the neighborhood.

- Applicant's Response: The proposed development is compatible with the existing and permitted uses of the adjacent property owners as the scale of this use is similar to adjoining properties, is aesthetically pleasing and will provide a continuous positive impact. The previous Sonny's BBQ was a positive and compatible use with the adjacent properties and McDonald's will also be a great community partner and a compatible neighbor to the adjacent properties.

- Staff findings: The proposed McDonald's drive-through restaurant is compatible with existing and permitted commercial uses on adjacent properties. The scale, design, and intensity of the proposed use are consistent with the surrounding General Commercial (CG) zoning. No adverse impacts are anticipated that would require project modifications at this time.
- (K) As an alternative to reducing the scale and/or magnitude of the project as stipulated in criteria (J) above, the City may deny the request for the proposed use if the use is considered incompatible, too intensive or intrusive upon the nearby area and would result in excessive disturbance or nuisance from the use altering the character of neighborhood.
- Applicant's Response: Acknowledged.
 - Staff findings: Acknowledged.
- (L) Development and operation of the proposed use will be in full compliance with any additional conditions and safeguards which the City Council may prescribe, including but not limited to reasonable time limit within which the action for which special approval is requested shall be begun or completed or both.
- Applicant's Response: Yes, the proposed McDonald's development and operation will be in compliance with any additional conditions and safe guards the City Council may prescribe at the hearing.
 - Staff findings: Acknowledged.

PLANNING AND ZONING BOARD ACTION OPTIONS

If the Board finds that the special exception use application is consistent with the criteria as listed in Section 158.260 (A) through (L) of the City code, then the Board may:

- Motion to recommend approval to the City Council
- Motion to recommend approval to the City Council with conditions

If the board finds that the special exception use application is inconsistent with the criteria as listed in Section 158.260 (A) through (L) of the City code, then the Board may:

- Motion to recommend denial to the City Council

Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to table or continue the hearing or review to a future meeting.



PROJECT NARRATIVE
McDonald's L/C #009-2788
SITE PLAN & SPECIAL EXCEPTION USE
10180 S. US HIGHWAY
Port St Lucie, Florida
December 19, 2024

The 1.56 acres (67,853 square feet) site is located at 10180 S. US Highway in Port St. Lucie, Florida. The property is zoned General Commercial (CG) and has a "Commercial" future land use designation. There is currently an existing, closed Sonny's BBQ building on the parcel, that will be demolished prior to the construction of the proposed McDonald's restaurant. The proposed site plan depicts a 3,859 square McDonald's foot fast food restaurant with a dual drive-thru.

Vehicular access will be provided via three connection points. Two access points will be provided via internal drives with the parcel to the north and the third via an ingress/egress drive located in the middle of the eastern property line, off of S.E. Jennings Road. The curb cut off of S.E. Jennings Road is a right-in/right-out. The site layout proposes one-way traffic around the entire site to promote safe site circulation. The City of Port St. Lucie Land Development Code requires 52 parking spaces and the proposed layout provides 52 parking spaces. The vehicle parking spaces provided consist of a combination of 60-degree and 90-degree angle spaces. The 90-degree angled spaces are proposed primarily on the rear/eastern portion of the site.

The dumpster is located in the rear of the property and will be concealed by landscaping and opaque gates. The trash enclosure walls will be painted to match the main color of the restaurant. There is pedestrian access into the dumpster. In addition, there will be an ADA pedestrian sidewalk from the building to the sidewalk along S.E. Jennings Road.

Many of the existing trees will be preserved. Some will have to be removed in order to accommodate the proposed McDonald's development. McDonald's is proposing to enhance the site with new trees, hedges, shrubs, groundcover and ornamental grasses. The site will meet and/or exceed code requirements and will bring a new vibrant look to the parcel.

The peak drainage flows from the proposed McDonald's development will not exceed those of the site's existing conditions. The project scope includes site grading, erosion control, and the installation of utilities such as water, sewer and stormwater management systems. Stormwater from the new development will be directed to four proposed inlets, which will then connect to the existing on-site stormwater utility structure that discharges offsite. The proposed stormwater design aligns with the purpose and intent of the original study, which concluded the development would not negatively impact downstream properties.

Fast food restaurants today are being developed to meet the changing needs of society. Order taking continues to be the longest process in the drive-thru experience. As McDonald's business has grown over the last few years, the orders placed by the customers have become more complex because of increased meal options. This

Corporate Property Services, Inc.
1239 East Newport Center Drive • Suite 113 • Deerfield Beach, FL 33442
Tel: 954-426-5144 • Fax: 954-570-3391
Land Use Planning • Permit Expediting • Project Management



complexity of orders causes more interactions between the customer and order takers. The net effect is slower order taking per car and less drive-thru capacity. The proposed side-by-side drive thru configuration will not affect the parking lot circulation, but rather will allow vehicles to move through the drive thru process with greater efficiency, while providing better coordination with the kitchen.

McDonald's has designed the development in order to provide paramount service to the community, while keeping the public's safety and welfare in mind. The proposed restaurant will include a modern building façade, along with innovative interior dining room décor, which will enhance service and the customer experience. McDonald's goal is to provide relevant exterior and interior décor and amenity packages within this restaurant. The proposed design elements will strengthen the visual expression of the restaurant, while enhancing their customer experience in the restaurant. The project will further enhance a personal dialogue with their customers and the communities that they are a part of, by providing an environment that defines McDonald's brand and creates an experience which is relevant to the customers and surrounding community.

The proposed use complies with all the Special Exception Uses criteria as stipulated in the provisions of 158.260 of the Port Saint Lucie Land Development Code, as outlined below.

(A) Please explain how adequate ingress and egress will be obtained to and from the property, with particular reference to automotive and pedestrian safety and convenience, traffic flow, and control, and access in case of fire or other emergency.

Response: Vehicular access will be provided via three connection points. Two access points will be provided via internal drives with the parcel to the north and the third via an ingress/egress drive located in the middle of the eastern property line off of S.E. Jennings Road. The curb cut off of S.E. Jennings Road is a right-in/right-out. The site layout proposes one-way traffic around the entire site to promote safe site circulation. In addition, an ADA sidewalk is proposed to connect the building into SE Jennings Road. Pavement markings and signage are also provided throughout the site to ensure safe traffic flow.

(B) Please explain how adequate off-street parking and loading areas will be provided, without creating undue noise, glare, odor or other detrimental effects upon adjoining properties.

Response: The off-street parking and loading areas will not create undue noise, glare, odor or detrimental effects upon adjoining properties. The site is heavily landscaped which creates a green screen to adjoining properties. The dumpster is setback away from the adjoining properties and is located in the rear of the property and will be concealed by landscaping and opaque gates. There will be no undue odor to the adjoining properties. There is pedestrian access into the dumpster for safety.

(C) Please explain how adequate and properly located utilities will be available or will be reasonably provided to serve the proposed development.

Response: The project scope includes site grading, erosion control, and the installation of utilities such as water, sewer and stormwater management systems. Stormwater from the new development will be directed to four proposed inlets, which will then connect to the existing on-site stormwater utility structure that discharges offsite. The proposed stormwater design aligns with the purpose and intent



of the original study, which concluded the development would not negatively impact downstream properties. Utilities will be coordinated with the utility providers to ensure they are properly located and available to serve the McDonald's restaurant.

- (D) Please explain how additional buffering and screening, beyond that which is required by code, will be required in order to protect and provide compatibility with adjoining properties.

Response: McDonald's is proposing additional landscaping along the perimeter of the site that will provide screening, as well as environmental benefits to the adjoining properties, as it is compatible and enhances the aesthetic appeal. McDonald's is proposing to enhance the site with new trees, hedges, shrubs, groundcover and ornamental grasses. The site will meet and/or exceed code requirements and will bring a new vibrant look to the parcel.

- (E) Please explain how signs, if any, and proposed exterior lighting will be so designed and arranged so as to promote traffic safety and to eliminate or minimize any undue glare, incompatibility, or disharmony with adjoining properties. Light shields or other screening devices may be required.

Response: The proposed site lighting will provide footcandles of less than 1.0 adjacent to both US Highway No. 1 and S.W. Jennings Road and create very minimal glare to motorists on either street. The building wall signage is very minimal and will cause no undue glare on motorists. The monument signs are strategically placed in order to assist motorists in making a safe transition into the site from either roadway. The menu board signs are very minimal in size and will not be seen from either roadway, as they are only intended to assist customers in the drive thru and are not designed to attract customers. All of the site signage and site lighting complies with the Land Development Code and will minimize any and all undue glare, disharmony and incompatibility with adjoining properties or motorists.

- (F) Please explain how yards and open spaces will be adequate to properly serve the proposed development and to ensure compatibility with adjoining properties.

Response: The proposed setbacks and open space within the McDonald's development ensures consistency and compatibility with the adjoining properties; therefore, providing harmony. McDonald's is proposing to enhance the site yards and open spaces with new trees, hedges, shrubs, groundcover and ornamental grass, which will enhance the aesthetic appeal of the proposed McDonald's, while at the same time ensuring compatibility with the adjacent properties.

- (G) Please explain how the use, as proposed will be in conformance with all stated provisions and requirements of the City's Land Development Regulation.

Response: All design elements of the project will be in compliance with or exceed the Land Development Regulations, and will be consistent with the adjoining, similar commercial uses developed within the same zoning district.



- (H) Please explain how establishment and operation of the proposed use upon the particular property involved will not impair the health, safety, welfare, or convenience of residents and workers in the City.

Response: The proposed use on this site will be an asset to the City of Port St. Lucie, as it will not impair the safety and welfare of the residents and workers in the community. McDonald's is a community-based restaurant that promotes safety and welfare of its customers and employees. The proposed McDonald's will provide the convenience of employment for the residents of Port St. Lucie, as well as an affordable breakfast, lunch and dinner dining option for the residents.

- (I) Please explain how the proposed use will not constitute a nuisance or hazard because the number of persons who will attend or use the facility, or because of the hours of operation, or because of vehicular movement, noise, fume generation, or type of physical activity.

Response: The proposed use will not constitute a nuisance or hazard as the hours of operation are consistent with other previously approved similar uses within the City. Vehicular movements to enter or exit the site will not create any noise or fume generation that will be detrimental to the City, any more than other similar restaurants or commercial uses within Port St. Lucie.

- (J) Please explain how the use, as proposed for development, will be compatible with the existing or permitted uses of adjacent property. The proximity or separation and potential impact of the proposed use (including size and height of buildings, access, location, light and noise) on nearby property will be considered in the submittal and analysis of the request. The City may request project design changes or changes to the proposed use to mitigate the impacts upon adjacent properties and the neighborhood.

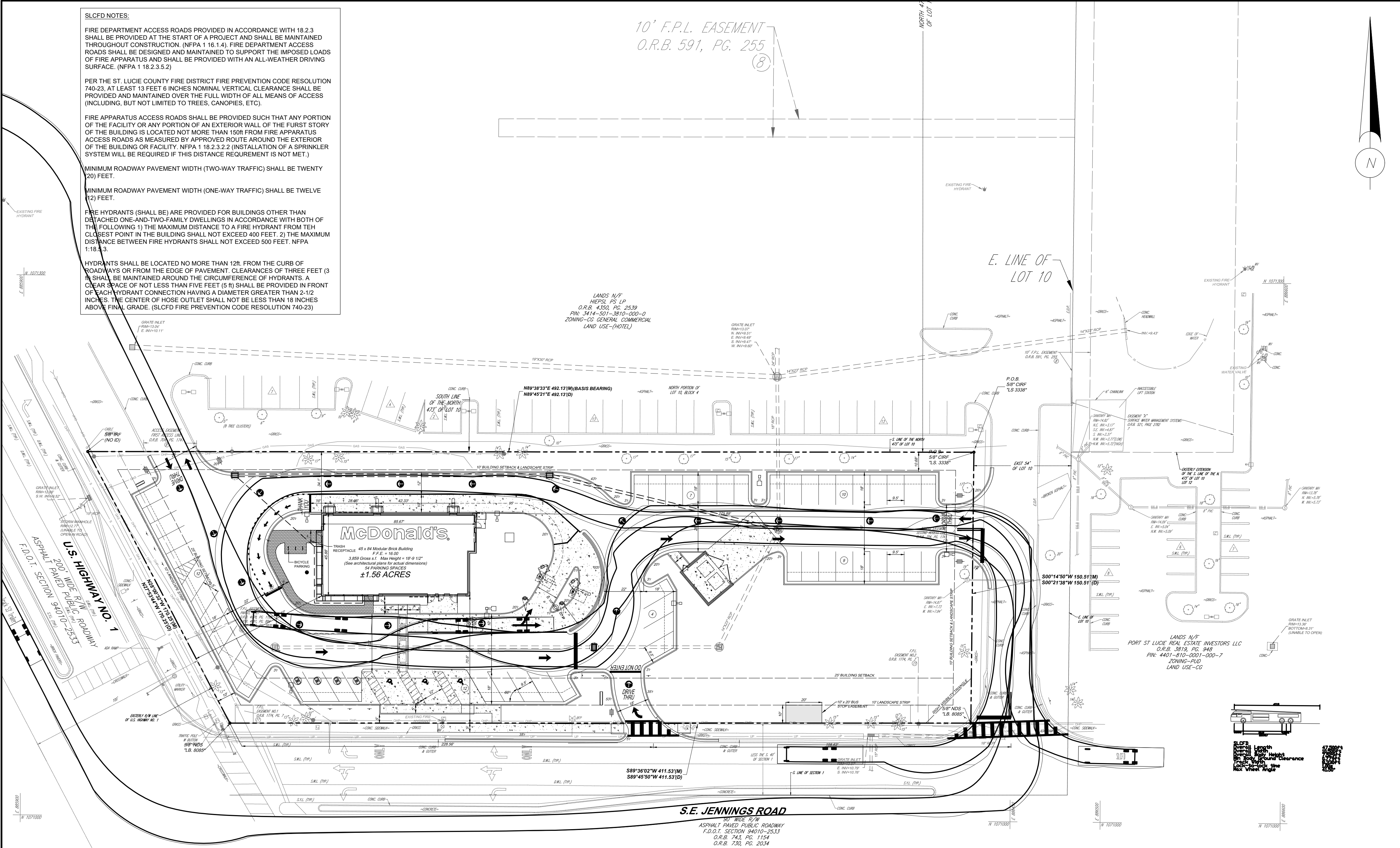
Response: The proposed development is compatible with the existing and permitted uses of the adjacent property owners as the scale of this use is similar to adjoining properties, is aesthetically pleasing and will provide a continuous positive impact. The previous Sonny's BBQ was a positive and compatible use with the adjacent properties and McDonald's will also be a great community partner and a compatible neighbor to the adjacent properties.

- (K) As an alternative to reducing the scale and/or magnitude of the project as stipulated in criteria (J) above, the City may deny the request for the proposed use if the use is considered incompatible, too intensive or intrusive upon the nearby area and would result in excessive disturbance or nuisance from the use altering the character of neighborhood. to properly serve the proposed development and to ensure compatibility with adjoining properties.

Response: Acknowledged.

- (L) Development and operation of the proposed use will be in full compliance with any additional conditions and safeguards which the City Council may prescribe, including but not limited to reasonable time limit within which the action for which special approval is requested shall be begin or completed or both.

Response: Yes, the proposed McDonald's development and operation will be in compliance with any additional conditions and safe guards the City Council may prescribe at the hearing.



SLOFD NOTES:

FIRE DEPARTMENT ACCESS ROADS PROVIDED IN ACCORDANCE WITH 18.2.3 SHALL BE PROVIDED AT THE START OF A PROJECT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. (NFPA 116.1.4). FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE. (NFPA 118.2.3.5.2)

PER THE ST. LUCIE COUNTY FIRE DISTRICT FIRE PREVENTION CODE RESOLUTION 740-23, AT LEAST 13 FEET 6 INCHES NOMINAL VERTICAL CLEARANCE SHALL BE PROVIDED AND MAINTAINED OVER THE FULL WIDTH OF ALL MEANS OF ACCESS (INCLUDING, BUT NOT LIMITED TO TREES, CANOPIES, ETC.)

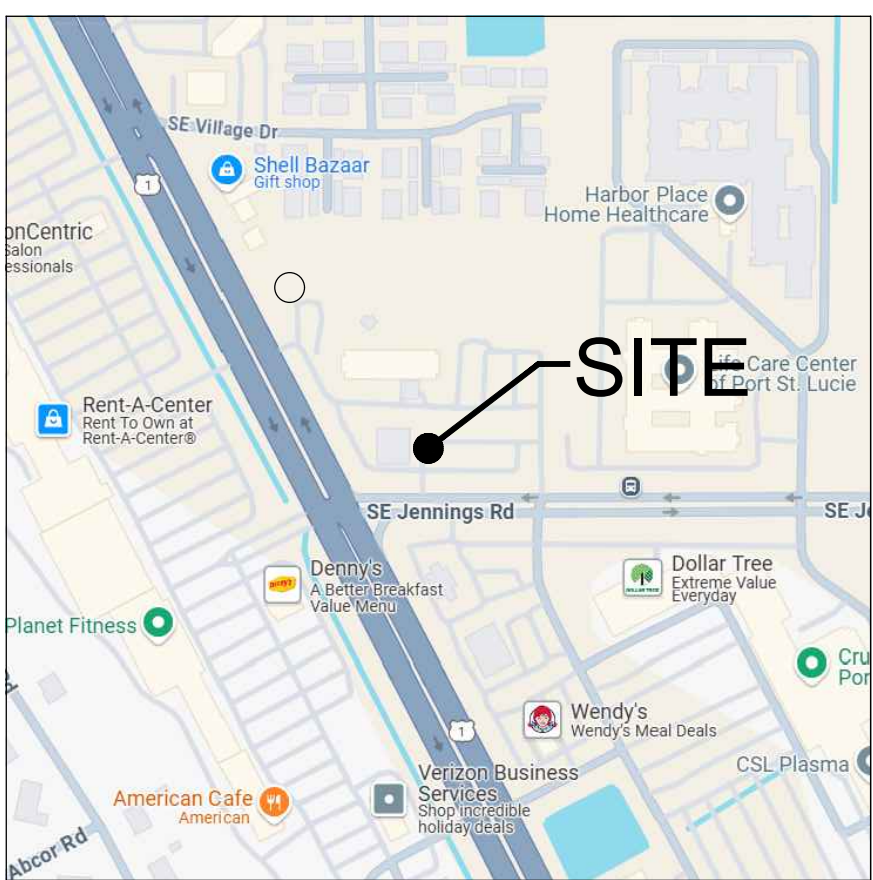
FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED SUCH THAT ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED NOT MORE THAN 150' FROM FIRE APPARATUS ACCESS ROADS AS MEASURED BY APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY. NFPA 118.2.3.2 (INSTALLATION OF A SPRINKLER SYSTEM WILL BE REQUIRED IF THIS DISTANCE REQUIREMENT IS NOT MET.)

MINIMUM ROADWAY PAVEMENT WIDTH (TWO-WAY TRAFFIC) SHALL BE TWENTY (20) FEET.

MINIMUM ROADWAY PAVEMENT WIDTH (ONE-WAY TRAFFIC) SHALL BE TWELVE (12) FEET.

FIRE HYDRANTS (SHALL BE) ARE PROVIDED FOR BUILDINGS OTHER THAN DETACHED ONE-AND-TWO-FAMILY DWELLINGS IN ACCORDANCE WITH BOTH OF THE FOLLOWING: 1) THE MAXIMUM DISTANCE TO A FIRE HYDRANT FROM THE CLOSEST POINT IN THE BUILDING SHALL NOT EXCEED 400 FEET. 2) THE MAXIMUM DISTANCE BETWEEN FIRE HYDRANTS SHALL NOT EXCEED 500 FEET. NFPA 118.2.3.3.

HYDRANTS SHALL BE LOCATED NO MORE THAN 12' FROM THE CURB OF ROADWAYS OR FROM THE EDGE OF PAVEMENT. CLEARANCES OF THREE FEET (3') SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS. A CLEAR SPACE OF NOT LESS THAN FIVE FEET (5') SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 2-1/2 INCHES. THE CENTER OF HOSE OUTLET SHALL NOT BE LESS THAN 18 INCHES ABOVE FINAL GRADE. (SLOFD FIRE PREVENTION CODE RESOLUTION 740-23)



LOCATION MAP

PROJECT NOTES:

DEVELOPER:
MCDONALD'S USA, LLC
110 NORTH CARPENTER STREET
CHICAGO, ILLINOIS 60607
PHONE: (878) 546-0446
CONTACT: KIM ERNEST

ENGINEER:
INTEGRITY ENGINEERING & DEVELOPMENT SERVICES, INC.
ENGINEERING FIRM LICENSE # 31520
3615 BRASELTON HIGHWAY, SUITE 201
DACLIA, GEORGIA 30019
PHONE: (878) 546-0446
CONTACT: ANTHONY LYNCH, P.E.
E-MAIL ADDRESS: anthony@integrityeng.net

PROPERTY LOCATED IN LOT 10, BLOCK 4, PLAT NO. 1, ST. LUCIE COUNTY, PORT ST. LUCIE FLORIDA PARCEL NO. 3414-501-3810-100-1.

ZONING: CG - COMMERCIAL GENERAL

FUTURE LAND USE DESIGNATION: CG - COMMERCIAL GENERAL

BUILDING SETBACKS:

FRONT- 25'

SIDE- 25' right, 10' left

REAR- 10'

PROPOSED USE IS MCDONALD'S RESTAURANT.

PROPOSED BUILDING HEIGHT 18'-9" 1/2".

TOTAL TRACT CONTAINS 1.56 ACRES.

IMPERVIOUS AREA: 0.83ac (53.6%)

PERVIOUS AREA: 0.63ac (40.4%)

BOUNDARY INFORMATION OBTAINED FROM SURVEY BY BOHLER ENGINEERING

TOPOGRAPHICAL INFORMATION OBTAINED FROM SURVEY BY BOHLER ENGINEERING

VERTICAL DATUM FOR TOPOGRAPHY IS MEAN SEA LEVEL BASED ON NAVD88

CONTOUR INTERVAL IS ONE (1) FEET.

THIS PROPERTY IS SHOWN ON F.I.R.M. PANEL NUMBER 12111C0293K, DATED 2-19-2020 AND IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE.

THE LOCATION OF UNDERGROUND UTILITIES SHOWN IS APPROXIMATE BASED ON SURFACE FIELD EVIDENCE AND INFORMATION SUPPLIED BY UTILITY AGENCIES. THE SURVEY MAKES NO CERTIFICATION AS TO THE COMPLETENESS OF THE LOCATIONS SHOWN HEREON. APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF LOCATIONS PRIOR TO ANY CONSTRUCTION ACTIVITY.

THE CONTRACTOR SHALL VERIFY THE INVERT ELEVATIONS OF ALL EXISTING STORM AND SANITARY SEWER STRUCTURES PRIOR TO COMMENCEMENT OF STORM AND SANITARY SEWER CONSTRUCTION.

CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER/DEVELOPER OF ANY INFORMATION FOUND IN THE FIELD THAT IS DIFFERENT FROM WHAT IS SHOWN ON THESE DESIGN PLANS.

PARKING DATA

REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM PARKING REQUIRED	1 SPACE PER 75 S.F. 3,859 / 75 = 52 SPACES	54 SPACES
MINIMUM BICYCLE PARKING REQUIRED	6 SPACES	6 SPACES

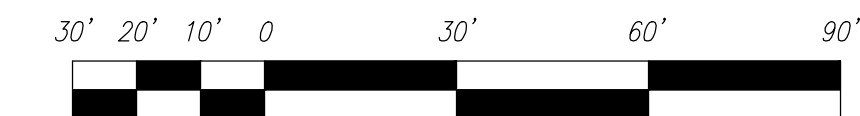
NOTE:

THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH THE CITY CODE SECTION 41.08 (g).

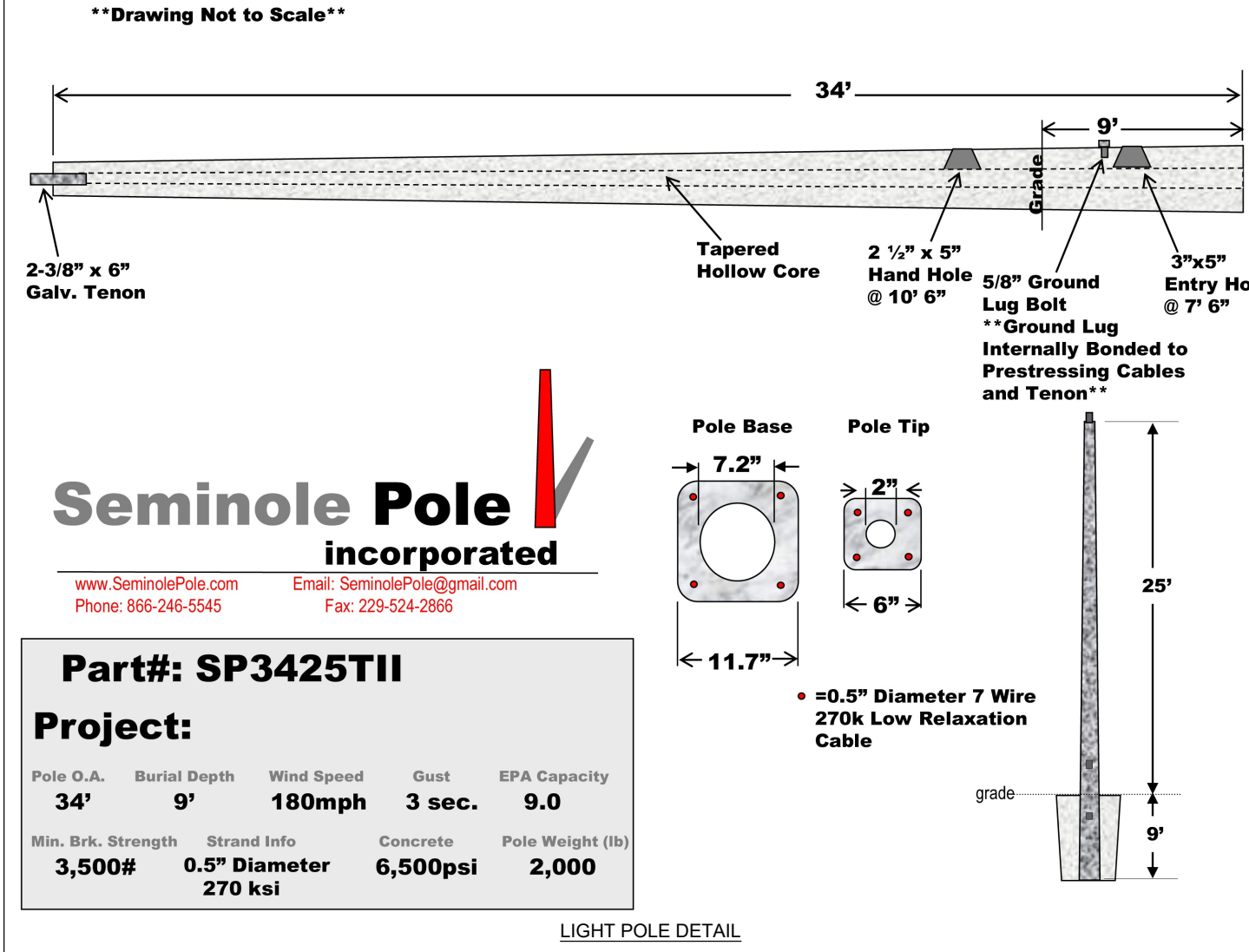
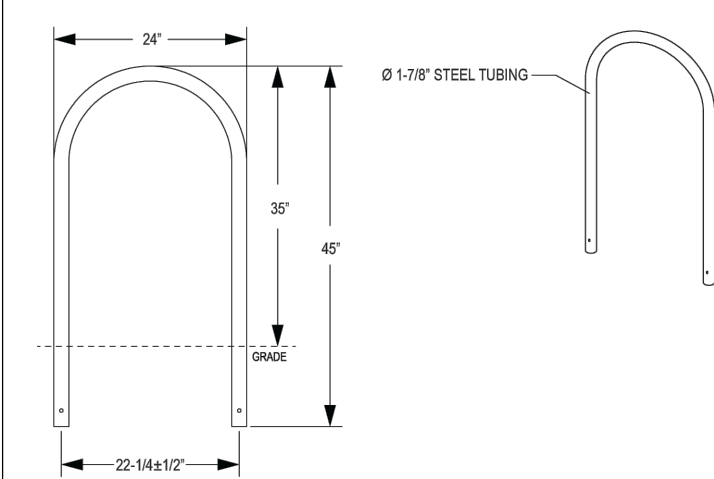
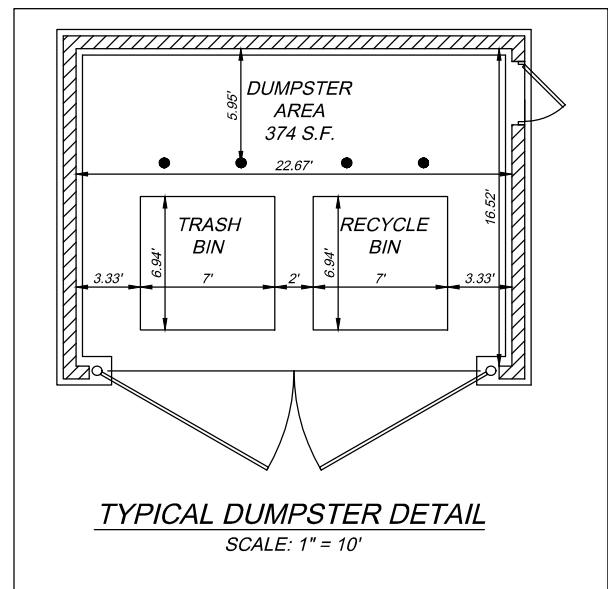
NEEDED FIRE FLOW (NFF) CALCULATIONS

	CALCULATED REQUIRED
FIRE CODE- FFFC, 7th Edition	
BUILDING CONSTRUCTION TYPE- VB (Unprotected)	3,859
BUILDING AREA (s.f.) FOR FIRE FLOW CALCULATIONS- 3,859	
FIRE FLOW REQUIREMENTS- 1750	
IS BUILDING SPRINKLED- NO	
BUILDING SPRINKLERED PER NFPA-13- N/A	
RESULTING EFFECTIVE FIRE FLOW REQUIREMENTS- N/A	
FIRE SPRINKLER SYSTEM UTILIZES "QUICK RESPONSE" SPRINKLERS- N/A	
MINIMUM NEEDED FIRE FLOW @ 20 psi residual (GPM)- 1750	
FIRE FLOW PROVIDED (GPM)- 2,000	
(based on 2 hydrants)	
FIRE FLOW CALCULATIONS FOR THIS BUILDING HAVE BEEN DETERMINED BASED ON THE FLORIDA FIRE PREVENTION CODE, 7th Edition, Section 18.4.5.3 "BUILDINGS OTHER THAN ONE AND TWO-FAMILY DWELLINGS, SECTION 18.4.5.3.1 AND TABLE 18.4.5.2.1 AS DIRECTED.	

CITY OF PORT ST. LUCIE PROJECT NO. (P24-231)
PSLUSD PROJECT NO. (11-056-00)



GRAPHIC SCALE
SCALE 1" = 30'



EXISTING IMPERVIOUS CALCULATIONS:	
BUILDING:	0.16 ac. 10.3 %
PAVEMENT:	1.05 ac. 67.3 %
OPEN SPACE:	0.35 ac. 22.4 %
TOTAL SITE:	1.56 ac. 100.0 %
TOTAL IMPERVIOUS:	1.21 ac. 77.6 %
PROPOSED IMPERVIOUS CALCULATIONS:	
BUILDING:	0.09 ac. 5.7 %
PAVEMENT:	0.84 ac. 53.9 %
OPEN SPACE:	0.63 ac. 40.4 %
TOTAL SITE:	1.56 ac. 100.0 %
TOTAL IMPERVIOUS:	0.93 ac. 59.6 %
NET DECREASE OF IMPERVIOUS: 0.28 AC - 18.0%	

DRAINAGE STATEMENT:

DRAINAGE WILL BE COLLECTED IN THE ON-SITE EXISTING AND PROPOSED STORMWATER CONVEYANCE SYSTEM AND ROUTED TO OFF-SITE STORMWATER MANAGEMENT POND TO THE NORTHEAST. ATTENUATION AND WATER QUALITY HAS BEEN PROVIDED IN EXISTING OFF-SITE MASTER POND.

ENVIRONMENTAL STATEMENT:

A PHASE I ENVIRONMENTAL SITE ASSESSMENT WAS CONDUCTED FOR THIS SITE BY UES DATED 10-15-24 IN CONFORMANCE WITH THE LIMITATIONS OF ASTM PRACTICE E1527-21 AND CONCLUDED THERE ARE NO RECOGNIZED ENVIRONMENTAL CONTROLLED RECOGNIZED ENVIRONMENTAL CONDITIONS, OR HAZARDOUS DATA GAPS IN CONNECTION WITH THE PROPERTY.

HAZARDOUS WASTE STATEMENT:

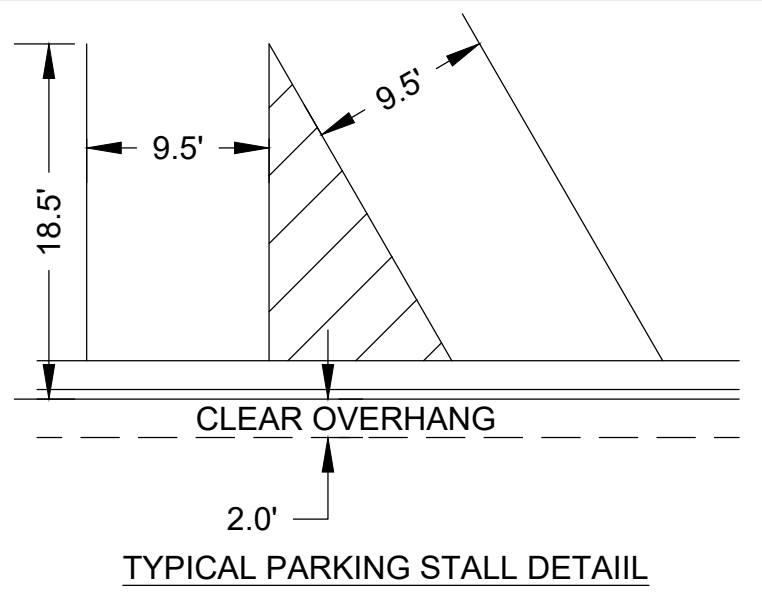
THERE IS NO HAZARDOUS WASTE GENERATION ASSOCIATED WITH THE PROPOSED PROJECT.

SOLID WASTE STATEMENT:

SOLID WASTE WILL BE STORED ON-SITE IN DESIGNATED TRASH AND RECYCLE CONTAINERS WITHIN THE DUMPSTER ENCLOSURE. SOLID WASTE WILL BE COLLECTED AND DISPOSED BY A CERTIFIED LICENSED WASTE MANAGEMENT COMPANY.

WELL FIELD PROTECTION STATEMENT:

THERE ARE NO KNOWN WELL FIELDS WITHIN THE SITE OR SURROUNDING PROPERTIES.



TRAFFIC STATEMENT:

The traffic generation of the proposed development was calculated using the Institute of Transportation Engineers (ITE) Trip Generation Manual, 1st Edition. The pass-by percentage was derived from the Appendixes of the ITE Trip Generation Handbook, 1st Edition.

ITE Code 934 presents pass-by rates for fast food restaurants with drive-through service and indoor seating, with observed averages of 50% for the AM and 50% for the PM. For the daily rate, an average of the AM and PM rates (50.5%) was used. It should be noted that the pass-by rate applies only to off-site intersections and is not used for the queue analysis. The trip generation for the project is summarized in Table 1 and the ITE information sheets are provided in Appendix B.

Table 1 Trip Generation Summary												
ITE Code	Land Use	Size	Daily			AM Peak Hour			PM Peak Hour			
			Rate	Trips	Rate	Total	Enter	Exit	Rate	Total	Enter	Exit
934	Fast Food Restaurant with Drive-Through Window	3,850 SF	467.48	1,804	44.61	172	88	84	33.03	127	66	61
Pass-By Percentages (Daily 52.0%, AM 50%, PM 50%)												
			947			86	44	72	36	34		
No New External Intersections												
			857			86	44	72	37	30	27	

The proposed development is projected to generate 857 net new daily trips, of which 86 trips occur during the AM peak hour and 57 trips occur during the PM peak hour.



NO.	DATE:	DESCRIPTION
1	12/12/24	SUBMIT TO PORT ST. LUCIE
2	04/08/25	RESUBMIT TO PORT ST. LUCIE
3	05/13/25	SUBMIT FOR BRAND REVIEW
4	06/10/25	

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY H. ANTHONY LYNCH, P.E. THE SIGNATURE IS ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT VALID. THE SIGNATURE MUST BE VERIFIED BY ELECTRONIC COPIES.

H. ANTHONY LYNCH, P.E.
NO. 70149

McDonald's USA, L.L.C.
110 North Carpenter Street, Chicago, IL 60607

McDonald's
10180 S.U.S. HWY 1
PORT ST. LUCIE,
FLORIDA 34952
PIN # 3414-501-3810-100-1
LOT 10, BLOCK 4, PLAT NO. 1,
ST. LUCIE COUNTY
ZONED: CG - COMMERCIAL
GENERAL

MCD STATE SITE CODE:
09-2788

IEDS PROJECT NUMBER:
MCD-24129

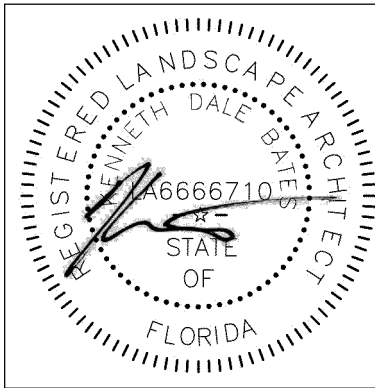
SHEET TITLE:
CONCEPTUAL PLAN

SHEET NUMBER
C-0.0

NO.	DATE:	ISSUE	
		DESCRIPTION	
1	04/04/25	RESPONSE TO PSLUSD AND PSL P&Z REVIEW COMMENTS	
2	07/03/25	RESPONSE TO PSLUSD REVIEW COMMENTS	
3			
4			

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McDonald's USA, L.L.C.
110 North Carpenter Street, Chicago, IL 60607

This site plan was prepared by the undersigned professional engineer, Donald A. Jennings, P.E., on 04/04/25. It is a true and correct copy of the original design as shown on the plans. The engineer is not responsible for any errors or omissions in the plans or for any consequences arising from the use of the plans. The engineer is not responsible for any construction or installation of the plans or for any consequences arising from the use of the plans. The engineer is not responsible for any construction or installation of the plans or for any consequences arising from the use of the plans.

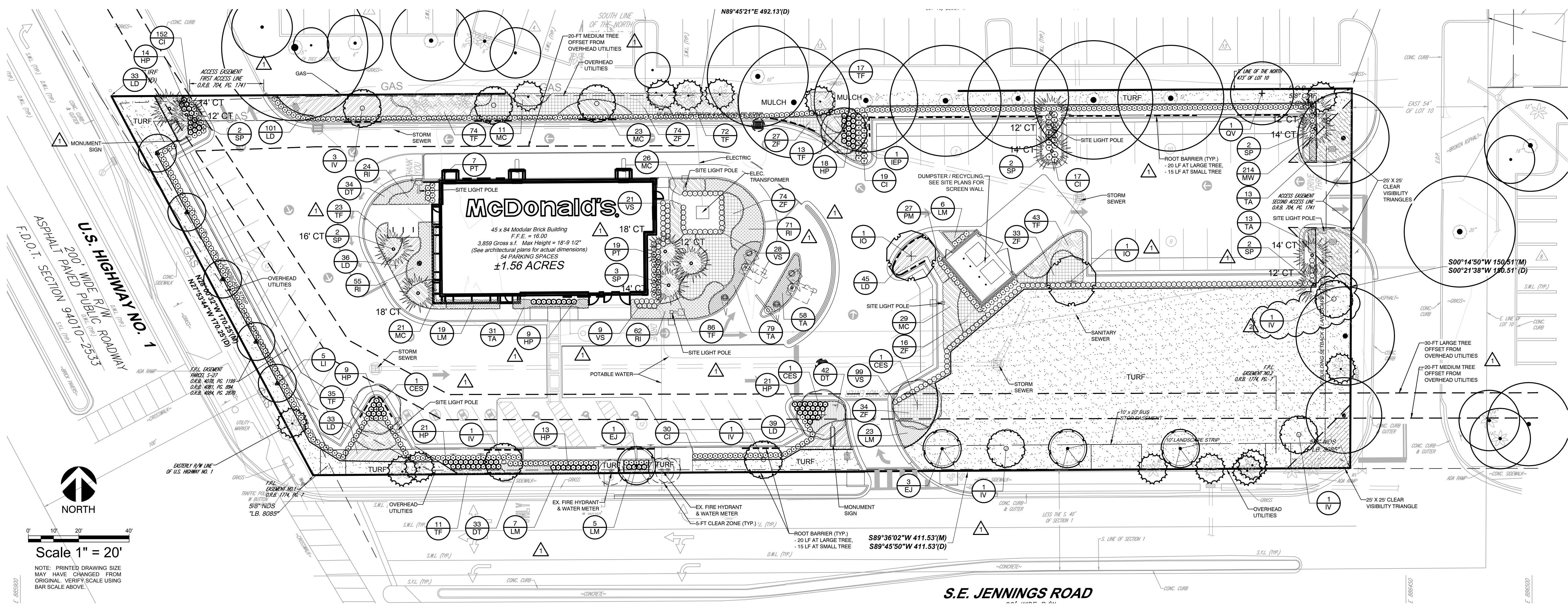
McDonald's
10180 S.U. HWY 1
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FLORIDA 34952
PIN # 3414-501-3810-100-1
LOT 10, BLOCK 4, PLAT NO. 1,
ST. LUCIE COUNTY
ZONED: GC - GENERAL
COMMERCIAL

MCD STATE SITE CODE:
09-2788

IEDS PROJECT NUMBER:
MCD-24129

SHEET TITLE:
LANDSCAPE PLAN

SHEET
NUMBER **LP-1**



IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON THE LOWEST QUALITY WATER AVAILABLE, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF ANY POTABLE SOURCE, IF APPLICABLE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

PSLUSD LANDSCAPING NOTES

1. NO LANDSCAPING SHALL BE PLANTED IN A MANNER THAT WOULD ADVERSELY AFFECT UTILITY EASEMENTS. LANDSCAPING SHALL BE IN COMPLIANCE WITH CHAPTER 154 OF THE CITY OF PORT ST. LUCIE CODE OF ORDINANCES, PSLUSD TECHNICAL SPECIFICATIONS AND POLICIES.
2. ALL LANDSCAPING WITHIN CITY UTILITY EASEMENTS SHALL COMPLY WITH PSLUSD TECHNICAL SPECIFICATIONS, POLICIES, AND CODES.
3. TREES SHALL NOT BE PLANTED WITHIN TEN (10) FEET OF ANY PSLUSD UNDERGROUND INFRASTRUCTURE.
4. NO LANDSCAPING OTHER THAN SOD GRASSES SHALL BE LOCATED WITHIN 5' OF A PSLUSD APPURTENANCE SUCH AS A WATER METER ASSEMBLY, BACKFLOW DEVICE, FIRE HYDRANT OR SEWER CLEANOUT, ETC.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

GENERAL GRADING AND PLANTING NOTES

1. ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER ACCORDING TO GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION AT TIME OF INSTALLATION.
2. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
4. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADDED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
5. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
6. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER/ PATTERNS) SHALL TAKE PRECEDENCE. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
7. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
8. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
9. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ALL EXISTING INVASIVE EXOTIC PLANTS, AS LISTED ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S INVASIVE PLANT SPECIES LIST, SHALL BE REMOVED

LANDSCAPE CALCULATIONS

JURISDICTION:	CITY OF PORT ST. LUCIE, FL
GROSS SITE AREA:	68,076 SF / 1.56 AC
SUBJECT PARCEL ZONING:	GC - GENERAL COMMERCIAL
TREES REQUIRED & PROVIDED:	57 TREES, INCLUDING: 42 SITE PERIMETER TREES (17 NEW + 25 EXISTING) 1 10 PARKING ISLAND TREES 5 FOUNDATION TREES 100% PROVIDED (50% REQUIRED) 75% PROVIDED (50% REQUIRED) NATIVE SHRUB SPECIES: 22% PROVIDED (25% REQUIRED) 22% PROVIDED (20% REQUIRED) LANDSCAPE ISLAND EVERGREEN SHADE: 1 100% PROVIDED (75% REQUIRED): 6 TREES + 8 PALMS 14.8% OF NEW TREES (4 TREE REQUIREMENTS OF 27) PALM TREE SUBSTITUTIONS: 7 TREE + 1 PALM SPECIES PROVIDED (5 REQUIRED)
TOTAL LANDSCAPE AREA:	27,225 SF
MAXIMUM TURF AREA ALLOWED:	13,613 SF (50% OF LSA)
LANDSCAPE TURF AREA PROVIDED:	13,566 SF
F.P.L. EASEMENT AREA TURF PROVIDED:	1,467 SF
SITE PERIMETER LANDSCAPING	
NORTH:	492.13 LF
TREES REQUIRED:	17 TREES (1 TREE / 30 LF)
TREES PROVIDED:	17 = 4 NEW TREES + 6 EX. TREES + 7 EX. PALMS 1
CONTINUOUS HEDGE:	PROVIDED; 2-FT HEIGHT AT PLANTING
EAST:	150.51 LF
TREES REQUIRED:	5 TREES (1 TREE / 30 LF)
TREES PROVIDED:	5 = 3 EXISTING TREES + 1 EXISTING PALM + 1 NEW TREE
CONTINUOUS HEDGE:	PROVIDED; 2-FT HEIGHT AT PLANTING
SOUTH:	411.53 LF - EXCLUDES INGRESS/EGRESS ACCESS DRIVES
TREES REQUIRED:	14 TREES (1 TREE / 30 LF)
TREES PROVIDED:	14 = 8 NEW TREES + 6 EXISTING PALMS 1
CONTINUOUS HEDGE:	PROVIDED; 2-FT HEIGHT AT PLANTING
WEST:	170.25 LF - EXCLUDES INGRESS/EGRESS ACCESS DRIVES
TREES REQUIRED:	6 TREES (1 TREE / 30 LF)
TREES PROVIDED:	6 = 5 NEW SMALL TREES* + 1 EXISTING PALM
CONTINUOUS HEDGE:	PROVIDED; 2-FT HEIGHT AT PLANTING
PARKING AREA INTERIOR LANDSCAPING	
TREES REQUIRED:	10 TREES (1 TREE / ISLAND)
TREES PROVIDED:	6 TREES + 8 PALMS (2-1 CREDIT FOR TREE)
SHRUBS & GROUNDCOVERS:	100% COVERAGE PROVIDED
BUILDING FACADE LANDSCAPING	
BUILDING PERIMETER:	145 LF (EXCLUDES ENTRY/EXIT POINTS)
TREES/PALMS REQUIRED:	5 TREES (1 TREE/PALM PER 30 LF)
TREES PROVIDED:	5 TREES (5 PALMS)
SHRUBS REQUIRED:	73 SHRUBS (1 SHRUB PER 2 LF)
SHRUBS PROVIDED:	>73 SHRUBS

PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	SPACING	QUANTITY	NATIVE	DROUGHT TOLERANCE
TREES							
1	CES	Conocarpus erectus var. sericea	Silver Buttonwood	12'-14' ht., 5'-6' sprd., 2.5" cal. min.	per plan	3	YES HIGH
	EJ	Eriobotrya japonica	Loquat	12'-14' ht., 5'-6' sprd., 2.5" cal. min.	per plan	4	NO HIGH
	IEP	Ilex x attenuata 'East Palatka'	East Palatka Holly	12'-14' ht., 5'-6' sprd., 2.5" cal. min.	per plan	1	YES MEDIUM
	IO	Ilex opaca	American Holly	12'-14' ht., 5'-6' sprd., 2.5" cal. min.	per plan	2	YES HIGH
	IV	Ilex vomitoria	Yaupon Holly	12' ht., 5' sprd., 3 trunks, 3"agg. cal.	per plan	8	YES HIGH
	LI	Lagerstroemia indica 'Tuskegee'	Dark Pink Crape Myrtle	12' ht., 5' sprd., 3 trunks, 3"agg. cal.	per plan	5	NO HIGH
	QV	Quercus virginiana 'Qvita'	Highrise Oak	12'-14' ht., 5'-6' sprd., 2.5" cal. min.	per plan	1	YES HIGH
NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECIFICATIONS FOR PROPER ROOT QUALITY.							
PALMS							
SP	Sabal palmetto	Cabbage Palm	see plan for c.t. heights	per plan	13	YES	HIGH
SHRUB HEDGES							
CI	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	24" ht. min., Full	24" o.c.	218	YES	MEDIUM
HP	Hamelia patens	Firebush	24" ht. min., Full	24" o.c.	105	YES	MEDIUM
MW	Myrica cerifera	Wax Myrtle	24" ht. min., Full	24" o.c.	214	YES	MEDIUM
PM	Podocarpus macrophyllus	Japanese Yew	24" ht. min., Full	24" o.c.	27	NO	MEDIUM
PT	Pittosporum tobira	Pittosporum	24" ht. min., Full	24" o.c.	26	NO	MEDIUM
VS	Viburnum suspensum	Sandankwa Viburnum	24" ht. min., Full	24" o.c.	157	NO	MEDIUM
SHRUBS / GROUNDCOVERS / ORNAMENTAL GRASSES							
DT	Dianella tasmanica	Variegated Flax Lily	1 gal., 12" ht. min.	18" o.c.	109	NO	MEDIUM
LM	Liriope muscari 'Evergreen Giant'	Lilyturf	1 gal., 12" ht. min., 8-10 pips/pot	24" o.c.	60	NO	MEDIUM
LD	Lantana depressa var. depressa	Gold Lantana	1 gal., 12" ht. min., Full	24" o.c.	287	YES	HIGH
MC	Muhlenbergia capillaris	Muhly Grass	1 gal., 12" ht. min.	30" o.c.	110	YES	HIGH
RI	Rhaphiophis indica	Indian Hawthorn	3 gal., 12" ht. min.	24" o.c.	212	NO	MEDIUM
TA	Trachelospermum asiaticum	Asiatic Jasmine	1 gal.	18" o.c.	194	NO	MEDIUM
TF	Tripsacum floridana	Dwarf Fakahatchee Grass	1 gal., 12" ht. min.	24" o.c.	374	YES	MEDIUM
ZF	Zamia floridana	Coontie	1 gal., 12" ht. min.	30" o.c.	258	YES	HIGH
TURF							
	Paspalum notatum	Argentine Bahiagrass	Sod	---	---	NO	MEDIUM

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED) IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.

CYPRESS MULCH SHALL NOT BE USED.

APPROVED BUILDING COLOR (TABLE A-1) - FRONT ELEVATION			
MATERIAL	SW COLOR	MAX %	APPLIED%
STUCCO FINISH	SW0036	100%	11%
EIFS/STUCCO FINISH	SW7067	100%	28%
2x2 ALUMINUM BATTENS	SIMILAR TO SW0045	100%	23%
HORIZONTAL SIDING	SIMILAR TO SW7067	100%	6%
PARAPET FASCIA	SIMILAR TO SW7067	100%	7%
GOLD UNDERSCORE	SIMILAR TO SW6907	2%	< 1%
ALUMINUM COMPOSITE	SIMILAR TO SW7645	5%	5%
STOREFRONT	-	-	20%

GLAZING CALCULATION	
FAÇADE AREA	1126 SQ. FT.
WALL AREA *	276 SQ. FT.
STOREFRONT GLAZING	180 SQ. FT.
	65%

* AREA IS BASED ON THE LINEAR SQ. FT. BETWEEN 24"-96" ABOVE GRADE

Front Elevation

APPROVED BUILDING COLOR (TABLE A-1) - REAR ELEVATION			
MATERIAL	SW COLOR	MAX %	APPLIED%
STUCCO FINISH	SW0036	100%	40%
EIFS/STUCCO FINISH	SW7067	100%	0%
2x2 ALUMINUM BATTENS	SIMILAR TO SW0045	100%	22%
HORIZONTAL SIDING	SIMILAR TO SW7067	100%	31%
PARAPET FASCIA	SIMILAR TO SW7067	100%	6%
GOLD UNDERSCORE	SIMILAR TO SW6907	2%	< 1%
ALUMINUM COMPOSITE	SIMILAR TO SW7645	5%	0%
STOREFRONT	-	-	1%

Rear Elevation

APPROVED BUILDING COLOR (TABLE A-1) - NON-DRIVE-THRU ELEVATION			
MATERIAL	SW COLOR	MAX %	APPLIED%
STUCCO FINISH	SW0036	100%	32%
EIFS/STUCCO FINISH	SW7067	100%	20%
2x2 ALUMINUM BATTENS	SIMILAR TO SW0045	100%	8%
HORIZONTAL SIDING	SIMILAR TO SW7067	100%	21%
PARAPET FASCIA	SIMILAR TO SW7067	100%	7%
GOLD UNDERSCORE	SIMILAR TO SW6907	2%	< 1%
ALUMINUM COMPOSITE	SIMILAR TO SW7645	5%	2%
STOREFRONT	-	-	10%

GLAZING CALCULATION	
FAÇADE AREA	1840 SQ. FT.
WALL AREA *	494 SQ. FT.
STOREFRONT GLAZING	210 SQ. FT.
	43%

* AREA IS BASED ON THE LINEAR SQ. FT. BETWEEN 24"-96" ABOVE GRADE

Non-Drive-Thru Elevation

ARCHITECTURAL ELEMENTS (PORT ST. LUCIE CITYWIDE DESIGN STANDARDS)		
#	DESCRIPTION	CITYWIDE DESIGN
1	STANDING SEAM METAL ROOF	NO. 1 PER TABLE 10.1
2	VERTICAL, RECTANGULAR WINDOWS	NO. 2 PER TABLE 10.1
3	HORIZONTAL SIDING	NO. 3 PER TABLE 10.1
4	CANOPY / AWNING	NO. 18 PER TABLE 10.1
5	EXPRESSION LINES	NO. 20 PER TABLE 10.1
6	RAISED CORNICE OVER DOORS AND/OR WINDOWS	NO. 21 PER TABLE 10.1

Drive-Thru Elevation

APPROVED BUILDING COLOR (TABLE A-1) - DRIVE-THRU ELEVATION			
MATERIAL	SW COLOR	MAX %	APPLIED%
STUCCO FINISH	SW0036	100%	46%
EIFS/STUCCO FINISH	SW7067	100%	19%
2x2 ALUMINUM BATTENS	SIMILAR TO SW0045	100%	13%
HORIZONTAL SIDING	SIMILAR TO SW7067	100%	12%
PARAPET FASCIA	SIMILAR TO SW7067	100%	7%
GOLD UNDERSCORE	SIMILAR TO SW6907	2%	< 1%
ALUMINUM COMPOSITE	SIMILAR TO SW7645	5%	1%
STOREFRONT	-	-	2%



Proposed McDonald's 009-2788 Port St. Lucie FL NSN 43548
10180 S. US Hwy, Port St. Lucie FL • CP#20240439 • 06/20/2025

Stucco:
Sherwin Williams
SW0036 Buckram Binding

Aluminium Composite:
RAL 7022
by Metal Era

Stucco:
Sherwin Williams
SW7067 Cityscape

Parapet Facia:
Weathered Zinc
by Metal Era

Horizontal Siding
Hardi Plank Siding
Slate Gray

2x2 Aluminum Battens

Aluminum Canopy (Metal)

Glazing
(Windows + Storefront)

Gold Underscore

Service Doors and Frames:
Sherwin Williams
SW0036 Buckram Binding

Metal Roof:
Slate Gray
by ATAS International

FOR SPECIAL EXCEPTION USE APPLICATION

CITY OF PORT ST. LUCIE
Planning & Zoning Department
121 SW Port St. Lucie Blvd.
Port St. Lucie, Florida 34984
(772)871-5213

FOR OFFICE USE ONLY

Planning Dept. _____
Fee (Nonrefundable)\$ _____
Receipt # _____

Refer to "Fee Schedule" for application fee. Make check payable to the "City of Port St. Lucie". Fee is nonrefundable unless application is withdrawn prior to being scheduled for the Site Plan Review Committee meeting or advertising for the Planning and Zoning Board meeting. **Attach two copies of proof of ownership (e.g., warranty deed, affidavit), lease agreement (where applicable), approved Concept Plan or Approved Site Plan, and a statement addressing each of the attached criteria.**

PRIMARY CONTACT EMAIL ADDRESS: daryl@corporatepropertyservices.net

PROPERTY OWNER:

Name: Daniel P. Coyne & Gail A. Coyne
Address: 13400 Budler Road, Plainfield, IL 60544-00000
Telephone No.: (954) 426-5144 Email _____

APPLICANT (IF OTHER THAN OWNER, ATTACH AUTHORIZATION TO ACT AS AGENT):

Name: Corporate Property Services, Inc. - Daryl Johnson
Address: 1239 E. Newport Center Drive, Suite 113, Deerfield Beach, FL 33442
Telephone No.: (954) 426-5144 Email daryl@corporatepropertyservice.net

SUBJECT PROPERTY:

Legal Description: SEE ATTACHED
Parcel I.D Number: 3414-501-3810-100-1
Address: 10180 S. US HIGHWAY 1 Bays: N/A
Development Name: MCDONALD'S (Attach Sketch and/or Survey)
Gross Leasable Area (sq. ft.): 3,859 Assembly Area (sq. ft.): N/A
Current Zoning Classification: _____ SEU Requested: DRIVE THRU

Please state, as detailed as possible, reasons for requesting proposed SEU (continue on separate sheet, if necessary):

SEE ATTACHED PROJECT NARRATIVE


Signature of Applicant

Craig McDonald
Hand Print Name

12/19/24
Date

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

02/26/20

Prepared by:

McGahee & Perez, PL
Melanie A. McGahee, Esq., Esq.
417 W. Sugarland Highway
Clewiston, FL 33440
Phone: 863-983-1677
File Number: 21.5028.02

Return to:

Michael Bradley
Fidelity National Title – NCS
Title Coordinator
1 E. Washington Street #450
Phoenix, AZ 85004
Phone: (602) 774-3277
File No.: 16-21-0314

[Space Above This Line For Recording Data]

Warranty Deed

(Corrective)

This Warranty Deed made this 27th day of December, 2021, between

GARY M. NOLAN, JR. and KATHRYN E. NOLAN, husband and wife, whose post office address is: 2583 SE Federal Hwy., Stuart, FL 34994, grantor; and

DALE P. COYNE and GAIL A. COYNE, husband and wife, whose post office address is 13400 Budler Road, Plainfield, IL 90544, grantee.

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **St. Lucie County, Florida** to-wit:

SEE ATTACHED EXHIBIT A

Subject to restrictions, reservations and easements of record, if any, which reference shall not operate to reimpose same, and taxes subsequent to December 31, 2003.

[This is a corrective deed being executed and delivered to correct an error contained within the legal description of that certain Deed recorded in Official Records Book 1684, Page 568, Public Records of St. Lucie County, Florida.]

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

(As to each Grantor)

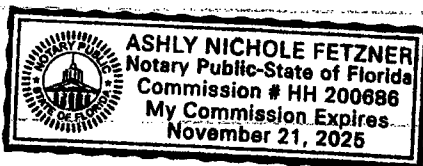
Witness #1 Signature: <u>Alessa Fitzgerald</u>	(Seal)
Witness #1 Printed Name: <u>Alessa Fitzgerald</u>	GARY M. NOLAN, JR.
Witness #2 Signature: <u>Rosathurbert</u>	<u>Gary M. Nolan Jr</u>
Witness #2 Printed Name: <u>Rosathurbert</u>	GARY M. NOLAN, JR. (Seal)
	KATHRYN E. NOLAN
	<u>Kathryn E. Nolan</u>

State of Florida

County of Manatee

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 27th day of December, 2021, by GARY M. NOLAN, JR. and KATHRYN E. NOLAN, who ☒ are personally known or ☐ have produced _____ and _____ as identification, respectively.

[Notary Seal]



Notary Public

Printed Name:

My Commission Expires:

Ashly Fetzner

11-21-2025

EXHIBIT A

All that portion of Lot 10, lying East of U.S. Highway No. 1, of Block 4, Section 1, Township 37 South, Range 40 East, St. Lucie County, Florida, of Plat No. 1, St. Lucie Gardens as recorded in Plat Book 1, Page 35, of the Public Records of St. Lucie County, Florida, LESS the North 473 feet and the East 54 feet of said Lot 10 and also LESS the South 40 feet of said Section 1, said portion being more particularly described as follows:

Beginning at a point (P.O.B.) being the Intersection of the West line of the East 54 feet of said Lot 10 with the South line of the North 473 feet of said Lot 10; thence from said P.O.B. run South 00 degrees 21 minutes 38 seconds West, parallel with East line of said Lot 10, 150.51 feet, thence run South 89 degrees 42 minutes 50 seconds West, parallel with and 40.00 feet North of the South line of said Section 1, 411.53 feet to the Easterly right of way line of U .S. Highway No. 1; thence run North 27 degree 53 minutes 44 seconds West, along the Easterly right of way line of U.S. Highway No. 1, 170.25 feet to the intersection of the South line of the North 473 feet of Lot 10; thence run North 89 degree 45 minutes 21 seconds East, parallel with the North line of said Lot 10, 492.13 feet to the POINT OF BEGINNING.

TOGETHER WITH that certain Easement for the reciprocal use and benefit to all of the current and successive owners of Lots 10, 11 and 12, Block 4, Section 1, Township 37 South, Range 40 East St. Lucie Gardens, according to the plat thereof as recorded in Plat Book 1, Page 35, of the Public Records of St. Lucie County, Florida; the said Easement shall be used for installation and maintenance of the surface water management system consisting of a dry retention area, water control structure a retention pond and such allied utilities and drainage facilities as shall be necessary and desirable for the development of the properties over, across and upon the following described property:

A portion of Lots 11 and 12, Block 4, Section 1, Township 37 South, Range 40 East, St. Lucie County, Florida of PLAT NO. 1, St. Lucie Gardens, as recorded in Plat Book 1, Page 35, of the Public Records of St. Lucie County, Florida, being subject to any easements or rights-of-way of record, said herein described easement being geometrically described as follows:

BEGINNING at a point (P.O.B .) on the West line of said Lot 11, said P.O.B. being the Northeast corner of Lot 10 in said Block 4; thence run North 00 degree 21 minutes 38 seconds East along the West line of said Lot 11, 663.49 feet to the Northwest corner of Lot 11; thence run North 89 degrees 47 minutes 52 seconds East, along the North line of Lots 11 and 12, 660.56 feet to the Northeast corner of said Lot 12; thence run South 00 degrees 16 minutes 33 seconds West, along the East line of said 12, 200.01 feet to the South line of the North 200 feet of said Lot 12, thence run South 89 degrees 47 minutes 52 seconds West, parallel with the North lines of said Lots 11 and 12, 570.85 feet to the East line of the West 90.00 feet of said Lot 11; thence run South 00 degrees 21 minutes 38 seconds West, parallel with the West line of said Lot 11, 936.44 feet to the Easterly extension of the South line of the North 473 feet of said Lot 10; thence run South 89 degrees 45 minutes 21 seconds West, parallel with the North line of said Lot 10; 90 feet to the West line of said Lot 11; thence run North 00 degrees 21 minutes 38 seconds East along West line of said Lot 11, 473.03 feet to the POINT OF BEGINNING.

Parcel I.D. No.: 3414-50-3810-100-1

December 18, 2024

**RE: McDonald's L/C 009-2788
"Port St Lucie"
10180 S US Highway 1
Port St. Lucie, Florida
Parcel ID # 3414-501-3810-100-1**

To Whom It May Concern:

This letter is to authorize and acknowledge that

**CORPORATE PROPERTY SERVICES, INC.
1239 E. Newport Center Drive, Suite 113
Deerfield Beach, Florida 33442**

is to act as Authorized Agent for Dayle P. Coyne & Gail A Coyne in all government approvals, regulations and permitting activities with the State of Florida, the County of St. Lucie County and the City of Port St. Lucie in relation to the aforementioned site.

Sincerely,

Dayle Coyne

(Title) *President*

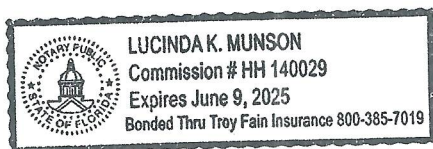
STATE OF FLORIDA
COUNTY OF *Martin*

The foregoing instrument was acknowledged before me this 18, day of December, 2024 by Lucinda K. Munson as Notary Public for Dayle P. Coyne & Gail A Coyne on behalf of the ownership. He/She is personally known and did not take an oath.

Lucinda K. Munson

Signature of Notary Public
June 9, 2025

My Commission Expires



McDonald's PSL
Project № 24336.01.03
December 13, 2024

Queue Analysis
City of Port St. Lucie
Florida

Prepared for:



Integrity Engineering & Development Services, Inc.
3615 Braselton Highway, Suite 201
Dacula, Georgia 30019

Prepared by:



3725 SE Ocean Boulevard, Suite 201
Stuart, Florida 34996
www.trafficmobility.com
(772) 781-7918

EXECUTIVE SUMMARY

Project Information

Name: McDonald's PSL
Location: Northeast corner of US Highway 1 and SE Jennings Road in Port St. Lucie, Florida
Jurisdiction: City of Port St. Lucie, Florida
Description: 3,859 Square Foot Fast Food Restaurant with Drive-Through

Findings

Trip Generation: 857 daily net new trips / 86 AM peak hour trips / 57 PM peak hour trips
Queue Analysis: The vehicle storage on the site is adequate for the projected queue length at the drive-through window.

PROFESSIONAL ENGINEERING CERTIFICATION

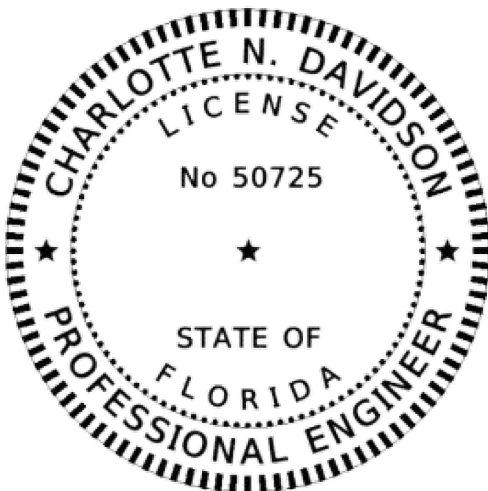
I hereby certify that I am a Professional Engineer properly registered in the State of Florida practicing with Susan E. O'Rourke, PE, LLC, a corporation authorized to operate as an engineering business, CA-26869, by the State of Florida Department of Professional Regulation, Board of Professional Engineers, and that I have prepared or approved the evaluations, findings, opinions, conclusions, or technical advice attached hereto for:

PROJECT: McDonald's PSL

LOCATION: City of Port St. Lucie, Florida

CLIENT: Integrity Engineering & Development Services, Inc.

I hereby acknowledge that the procedures and references used to develop the results contained in these computations are standard to the professional practice of Transportation Engineering as applied through professional judgment and experience.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY

ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.

SUSAN E. O'ROURKE, PE, LLC
3725 SE OCEAN BLVD SUITE 201
SEWALL'S POINT, FLORIDA 34996

CERTIFICATE OF AUTHORIZATION CA-26869

CHARLOTTE N. DAVIDSON, P.E. № 50725

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Appendix B ITE Information Sheets
Appendix C Queue Data / Surrogate Site Data

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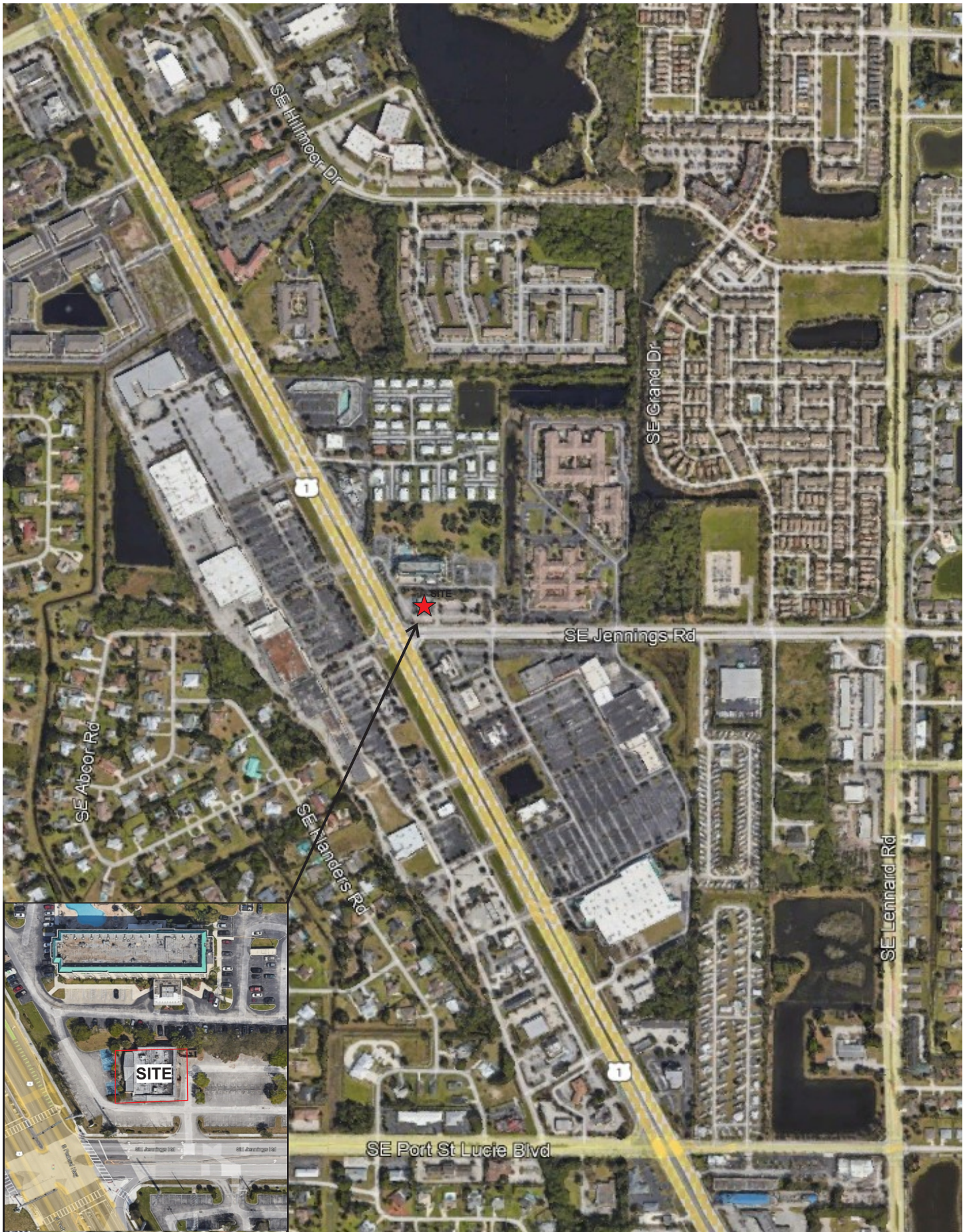
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1.0 INTRODUCTION

This analysis was prepared to provide queue analysis of the proposed 3,859 square foot McDonald's to be located north of SE Jennings Road Parkway and east of US Highway 1 in Port St. Lucie, Florida. The site location is illustrated in **Figure 1**. An overall site plan depicting the site layout, land uses, and access points is included in **Appendix A**.

Information used in this analysis includes data collected by O' Rourke Engineering & Planning, a TMC Company, information provided by the project team, and/or other data and information obtained from the City of Port St. Lucie, the Institute of Transportation Engineers (ITE), and the Florida Department of Transportation (FDOT).



Site Location Map

McDonald's PSL
 24336.01.03

Figure

1

2.0 TRIP GENERATION

The traffic generation of the proposed development was calculated using the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition*. The pass-by percentage was derived from the Appendices of the *ITE Trip Generation Handbook, 11th Edition*.

ITE Code 934 presents pass-by rates for fast food restaurants with drive-through service and indoor seating, with observed averages of 50% for the AM and 55% for the PM. For the daily rate, an average of the AM and PM rates (52.5%) was used. It should be noted that the pass-by rate applies only to off-site intersections and is not used for the queue analysis. The trip generation for the project is summarized in **Table 1** and the ITE information sheets are provided in **Appendix B**.

Table 1
Trip Generation Summary

ITE Code	Land Use	Size	Daily		AM Peak Hour				PM Peak Hour			
			Rate	Trips	Rate	Total	Enter	Exit	Rate	Total	Enter	Exit
934	Fast Food Restaurant with Drive-Through Window	3,859 SF	467.48	1,804	44.61	172	88	84	33.03	127	66	61
<i>Pass-By Percentages (Daily 52.5%, AM 50%, PM 55%)</i>				947		86	44	42		70	36	34
Net New External Trips				857		86	44	42		57	30	27

Trip Generation analysis based on ITE Trip Generation Manual, 11th Edition.

Pass-By analysis based on ITE Trip Generation Manual, 11th Edition.

The proposed development is projected to generate 857 net new daily trips, of which 86 trips occur during the AM peak hour and 57 trips occur during the PM peak hour.

3.0 Queue Analysis

The drive-through service point is located south of the building, where the queue can begin to form and can extend in a circular path counterclockwise. The east side of the building also has available space where additional queues can form.

On the south side of the building, the entire stretch from the service point to the point where the drive-through lane separates from the exit access driveway could be used for queues. Based on the available site information and assuming each 20-foot segment can accommodate one (1) car, the total queue capacity of the proposed McDonald's is fifteen (15) vehicles.

For the queue analysis, this study gathered data from three (3) similar sites in Port St. Lucie, Florida and Jensen Beach, Florida to assess potential queuing. The sites studied were:

- Site 1: McDonald's at 3546 Northwest Federal Highway
- Site 2: McDonald's at 7626 South Federal Highway
- Site 3: McDonald's at 1080 Southeast Port Saint Lucie Boulevard

The observed queues for the three (3) surrogate sites during AM and PM peak hours are included in **Appendix C**.

Based on gross trip generation rates for LUC 934, the proposed site is estimated to generate 88 trips entering during the AM peak hour and 66 trips entering during the PM peak hour. The maximum queued vehicle per trip generated observed at the three (3) similar sites was found to be 0.14 for the AM peak hour and 0.117 for the PM peak hour. The maximum queue calculations for McDonald's PSL during AM and PM peak hours are shown in **Table 2** and **Table 3**, respectively. The results indicate that the maximum queue at the proposed McDonald's will be thirteen (13) vehicles during AM peak hours and eight (8) vehicles during PM peak hours.

Table 2
Maximum Queue for Morning Peak Hours

	Site 1		Site 2		Site 3	
	7 AM to 8 AM	8 AM to 9 AM	7 AM to 8 AM	8 AM to 9 AM	7 AM to 8 AM	8 AM to 9 AM
Vehicle/hr (V)	100	86	92	110	95	97
Maximum Queue (Q)	10	11	13	15	12	11
Q/V	0.10	0.128	0.141	0.136	0.13	0.1
Maximum Q/V	0.14					
McDonald's PSL Trips	88					
McDonald's PSL Maximum Q/V	12.4 = 13					

Table 3
Maximum Queue for Afternoon Peak Hours

	Site 1		Site 2		Site 3	
	4 PM to 5 PM	5 PM to 6 PM	4 PM to 5 PM	5 PM to 6 PM	4 PM to 5 PM	5 PM to 6 PM
Vehicle/hr (V)	110	105	128	145	141	136
Maximum Queue (Q)	12	11	12	17	15	13
Q/V	0.109	0.105	0.094	0.117	0.11	0.1
Maximum Q/V	0.117					
McDonald's PSL Trips	66					
McDonald's PSL Maximum Q/V	7.7 = 8					

The analysis indicates that the proposed McDonald's has more than enough capacity to accommodate the projected vehicular demand, ensuring that queuing does not spill into the cross-access easement driveway or outside the site's entrances.

4.0 FINDINGS / CONCLUSION

This study was conducted to analyze the drive-through queue. The site is located on the northeast corner of US Highway 1 and SE Jennings Road in St. Lucie County, Florida. The proposed commercial development is a 3,859 square foot drive-through fast food restaurant.

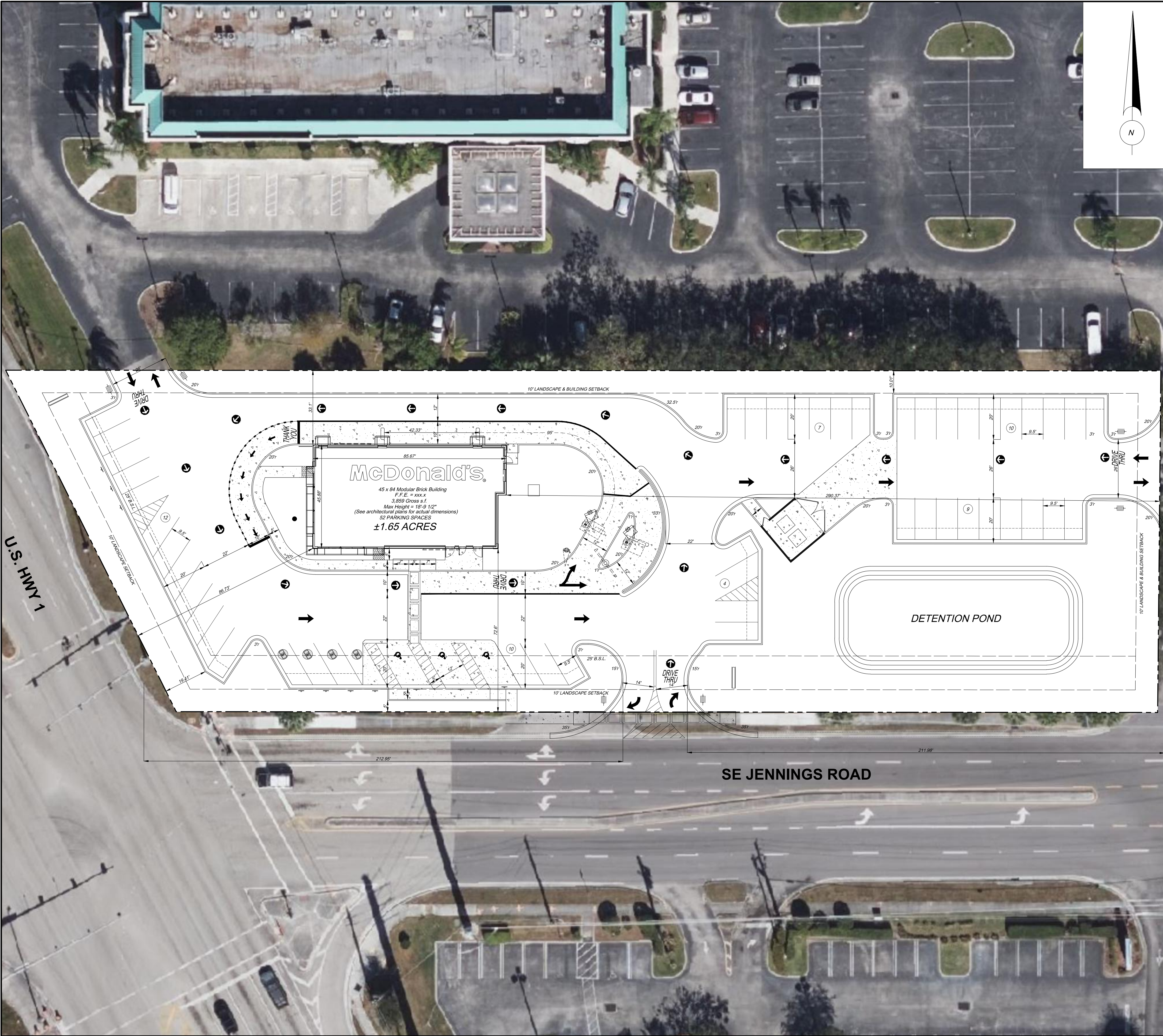
The analysis included a determination of project trip generation and the queue analysis of the drive-through lanes. The results of the analysis are summarized as follows:

Summary of Findings

- The proposed development is projected to generate 857 net new external trips per day, of which 86 trips occur during the AM peak hour and 57 trips occur during the PM peak hour.
- A maximum projected queue of 13 vehicles is expected based on the patterns observed at three (3) other McDonald's locations in the area.
- The vehicle storage within the site is projected to adequately accommodate the queue length at the drive-through window.

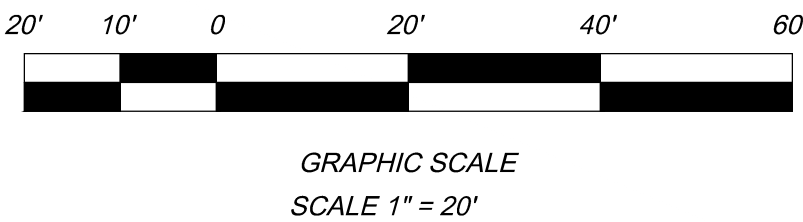
APPENDICES

Appendix A
Site Plan / Information



SITE DATA		
LOCATION: 3820 EATON AVE., PUNTA GORDA, FL		
SITE AREA: +/- 1.47 ACRES		
CURRENT ZONING: ECAP		
BUILDING TYPE: 45' x 84'		
ZONING REQUIREMENTS		
BUILDING SETBACKS	REQUIRED	PROPOSED
FRONT	25'	86.73'
LEFT SIDE	10'	33.1'
RIGHT SIDE	25'	72.6'
REAR	10'	290.37'
PARKING SPACES		
REGULAR	49	49
H/C PARKING	3	3
TOTAL PARKING	52	52
STRIPING LEGEND		
(A-1) ADA ACCESSIBLE STALL WITH WHITE SYMBOL PER ADA REQUIREMENTS	(S-1) OUTDOOR DIGITAL MENU BOARD	
(A-2) HANDICAP ACCESSIBLE AISLE 4' WHITE STRIPES @ 45' 2" O.C.	(S-2) SPRINGBOARD CANOPY	
(A-3) 5' WIDE PEDESTRIAN ACCESS AISLE WITH 6" WHITE STRIPES	(S-3) DIGITAL PRE-SALE BOARD	
(A-4) 4' WHITE PARKING STRIPE OR STRIPED AREA - 4' WHITE STRIPES	(S-4) FTP 21-06 & FTP 22-06 - HANDICAP PARKING	
(A-5) 6" YELLOW DRIVE-THRU STRIPE	(S-6) "WELCOME" SIGN (NEXT GENERATION)	
(A-6) DOUBLE HEADED ARROW	(S-7) "THANK YOU" SIGN (NEXT GENERATION)	
(A-7) YELLOW OOSP STRIPING	(S-8) DOUBLE GATEWAY SIGN	
(A-8) "DRIVE THRU" W/ ARROW PAVEMENT MARKING	(S-9) DO NOT ENTER SIGN	
(A-9) "THANK YOU" PAVEMENT MARKING PLACED 40' FROM C.L. OF PRESENT BOOTH WINDOW	(S-10) FLAG POLE	
(A-10) PARKING LOT ARROWS @ 40' - 80' (S2' IDEAL)	(S-11) DRIVE-THRU RESERVED SIGN	
(A-11) INGRESS / EGRESS ARROWS	(S-12) CURBSIDE PICKUP SIGN	
(A-12) 24" STOP BAR	(S-13) PROPOSED ROAD SIGN	
(A-13) CURBSIDE PAVEMENT MARKING	(S-14) "CAUTION PEDESTRIAN CROSSING" SIGN	
(A-14) DOUBLE YELLOW LINE	(S-15) STOP SIGN	
(A-15) MERGE POINT STRIPING	(S-16) MCDelivery COURIER PARKING SIGN	
	(S-17) DRIVE THRU LEFT TURN SIGN	
	(S-18) DRIVE THRU PULL AHEAD SIGN	
	(S-19) DRIVE THRU PICK UP HERE SIGN	

KEY	DESCRIPTION	SPECIFICATION	QTY.
P-1	CONCRETE PAVING	6" THK 4,000 PSI CONCRETE WITH FIBERMESH	5,720 S.F.
P-2	CONCRETE TRASH ENCLOSURE PAD	18'-0" W x 19'-2" x 8" THK 4,000 PSI CONCRETE WITH FIBERMESH	413 S.F.
P-3	PAVER SIDEWALK	COLOR PATTERN & MFR. BY PROJECT MANAGER	51 S.F.
P-4	CURB & GUTTER (18" PAN)	3,500 PSI CONCRETE WITH FIBERMESH	ON-SITE 1,285 L.F. OFF-SITE 46 L.F.
P-5	STANDING CURB	6" x 18" 3,500 PSI CONCRETE WITH FIBERMESH	ON-SITE 609 L.F. OFF-SITE 11 L.F.
P-6	6" CURB POURED WITH MONOLITHIC SLABS	6" x 12" 4,000 PSI CONCRETE WITH FIBERMESH	0 L.F.
P-7	CONCRETE SIDEWALK	4" THK 4,000 PSI CONCRETE WITH FIBERMESH	ON-SITE 1,166 S.F. OFF-SITE 244 S.F.
P-8	CONCRETE TRASH APRON	6" THK 4,000 PSI CONCRETE WITH FIBERMESH	1,064 S.F.
P-9	ASPHALT	1" TOPPING OVER 2" BINDER (COMPRESSED) OVER 8" STONE BASE	ON-SITE 2,888 S.Y. OFF-SITE 86 S.Y.
P-10	5' OPTIONAL CONCRETE DRIP APRON	5' W x 6" THK 4,000 PSI CONCRETE FIBERMESH	2,362 S.F.
P-11	OPTIONAL CONCRETE DELIVERY TRUCK APRON	10' W x 6" THK 4,000 PSI CONCRETE FIBERMESH	0 S.F.
MISCELLANEOUS ITEMS			
P-12	DELIVERY RAMP		
P-13	DETECTOR LOOP (INSTALL IF NOT EXISTING)		
P-14	6" BOLLARD (TYP.)		
P-15	CONCRETE TRANSFORMER PAD		
P-16	TRELLIS OVERHANG		
P-17	6" SAFETY RAIL (STAINLESS STEEL)		
P-18	TYPE I H/C RAMP (REFER TO ADA DETAILS SHEET FOR DETAILS)		
P-19	TYPE II H/C RAMP (REFER TO ADA DETAILS SHEET FOR DETAILS)		
P-20	TYPE III H/C RAMP (REFER TO ADA DETAILS SHEET FOR DETAILS)		
P-21	EXTENTS OF CURB & GUTTER AND/OR ASPHALT PAVING. TIE TO EXISTING AT THIS POINT.		
P-22	TRANSITION FROM ASPHALT TO CONCRETE (SEE SITE DETAILS SHEET FOR DETAILS)		
P-23	DUMPSTER ENCLOSURE (REFER TO STRUCTURAL PLANS FOR DETAILS) EXTERIOR FINISH TO MATCH BUILDING.		
P-24	20' x 9' 6" STORAGE SHED EXTERIOR FINISH TO MATCH DUMPSTER ENCLOSURE / BUILDING.		
P-25	CONCRETE DRAINAGE FLUME (SEE SITE DETAILS SHEET FOR DETAILS)		
P-26	OUTDOOR PATIO AREA (SEE SITE DETAILS SHEET FOR DETAILS)		



NO.	DATE:	DESCRIPTION	ISSUE
1	08/28/24	SUBMIT TO MCDONALD'S	
2	09/03/24	REVISE MONUMENT SIGN LOCATION	
3			
4			



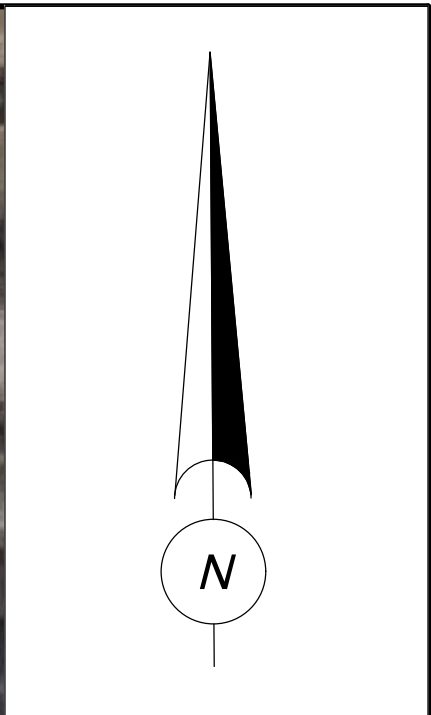
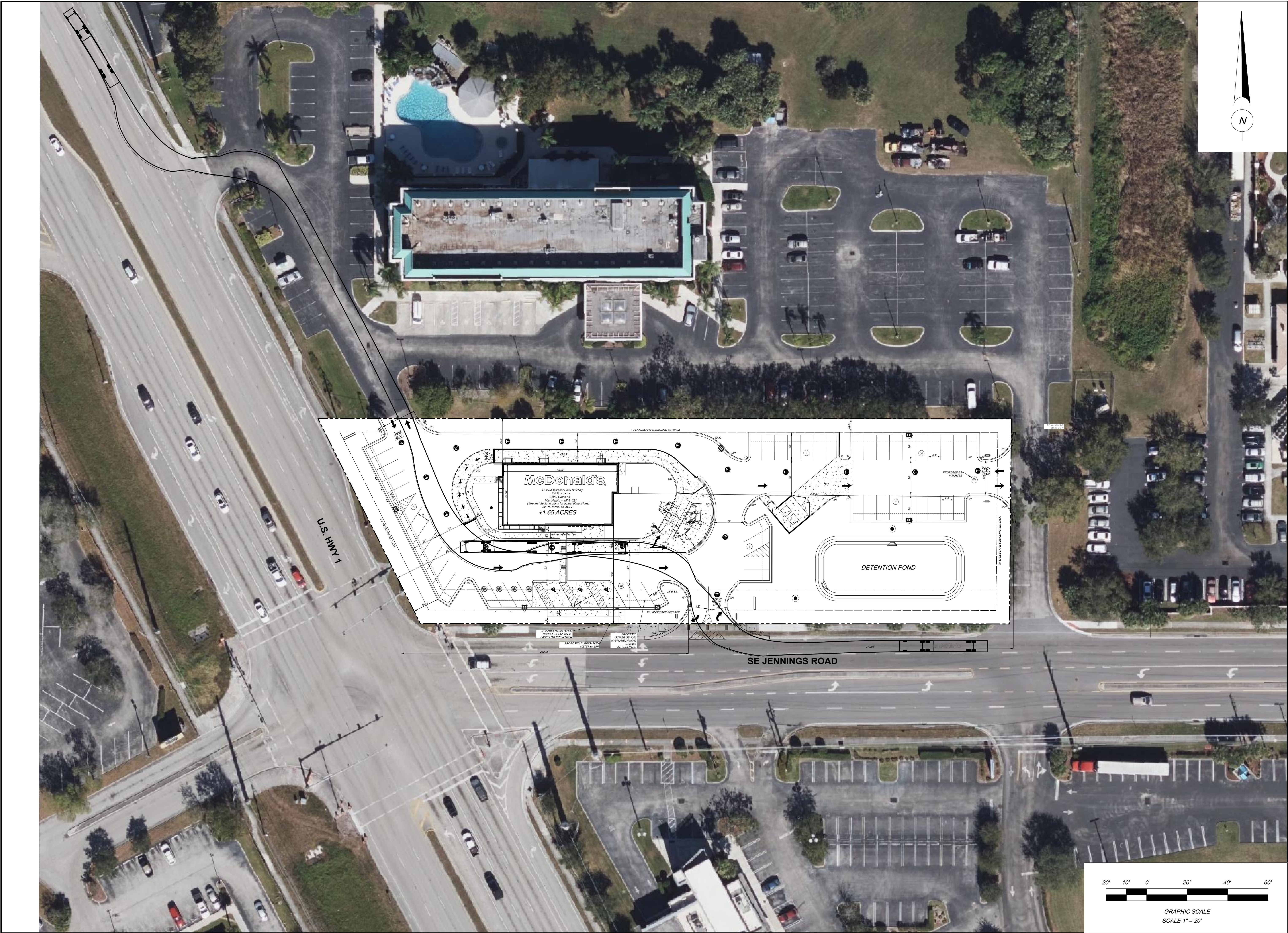
ISSUE	
NO.	DATE: DESCRIPTION
1	08/25/24 SUBMIT TO MD/NOALD'S
2	09/03/24 REVISE MONUMENT SIGN LOCATION
3	
4	

McDonald's
10180 S. US Highway 1
Parcel ID
#3414-501-3810-100-1 Port
St. Lucie, St. Lucie County
Zoned: GC

SHEET TITLE:

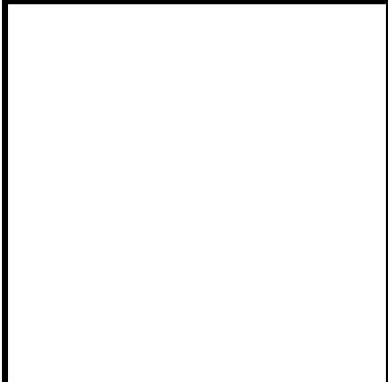
**PRELIMINARY
UTILITY PLAN**

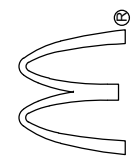
SHEET
NUMBER



GRAPHIC SCALE
SCALE 1" = 20'

NO.	DATE	DESCRIPTION
1	08/28/24	SUBMIT TO MCDONALD'S
2	09/03/24	REVISE MONUMENT SIGN LOCATION
3		
4		



**McDonald's USA, L.L.C.**
One Glenlake Parkway, Suite 500 Atlanta, Ga 30328-5327

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McDonald's
10180 S. US Highway 1
Parcel ID
#3414-501-3810-100-1 Port
St. Lucie, St. Lucie County
Zoned: GC

MCD STATE SITE CODE:
9-2788

IEDS PROJECT NUMBER:
MCD-24129

SHEET TITLE:
**TRUCK
ACCESS PLAN**

SHEET NUMBER	3
	3

Appendix B
ITE Information Sheets

Fast-Food Restaurant with Drive-Through Window (934)

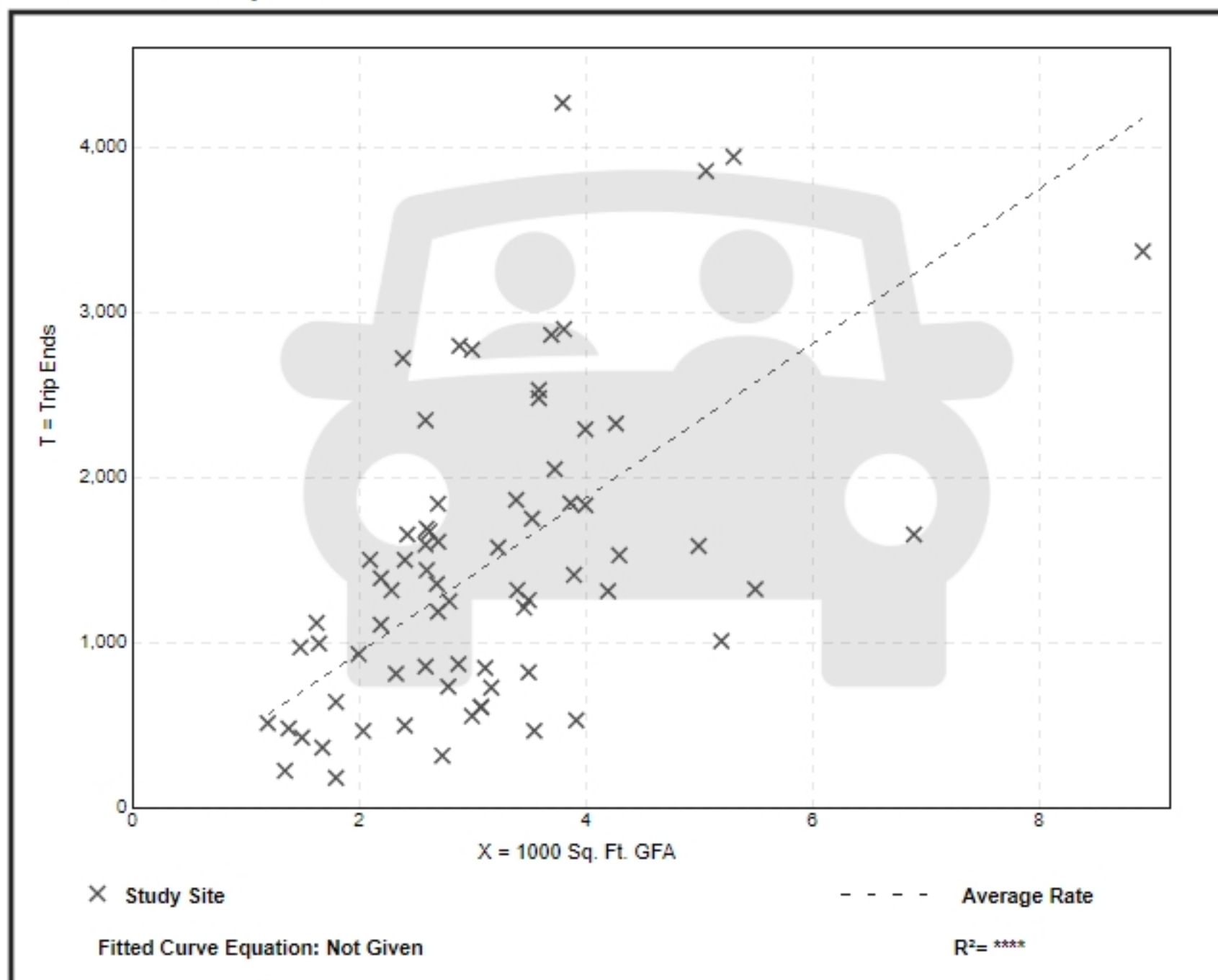
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 71
Avg. 1000 Sq. Ft. GFA: 3
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
467.48	98.89 - 1137.66	238.62

Data Plot and Equation



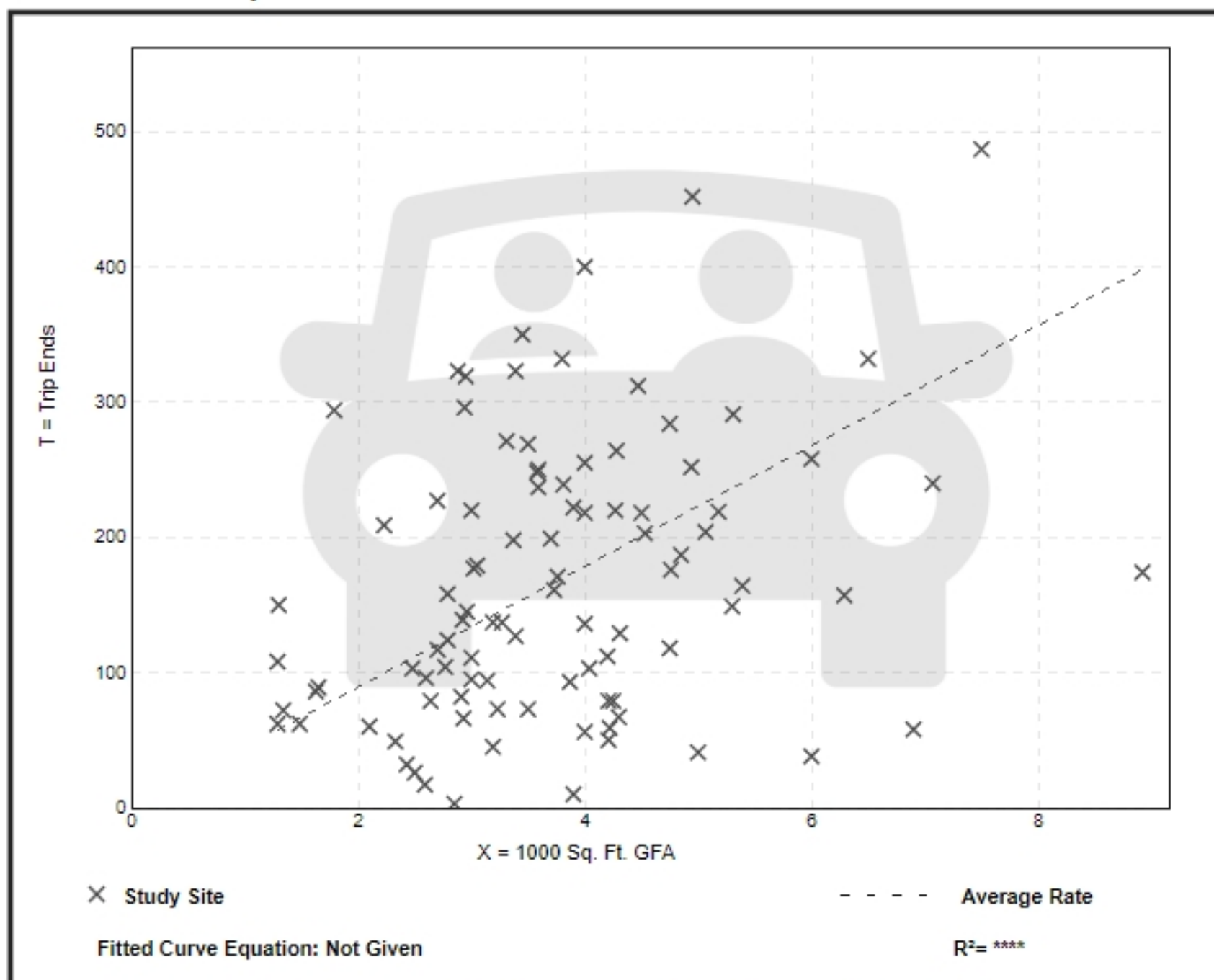
Fast-Food Restaurant with Drive-Through Window (934)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.
Setting/Location: General Urban/Suburban
Number of Studies: 96
Avg. 1000 Sq. Ft. GFA: 4
Directional Distribution: 51% entering, 49% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
44.61	1.05 - 164.25	27.14

Data Plot and Equation



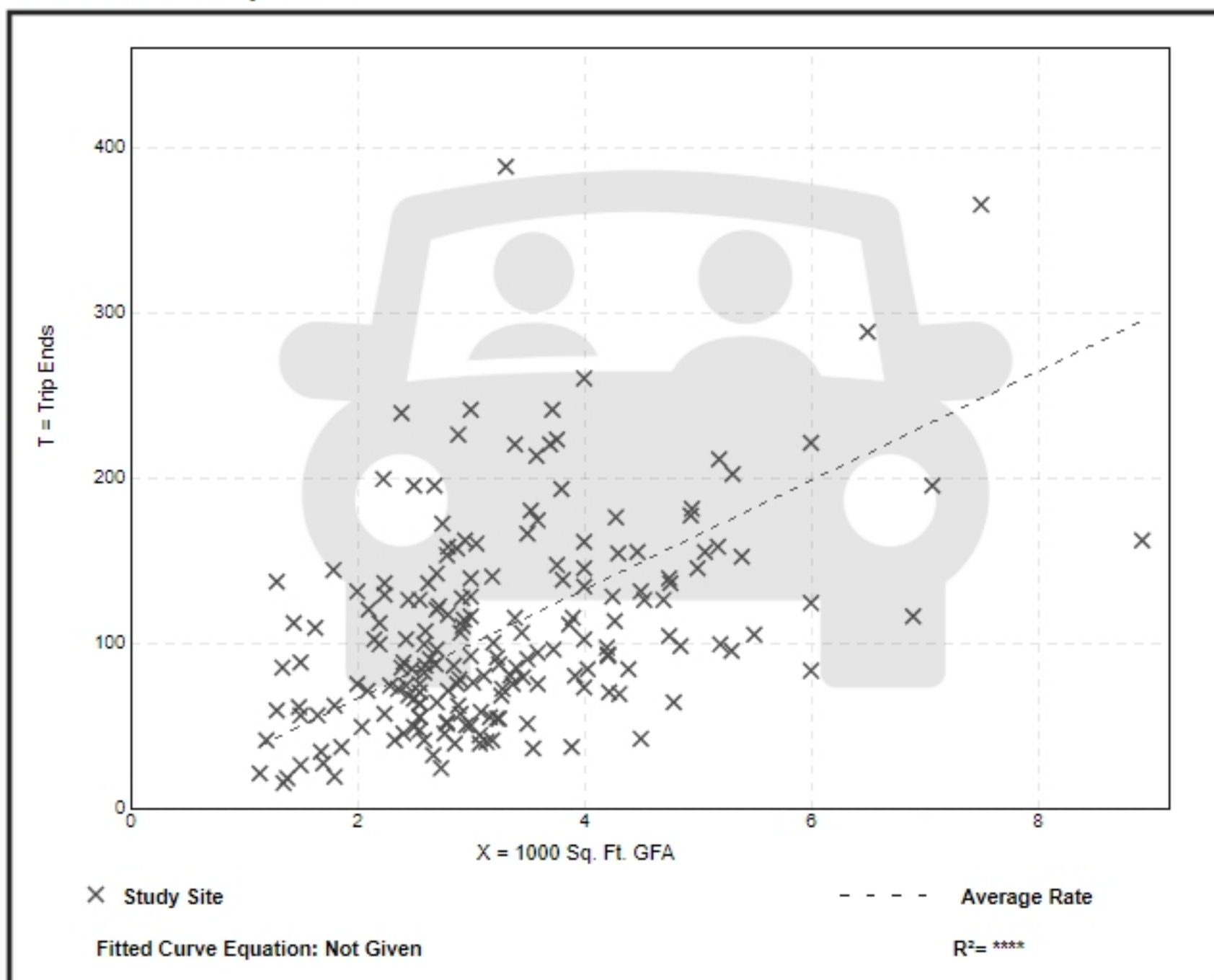
Fast-Food Restaurant with Drive-Through Window (934)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.
Setting/Location: General Urban/Suburban
Number of Studies: 190
Avg. 1000 Sq. Ft. GFA: 3
Directional Distribution: 52% entering, 48% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
33.03	8.77 - 117.22	17.59

Data Plot and Equation



Vehicle Pass-By Rates by Land Use									
Source: ITE <i>Trip Generation Manual</i> , 11th Edition									
Land Use Code	934								
Land Use	Fast-Food Restaurant with Drive-Through Window								
Setting	General Urban/Suburban								
Time Period	Weekday AM Peak Period								
# Data Sites	5								
Average Pass-By Rate	50%								
	Pass-By Characteristics for Individual Sites								
	State or Province	Survey Year	# Interviews	Pass-By Trip (%)	Non-Pass-By Trips			Adj Street Peak Hour Volume	Source
GFA (000)					Primary (%)	Diverted (%)	Total (%)		
1.4	Kentucky	1993	—	62	22	16	38	1407	2
3	Kentucky	1993	—	43	14	43	57	2903	2
3.3	--	1996	—	68	—	—	32	—	21
3.6	Kentucky	1993	—	32	47	21	68	437	2
4.2	Indiana	1993	—	46	23	31	54	1049	2

Vehicle Pass-By Rates by Land Use									
Source: ITE Trip Generation Manual , 11th Edition									
Land Use Code	934								
Land Use	Fast-Food Restaurant with Drive-Through Window								
Setting	General Urban/Suburban								
Time Period	Weekday PM Peak Period								
# Data Sites	11								
Average Pass-By Rate	55%								
	Pass-By Characteristics for Individual Sites								
GFA (000)	State or Province	Survey Year	# Interviews	Pass-By Trip (%)	Non-Pass-By Trips			Adj Street Peak Hour Volume	Source
					Primary (%)	Diverted (%)	Total (%)		
1.3	Kentucky	1993	—	68	22	10	32	2055	2
1.9	Kentucky	1993	33	67	24	9	33	2447	2
2.8	Florida	1995	47	66	—	—	34	—	30
2.9	Florida	1996	271	41	41	18	59	—	30
3	Kentucky	1993	—	31	31	38	69	4250	2
3.1	Florida	1995	28	71	—	—	29	—	30
3.1	Florida	1996	29	38	—	—	62	—	30
3.2	Florida	1996	202	40	39	21	60	—	30
3.3	—	1996	—	62	—	—	38	—	21
4.2	Indiana	1993	—	56	25	19	44	1632	2
4.3	Florida	1994	304	62	—	—	38	—	30

Appendix C
Queue Date / Surrogate Site Data

3546 NW Federal Hwy - Jensen Beach

Time	Inside Lane 1 Order Board to End of Queue	Outside Lane 2 Order Board to End of Queue	Window to End of Queue	Totals
7:00 AM	6	1	3	10
7:05 AM	4	0	4	8
7:10 AM	3	2	2	7
7:15 AM	4	2	3	9
7:20 AM	2	2	4	8
7:25 AM	3	1	2	6
7:30 AM	3	2	3	8
7:35 AM	3	2	4	9
7:40 AM	0	2	5	7
7:45 AM	5	1	4	10
7:50 AM	4	3	2	9
7:55 AM	4	2	3	9
8:00 AM	5	2	4	11
8:05 AM	1	1	2	4
8:10 AM	2	2	3	7
8:15 AM	1	1	4	6
8:20 AM	3	2	2	7
8:25 AM	3	1	4	8
8:30 AM	1	2	4	7
8:35 AM	4	2	2	8
8:40 AM	1	0	3	4
8:45 AM	3	2	5	10
8:50 AM	2	2	3	7
8:55 AM	2	1	4	7
Totals	69	38	79	186

100

86

Time	Inside Lane 1 Order Board to End of Queue	Outside Lane 2 Order Board to End of Queue	Pickup Window to End of Queue	Totals
4:00 PM	2	2	3	7
4:05 PM	3	3	4	10
4:10 PM	4	2	2	8
4:15 PM	3	3	3	9
4:20 PM	4	1	4	9
4:25 PM	2	2	5	9
4:30 PM	4	3	4	11
4:35 PM	3	1	2	6
4:40 PM	4	2	3	9
4:45 PM	5	2	4	11
4:50 PM	4	3	5	12
4:55 PM	2	1	6	9
5:00 PM	3	2	4	9
5:05 PM	4	2	2	8
5:10 PM	2	3	4	9
5:15 PM	3	2	2	7
5:20 PM	4	1	4	9
5:25 PM	5	2	3	10
5:30 PM	4	3	4	11
5:35 PM	2	1	5	8
5:40 PM	3	2	4	9
5:45 PM	4	3	2	9
5:50 PM	2	2	2	6
5:55 PM	3	3	4	10
Totals	79	51	85	215

110

105

401

Window

Board

7626 S Federal Hwy - PSL

Time	Inside Lane 1 Order Board to End of Queue	Outside Lane 2 Order Board to End of Queue	Pickup Window to End of Queue	Totals
7:00 AM	4	3	3	10
7:05 AM	0	4	2	6
7:10 AM	1	4	1	6
7:15 AM	1	2	3	6
7:20 AM	1	2	4	7
7:25 AM	1	5	2	8
7:30 AM	0	2	3	5
7:35 AM	4	5	4	13
7:40 AM	1	4	2	7
7:45 AM	1	1	1	3
7:50 AM	2	5	1	8
7:55 AM	5	5	3	13
8:00 AM	2	3	4	9
8:05 AM	2	3	3	8
8:10 AM	3	3	4	10
8:15 AM	5	6	2	13
8:20 AM	1	4	3	8
8:25 AM	2	4	4	10
8:30 AM	2	3	4	9
8:35 AM	3	5	2	10
8:40 AM	2	4	3	9
8:45 AM	5	6	4	15
8:50 AM	1	1	2	4
8:55 AM	1	2	2	5
Totals	50	86	66	202

92

110

Window

Board

Time	Inside Lane 1 Order Board to End of Queue	Outside Lane 2 Order Board to End of Queue	Pickup Window to End of Queue	Totals
4:00 PM	3	3	3	9
4:05 PM	1	4	4	9
4:10 PM	3	6	3	12
4:15 PM	4	4	4	12
4:20 PM	3	5	4	12
4:25 PM	4	2	5	11
4:30 PM	5	3	2	10
4:35 PM	4	4	3	11
4:40 PM	3	5	4	12
4:45 PM	4	4	2	10
4:50 PM	4	2	3	9
4:55 PM	3	4	4	11
5:00 PM	4	3	5	12
5:05 PM	2	4	2	8
5:10 PM	3	5	3	11
5:15 PM	4	4	4	12
5:20 PM	2	6	5	13
5:25 PM	3	4	4	11
5:30 PM	4	8	5	17
5:35 PM	4	4	4	12
5:40 PM	2	5	4	11
5:45 PM	4	6	5	15
5:50 PM	2	4	2	8
5:55 PM	3	8	4	15
Totals	78	107	88	273

128

145

475

Window

Board

1080 SE Port St. Lucie Blvd - PSL

Time	Inside Lane 1 Order Board to End of Queue	Outside Lane 2 Order Board to End of Queue	Window to End of Queue	Totals
7:00 AM	1	1	3	5
7:05 AM	1	2	4	7
7:10 AM	1	0	2	3
7:15 AM	1	3	3	7
7:20 AM	2	3	4	9
7:25 AM	0	3	6	9
7:30 AM	3	4	5	12
7:35 AM	1	3	4	8
7:40 AM	2	3	5	10
7:45 AM	1	3	5	9
7:50 AM	1	4	4	9
7:55 AM	1	2	4	7
8:00 AM	1	3	4	8
8:05 AM	1	2	6	9
8:10 AM	2	5	2	9
8:15 AM	2	3	6	11
8:20 AM	3	3	4	10
8:25 AM	2	1	4	7
8:30 AM	0	1	2	3
8:35 AM	2	2	5	9
8:40 AM	2	4	3	9
8:45 AM	2	4	2	8
8:50 AM	2	2	2	6
8:55 AM	2	4	2	8
Totals	36	65	91	192

Window

Board

95

97

Time	Inside Lane 1 Order Board to End of Queue	Outside Lane 2 Order Board to End of Queue	Pickup Window to End of Queue	Totals
4:00 PM	2	3	3	8
4:05 PM	1	4	4	9
4:10 PM	3	2	6	11
4:15 PM	4	3	4	11
4:20 PM	2	4	5	11
4:25 PM	3	5	4	12
4:30 PM	4	5	6	15
4:35 PM	3	4	4	11
4:40 PM	2	5	5	12
4:45 PM	3	6	6	15
4:50 PM	4	4	4	12
4:55 PM	5	4	5	14
5:00 PM	4	4	5	13
5:05 PM	2	5	6	13
5:10 PM	3	4	4	11
5:15 PM	2	3	5	10
5:20 PM	3	4	4	11
5:25 PM	2	5	6	13
5:30 PM	4	4	4	12
5:35 PM	2	2	6	10
5:40 PM	3	3	4	10
5:45 PM	4	4	5	13
5:50 PM	2	2	6	10
5:55 PM	3	3	4	10
Totals	70	92	115	277

Window

Board

141

136

469

MEMORANDUM

TO: Bethany Grubbs – Senior Planner, Planning & Zoning

THRU: Clyde Cuffy, P.E. – Regulatory Division Director, Public Works

FROM: John Kwasnicki - Inspections Manager, Public Works

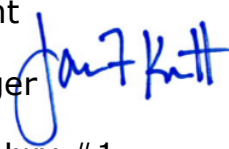
DATE: July 15, 2025

SUBJECT: P24-231 McDonald's US Highway 1
Traffic Generation, Stacking & Circulation Approval

This application and Traffic Report prepared by O'Rourke Engineering & Planning dated December 13, 2024 has been reviewed by the Public Works Department and the transportation elements of the project were found to be in compliance with the adopted level of service and requirements of Chapter 156 of City Code, and Public Works Policy 19-01pwd.

MEMORANDUM

TO: Bethany Grubbs, Senior Planner
Planning and Zoning Department

FROM: Frank Knott, CRA Project Manager 

SUBJECT: McDonald's, 10180 South U.S. Hwy #1
Site Plan (P-24-230) and Special Exception Use (P24-231)

DATE: January 22, 2025

The City of Port St. Lucie Community Redevelopment Agency staff is in support of the Site Plan and Special Exception Use (drive-through window) applications for the McDonald's Restaurant located at 10180 South U.S. Hwy #1.

The development of a new restaurant along the U.S. Hwy #1 Corridor is in line with the CRA Master Plan Goals and Objectives by promoting business investment and economic development within the corridor. Along with entertainment uses, the need for restaurants were also ranked very high and mentioned frequently within the Master Plan.

Should you have any questions or need any additional information, please do not hesitate to reach out to me.



Coyne, Dale P. & Gail A. (McDonald's)
Special Exception Use
(P24-231)

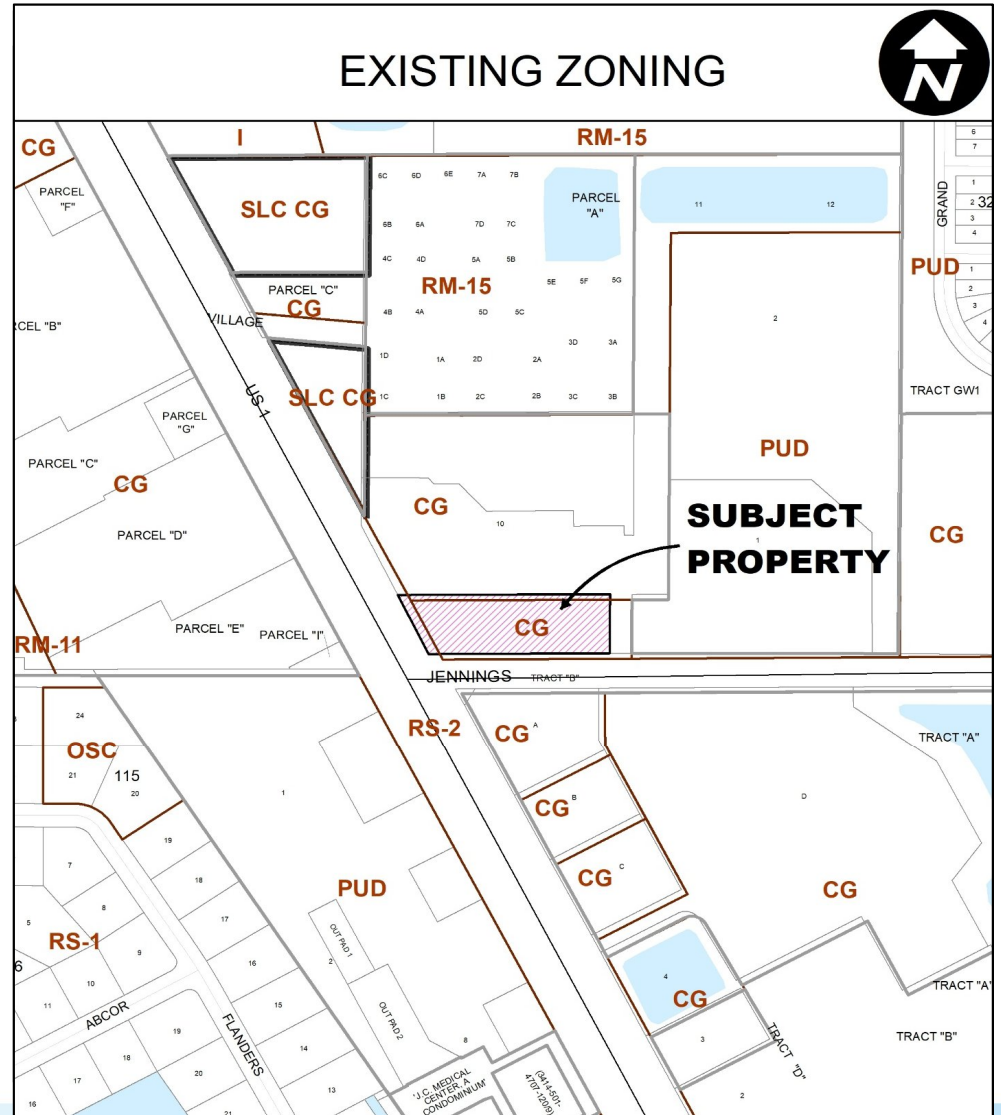
Planning and Zoning Meeting of August 5, 2025
Bethany Grubbs, AICP, Senior Planner/Public Art Program

General Information

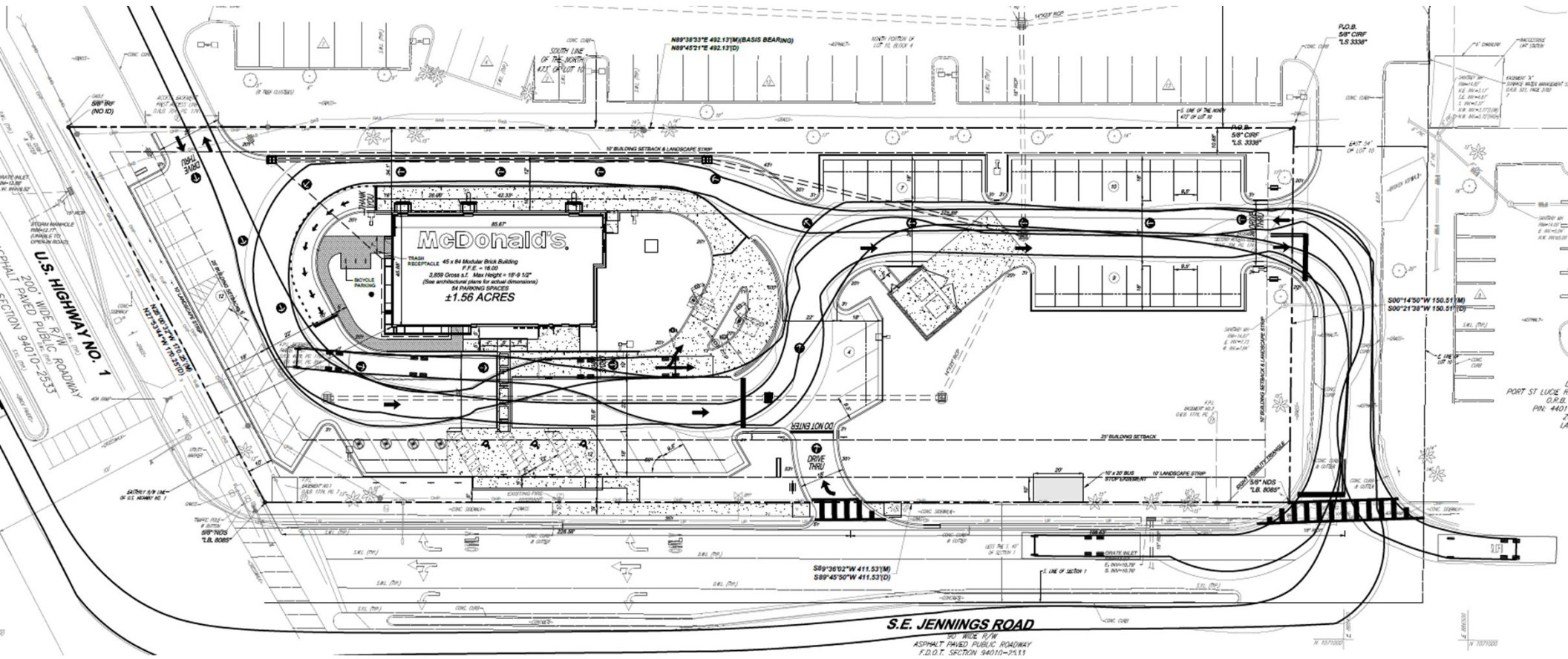
Applicant's Request:	The request is for approval of a Special Exception Use (SEU) to allow a restaurant with drive-through service lanes in the General Commercial (CG) Zoning District, per Section 158.124(C)(13) of the Zoning Code.
Project Summary:	The applicant proposes to construct a 3,859-square-foot McDonald's restaurant featuring a dual-lane drive-through.
Location:	The property is located at 10180 S. US Highway 1, at the northeast corner of the intersection of S. US Highway 1 and SE Jennings Road.
Applicant/Property Owner(s):	Dale P. Coyne & Gail A. Coyne
Agent:	Daryl Johnson, Corporate Property Services, Inc.

Surrounding Uses

Direction	Future Land Use	Zoning	Existing Use
North	CG	CG	Hotel
South	-----	----	Jennings Road Right-of-Way
East	CG	CG	Nursing Home
West	RL	RS-2	US 1 Right-of-Way



Conceptual Site Plan



Elevations



CUHACI PETERSON

Proposed McDonald's 009-2788 Port St. Lucie FL NSN 43548
10180 S. US Hwy, Port St. Lucie FL • CP#20240439 • 06/20/2025

Queuing

Summary of Findings:

- The queuing drive-through lane wraps around the building in a counterclockwise pattern.
- Maximum storage capacity: 15 vehicles in the queue lane.
- Data gathered from 3 similar McDonald's sites in Port St. Lucie and Jensen Beach.
- A maximum projected queue of 13 vehicles is expected based on the patterns observed at these locations.
- Projected Peak Queues:
 - AM Peak: Up to 13 vehicles expected
 - PM Peak: Up to 8 vehicles expected
- The vehicle storage within the site is adequate to accommodate projected queue lengths.
- No queuing impacts expected on the adjacent road right-of-way, access drives, or cross-access easements.

Evaluation of SEU Criteria (Section 158.260)	FINDINGS
ADEQUATE INGRESS AND EGRESS (§ 158.260 (A))	The site plan demonstrates that the site has adequate ingress and egress for vehicles and will allow for pedestrian safety and convenience. The site provides three points of access, two via internal connections to the parcel to the north and one via a right-in/right-out driveway on SE Jennings Road. Public Works Department reviewed the transportation element of the project and found it to be in compliance with the adopted level of service and requirements of Chapter 156 of City Code, and Public Works Policy 19-01pwd. Adequate queuing for the drive-through is also provided.
ADEQUATE OFF-STREET PARKING AND LOADING AREAS (§ 158.260 (B))	Adequate off-street parking and loading areas are provided without creating undue noise, glare, odor, or other detrimental effects upon adjoining properties. The required parking for the use is 52 off-street parking spaces with 54 being provided.
ADEQUATE AND PROPERLY LOCATED UTILITIES (§ 158.260 (C))	Adequate utilities are available to service the proposed development. The Port St. Lucie Utility Systems Department (PSLUSD) currently provides utility services to the site.
ADEQUATE SCREENING OR BUFFERING (§§ 158.260 (D) (F))	No additional buffering is required as the proposed drive-through windows do not face a roadway. All General Commercial (CG) zoning district building setback and landscape requirements are met which provides adequate screening and buffering.
SIGNAGE AND EXTERIOR LIGHTING (§158.260 (E))	Outdoor will comply with the requirements of City Zoning Code Section 158.221. Outdoor signage shall be reviewed under a separate permit application and shall comply with Chapter 155 Sign Code.
COMPATIBILITY WITH SURROUNDING USES (§ 158.260 (H) (I) (J))	The site is in an area designated for commercial development and is consistent with the adjacent commercial uses.

Planning and Zoning Board Action Options:

The Board may choose to approve, deny, or table the proposed special exception use.

If the Board finds that the application is consistent with the criteria as listed in Section 158.260 (A) through (L) of the City code, then the Board may:

- Motion to approve
- Motion to approve with conditions

If the Board finds that the special exception use application is inconsistent with the criteria as listed in Section 158.260 (A) through (L) of the City code, then the Board may:

- Motion to deny

Should the Board need further clarification or information from either the applicant and/or staff, the Board may:

- Motion to table or continue the hearing or review to a future meeting



Agenda Summary

2025-089

Agenda Date: 8/5/2025

Agenda Item No.: 8.b

Placement: Public Hearing - Quasi Judicial

Action Requested: Motion / Vote

P25-086 Jared Greenberg - Variance

Location: The property is located at 702 SW Abode Avenue.

Legal Description: Port St. Lucie Section 33, Block 2326, Lot 21

This request is to grant the following variances: 1) a variance of 745 SF to allow the construction of a 945 square foot carport, 2) a variance of four (4) feet to allow for a six (6) foot side yard setback on the west side of the property, and 3) a variance to allow the proposed carport to extend beyond the front corners of the house.

Submitted By: Ivan Betancourt, Planner I

Executive Summary: The City of Port St. Lucie has received a request from Jared Greenberg, the property owner, to grant the following variances: 1) a variance of 745 square feet to allow the construction of a 945 square foot carport, 2) a variance of four (4) feet to allow for a 6-foot side yard setback on the west side of the property, and 3) a variance to allow the proposed carport to extend beyond the front corners of the house. Section 158.217 (C)(2)(p) allows for a maximum size of 200 square feet for a carport. Sections 158.217 (C)(1) and 158.073 (H) state that accessory structures in the RS-2 (Single-Family Residential) zoning district must maintain a 10-foot setback from the side property line. Section 158.217(C)(1) of the Zoning Code prohibits accessory structures within the area extending from the front corners of the principal structure to the front property line.

Presentation Information: A presentation will be provided.

Staff Recommendation: Move that the Board review the variance application and vote to approve, approve with conditions, or deny the variance requests.

Background: See Staff Report

Issues/Analysis: See Staff Report

Special Consideration: N/A

Location of Project: The property is generally located on the south side of SW Abode Ave, west of SW Port St. Lucie Blvd.

Attachments:

1. Staff Report
2. Survey
3. Application and Variance Criteria Responses
4. Applicant Carport Concept Submittal

5. Deed
6. Staff Presentation



Jared Greenberg - Variance
Project No. P25-086



SUMMARY

Applicant's Request:	Variances from Section 158.217(C)(1) of the Zoning Code which prohibit accessory structures within the area extending from the front corners of the principal structure to the front property line, Section 158.217 (C)(2)(p) which restricts the maximum size of carports to either 200 square feet or 400 square feet, depending on lot size, and Sections 158.217 (C)(1) and 158.073 (H), which in combination, require that accessory structures in the RS-2 (Single-Family Residential) zoning district maintain a 10-foot setback from the side property line.
Application Type:	Variance, Quasi-Judicial
Applicant/Owner:	Greenberg, Jared

Location:	702 SW Abode Ave
Project Planner:	Ivan Betancourt, Planner I

Project Description

The City of Port St. Lucie has received a request from Jared Greenberg, the property owner, to grant the following variances: 1) to allow a carport to be constructed in the area extending from the front corners of the principal structure to the front property line, 2) a variance of 745 square feet to allow the construction of a 945 square foot carport, 3) a variance of four (4) feet to allow for a 6-foot side yard setback on the west side of the property. Section 158.217(C)(1) of the Zoning Code prohibits accessory structures within the area extending from the front corners of the principal structure to the front property line. Section 158.217 (C)(2)(p) allows for a maximum size of 200 square feet for a carport. Sections 158.217 (C)(1) and 158.073 (H) state that accessory structures in the RS-2 (Single-Family Residential) zoning district must maintain a 10-foot setback from the side property line. The property subject to the variances request is located at 702 SW Abode Ave. The property is legally described as Port St. Lucie Section 33, Block 2326 Lot 21.

Background

The subject property was granted a variance of 6 feet to allow a 0-foot side yard setback on the west of the property for a proposed solar panel roof with poles on November 3, 2020. Additionally, the existing home encroaches into the side yard setback on both sides.

Review Criteria

An application for a variance is reviewed for consistency with Article XV of the Zoning Code, Sections 158.295 through 158.299. Final action on the application (approval or denial) is in the form of an Order of the Planning and Zoning Board following a quasi-judicial public hearing. A vote of approval by five (5) members of the Planning and Zoning Board is required to grant a variance.

Public Notice Requirements (Section 158.298 (B))

Public notice was mailed to owners within 750 feet on June 20, 2025, and the file was included in the ad for the Planning & Zoning Board's agenda.

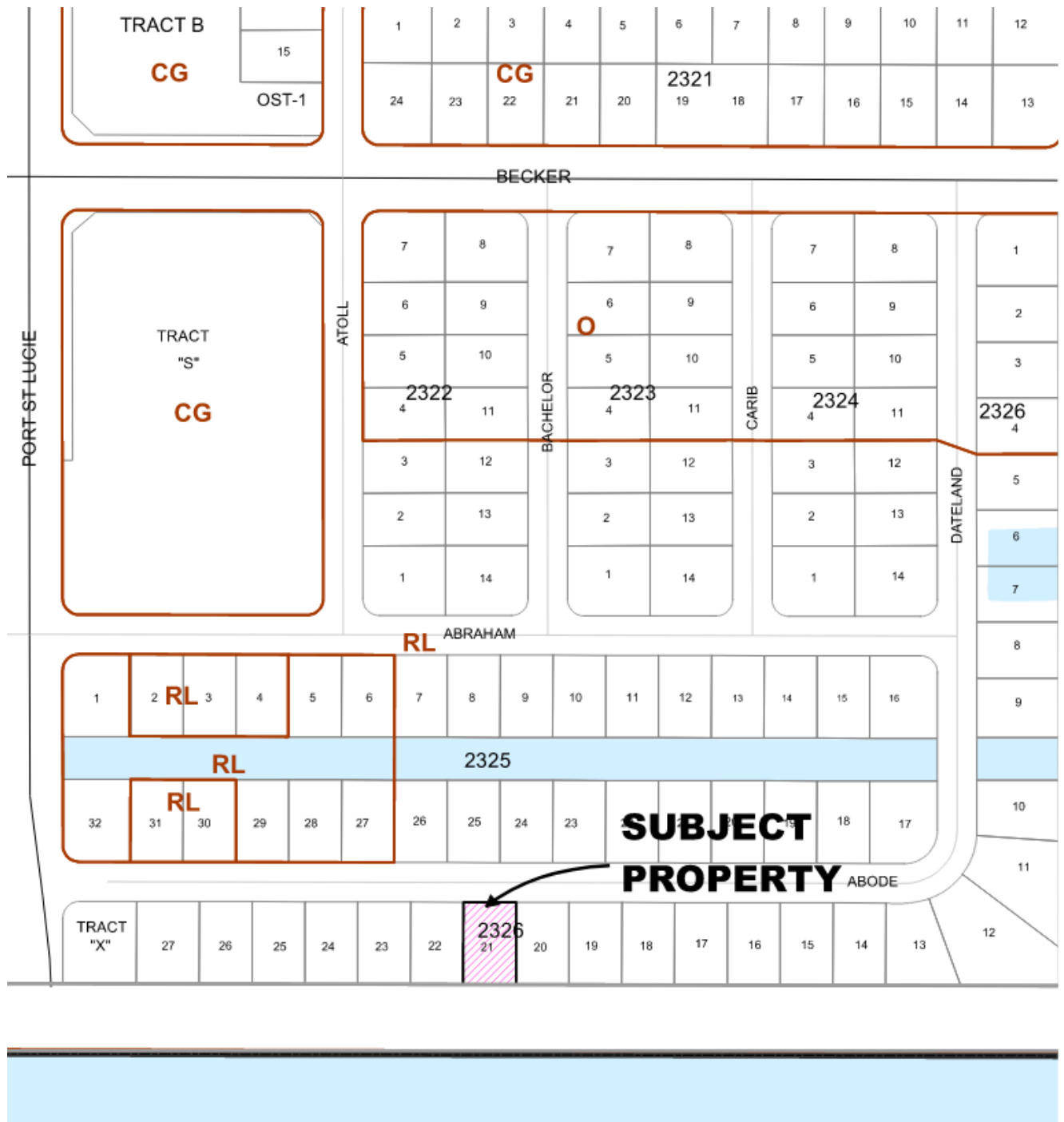
Location and Site Information

Parcel Number:	3420-660-3547-000-4
Property Size:	0.23 acres (10,000 SF)
Legal Description:	Port St. Lucie Section 33, Block 2326 Lots 21
Address:	702 SW Abode Ave
Future Land Use:	RL – Low Density Residential
Existing Zoning:	RS-2 – Single-Family Residential
Existing Use:	Single-Family Home

Surrounding Uses

Direction	Future Land Use	Zoning	Existing Use
North	RL	RS-2	Single-Family Home
South	NA	NA	C-23 Canal
East	RL	RS-2	Single-Family Home
West	RL	RS-2	Single-Family Home

RL (Low Density Residential) – RS-2 (Single Family Residential) – NA (Not Applicable)



Future Land Use Map

IMPACTS AND FINDINGS

Section 158.295 (B) of the Zoning Code establishes the duties of the Planning and Zoning Board in authorizing a variance. The Planning and Zoning Board may authorize a variance from the provisions of the Zoning Code as will not be contrary to the public interest when, owing to special conditions, a literal enforcement of the provisions will result in unnecessary and undue hardship. Pursuant to Section 158.296, a variance is authorized only for height, area, and size of structure, yard size, building setback, lot size requirements, and other applicable development regulations, excluding use. To authorize a variance, the Planning and Zoning Board should consider the criteria listed under Section 158.295 (B) (1) through (7) of the Zoning Code. The applicant's response to this criterion is attached to the application. Staff's review is provided below:

Compatibility with variance criteria Section 158.295 (B).

- 1) That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.
 - Applicant's Response: *Due to the lots being so small, and the restrictions that zoning department puts on what you are allowed to do a carport that is recommended by the zoning department is to small to do anything under it. I don't want to get wet when it rains under my carport.*
 - Staff Findings: *There are no special conditions or circumstances which are peculiar to the land, structure or building involved which are not applicable to other properties in the same zoning district. The subject property is a standard RS-2 zoned lot measuring 80 feet in width by 125 feet in depth, consistent with the typical parcel size found throughout the zoning district.*
- 2) That the special conditions and circumstances do not result from any action of the applicant.
 - Applicant's Response: *I have no idea what this question is asking.*
 - Staff Findings: *There are no special conditions and circumstances. See response to number 1.*
- 3) That granting the variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands, buildings, or structures, in the same zoning district.
 - Applicant's Response: *Nothing, others can apply for this variance or the planning and zoning department can update the code to allow for carports that are normal size and not have so many restrictions on peoples property that they own. If you own your property you should be able to build what every you want on your property.*
 - Staff Findings: *The granting of the variances will confer special privileges on the current owners that are denied to other lands in the Single-Family (RS-2) Zoning District. Properties within this zoning district are required to abide by Section 158.217 (C)(2)(p), which restricts carports in size, so they do not exceed 200 square feet or 400 square feet, depending on the lot size. Additionally, Section 158.217 (C)(1) prohibits accessory structures within the area extending from the front corners of the principal*

structure to the front property line. Furthermore, Section 158.073 (H), in combination with Section 158.217 (C)(1), require that accessory structures maintain a 10-foot setback from the side property line.

- 4) That literal interpretation of the provisions of the chapter would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the chapter and would work unnecessary and undue hardship on the applicant.

- *Applicant's Response: If you deny my application then you are restricting my rights to be able to enjoy my property and build what I want on my own land and to live my life the way I want to live. You will be depriving me of my God given rights to enjoy life and enjoy my property on my property.*
- *Staff Findings: The literal interpretation of the provisions of Chapter 158, Zoning Code, would not deprive the applicant of rights commonly enjoyed by other properties in the RS-2 zoning district. The applicant could reduce the size of the proposed carport to meet the size, location, and setback requirements.*

- 5) That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.

- *Applicant's Response: Please see the attached pictures that I have attached to the file. I am currently in the process of redoing my roof with a 1.5" standing seam 24 gauge metal roof and I would like to also install the Sky Lift supports while we do the roof replacement so when I get the carport permit I have the one side done and I don't have to take apart my new metal roof to do the carport concept.*
- *Staff Findings: The applicant currently has reasonable use of the land.*

- 6) That the granting of the variance will be in harmony with the general intent and purpose of the chapter and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

- *Applicant's Response: I am still staying 25feet from the front set back of my property.*
- *Staff Findings: Granting the variance will not be in harmony with the general intent and purpose of the Zoning Code.*

- 7) That there will be full compliance with any additional conditions and safeguards which the Planning and Zoning Board or Zoning Administrator may prescribe, including but not limited to reasonable time limits within which the action for which variance is required shall be begun or completed, or both.

- *Applicant's Response: I will comply with what is reasonable to do. If planning and zoning act like they did with my rear fence then we have major problems.*
- *Staff Findings: Acknowledged.*

PLANNING AND ZONING BOARD ACTION OPTIONS

The Board may choose to approve, deny or table the proposed variance. If the Board finds that the variance application is consistent with the criteria as listed in Section 158.295 (B) (1) through (7) of the City code (listed above), then the Board may make a:

- Motion to approve the variances
- Motion to approve with conditions

If the Board finds that the variance application is inconsistent with the criteria as listed in Section 158.295 (B) (1) through (7) of the City code, then the Board may make a:

- Motion to deny

Should the Board need further clarification or information from either the applicant and/or staff, the Board may make a:

- Motion to table or continue the hearing or review to a future meeting

(NOTE TO APPLICANTS: Any request for a variance that is denied by the Planning and Zoning Board may be appealed to the Board of Zoning Appeals. Appeal applications are made through the City Clerk's office and must be submitted within 15 days after the Planning and Zoning Board hearing).

TYPE OF SURVEY:

- ☒ BOUNDARY ☒ CONSTRUCTION ☐ CONDOMINIUM
☐ ALTA/NSPS ☒ TOPOGRAPHIC ☐ SPECIAL PURPOSE

PURPOSE OF SURVEY (SEE GENERAL NOTES BELOW):

Property Improvements

LEGAL DESCRIPTION:

LOT 21, BLOCK 2326, PORT ST LUCIE THIRTY THREE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 15, PAGE(S) 1-1A-1V, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PROPERTY ADDRESS:

702 SW ABODE AVENUE
 PORT SAINT LUCIE, FL 34953

INVOICE NUMBER: 153110-SE

DATE OF FIELD WORK: 10/28/2022

CERTIFIED TO

JARED GREENBERG

FLOOD ZONE: X

FLOOD MAP: 12111C

PANEL: 0405

SUFFIX: J

PANEL DATE: 02/16/2012

BASE FLOOD ELEVATION OR DEPTH: N/A NAVD 1988

COMMUNITY NUMBER: 120287

PLATTED EASEMENTS, NOTABLE OR ADVERSE CONDITIONS (UNPLATTED EASEMENTS ALSO LISTED IF PROVIDED BY CLIENT):

IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN HEREON AND THEIR RELATIONSHIP TO THE BOUNDARY LINE.

6' UTILITY AND DRAINAGE EASEMENT ALONG EAST AND WEST PROPERTY LINES

10' UTILITY AND DRAINAGE EASEMENT ALONG SOUTH PROPERTY LINE

A/C PAD EXTENDS INTO EAST EASEMENT

ABBREVIATION LEGEND (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING):

A OR AL = ARC LENGTH	DE = DRAINAGE EASEMENT	P = PLAT	QTR = QUARTER
B.S.L. = BUILDING SETBACK LINE	EL OR ELEV = ELEVATION	PC = POINT OF CURVE	R = RADIUS
C/O = CLEANOUT	EM = ELECTRIC METER	PCC = POINT OF COMPOUND CURVE	RNG = RANGE
CA = CENTRAL ANGLE	PH = FOUND IRON ROD	PH = POOL HEATER	SEC = SECTION
CATV = CABLE TV RISER	FIN = FOUND NAIL	PI = POINT OF INTERSECTION	TR = TELEPHONE RISER
CF = CALCULATED FROM FIELD	FND = FOUND	POB = POINT OF BEGINNING	TWP = TOWNSHIP
CH = CHORD DISTANCE	HFA = HELD FOR ALIGNMENT	POC = POINT OF COMMENCEMENT	UE = UTILITY EASEMENT
CONC. = CONCRETE	L = LEGAL DESCRIPTION	PP = POOL PUMP	UP = UTILITY POLE
CP = CONTROLLING POINT	M = MEASURED	PRC = POINT OF REVERSE CURVE	WM = WATER METER
OR = CALCULATED FROM RECORD	OHC = OVERHEAD CABLE	PT = POINT OF TANGENCY	WV = WATER VALVE

SYMBOLS (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING - NOT TO SCALE):

⚡ = UTILITY POLE	⊕ = WELL	♿ = HANDICAP PARKING SPACE
☆ = LIGHT POLE	⊙ = CENTER LINE	
⊞ = CATCH BASIN	⊞ = PARTY WALL	
⚡ = FIRE HYDRANT	⊞ = AIR CONDITIONER	⊞ = SEC. QTR. CORNER
⊞ = MANHOLE	⊞ = SEPTIC LID	
⊞ = WATER VALVE	X = ELEV. SHOT	⊞ = SECTION CORNER
⊞ = WATER METER		

LINETYPES:

BOUNDARY	— x — x —
BUILDING	— // — //
EASEMENT	— o — o —
CHAIN LINK FENCE	— i — i —
WOOD FENCE	— / — / —
PLASTIC FENCE	— / — / —
OVERHEAD CABLE	— i — i —

GENERAL NOTES:

- THIS SURVEY IS BASED UPON RECORD INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
- AS INDICATED ABOVE, UNDER "PURPOSE OF SURVEY", IF THIS SURVEY HAS BEEN PREPARED FOR A PURCHASE OR REFINANCE, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES, AND IS NOT INTENDED FOR USE IN DESIGN OR CONSTRUCTION PURPOSES. RECIPIENTS MUST CONTACT OUR OFFICE FOR APPROVAL PRIOR TO SUCH USE. LANDTEC SURVEYING ASSUMES NO RESPONSIBILITIES FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.
- ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING FROM THE REMOVAL OF, OR CHANGES MADE TO, ANY FENCES UNLESS WE HAVE PROVIDED A SURVEY SPECIFICALLY LOCATING SAID FENCES FOR SUCH PURPOSES. DETERMINATION OF FENCE POSITIONS SHOULD BE BASED SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
- GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
- UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
- ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988) AS SHOWN ON SHEET 1.
- ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- ANY CORNERS SHOWN AS "SET" HAVE EITHER BEEN SET ON THE DATE OF FIELD WORK, OR WILL BE SET WITHIN 5 BUSINESS DAYS OF SAID DATE AND ARE IDENTIFIED WITH A CAP MARKED LS (LICENSED SURVEYOR) #5639.

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS OUTLINED IN CHAPTER 5J-17.051 & 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT THE ELECTRONIC SIGNATURE AND SEAL HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062, PURSUANT TO SECTION 472.025, FLORIDA STATUTES.



Digitally signed by Andrew Snyder
 DN: c=US, o=LANDTEC SURVEYING INC,
 dnQualifier=A01410C00000180E1EC7817000C
 CA2C, cn=Andrew Snyder
 Date: 2022.12.13 15:15:18 -05'00'
 Adobe Acrobat version: 2022.003.20282

SIGNATURE

DATE: 12/07/2022

ANDREW SNYDER - PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION NO. 5639 (NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR THE ELECTRONIC SEAL
 OF THE FLORIDA LICENSED SURVEYOR AND MAPPER SHOWN ABOVE)

PRINTING INSTRUCTIONS:

WHEN PRINTING THIS PDF IN ADOBE, SELECT "ACTUAL SIZE" TO ENSURE CORRECT SCALING. DO NOT USE "FIT".

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LICENSED BUSINESS No. 8007

VARIANCE APPLICATION

CITY OF PORT ST. LUCIE
Planning & Zoning Department
121 SW Port ST. Lucie Blvd.
Port St. Lucie, Florida 34984
(772)871-5213

FOR OFFICE USE ONLY

Planning Dept _____
Fee (Nonrefundable) \$ _____
Receipt # _____

Refer to "Fee Schedule" for application fee. Make check payable to the "City of Port St. Lucie. Fee is nonrefundable unless application is withdrawn prior to advertising for the Planning and Zoning Board meeting. Attach two copies of proof of ownership (e.g.: warranty deed, affidavit), a copy of recent survey and a statement addressing each of the attached criteria.

PRIMARY CONTACT EMAIL ADDRESS: Greenberg, Jared@gmail.com

PROPERTY OWNER:

Name: Jared + Emily Greenberg
Address: 702 SW Abode Ave PSL 34953
Telephone No. 352-514-6426

APPLICANT (IF OTHER THAN OWNER, ATTACH AUTHORIZATION TO ACT AS AGENT):

Name: _____
Address: _____
Telephone No. _____ Email _____

SUBJECT PROPERTY:

Legal Description: PSL - section 33-BLK 2326 Lot 21 (MAP 44/315)
Parcel I.D. Number: 3420-660-3547-000-4
Address: 702 SW Abode Ave PSL 34953
Current Zoning Classification RS-2

Description of requested variance and applicable conditions/circumstances justifying request (continue on separate sheet, if necessary): Provide documentation that the attached variance criteria have been met.

To but the size of the carport and where I want to put the carport
per section 158.217. According to PdZ this is a variance that's allowed
Also see P78-016, P80-002, P97-120

[Signature] Jared M Greenberg 5/14/2025
Signature of Applicant Hand Print Name Date

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted. 03/02/20

VARIANCES

§ 158.295 PLANNING AND ZONING BOARD OR ZONING ADMINISTRATOR (DIRECTOR OF PLANNING AND ZONING) TO HEAR VARIANCES; POWERS AND DUTIES OF BOARD AND ZONING ADMINISTRATOR

(C) Duties of the Zoning Administrator and Planning and Zoning Board in authorizing a variance. The Planning and Zoning Board and Zoning Administrator may authorize the variance from the provisions of this chapter as will not be contrary to the public interest when, owing to special conditions, a literal enforcement of the provisions will result in unnecessary and undue hardship. In order to authorize any variance from the terms of this chapter, the Planning and Zoning Board or Zoning Administrator should consider:

- (1) That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;
- (2) That the special conditions and circumstances do not result from any action of the applicant;
- (3) That granting the variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands, buildings, or structures, in the same zoning district;
- (4) That literal interpretation of the provisions of the chapter would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the chapter and would work unnecessary and undue hardship on the applicant;
- (5) That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure;
- (6) That the granting of the variance will be in harmony with the general intent and purpose of the chapter and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare;
- (7) That there will be full compliance with any additional conditions and safeguards which the Planning and Zoning Board or Zoning Administrator may prescribe, including but not limited to reasonable time limits within which the action for which variance is required shall be begun or completed, or both.

VARIANCES

The Planning and Zoning Board and Zoning Administrator may authorize the variance from the provisions of this chapter as will not be contrary to the public interest when, owing to special conditions, a literal enforcement of the provisions will result in unnecessary and undue hardship. In order to authorize any variance from the terms of this chapter, the Planning and Zoning Board or Zoning Administrator will consider the variance criteria in § 158.295 (C) 1-7 and consider your responses to the following when making a determination.

(1) Please explain special conditions and circumstances that exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;

Due to the lots being so small, and the restrictions that zoning department puts on what you are allowed to do a carport that is recommended by the zoning department is so small to do anything under it. I don't want to get wet when it rains under my carport.

(2) Please explain if these conditions and circumstances result from actions by the applicant;

I have no idea what this question is asking.

(3) Please explain how granting the variance requested will not confer on the applicant special privilege that is denied by this chapter to other lands, buildings, or structures, in the same zoning district;

Nothing, others can apply for this variance or the planning and zoning department can update the code to allow for carports that are normal size and not have so many restrictions on peoples property that they own! If you own your property you should be able to build what ever you want on your property.

(4) Please explain how a literal interpretation of the provisions of the chapter would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the chapter and would work unnecessary and undue hardship on the applicant;

If you deny my application then you are restricting my rights to be able to enjoy my property and build what I want on my own land and to live my life the way I want to live. You will be depriving me of my God given rights to enjoy life and enjoy my property on my property.

(5) Please illustrate and explain if the variance requested is the minimum variance that will make possible the reasonable use of the land, building, or structure;

Please see the attached pictures that I have attached to the file. I am currently in the process of redoing my roof with a 1.5" standing seam 24 gauge metal roof and I would like to also install the Sky Lift supports while we do the roof replacement so when I get the carport building permit I have the one side done and I don't have to take apart my new metal roof to do the carport concept.

(6) Please indicate how granting variance will be in harmony with the general intent and purpose of the chapter and that granting the variance will not be injurious to the area involved or otherwise detrimental to the public welfare;

I am still staying away from the front set back and not
going all the way to the road.

(7) Please indicate that there will be full compliance with any additional conditions and safeguards which the Planning and Zoning Board or Zoning Administrator may prescribe, including but not limited to reasonable time limits within which the action for which variance is required shall be begun or completed, or both.

I will comply with what is reasonable to do. If planning & zoning
act like they did with my rear fence then we have major
problems.


 Signature of Applicant

Seered Greenberg
 Hand Print Name

5/14/2028
 Date

702 SW Abode Carport concept

I would like to add the SkyLift system while my roof gets replaced so it would be easier to build

My ~~38' x 25'~~ carport ~ ~~950 SQFT~~

35' x 27'

945 SQFT

<https://www.skylifthardware.com/18-36-inch-heavy-duty-roof-risers-p/hd-extended.htm>

The Sky Lifts would go along the roof line East to West

Carport has been revised to 35' x 27' as shown on the attached survey, so it does not extend to the side property line

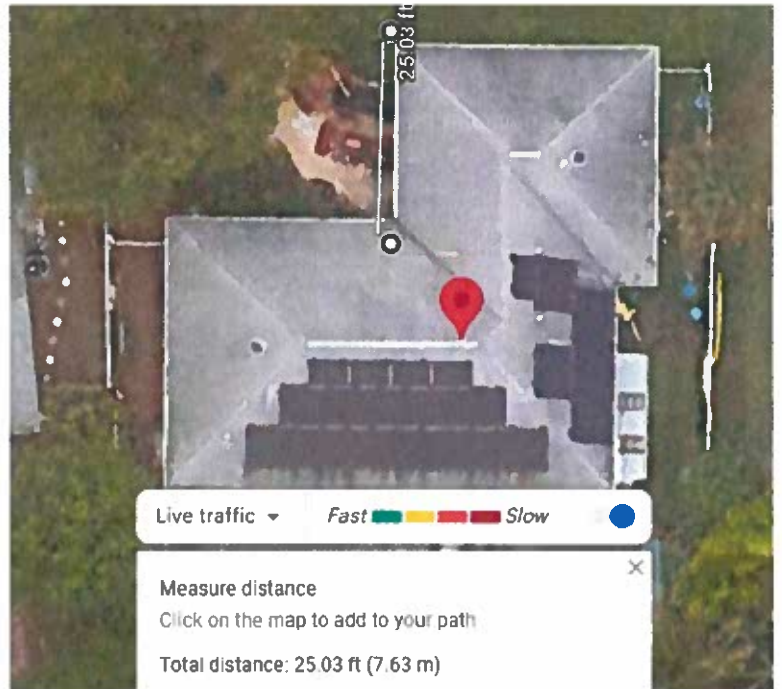
The skylift would be placed along the roof that is shown on the picture to the right.

The carport would be at least 15 feet high so a Uhaul could back up to the door.



The carport would span the driveway to the edge of the roof line

The carport would be about 25 feet wide.



The General Layout of the carport

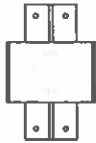
- 6x6 posts
- Skylift system

Posts have been revised as shown on the attached survey to keep it out of the 6' UE easement

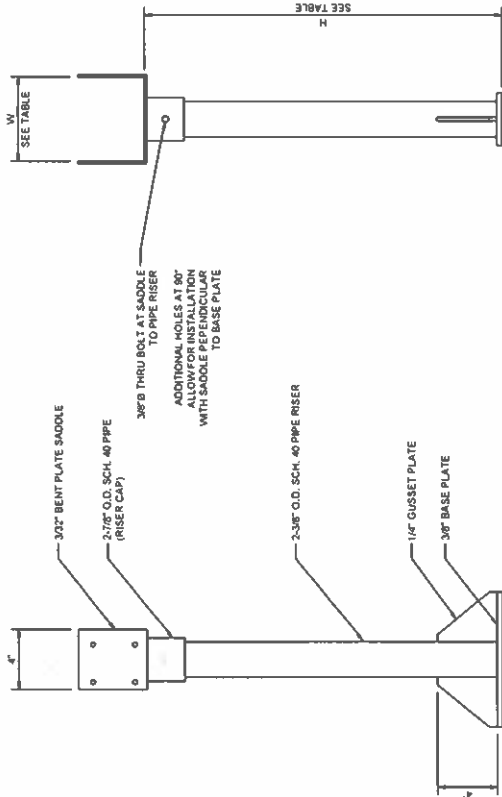


SKY LIFT HEAVY DUTY RISER					
SERIES RISER HT.	MODEL #	WEIGHT	DIMENSIONS		NOTES
			W	H	
SK18-HD	SK18-HD 3.5	15.1BS	3-1/2"	18"	
	SK18-HD 5.5	15.2BS	5-1/2"	18"	
	SK18-HD 6R	15.1BS	6"	18"	SADDLE WIDTH SIZED FOR FULLSAW OR ROUGHSAW BEAMS
SK24-HD	SK24-HD 3.5	16.6BS	3-1/2"	24"	
	SK24-HD 5.5	17.1BS	5-1/2"	24"	
	SK24-HD 6R	16.6BS	6"	24"	SADDLE WIDTH SIZED FOR FULLSAW OR ROUGHSAW BEAMS
SK30-HD	SK30-HD 3.5	19.1BS	3-1/2"	30"	
	SK30-HD 5.5	19.2BS	5-1/2"	30"	
	SK30-HD 6R	19.1BS	6"	30"	SADDLE WIDTH SIZED FOR FULLSAW OR ROUGHSAW BEAMS
SK36-HD	SK36-HD 3.5	21.1BS	3-1/2"	36"	
	SK36-HD 5.5	21.2BS	5-1/2"	36"	

NOTES:
 1. FINISH OF ALL SKY LIFT RISER ASSEMBLIES IS POWDER-COATED BLACK, UNLESS NOTED OTHERWISE.
 2. USE PROVIDED FASTENERS FOR INSTALLATION. DO NOT SUBSTITUTE FASTENERS.
 3. REQUIRED SADDLE SIZE IS FOUND BY USING COLUMN "W" ON TABLE ABOVE. VALUE EQUALS BEAM WIDTH. 1/8" ADDED TO MANUFACTURED WIDTH TO ALLOW FOR INSTALLATION.
 4. BEAM MUST BE FULLY SUPPORTED BY STRUCTURAL MEMBER. ALL PERMITTING, STRUCTURAL DESIGN, STAMPED DRAWINGS, CALCULATIONS AND INSPECTIONS ARE SOLE RESPONSIBILITY OF PURCHASER. SKYLIFT ROOF RISER HARDWARE AND SAGE BRACKET SOLUTIONS, LLC MAINTAINS AND ACCEPTS NO RESPONSIBILITY FOR SKYLIFT PROVIDED ASSEMBLIES OR HARDWARE THAT IS NOT INSTALLED PER OFFICIAL SKYLIFT ROOF RISER INSTALLATION INSTRUCTIONS (PART # 372). LOCAL CODE REQUIREMENTS AND A LOCALLY LICENSED ENGINEER'S DESIGN MUST BE FOLLOWED FOR ALL SKYLIFT ROOF RISER SYSTEMS. SKYLIFT ROOF RISER SYSTEMS ARE DESIGNED AND IS INTENDED TO BE USED WITHIN A STRUCTURAL SYSTEM DESIGNED BY A LOCALLY LICENSED PROFESSIONAL ENGINEER.

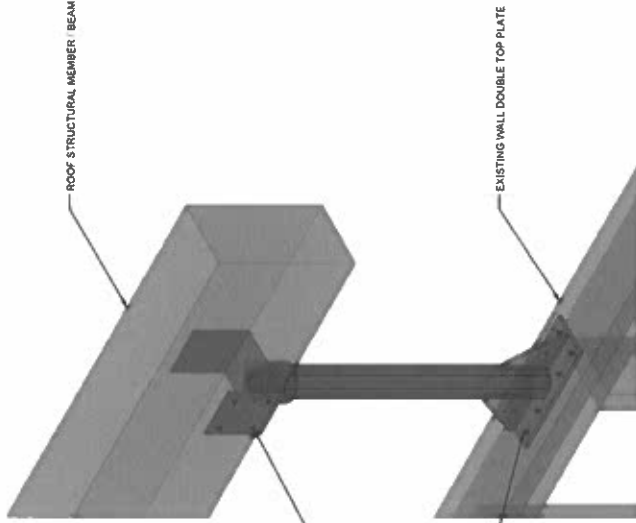


TOP VIEW



FRONT VIEW

SIDE VIEW



THREE-DIMENSIONAL VIEW
FOR ILLUSTRATIVE PURPOSES ONLY

INSTALL (4) SIMPSON SDS 1/4" X 3" SCREWS
AT EACH SIDE OF BEAM
FASTENERS INCLUDED WITH SKY LIFT RISER.
HOLES STAGGERED TO ALLOW FOR INSTALLATION.
DO NOT SUBSTITUTE FASTENERS.

INSTALL (8) SIMPSON SDS 1/4" X 3" SCREWS
TO WALL TOP PLATE.
FASTENERS INCLUDED WITH SKY LIFT RISER.
DO NOT SUBSTITUTE FASTENERS.



PART NUMBERS:
 SK18, SK24
 SK30, SK36
 DRAWING NAME:
 SKY LIFT
 HEAVY DUTY RISER

LEGEND PROJECT NO. SK1			
NO.	DATE	REVISION	DESCRIPTION
1	10/1/2022	1	ISSUED FOR PERMIT
2	10/1/2022	2	REVISED FOR PERMIT

SHEET TITLE
 SPECIFICATIONS
 (CLIENT)
 SHEET NO.
 SP-1



ENGINEERINGEXPRESS.COM

POSTAL ADDRESS: 401 W. ATLANTIC AVE R10 #210
DELRAY BEACH, FL 33444

Technical Evaluation Report

THIS DOCUMENT CONTAINS (11) PAGES. THE FIRST PAGE MUST BEAR AN ORIGINAL SIGNATURE & SEAL OF THE CERTIFYING PE TO BE VALID FOR USE. COPIES ARE NOT VALID FOR PERMIT.

(Subject to Renew August 1, 2023 or next code cycle)

EVALUATION SUBJECT: STEEL SADDLE RISER - STD., HEAVY DUTY & DESIGNER LINE W/ STABILIZER

TER-21-42319

REPORT HOLDER:

SKYLIFT HARDWARE

1160 Vista Avenue SE

Salem, OR 97302 USA

Phone: (503) 361-2274 | SkyLiftHardware.com

SCOPE OF EVALUATION (compliance with the following codes):

THIS IS A STRUCTURAL PERFORMANCE EVALUATION OF THE COMPONENTS LISTED HEREIN ONLY. NO OTHER PERFORMANCE RATINGS OR CERTIFICATIONS ARE OFFERED OR IMPLIED HEREIN.

This Product Evaluation Report is being issued in accordance with the requirements of the *International Building & Residential Codes (2012, 2015, & 2018),

California Building & Residential Codes (2019), & the *Florida Building Code Seventh Edition (2020) per FBC/IBC Section 104.11, FBC/IBC Building Ch. 16, and ASCE 7. The product noted on this report has been tested and/or evaluated as summarized herein.

SUBSTANTIATING DATA:

Product Evaluation Documents

Substantiating documentation has been submitted to provide this report and is summarized in the sections below.

Test Reports

No testing data has been provided and this analysis is based on 360-16 Specifications for Structural Steel Building - AISC and 2018 National Design Specification - NDS standards.

DESIGN:

1. Positive and negative design pressures calculates for use with this system shall be determined by others on a job-specific basis using ASD method of ASCE 7-10 or ASCE 7-16 as applicable.
2. Contractor shall investigate and confirm to all local building code amendments which may apply. Design criteria beyond stated herein require additional site specific sealed engineering.

INSTALLATION:

Installation shall be made in accordance with the manufacturers published installation instructions and this report.

- remove roofing materials carefully as required and save for reinstall whenever is possible. Cut an access hole through the roof directly over the exterior bearing wall. Do not cut any roof trusses or rafters.
- Verify existing surface and structure for deficiencies, cracks or other imperfections that will create rotation on the system. Design is based on full contact of base plate to host surface.
- Determine approximate positioning or layout of all SkyLift roof riser brackets prior cutting any access holes. SkyLift positioning shall be directly over exterior load bearing walls.
- Center base plate on top of existing host structure with minimum anchoring edge and end distances required.
- Integrity of existing host structure shall be verified by others for new vertical and horizontal imposed loads including re-installation of removed material from access hole.
- If the SkyLift column does not extend above the roofline, you may need to purchase a different SkyLift product. Raising SkyLift with additional blocking will create rotation on the system and it is not covered under this report.
- Install anchoring (by others) as required according to designer and manufacturer's specifications.
- Additional bracing and/or shoring (by others) may required during erection and installation process.
- Connect steel bucket to wood beam as shown and as per manufacturer's specifications. Use of wood post for upright support shall be designed by others. Dry wood may split more easily. If wood tends to split, pre-boring holes shall be used with diameters not exceeding 3/4 of the anchor diameter or use a 5/32" bit for SDS screws. A fastener that splits the wood shall be reevaluated prior loading the connection.
- SkyLift Lateral Stabilizer Strap This device will be used as an ALTERNATE

METHOD of stabilizing a stand-off, riser, stanchion, electrical weather head, Satellite Dish, Solar Installations, et al. There may be other uses, but the strap is intended to add lateral stability to a SkyLift Riser or other device at the roof plane/diaphragm assembly.



NOTE: THE GRAPHICAL DEPICTIONS IN THIS REPORT ARE FOR ILLUSTRATIVE PURPOSES ONLY AND MAY DIFFER IN APPEARANCE.

LIMITATIONS & CONDITIONS OF USE:

Use of this product shall be in strict accordance with this report as noted herein. See remaining pages for complete limitations and conditions of use. Use provided fasteners for installation. DO NOT SUBSTITUTE FASTENERS.

FINISH:

All SkyLift risers are in powder-coated black.

MATERIAL:

Steel pipes schedule 40 conform to ASTM A53 grade B, $F_y = 35$ ksi and $F_u = 60$ ksi. Steel base plates conform to ASTM A36, $F_y = 36$ ksi and $F_u = 58$ ksi. Carbon Steel. Steel plate stabilizer conform to ASTM A653, $F_y = 33$ ksi and $F_u = 45$ ksi. SDS screws conform to ICC-ES ESR-2236. Thru bolts to conform to ASTM A307 and SAE J429.

OPTIONS:

This evaluation is valid for the SkyLift Risers sizes listed herein. See following tables and drawings.

STRUCTURAL PERFORMANCE: This report is based on individual force direction capacity referred by the standards above. User / designer shall combine forces on more than one direction to find allowable capacity of riser. No allowable stress increase has been used in the preparation of this document.

VISIT ECALC.IO/42319

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& MORE INFORMATION ABOUT THIS DOCUMENT
OR SCAN THE QR CODE

VISIT ENGINEERINGEXPRESS.COM/STORE FOR
ADDITIONAL PLANS, REPORTS & RESOURCES

ORIGINAL SIGNATURE AND RAISED SEAL
OR DIGITAL SEAL REQUIRED TO BE VALID PER CODE:



NOTICE: This report is for informational purposes only. It is not a contract. The Engineer's seal and signature are required for this report to be valid. The Engineer's seal and signature are required for this report to be valid. The Engineer's seal and signature are required for this report to be valid.

DRAFT SET

Full Set to Include Seal & Stamp

IF CHECKED, CERTIFYING ENGINEER AND PE# WILL APPEAR ABOVE

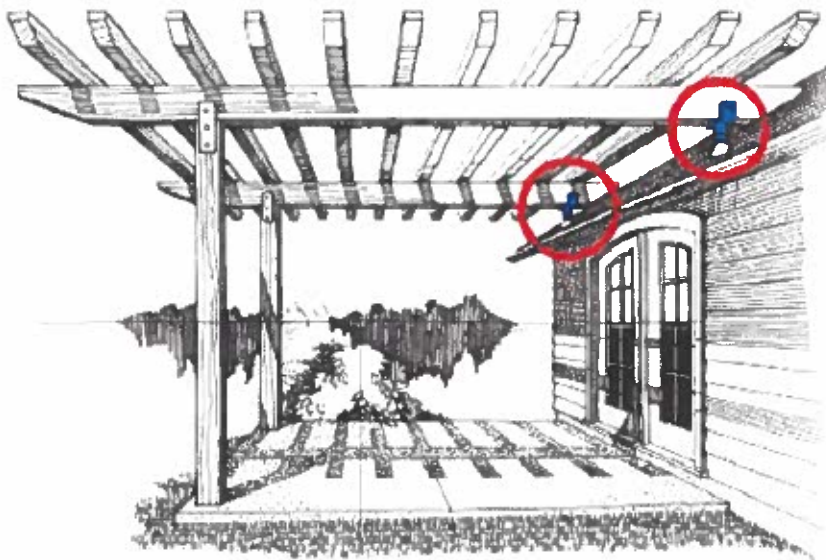
FL PE #0046549 FLCA #9885

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SECTION 1: TYPICAL INSTALLATION DETAILS

**CONTENTS**

1 Designer Riser, Black
Part No. SK-DR 3.5

12" Long with
3.5" Saddle & Plate

(16) 1/4x3 Galv. Hex Head
Wood Screws

(4) Simpson SDS Strong Tie
1/4x3 T-40 Torx® Screws

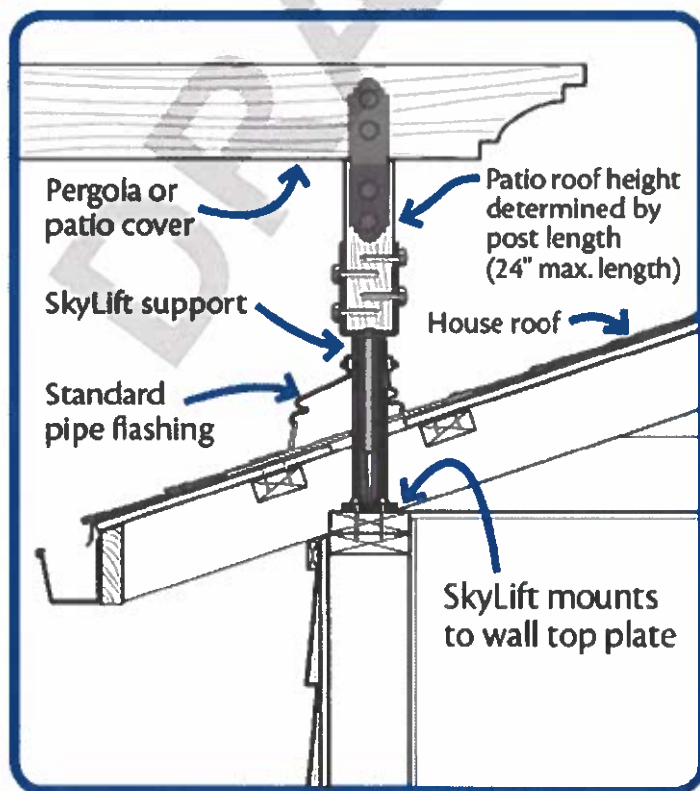
(1) Torx® Bit

(4) Simpson Outdoor
Accents Hex Head Washers

Installation instructions

Patent Pending

NOTE: FASTENERS SHOWN ABOVE MAY VARY FOR EACH RISER TYPE.



IN ALL CONDITIONS IT IS THE RESPONSIBILITY OF THE PERMIT HOLDER TO ENSURE THE HOST STRUCTURE IS CAPABLE OF WITHSTANDING THE LOAD RATING HEREIN. NO WARRANTY OF ANY KIND, EXPRESSED OR IMPLIED, IS OFFERED BY ENGINEERING EXPRESS AS TO THE INTEGRITY OF THE HOST STRUCTURE TO CARRY DESIGN FORCE LOADS INCURRED BY THIS PRODUCT.

PROVIDE 1/4" DIA. SIMPSON SDS WOOD
SCREWS WITH 2" MIN. WOOD THREAD
PENETRATION AT EACH HOLE LOCATION
OR FOR CONCRETE APPLICATIONS
PROVIDE 1/4" DIA. DEWALT
ULTRACON+S OR EQ., 1-3/4" EMBED.
INTO CONCRETE, 2-1/2" FROM ANY
CONCRETE FACE

NOTE: TOP BRACKET SIZE AND BOLT LOCATIONS MAY VARY AS FIELD CONDITIONS DICTATE. TOP BRACKET CONNECTION SHALL BE VERIFIED BY OTHERS

3/8" DIA. THRU BOLT
ASTM A325

1-1/2" DIA. (1.90" O.D.x0.145"
THICK WALL) STEEL PIPE SCH.
40 ASTM A53 GR. B

PROVIDE (4) 1/4" DIA. DEWALT
ULTRACON+ OR EQ., 1-3/4"
EMBED. INTO CONCRETE, 2-1/2"
FROM ANY CONCRETE FACE

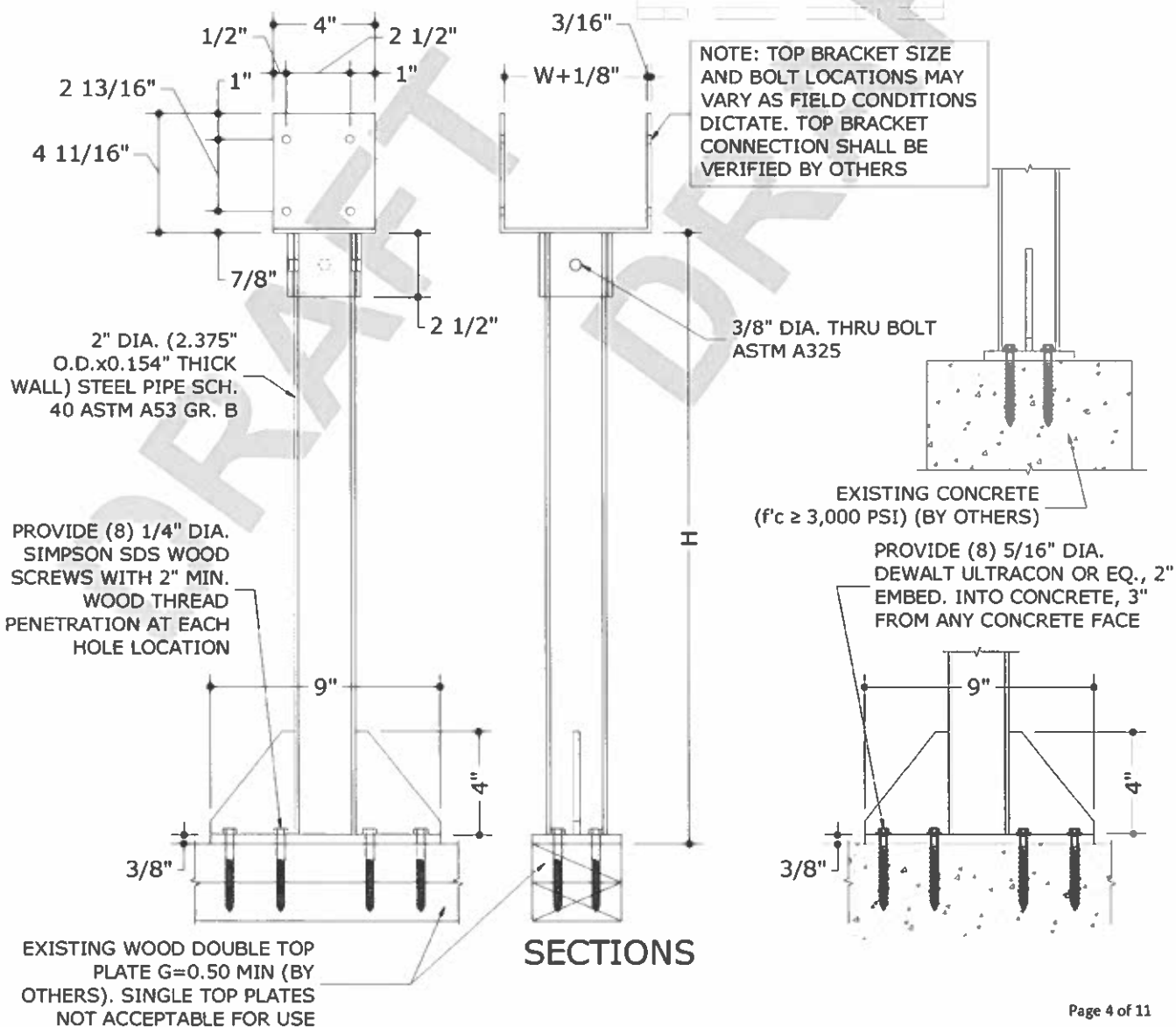
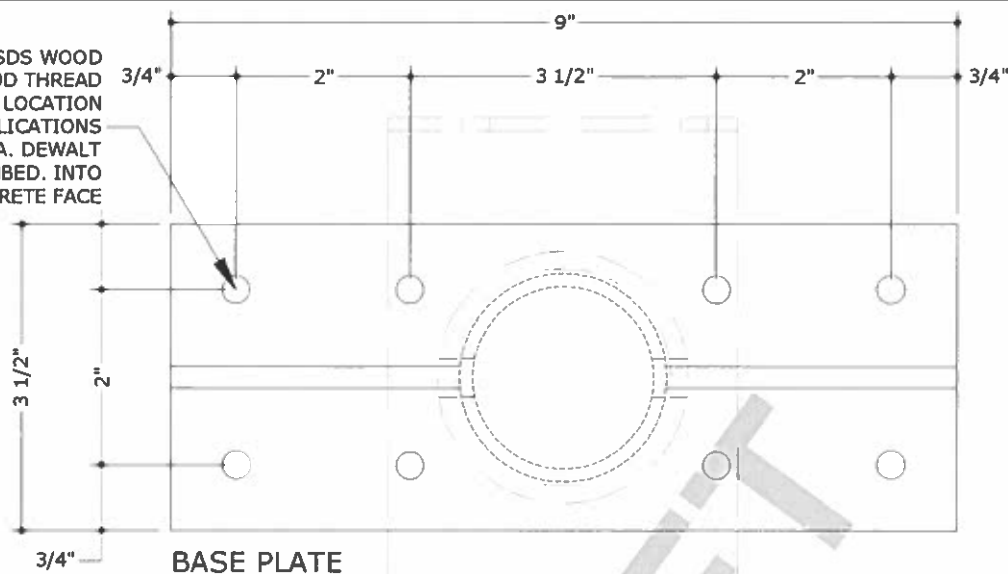
EXISTING WOOD DOUBLE
TOP PLATE, $G=0.50$ MIN
(BY OTHERS). SINGLE TOP
PLATES NOT ACCEPTABLE
FOR USE

SECTIONS

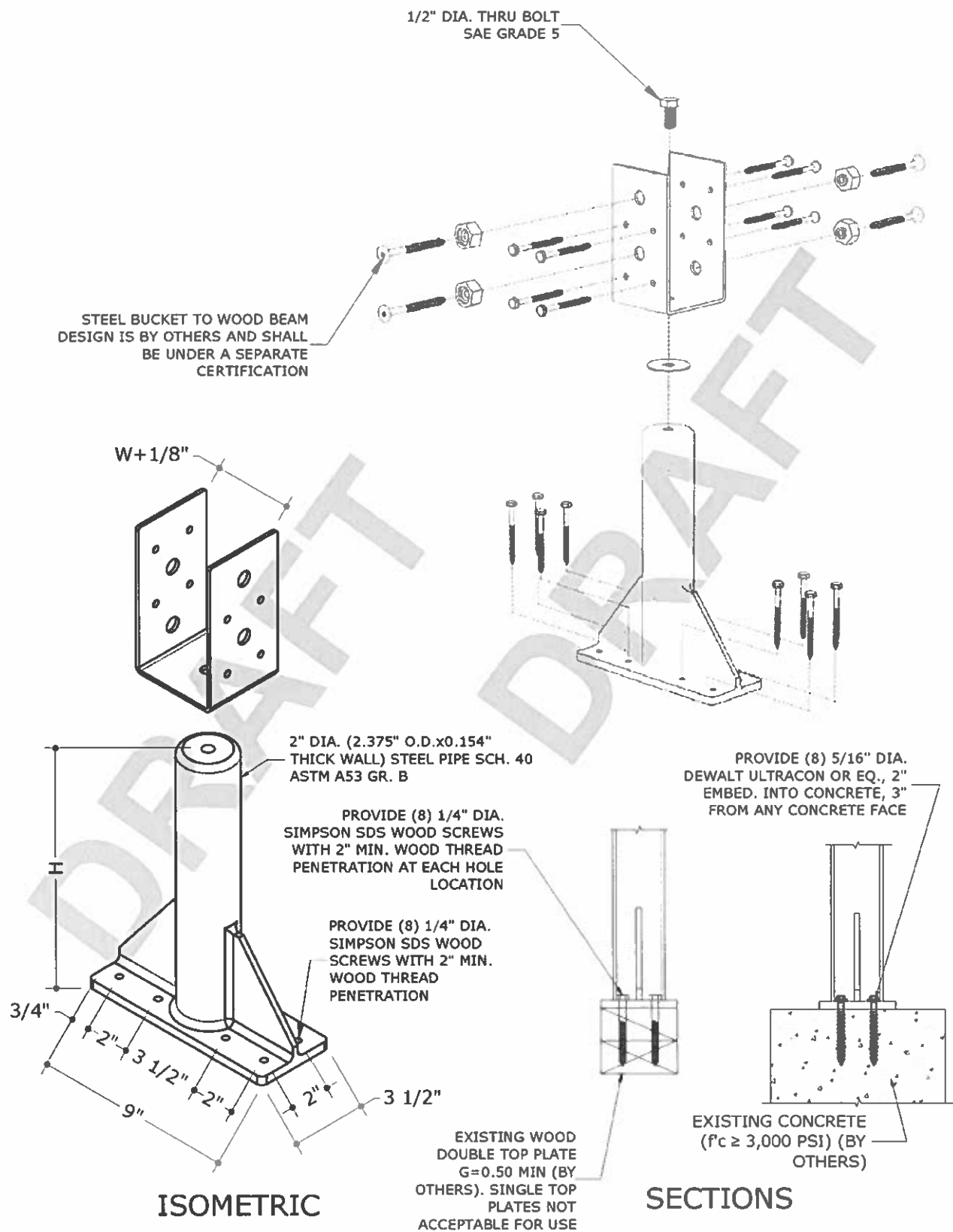
EXISTING CONCRETE
($f'_c \geq 3,000$ PSI) (BY OTHERS)

HEAVY DUTY RISER

PROVIDE 1/4" DIA. SIMPSON SDS WOOD SCREWS WITH 2" MIN. WOOD THREAD PENETRATION AT EACH HOLE LOCATION OR FOR CONCRETE APPLICATIONS PROVIDE (8) 5/16" DIA. DEWALT ULTRACON OR EQ., 2" EMBED. INTO CONCRETE, 3" FROM ANY CONCRETE FACE



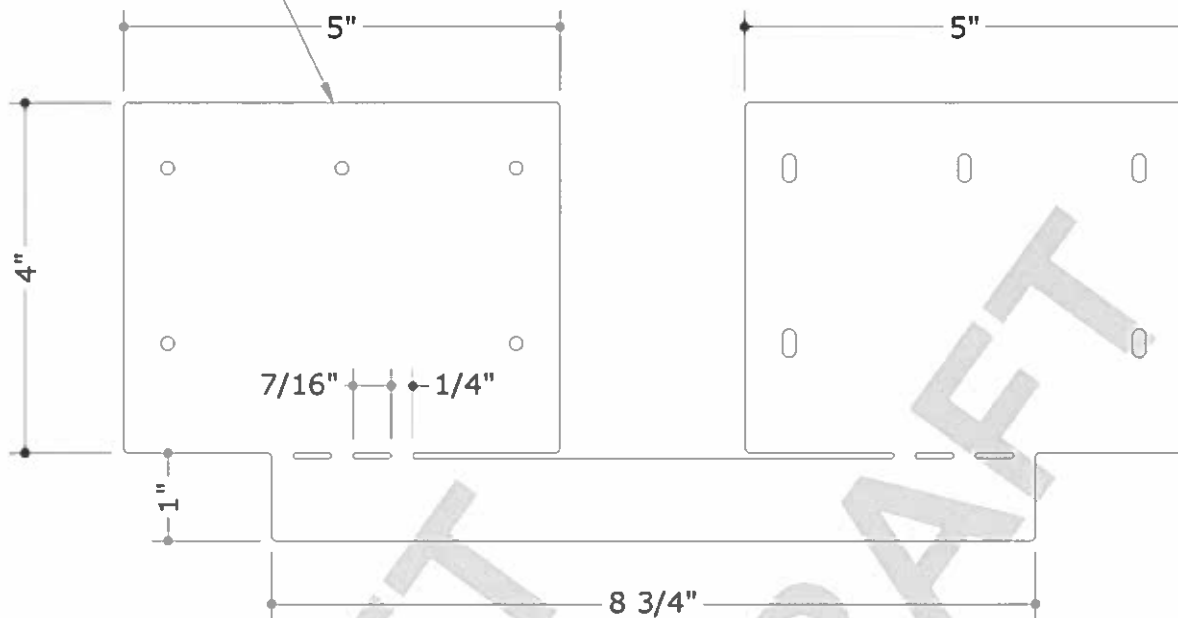
DESIGNER RISER



DESIGNER RISER

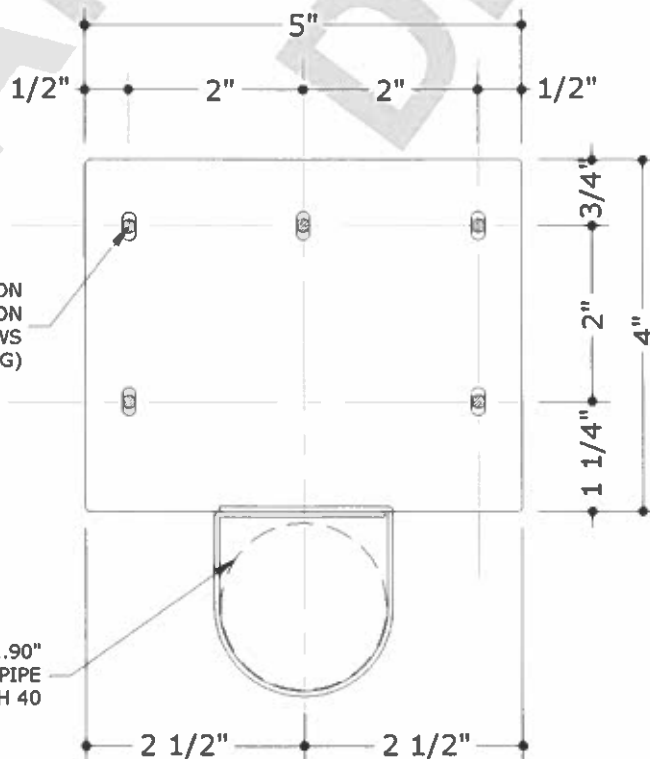
LATERAL SUPPORT STRAP (STANDARD)

16Ga OR 18Ga STEEL
PLATE ASTM A653 GR. 33



(5) 8d \times 1-1/2" COMMON
NAILS OR (5) SIMPSON
SDWS16212 SCREWS
(2-1/2" LONG)

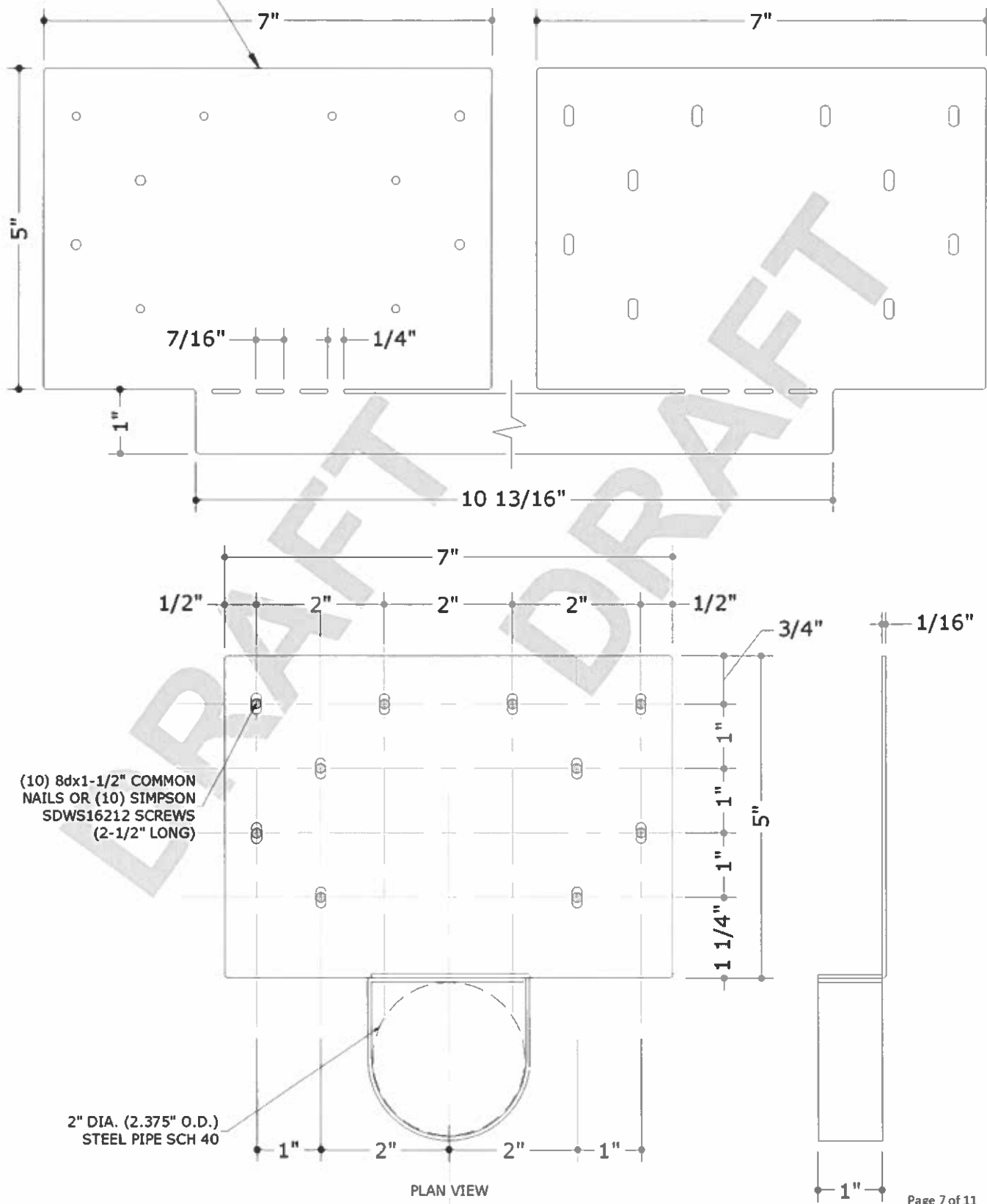
1-1/2" DIA. (1.90"
O.D.) STEEL PIPE
SCH 40



DESIGNER RISER

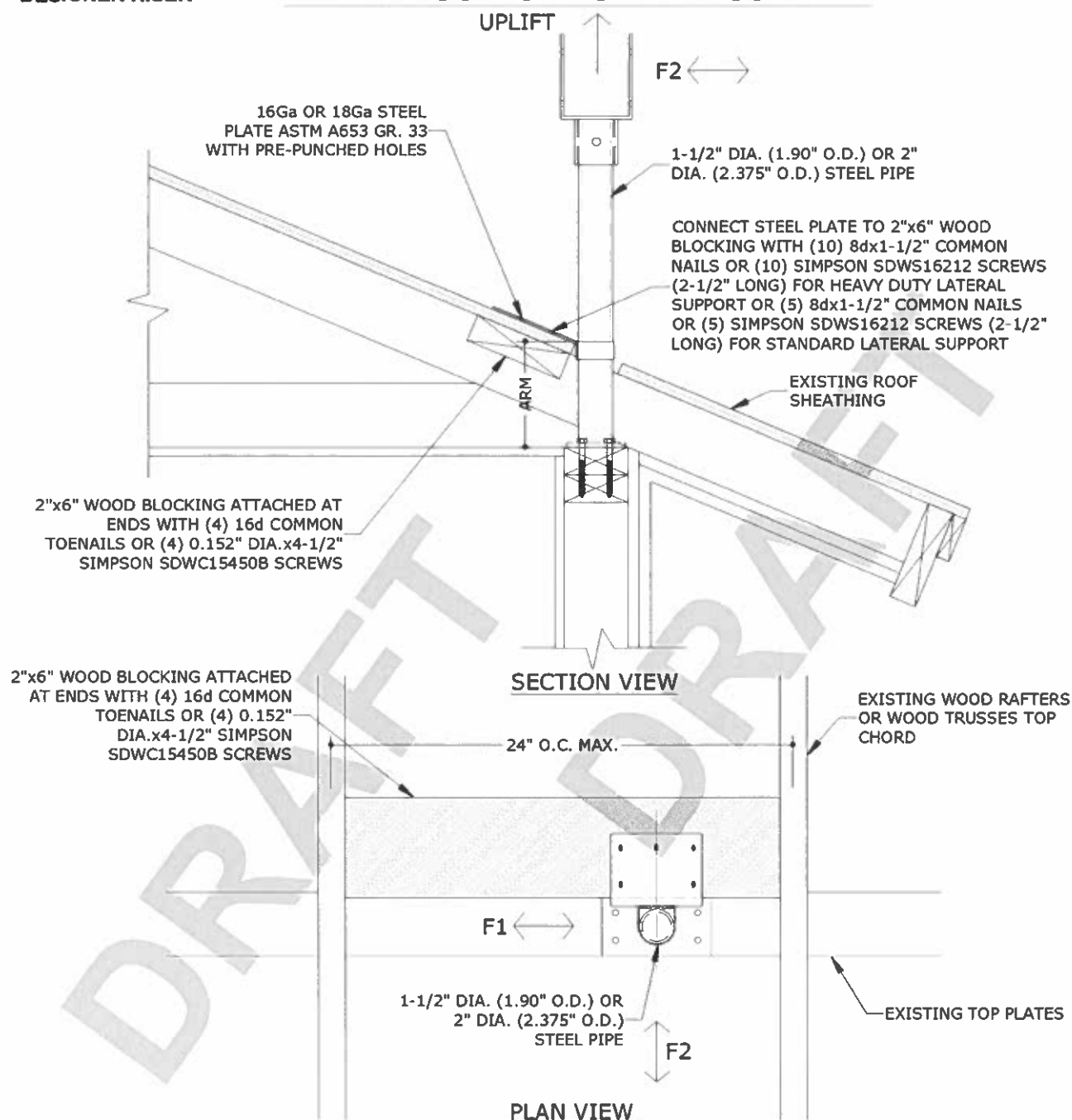
LATERAL SUPPORT STRAP (HEAVY DUTY)

16Ga OR 18Ga STEEL
PLATE ASTM A653 GR. 33



DESIGNER RISER

LATERAL SUPPORT STRAP ASSEMBLY

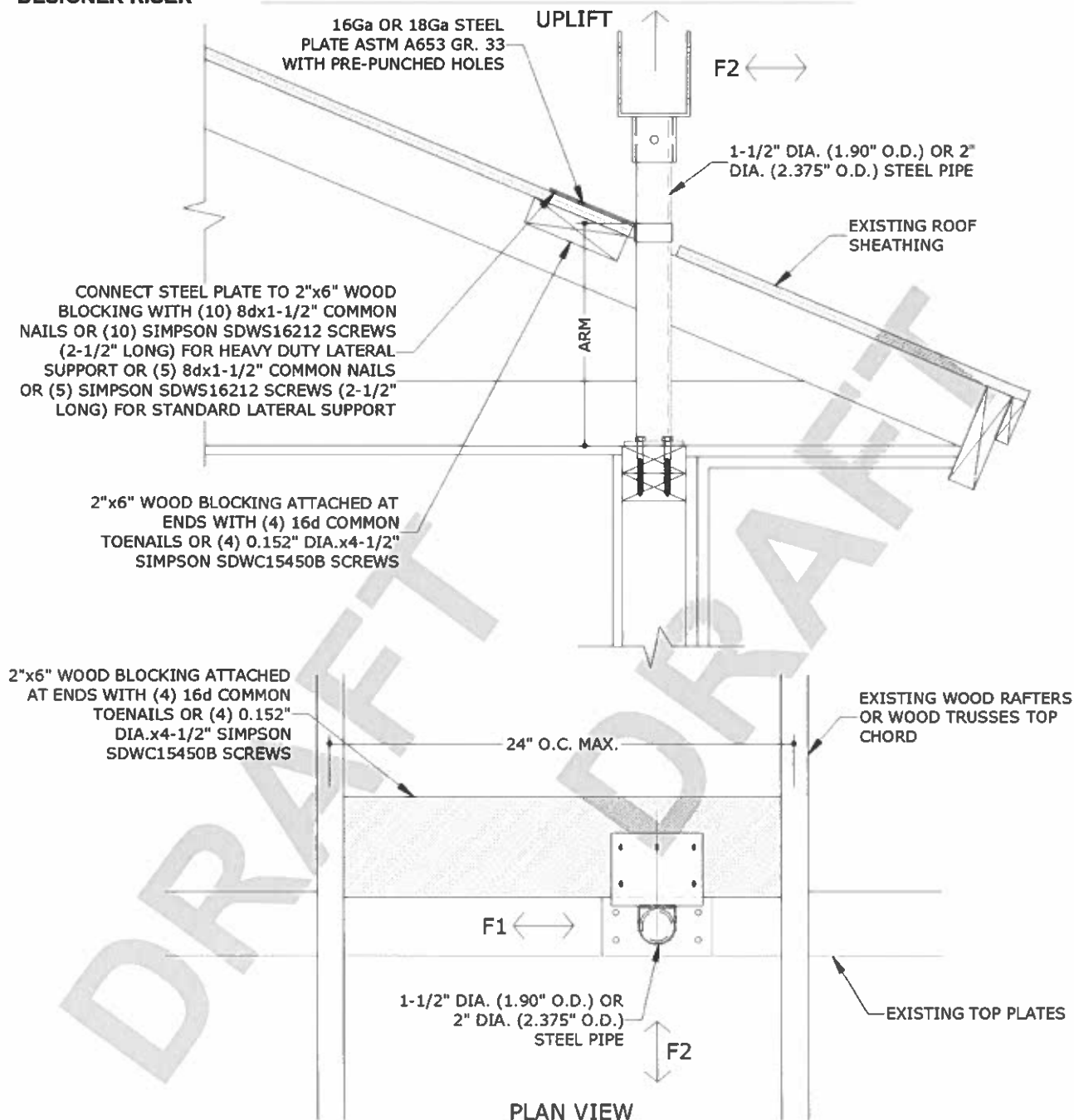


INSTALLATION INSTRUCTIONS:

- 1- Carefully remove roofing and save for reinstallation where devices are to be installed.
- 2- Cut out the sheathing at the device to be supported approximately rafter to rafter (10" x 22" typical for a standard SkyLift Riser Installation. Save sheathing for re-installation.
- 3- Install a 2x6 minium wood block (min. specific gravity, $G = 0.50$) on the uphill side of the device to be stabilized. The block is to be installed rafter to rafter or top chord to top chord with the flat surface of block below the roof sheathing. When the sheathing is re-installed the block will be below the surface of the roof sheathing. Install the block using 16d connector toe nails or Simpson 4-1/2" SDWC15450B Truss Screw, 8 ea. minimum.
- 4- Cut and fit sheathing, install backing and blocking if necessary and re-install sheathing.
- 5- Install the SkyLift Stabilizer Strap. Determine if the radius side of the strap is oriented above or below the roof sheathing. Bend the radius part of the strap to the approximate roof pitch/slope.
- 6- Wrap the SkyLift Stabilizer Strap around the Riser and squeeze the strap so the fasteners holes are aligned. Install using 8d connector nails or 2-1/2" Simpson SDWS16212Q Framing Screws.
- 7- Install roofing and standard pipe/vent flashing.

DESIGNER RISER

LATERAL SUPPORT STRAP ASSEMBLY



INSTALLATION INSTRUCTIONS:

- 1- Carefully remove roofing and save for reinstallation where devices are to be installed.
- 2- Cut out the sheathing at the device to be supported approximately rafter to rafter (10" x 22" typical for a standard SkyLift Riser Installation. Save sheathing for re-installation.
- 3- Install a 2x6 minium wood block (min. specific gravity, $G = 0.50$) on the uphill side of the device to be stabilized. The block is to be installed rafter to rafter or top chord to top chord with the flat surface of block below the roof sheathing. When the sheathing is re-installed the block will be below the surface of the roof sheathing. Install the block using 16d connector toe nails or Simpson 4-1/2" SDWC15450B Truss Screw, 8 ea. minimum.
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- 6- Wrap the SkyLift Stabilizer Strap around the Riser and squeeze the strap so the fasteners holes are aligned. Install using 8d connector nails or 2-1/2" Simpson SDWS16212Q Framing Screws.
- 7- Install roofing and standard pipe/vent flashing.

SECTION 2: ALLOWABLE CAPACITIES

TABLE 1: ALLOWABLE LOAD CAPACITIES WOOD SUBSTRATE (INDIVIDUAL):

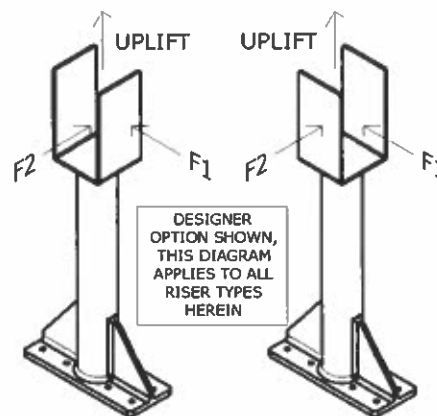
TYPE	MODEL	W	H	UPLIFT	DOWN	ARM	F1	F2 (16Ga)	F2 (18Ga)
STANDARD	SK18-B 3.5	3.5 in	18.0 in	743 lbs	2500 lbs	6.0 in	276 lbs	173 lbs	165 lbs
						12.0 in	276 lbs	346 lbs	337 lbs
	SK24-B 3.5	3.5 in	24.0 in	743 lbs	2500 lbs	6.0 in	208 lbs	130 lbs	123 lbs
						12.0 in	208 lbs	260 lbs	251 lbs
HEAVY DUTY	SK18-HD 3.5	3.5 in	18.0 in	1483 lbs	2500 lbs	6.0 in	480 lbs	277 lbs	277 lbs
						12.0 in	480 lbs	557 lbs	557 lbs
	SK18-HD 4R	4.0 in	18.0 in	1483 lbs	2500 lbs	6.0 in	480 lbs	277 lbs	277 lbs
						12.0 in	480 lbs	557 lbs	557 lbs
	SK18-HD 5.5	5.5 in	18.0 in	1483 lbs	2500 lbs	6.0 in	480 lbs	277 lbs	277 lbs
						12.0 in	480 lbs	557 lbs	557 lbs
	SK18-HD 6R	6.0 in	18.0 in	1483 lbs	2500 lbs	6.0 in	480 lbs	277 lbs	277 lbs
						12.0 in	480 lbs	557 lbs	557 lbs
	SK24-HD 3.5	3.5 in	24.0 in	1483 lbs	2500 lbs	6.0 in	360 lbs	208 lbs	208 lbs
						12.0 in	360 lbs	418 lbs	418 lbs
	SK24-HD 4R	4.0 in	24.0 in	1483 lbs	2500 lbs	6.0 in	360 lbs	208 lbs	208 lbs
						12.0 in	360 lbs	418 lbs	418 lbs
	SK24-HD 5.5	5.5 in	24.0 in	1483 lbs	2500 lbs	6.0 in	360 lbs	208 lbs	208 lbs
						12.0 in	360 lbs	418 lbs	418 lbs
	SK24-HD 6R	6.0 in	24.0 in	1483 lbs	2500 lbs	6.0 in	360 lbs	208 lbs	208 lbs
						12.0 in	360 lbs	418 lbs	418 lbs
	SK30-HD 3.5	3.5 in	30.0 in	1483 lbs	2500 lbs	6.0 in	295 lbs	166 lbs	166 lbs
						12.0 in	295 lbs	334 lbs	334 lbs
	SK30-HD 4R	4.0 in	30.0 in	1483 lbs	2500 lbs	6.0 in	295 lbs	166 lbs	166 lbs
						12.0 in	295 lbs	334 lbs	334 lbs
	SK30-HD 5.5	5.5 in	30.0 in	1483 lbs	2500 lbs	6.0 in	295 lbs	166 lbs	166 lbs
						12.0 in	295 lbs	334 lbs	334 lbs
	SK30-HD 6R	6.0 in	30.0 in	1483 lbs	2500 lbs	6.0 in	295 lbs	166 lbs	166 lbs
						12.0 in	295 lbs	334 lbs	334 lbs
	SK36-HD 3.5	3.5 in	36.0 in	1483 lbs	2500 lbs	6.0 in	240 lbs	139 lbs	139 lbs
						12.0 in	240 lbs	279 lbs	279 lbs
	SK36-HD 4R	4.0 in	36.0 in	1483 lbs	2500 lbs	6.0 in	240 lbs	139 lbs	139 lbs
						12.0 in	240 lbs	279 lbs	279 lbs
	SK36-HD 5.5	5.5 in	36.0 in	1483 lbs	2500 lbs	6.0 in	240 lbs	139 lbs	139 lbs
						12.0 in	240 lbs	279 lbs	279 lbs
	SK36-HD 6R	6.0 in	36.0 in	1483 lbs	2500 lbs	6.0 in	240 lbs	139 lbs	139 lbs
						12.0 in	240 lbs	279 lbs	279 lbs
DESIGNER	SK-DR 3.5	3.5 in	12.0 in	1055 lbs	2500 lbs	6.0 in	720 lbs	418 lbs	418 lbs
						9.0 in	720 lbs	627 lbs	627 lbs
	SK-DR 4	4.0 in	12.0 in	1055 lbs	2500 lbs	6.0 in	720 lbs	418 lbs	418 lbs
						9.0 in	720 lbs	627 lbs	627 lbs
	SK-DR 5.5	5.5 in	12.0 in	1055 lbs	2500 lbs	6.0 in	720 lbs	418 lbs	418 lbs
						9.0 in	720 lbs	627 lbs	627 lbs
	SK-DR 6	6.0 in	12.0 in	1055 lbs	2500 lbs	6.0 in	720 lbs	418 lbs	418 lbs
						9.0 in	720 lbs	627 lbs	627 lbs

CAPACITY TABLE NOTES (ALL SIZE OPTIONS):

1. LOAD DURATION, Cd SHALL BE DETERMINED BY USER. ALL VALUES LISTED ARE BASED ON 1.6 FOR WIND LOADS APPLICATIONS.
2. ALLOWABLE LOAD CAPACITIES LISTED HEREIN ARE FOR INDIVIDUAL FORCES CHECK ONLY. LOAD COMBINATIONS WITH HORIZONTAL AND VERTICAL FORCES SHALL BE VERIFIED BY OTHERS IN ACCORDANCE TO ASCE 7-10 LOAD COMBINATIONS AND SHALL ADHERE TO THE FOLLOWING UNITY EQUATION:

$$\left(\frac{\text{UPLIFT_REQUIRED}}{\text{UPLIFT}} \right) + \left(\frac{\text{F1_REQUIRED}}{\text{F1}} \right) + \left(\frac{\text{F2_REQUIRED}}{\text{F2}} \right) < 1.0.$$

3. SUBSTRATE HOST STRUCTURE SHALL HAVE MINIMUM SPECIFIC GRAVITY, G EQUAL OR BETTER THAN 0.50.



IN ALL CONDITIONS IT IS THE RESPONSIBILITY OF THE PERMIT HOLDER TO ENSURE THE HOST STRUCTURE IS CAPABLE OF WITHSTANDING THE LOAD RATING HEREIN. NO WARRANTY OF ANY KIND, EXPRESSED OR IMPLIED, IS OFFERED BY ENGINEERING EXPRESS AS TO THE INTEGRITY OF THE HOST STRUCTURE TO CARRY DESIGN FORCE LOADS INCURRED BY THIS PRODUCT.

SECTION 2: ALLOWABLE CAPACITIES

TABLE 2: ALLOWABLE LOAD CAPACITIES CONCRETE SUBSTRATE (INDIVIDUAL):

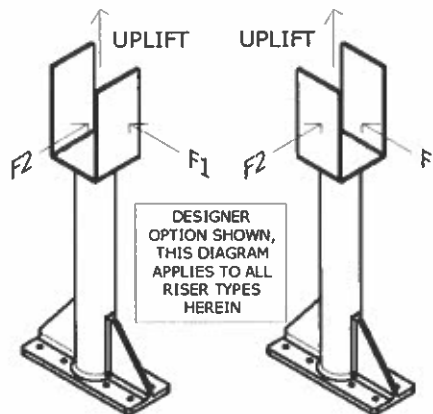
TYPE	MODEL	W	H	UPLIFT	DOWN	ARM	F1	F2 (16Ga)	F2 (18Ga)
STANDARD	SK18-B 3.5	3.5 in	18.0 in	743 lbs	2500 lbs	6.0 in	228 lbs	173 lbs	165 lbs
						12.0 in	228 lbs	346 lbs	337 lbs
	SK24-B 3.5	3.5 in	24.0 in	743 lbs	2500 lbs	6.0 in	171 lbs	130 lbs	123 lbs
						12.0 in	171 lbs	260 lbs	251 lbs
HEAVY DUTY	SK18-HD 3.5	3.5 in	18.0 in	1483 lbs	2500 lbs	6.0 in	315 lbs	277 lbs	277 lbs
						12.0 in	315 lbs	557 lbs	557 lbs
	SK18-HD 4R	4.0 in	18.0 in	1483 lbs	2500 lbs	6.0 in	315 lbs	277 lbs	277 lbs
						12.0 in	315 lbs	557 lbs	557 lbs
	SK18-HD 5.5	5.5 in	18.0 in	1483 lbs	2500 lbs	6.0 in	315 lbs	277 lbs	277 lbs
						12.0 in	315 lbs	557 lbs	557 lbs
	SK18-HD 6R	6.0 in	18.0 in	1483 lbs	2500 lbs	6.0 in	315 lbs	277 lbs	277 lbs
						12.0 in	315 lbs	557 lbs	557 lbs
	SK24-HD 3.5	3.5 in	24.0 in	1483 lbs	2500 lbs	6.0 in	236 lbs	208 lbs	208 lbs
						12.0 in	236 lbs	418 lbs	418 lbs
	SK24-HD 4R	4.0 in	24.0 in	1483 lbs	2500 lbs	6.0 in	236 lbs	208 lbs	208 lbs
						12.0 in	236 lbs	418 lbs	418 lbs
	SK24-HD 5.5	5.5 in	24.0 in	1483 lbs	2500 lbs	6.0 in	236 lbs	208 lbs	208 lbs
						12.0 in	236 lbs	418 lbs	418 lbs
	SK24-HD 6R	6.0 in	24.0 in	1483 lbs	2500 lbs	6.0 in	236 lbs	208 lbs	208 lbs
						12.0 in	236 lbs	418 lbs	418 lbs
	SK30-HD 3.5	3.5 in	30.0 in	1483 lbs	2500 lbs	6.0 in	189 lbs	166 lbs	166 lbs
						12.0 in	189 lbs	334 lbs	334 lbs
	SK30-HD 4R	4.0 in	30.0 in	1483 lbs	2500 lbs	6.0 in	189 lbs	166 lbs	166 lbs
						12.0 in	189 lbs	334 lbs	334 lbs
	SK30-HD 5.5	5.5 in	30.0 in	1483 lbs	2500 lbs	6.0 in	189 lbs	166 lbs	166 lbs
						12.0 in	189 lbs	334 lbs	334 lbs
	SK30-HD 6R	6.0 in	30.0 in	1483 lbs	2500 lbs	6.0 in	189 lbs	166 lbs	166 lbs
						12.0 in	189 lbs	334 lbs	334 lbs
	SK36-HD 3.5	3.5 in	36.0 in	1483 lbs	2500 lbs	6.0 in	158 lbs	139 lbs	139 lbs
						12.0 in	158 lbs	279 lbs	279 lbs
	SK36-HD 4R	4.0 in	36.0 in	1483 lbs	2500 lbs	6.0 in	158 lbs	139 lbs	139 lbs
						12.0 in	158 lbs	279 lbs	279 lbs
	SK36-HD 5.5	5.5 in	36.0 in	1483 lbs	2500 lbs	6.0 in	158 lbs	139 lbs	139 lbs
						12.0 in	158 lbs	279 lbs	279 lbs
	SK36-HD 6R	6.0 in	36.0 in	1483 lbs	2500 lbs	6.0 in	158 lbs	139 lbs	139 lbs
						12.0 in	158 lbs	279 lbs	279 lbs
DESIGNER	SK-DR 3.5	3.5 in	12.0 in	1055 lbs	2500 lbs	6.0 in	472 lbs	418 lbs	418 lbs
						9.0 in	472 lbs	627 lbs	627 lbs
	SK-DR 4	4.0 in	12.0 in	1055 lbs	2500 lbs	6.0 in	472 lbs	418 lbs	418 lbs
						9.0 in	472 lbs	627 lbs	627 lbs
	SK-DR 5.5	5.5 in	12.0 in	1055 lbs	2500 lbs	6.0 in	472 lbs	418 lbs	418 lbs
						9.0 in	472 lbs	627 lbs	627 lbs
	SK-DR 6	6.0 in	12.0 in	1055 lbs	2500 lbs	6.0 in	472 lbs	418 lbs	418 lbs
						9.0 in	472 lbs	627 lbs	627 lbs

CAPACITY TABLE NOTES (ALL SIZE OPTIONS):

1. LOAD DURATION, C_d SHALL BE DETERMINED BY USER. ALL VALUES LISTED ARE BASED ON 1.6 FOR WIND LOADS APPLICATIONS.
2. ALLOWABLE LOAD CAPACITIES LISTED HEREIN ARE FOR INDIVIDUAL FORCES CHECK ONLY. LOAD COMBINATIONS WITH HORIZONTAL AND VERTICAL FORCES SHALL BE VERIFIED BY OTHERS IN ACCORDANCE TO ASCE 7-10 LOAD COMBINATIONS AND SHALL ADHERE TO THE FOLLOWING UNITY EQUATION:

$$\left(\frac{\text{UPLIFT_REQUIRED}}{\text{UPLIFT}} \right) + \left(\frac{\text{F1_REQUIRED}}{\text{F1}} \right) + \left(\frac{\text{F2_REQUIRED}}{\text{F2}} \right) < 1.0.$$

3. SUBSTRATE HOST STRUCTURE SHALL HAVE MINIMUM NORMAL CONCRETE WEIGHT WITH COMPRESSIVE STRENGTH EQUAL OR BETTER THAN 3,000 PSI.



IN ALL CONDITIONS IT IS THE RESPONSIBILITY OF THE PERMIT HOLDER TO ENSURE THE HOST STRUCTURE IS CAPABLE OF WITHSTANDING THE LOAD RATING HEREIN. NO WARRANTY OF ANY KIND, EXPRESSED OR IMPLIED, IS OFFERED BY ENGINEERING EXPRESS AS TO THE INTEGRITY OF THE HOST STRUCTURE TO CARRY DESIGN FORCE LOADS INCURRED BY THIS PRODUCT.

Prepared by and Return to Michelle Wheeler,
an employee of First International Title, Inc.
201 SW Port St. Lucie Blvd.
Suite 205
Port St. Lucie, FL 34984
File No.: 82981-40

WARRANTY DEED

This indenture made on May 16, 2016, by **Vasil Todoroski and Vera Todoroski, husband and wife** hereinafter called the "grantor", to **Jared Greenberg and Emily Greenberg, husband and wife** whose address is: 702 SW Abode Avenue, Port St. Lucie, FL 34953 hereinafter called the "grantee":

(Which terms "Grantor" and "Grantee" shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in St. Lucie County, **Florida**, to-wit:

Lot 26, Block 2325, PORT ST. LUCIE SECTION THIRTY THREE, according to the Plat thereof, recorded in Plat Book 15, Page(s) 1, 1A to 1V of the Public Records of St. Lucie County, Florida.

Parcel Identification Number: 3420-660-3520-000/9

The land is not the homestead of the Grantor under the laws and Constitution of the State of Florida and neither the Grantor nor any person(s) for whose support the Grantor is responsible reside on or adjacent to the land.

Subject to all reservations, covenants, conditions, restrictions and easements of record and to all applicable zoning ordinances and/or restrictions imposed by governmental authorities, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any way appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31st of 2015.

Prepared by and return to:
Victoria A Persaud
Paralegal
William J. Ridings, Jr.
10850 S. U.S. Highway 1 Suite
Port Saint Lucie, FL 34952
772-335-4307
File Number: Greenberg
Will Call No.:

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 25th day of July, 2008 between **Raymond A. Gensinger, Sr. and Mary T. Gensinger, husband and wife** whose post office address is **1457 S.W. Flounder Lane, Port Saint Lucie, FL 34953**, grantor, and **Jared Michael Greenberg, a single man** whose post office address is **702 SW Abode Ave, Port Saint Lucie, FL 34953**, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Saint Lucie County, Florida** to-wit:

Lot 21, Block 2326, PORT ST. LUCIE SECTION THIRTY-THREE, according to the Plat thereof, as recorded in Plat Book 15, Page 1,1A through 1V, of the Public Records of St. Lucie County, Florida.

Subject to Covenants, restrictions, easements of record and taxes for the current year.

Parcel Identification Number: 3420-660-3547-000/4

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2007**.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

DoubleTime

Signed, sealed and delivered in our presence:

Victoria A. Persaud
 Witness Name: Victoria A. Persaud
Roberta Goldberg
 Witness Name: ROBERTA GOLDBERG

Mary T. Gensinger (Seal)
 Mary T. Gensinger

Victoria A. Persaud
 Witness Name: Victoria A. Persaud
Roberta Goldberg
 Witness Name: ROBERTA GOLDBERG

Raymond A. Gensinger, Sr. (Seal)
 Raymond A. Gensinger, Sr.

State of Florida
 County of Broward

The foregoing instrument was acknowledged before me this 25th day of July, 2008 by Mary T. Gensinger and Raymond A. Gensinger, Sr., who ☐ are personally known or ☒ have produced a driver's license as identification.

[Notary Seal]

Victoria A. Persaud
 Notary Public

Printed Name: Victoria A. Persaud

My Commission Expires: _____



Victoria A. Persaud
 Commission # DD347185
 Expires: AUG. 16, 2008
 Bonded Thru
 Atlantic Bonding Co., Inc.

After recording please return to:
Home Loan Alliance, L.L.C.
Member Home Loan Program
P.O. Box 172990
Tampa, FL 33672

This document prepared by:
Home Loan Alliance, LLC.
Shana HLAW Baxter
P.O. Box 172990
Tampa, FL 33672

Record & Return To
First American Title
729 S. Federal Highway
Suite # 103
Tampa, FL 33604

[Space Above This Line For Recording Data]

Loan Origination Company NMLS Identifier: 134578
Loan Originator NMLS Unique Identifier: 328552
Loan No.: 1752663370
MIN: 100801417526633701

MORTGAGE

DEFINITIONS

Words used in multiple sections of this document are defined below and other words are defined in Sections 3, 11, 13, 18, 20 and 21. Certain rules regarding the usage of words used in this document are also provided in Section 16.

- (A) "Security Instrument" means this document, which is dated May 24, 2013, together with all Riders to this document.
- (B) "Borrower" is JARED MICHAEL GREENBERG, an unmarried man. Borrower is the mortgagor under this Security Instrument.
- (C) "MERS" is Mortgage Electronic Registration Systems, Inc. MERS is a separate corporation that is acting solely as a nominee for Lender and Lender's successors and assigns. MERS is the mortgagee under this Security Instrument. MERS is organized and existing under the laws of Delaware, and has an address and telephone number of P.O. Box 2026, Flint, MI 48501-2026, tel. (888) 679-MERS.
- (D) "Lender" is Home Loan Alliance, LLC. Lender is a limited liability corporation organized and existing under the laws of United States of America. Lender's address is P.O. Box 172990, Tampa, FL 33672.

Florida Mortgage—Single Family—Fannie Mae/Freddie Mac Uniform Instrument
MERS Modified
The Compliance Source, Inc.
www.compliancesource.com

Page 1 of 14

Form 3010 1/01
Modified by Compliance Source 14301FL 11/04 Rev. 12/12
©2004-2012, The Compliance Source, Inc.





Greenberg, Jared

Variance (P25-086)

Planning and Zoning Board – August 5, 2025
Ivan Betancourt, Planner I

Variance Request

- 1) to allow a carport to be constructed in the area extending from the front corners of the principal structure to the front property line,
- 2) a variance of 745 square feet to allow the construction of a 945 square foot carport,
- 3) a variance of four (4) feet to allow for a 6-foot side yard setback on the west side of the property.

Applicant/Property Owner & Location

Applicant/Property Owner:	Jared Greenberg
Location:	702 SW Abode Ave

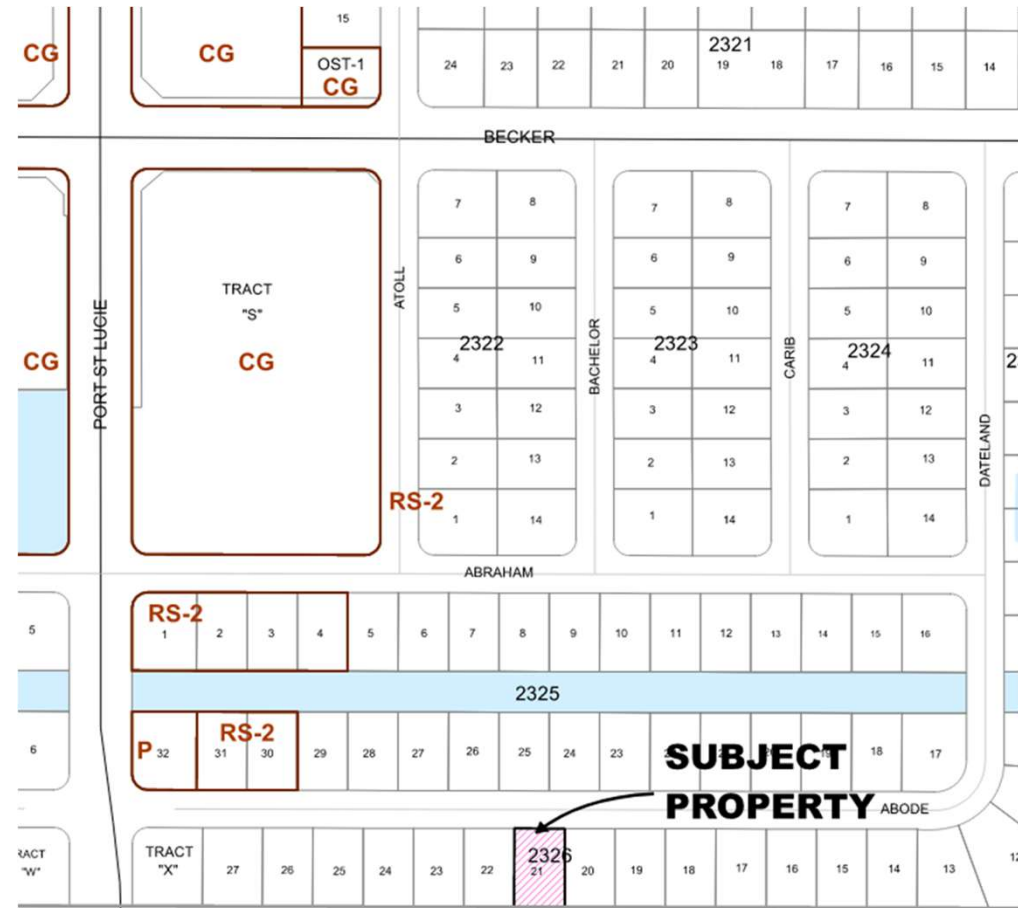


Project Background

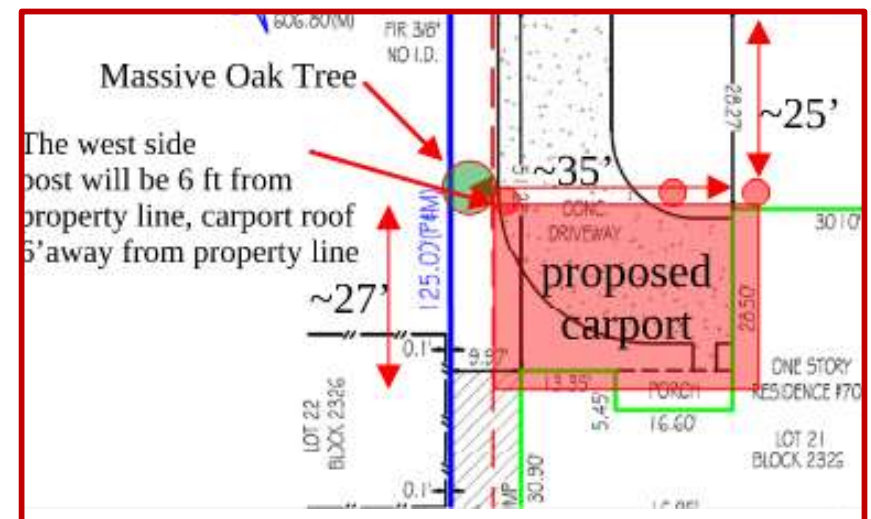
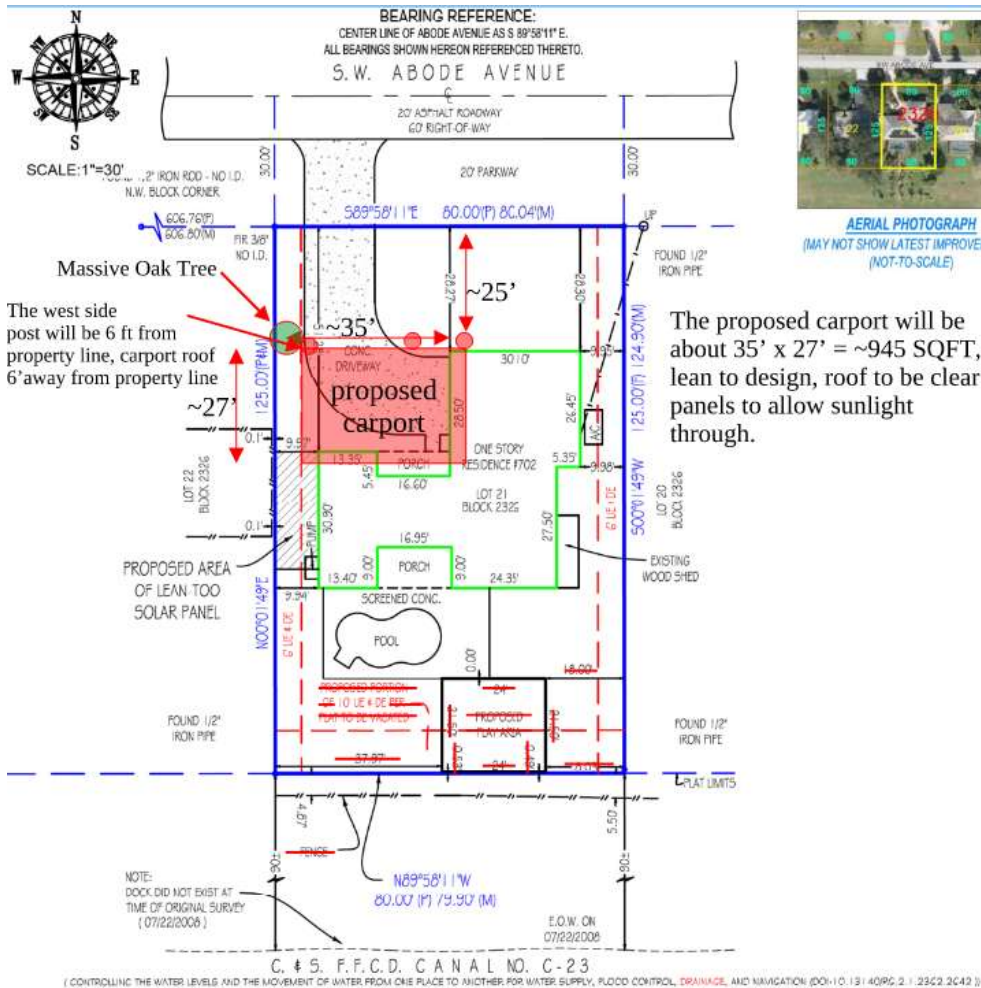
- The subject property was granted a variance of 6 feet to allow a 0-foot side yard setback on the west of the property for a proposed solar panel roof with poles on November 3, 2020. Additionally, the existing home encroaches into the side yard setback on both sides.

Future Land Use/Zoning

Direction	Future Land Use	Zoning	Existing Use
North	RL	RS-2	single family residential
South	NA	NA	C-23 Canal
East	RL	RS-2	Single family residential
West	RL	RS-2	single family residential



2005 Survey



Planning & Zoning Board Action Options

- Make a motion to approve the variances.
- Make a motion to approve the variances with conditions.
- Make a motion to deny.
- Make a motion to table.



Agenda Summary

2025-725

Agenda Date: 8/5/2025

Agenda Item No.: 8.c

Placement: Public Hearing - Quasi Judicial

Action Requested: Motion / Vote

P25-096 Verano South POD H PUD - Amendment No. 1 - Planned Unit Development (PUD) Amendment

Location: The property is located south of Glades Cut Off Road, east of Range Line Road, north of Crosstown Parkway, and west of Sundance Vista Boulevard.

This request is to amend the PUD to add a 24-hour free standing emergency department as a permitted use, update the street tree requirements, and to update the conceptual plan to show the ingress/egress location off of Crosstown Parkway to a commercial parcel.

Submitted By: Daniel Robinson, Planner III

Executive Summary: This is the first amendment to the Verano South POD H PUD document. This request is to amend the PUD to add a 24-hour free standing emergency department as a permitted use, update the street tree requirements, and to update the conceptual plan to show the ingress/egress location off of Crosstown Parkway to the commercial parcel located northeast of the intersection of Sundance Vista Boulevard and Crosstown Parkway to be consistent with the Crosstown Parkway construction plans.

Presentation Information: Staff will provide a presentation.

Staff Recommendation: Move that the Board recommend approval of the proposed amendment as recommended by the Site Plan Review Committee.

Alternate Recommendations:

1. Move that the Board amend the recommendation and recommend approval.
2. Move that the Board not recommend approval.

Background: The Site Plan Review Committee recommended approval of the proposed PUD amendment and concept plan at the June 25, 2025, Site Plan Review Committee meeting. The Verano South POD H PUD was originally approved by City Council on January 22, 2024, per Ordinance 24-01.

Issues/Analysis: The proposed PUD is attached as Exhibit "A" of the staff report. The changes are included in the PUD document and are shown as ~~strike through~~ and underlined. This PUD amendment is consistent with the direction and policies of the Comprehensive Plan.

The current PUD does not specify any institutional permitted uses. The applicant is proposing to add a 24-

hour free standing emergency department as a permitted use. Institutional land uses are consistent with the RGC lands use designation. If further Institutional Uses are to be proposed in the future another PUD amendment shall be required. The proposed use does not change any of the non-residential entitlements of the Verano DRI.

The proposed street tree change is to allow POD H PUD to include consistent regulations with the other Verano PUDs (PODS A, B, C, D, E, G, and PUD 1) that were recently updated with the same language. The PUD currently requires one large street tree. The update allows large and medium street trees to be proposed with a maximum distance separation consistent with the Subdivision Regulations. The update also includes language that if utility or driveway conflicts occur, the applicant may request further spacing or alternate acceptable locations prior to planting. However, the overall number of street trees for a street may not be reduced.

The concept plan proposal includes only an update to the ingress/egress location along the southern boundary for the commercial area in the southeast corner of the PUD. Currently the concept plan provides two ingress/egress points along Crosstown Parkway for the commercial site located at the northeast corner of Sundance Vista Boulevard and Crosstown Parkway. The proposed change reduces the ingress/egress to only one. The Crosstown Parkway construction plans show the ingress/egress as proposed with this change. No other changes are proposed at this time.

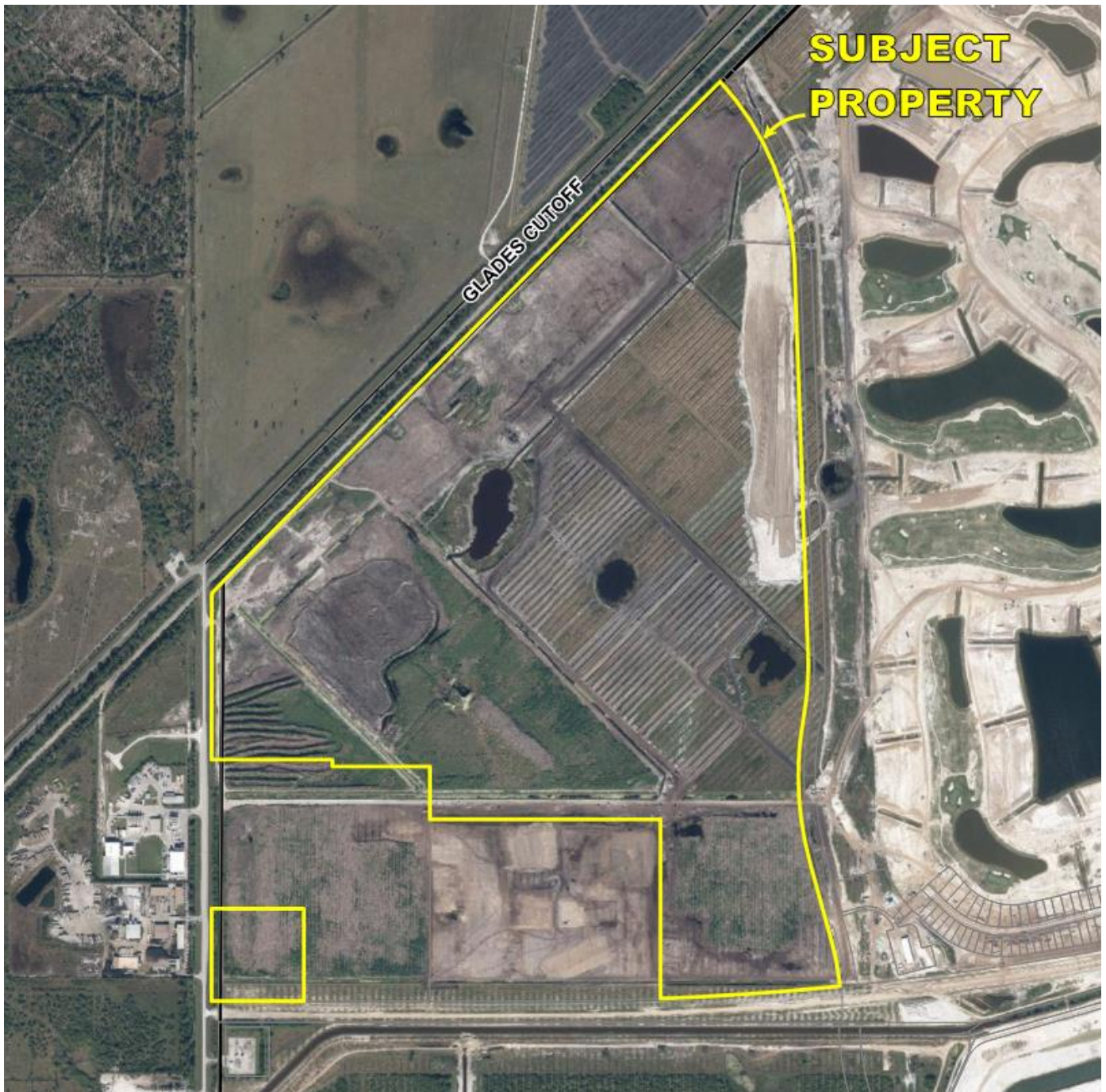
Special Consideration: N/A

Location of Project: The property is located south of Glades Cut Off Road, east of Range Line Road, north of Crosstown Parkway, and west of Sundance Vista Boulevard.

Attachments:

- Staff Report
- Exhibit A - PUD Document
- Application
- Public Works Traffic Memo
- Staff Report

Verano South POD H PUD - Amendment No. 1
Planned Unit Development Amendment
P25-096



Project Location Map

SUMMARY

Applicant's Request:	An application for the 1 st Amendment to the Verano South POD H Planned Unit Development (PUD) to revise the PUD concept plan, update to the permitted uses, and update the street tree requirements.
Agent(s):	Coteleur & Hearing
Applicant/ Property Owner:	PSL Land Investments, LLC
Location:	South of the C-24 canal, east of Range Line Road, west of I-95, and north of Crosstown Parkway.
Project Planner:	Daniel Robinson, Planner III

Project Description

The City of Port St. Lucie has received a request from Coteleur & Hearing, acting as the agent for PSL Land Investments, LLC, owner, to amend the Planned Unit Development (PUD) zoning regulation document and concept plan for Verano South POD H. The proposed application is to amend the following: add a free standing emergency department as a permitted use, update the street tree requirements, and update the ingress/egress from Crosstown Parkway that is shown on the PUD concept plan.

A list of the proposed changes is included in the attached PUD document (Exhibit "A") and the changes are shown as ~~strike through~~ and underlined.

Project Background

The Verano South POD H PUD was first approved in 2024 (P21-070) per Ordinance #24-01. The future land use designation for the project is RGC (Residential Golf Course) and is located within the Verano Development of Regional Impact (DRI).

Related Projects

P21-070 Verano South Pod H PUD rezoning.

Previous Actions and Prior Reviews

The Site Plan Review Committee recommended approval of the proposed PUD amendment and conceptual plan on June 25, 2025.

Public Notice Requirements

Notice of the rezoning was mailed to property owners within a maximum of 750 feet of the subject property.

Location and Site Information

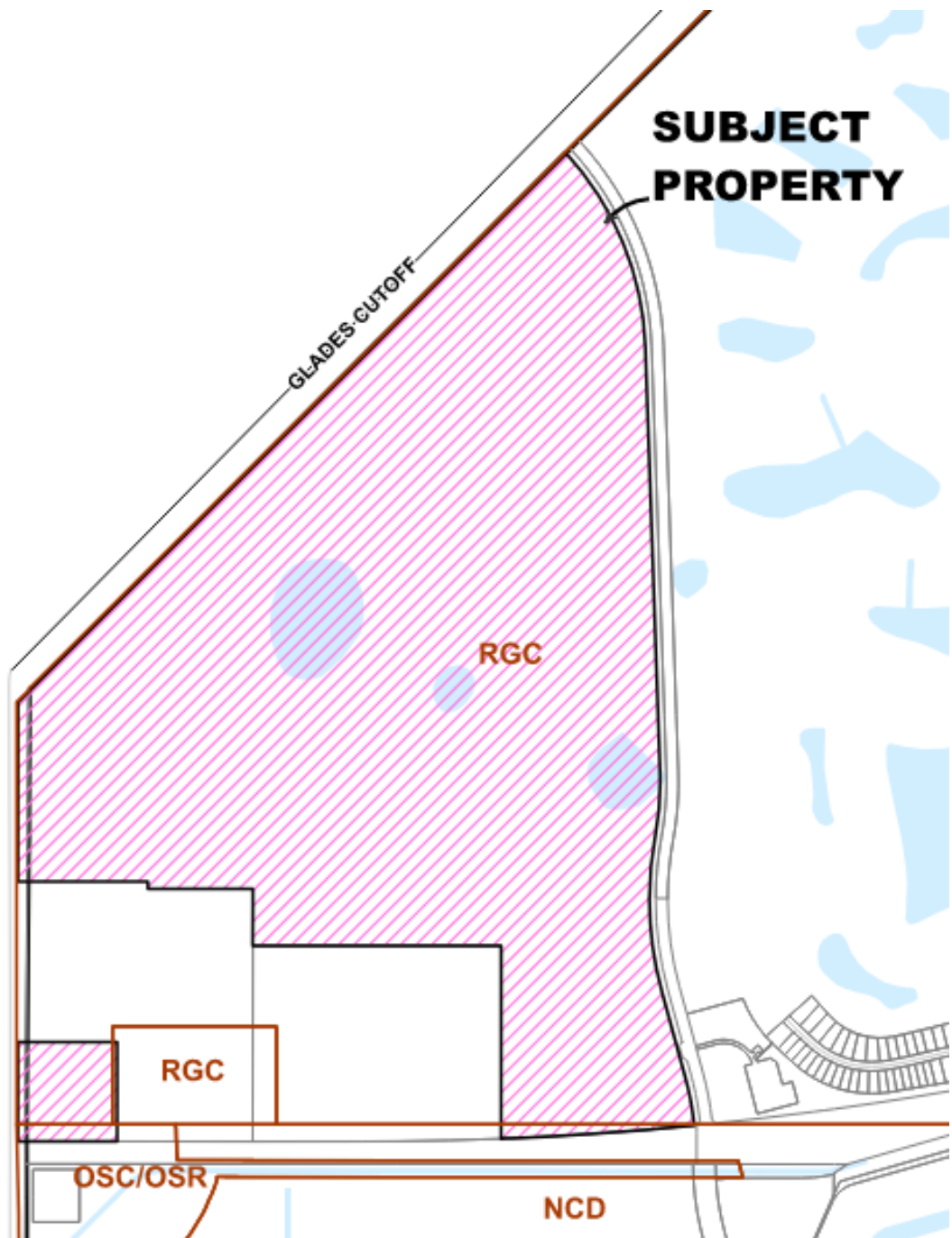
Property Size:	387.06 acres
Legal Description:	A complete legal description is attached in the PUD regulation book
Future Land Use:	RGC – Residential Golf Course
Existing Zoning:	Planned Unit Development (PUD)
Existing Use:	Residential Development

Surrounding Uses

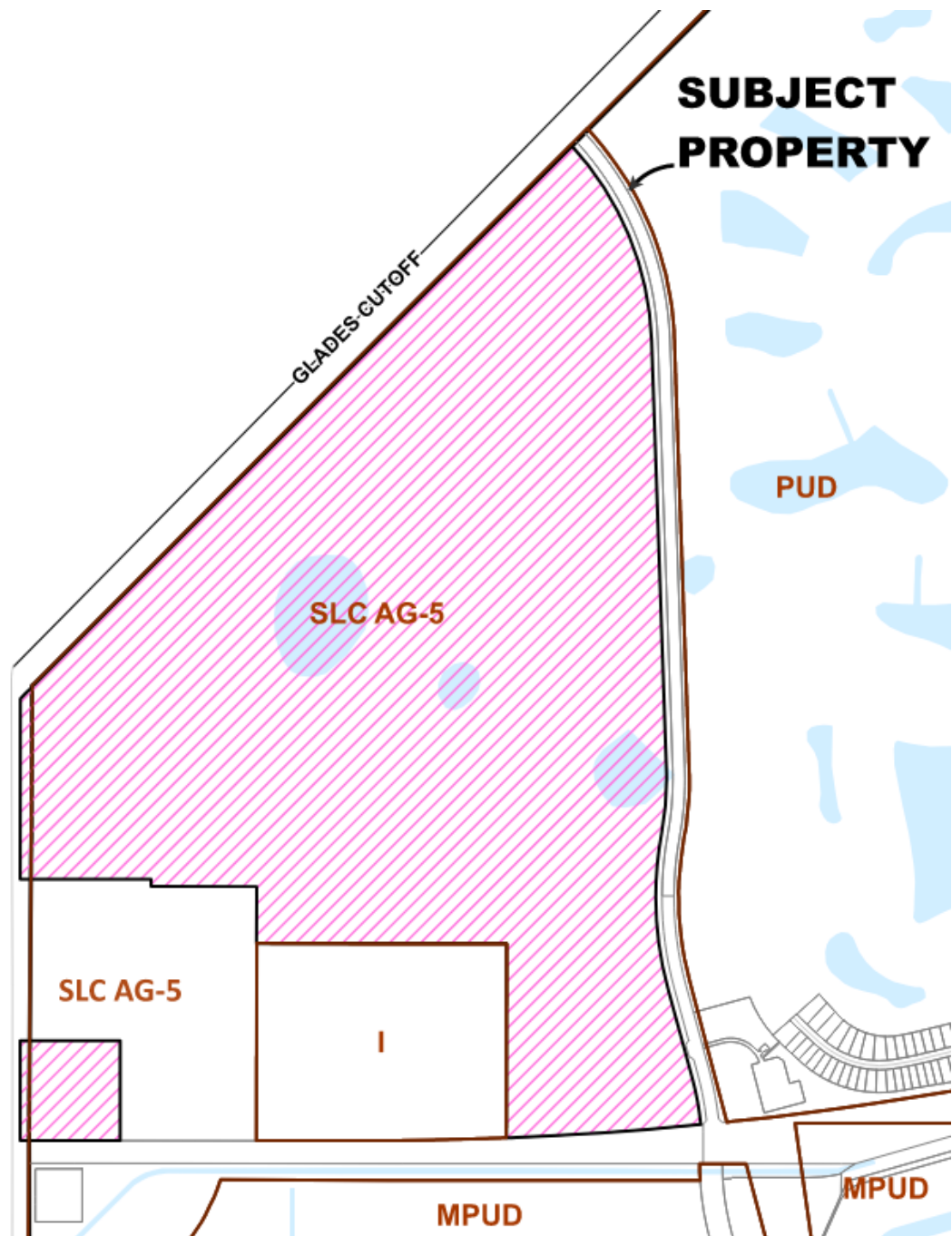
Direction	Future Land Use	Zoning	Existing Use
North	SLC Ag-5	SCL AG-5	Vacant

South	NCD	MPUD	Residential Development
East	SLC	PUD	Verano Development
West	SLC	SLC Heavy Industrial	Industrial Development

SLC Ag-5- St Lucie County Agricultural, NCD- New Community Development, MPUD- Master Planned Unit Development, PUD- Planned Unit Development.



Future Land Use



Zoning Map

IMPACTS AND FINDINGS

COMPREHENSIVE PLAN REVIEW AND STAFF ANALYSIS

This PUD amendment is consistent with the direction and policies of the Comprehensive Plan. The current PUD does not specify any institutional permitted uses. The applicant is proposing to add a 24- hour free standing emergency department as a permitted use. Institutional land uses are consistent with the RGC lands use designation. If further Institutional Uses are to be proposed in the future another PUD amendment shall be required. The proposed use does not change any of the non-residential entitlements of the Verano DRI.

The proposed street tree change is to allow POD H PUD to include consistent regulations with the other Verano PUDs (PODS A, B, C, D, E, G, and PUD 1) that were recently updated with the same language. The PUD currently requires one large street tree. The update allows large and medium street trees to be proposed with a maximum distance separation consistent with the Subdivision Regulations. The update also includes language that if utility or driveway conflicts occur, the applicant may request further spacing or alternate acceptable locations prior to planting. However, the overall number of street trees for a street may not be reduced.

The concept plan proposal includes only an update to the ingress/egress location along the southern boundary for the commercial area in the southeast corner of the PUD. Currently the concept plan provides two ingress/egress points along Crosstown Parkway for the commercial site located at the northeast corner of Sundance Vista Boulevard and Crosstown Parkway. The proposed change reduces the ingress/egress to only one. The Crosstown Parkway construction plans show the ingress/egress as proposed with this change. No other changes are proposed at this time.

Traffic Analysis

This application and Traffic Report prepared by MacKenzie Engineering & Planning, Inc. dated July 24, 2025, has been reviewed by the Public Works Department and the transportation elements of the project were found to be in compliance with the adopted level of service and requirements of Chapter 156 of City Code, and Public Works Policy 19-01pwd.

The POD H PUD within the Verano DRI allows 900 dwelling units in addition to commercial development. This is the final POD within the Verano DRI. The total approved dwelling units within the entire DRI is 7,200 units; however, after the completion of this final POD the total dwelling units for the entire DRI will be 7,046. Total net new PM Peak hour trips at DRI buildout will be 6,410. The proposed amendment does not affect the trip generation potential.

STAFF RECOMMENDATION

The Site Plan Review Committee recommended approval of the proposed PUD document and concept plan at the June 25, 2025, Site Plan Review Committee meeting. The Planning and Zoning Department staff finds the request to be consistent with the direction and intent of the future land use map and policies of the City's Comprehensive Plan and recommends approval.

Planning and Zoning Board Action Options:

- Motion to recommend approval to the City Council.
- Motion to recommend approval to the City Council with the conditions.
- Motion to recommend denial to the City Council.

Please note: Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to *table* or *continue* the hearing or review to a future meeting.

EXHIBIT A

Presented to:
City of Port St. Lucie Planning and Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984

PLANNED UNIT DEVELOPMENT

Verano South Pod H

PUD Amendment No. 1

(FKA PGA Village/Montage)



~~APRIL 18, 2022~~ July 24, 2025

City of Port St. Lucie Project No: ~~21-070~~ P25-096

	Approval date	PSL Project No.:	Ord No.:
Original Base	January 22, 2024	P21-070	Ord 24-01
<u>Amendment #1</u>	<u>TBD</u>	<u>P25-096</u>	<u>TBD</u>

Prepared by:
Cotleur & Hearing
1934 Commerce Lane, Suite 1
Jupiter, FL 33458
Ph. 561-747-6336

EXHIBIT B
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EXHIBIT C
LIST OF AMENDMENTS

The following changes to the previously approved PUD (PSL Project Number P21-070) are proposed in Amendment Number 1

- Updated Permitted Principal Uses to include Free Standing Emergency Department (FSED), 24-hour. Please see Exhibit 6, Item 1 Permitted Principle Uses on page 23.
- Updated the Street Tree requirement language. Please see Exhibit 6, Item 10 Landscaping on page 27.
- Updated the Traffic Statement to include the added Free Standing Emergency Department (FSED) use. Please see Exhibit 12 on page 55.

EXHIBIT C-D
INTRODUCTION

The comprehensive area of the Verano DRI (formerly known as the PGA Village/Montage DRI) is approximately 3,001.15-acres. It is to be located southwest of the existing PGA Village/Reserve, west of I-95, and east of Glades Cut Off Road. The SFWMD C-24 Canal traverses directly through the northeastern section of the property. Verano as a whole is designed to include Multifamily and Single-Family Residences with Golf Courses, Commercial Development, Open Space, and Country Club amenities.

Verano South Pod H is a development consisting of approximately 387.056 acres. The Pod H site borders North South A Road to the east, Glades Cut off Road to the north, Crosstown Parkway to the south and Range Line Road to the west. The site can best be described as a community under development. The total units for the Verano DRI as a whole shall not exceed 7,200 units per the development order. The Verano DRI allows a variety of land uses, such as office commercial, retail commercial, residential single family, residential multifamily, hotel, recreational vehicle park, golf course and open space. The residential component will be single-family and multifamily developments.

Pod H will be supplied with water and wastewater services by the City of Port St. Lucie Utilities Department and will comply with all applicable City Ordinances, Policies, Specifications, and Regulatory Agencies governing such service.

Primary Access to Pod H will be provided by North South A Road and Crosstown Parkway. Storm Water Management will be provided by an on-site system of lakes, meeting the requirements of the City and the South Florida Water Management District (SFWMD). A Conceptual Environmental Resource Permit (ERP) has been issued for the proposed project from South Florida Water Management District (SFWMD). The permit number is 50-01648-P.

Although Pod H does not contain significant upland preserve, all upland preservation, recreation, and open space requirements of the PUD have been met within the comprehensive Verano DRI requirement.

EXHIBIT 1
POD H PUD REZONING AMENDMENT
APPLICATION (PLEASE SEE BELOW)

PUD REZONING APPLICATION

CITY OF PORT ST. LUCIE
Planning & Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984
(772) 871-5213

FOR OFFICE USE ONLY

Planning Dept.: _____
Fee (Nonrefundable)\$ _____
Receipt # _____

Refer to "Fee Schedule" for application fee. Make checks payable to the "City of Port St. Lucie." Fee is nonrefundable unless application is withdrawn prior to the Planning and Zoning Board meeting. All items on this application should be addressed, otherwise it can not be processed. Attach proof of ownership: two copies of deed. Please type or print clearly in **BLACK** ink.

PRIMARY CONTACT EMAIL ADDRESS: dsorrow@coteleur-hearing.com

PROPERTY OWNER: PSL LAND INVESTMENTS LLC

Name: Title MGR: The Kolter Group LLC

Address: 105 NE 1st St, Delray Beach FL 33444

Telephone No. 772-349-8065 Email rfromm@kolter.com

AGENT OF OWNER (if any)

Name: Coteleur and Hearing : Daniel T. Sorrow

Address: 1934 Commerce Lane #1, Jupiter, FL 33458

Telephone No. 561-747-6336 Email dsorrow@coteleur-hearing.com

PROPERTY INFORMATION

Legal Description: Please see attached Legal Description
(Include Plat Book and Page)

Parcel I.D. Number: 3331-131-0001-000-6

Current Zoning: SLC AG-5

Proposed Zoning: Planned Unit Development (PUD)

Future Land Use Designation: RGC Acreage of Property: 387.056 AC

Reason for rezoning request: _____

On behalf of the property owner, PSL Land Investments LLC, please accept this as our formal request for approval to create POD H within the Verano Community.


Signature of Owner

DANIEL T. SORROW
Hand Print Name

03.08.2021
Date

***If signature is not that of the owner, a letter of authorization from the owner is needed.**

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted. 03/03/20

PUD AMENDMENT APPLICATION

CITY OF PORT ST. LUCIE

Planning & Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984
(772) 871-5213

FOR OFFICE USE ONLY

Planning Dept. _____
Fee (Nonrefundable)\$ _____
Receipt # _____

Refer to "Fee Schedule" for application fee. Make checks payable to the "City of Port St. Lucie." Fee is nonrefundable unless application is withdrawn prior to the Planning and Zoning Board meeting. **All** items on this application should be addressed, otherwise it cannot be processed. Attach proof of ownership: two copies of deed. Please type or print clearly in **BLACK** ink.

PRIMARY CONTACT EMAIL ADDRESS: Dhearing@coteleur-hearing.com / CC Clane@coteleur-hearing.com

PROPERTY OWNER: _____

Name: PSL Land Investments LLC

Address: 105 NE 1st Street, Delray Beach, Florida 33444

Telephone No. 772-370-2468 Email Dweimer@kolter.com

AGENT OF OWNER (if any)

Name: Coteleur & Hearing: Donaldson Hearing

Address: 1934 Commerce Lane, Suite 1, Jupiter, Florida 34984

Telephone No. 561-747-6336 Email Dhearing@coteleur-hearing.com

PROPERTY INFORMATION

Legal Description: Please see attached Legal Description.
(Include Plat Book and Page)

Parcel I.D. Number: 3331-131-0001-000-6

Current Zoning: PUD Proposed Zoning: N/A

Future Land Use Designation: RGC Acreage of Property: 387.056

Reason for amendment request: Please see attached Narrative.

1) Applicant must list on the first page of the attached amendment all proposed changes with corresponding page number(s).

2) All proposed additions must be underlined and deleted text must have a ~~strike through~~.

3) Where there are conflicts between the requirements of the general provisions of this chapter or other applicable codes of the city and the requirements established by official action upon a specific PUD, the latter requirements shall govern.



Signature of Owner

Donaldson Hearing

Hand Print Name

5/23/2025

Date

***If signature is not that of the owner, a letter of authorization from the owner is needed.**

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

EXHIBIT 2
P.U.D REZONING APPLICATION CHECKLIST
(PLEASE SEE BELOW)



CONCEPT PLAN SUFFICIENCY CHECKLIST
Revised September, 2011

Project Name: Verano South POD H PUD 1 :PUD Rezoning

Project Number: P 21-070 New Submittal ☒ or Resubmittal ☐ (Check One)

Applicant should submit the concept plan package to Planning & Zoning Department with all items listed below to initiate the review process. Other drawings or information may be required, if deemed necessary, upon review of the submittal for the Site Plan Review Committee Meeting.

The Applicant should complete the Project Information, Applicant Checklist and Applicant Certification. Use the following to complete the checklist: ✓ = *Provided* X = *Incomplete or Missing* NA = *Not Applicable*

Applicant Checklist	Description of Item Provided	Sufficient		
		P&Z	Eng.	Utility
✓	Sufficiency Checklist: One original completed and signed by applicant.			
✓	Cover Letter: Sixteen copies of a typed letter explaining the purpose and history of the application.			
N/A	Written Response to Comments: Sixteen copies. For resubmittals only.			
✓	Completed Application: Sixteen copies. Use black ink or type to fill out completely and legibly.			
✓	Owner's Authorization: Sixteen copies of authorization on Owner's letterhead.			
✓	Application Fees: Refer to each department's fee schedule.			
✓	Proof of Ownership:			
	Three copies of the recorded deed(s) for each parcel with the exact same name for each parcel or...			
	...Unity of Title			
	PUD/MPUD Document and Concept Plan (Sections 158.170 – 158.175 of the Zoning Code):			
✓	Sixteen sets of 11" x 17" concept plans			
✓	Show traffic access points			
✓	Show drainage discharge locations			
✓	Show proposed water and sewer connection points			
✓	Evidence of unified control and binding PUD agreement			
✓	Density statement			
✓	Proposed zoning district regulations			
N/A	LMD Rezoning and Concept Plan (Section 158.155(M) of the Zoning Code):			
	Sixteen sets of 11" x 17" concept plans			
	Show traffic access points			
	Show drainage discharge locations			
	Show proposed water and sewer connection points			
	Evidence of unified control and development agreement			
	Preliminary building elevations			
	Landscape Plan			
	SEU Concept Plan:			
	Sixteen sets of 11" x 17" plans – either approved site plan or proposed concept plan			



CONCEPT PLAN SUFFICIENCY CHECKLIST
Revised September, 2011

Project Name: Verano South POD H PUD 1: PUD Rezoning

Project Number: P 21-070 New Submittal ☒ or Resubmittal ☐ (Check One)

Applicant Certification

I, DANIEL T. SORROW (Print or type name), do hereby certify that the information checked above has been provided to the City of Port St Lucie for the subject project. I understand that the checklist is used to determine if the submittal is complete so that the project can be added to the Site Plan Review Agenda. I further understand that review of the submittal contents will not be made at this time and that a sufficient submittal does not exempt a project from being tabled or denied, at the Site Plan Review Committee.

[Signature]
(Signature of Applicant)

3.9.21
(Date)

Planning and Zoning Department Representative

I, _____ (Print name), as a representative of the Planning and Zoning Department, find that this submittal is **Sufficient / Non-Sufficient** based upon my review on _____ (date). Additional Comments:

(Signature of Planning and Zoning Department Representative)

(Date)

Engineering Department Representative

I, _____ (Clearly print or type name), as a representative of the Engineering Department, find that this submittal is **Sufficient / Non-Sufficient** based upon my review on _____ (date). Additional Comments:

(Signature of Engineering Department Representative)

(Date)

Utilities System Department

I, _____ (Clearly print or type name), as a representative of the Utilities System Department, find that this submittal is **Sufficient / Non-Sufficient** based upon my review on _____ (date). Additional Comments:

(Signature of Utility System Department Representative)

(Date)



CONCEPT PLAN SUFFICIENCY CHECKLIST


Revised September, 2011

Project Name: Verano Pod H PUD Amendment No. 1

Project Number: P 25-TBD New Submittal ☒ or Resubmittal ☐ (Check One)

Applicant Certification

I, Donaldson Hearing (Print or type name), do hereby certify that the information checked above has been provided to the City of Port St Lucie for the subject project. I understand that the checklist is used to determine if the submittal is complete so that the project can be added to the Site Plan Review Agenda. I further understand that review of the submittal contents will not be made at this time and that a sufficient submittal does not exempt a project from being tabled or denied at the Site Plan Review Committee.


(Signature of Applicant)

5/27/2025
(Date)

Planning and Zoning Department Representative

I, _____ (Print name), as a representative of the Planning and Zoning Department, find that this submittal is **Sufficient** / **Non-Sufficient** based upon my review on _____ (date).
Additional Comments:

(Signature of Planning and Zoning Department Representative)

(Date)

Engineering Department Representative

I, _____ (Clearly print or type name), as a representative of the Engineering Department, find that this submittal is **Sufficient** / **Non-Sufficient** based upon my review on _____ (date).
Additional Comments:

(Signature of Engineering Department Representative)

(Date)

Utilities System Department

I, _____ (Clearly print or type name), as a representative of the Utilities System Department, find that this submittal is **Sufficient** / **Non-Sufficient** based upon my review on _____ (date).
Additional Comments:

(Signature of Utility System Department Representative)

(Date)

EXHIBIT 3
LETTER OF AUTHORIZATION
(PLEASE SEE BELOW)

March 8th, 2021

City of Port St. Lucie
Planning and Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, FL 34984

Re: LETTER OF AUTHORIZATION

To Whom It May Concern:

Please allow this letter to serve as authorization for Coteleur and Hearing and its staff to act as agents for the area owned by PSL Land Investments LLC in the Verano project, located at Crosstown parkway and I-95 in the City of Port St. Lucie, Florida, for the purposes of obtaining approvals and permits from state and local government agencies regarding POD H site plan, signage plan, subdivision plat, PUD, and other similarly related applications.



AUTHORIZED SIGNATORY FOR PSL LAND INVESTMENTS LLC

JOHN CSAPO

PRINTED NAME

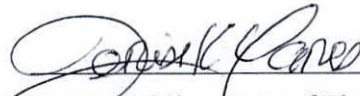
STATE OF FLORIDA

COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 11 day of MARCH, 2021, by JOHN CSAPO, as Manager of The Kolter Group LLC, a Florida limited liability company, which is Manager of PSL LAND INVESTMENTS LLC, a Florida limited liability company, and who ☒ is personally known to me, or ☐ has produced _____ as identification.

(seal)





Notary Public - State of Florida

Print Name: Denise K. Yanes

May 29, 2025

City of Port St. Lucie
Planning and Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984

Re : LETTER OF AUTHORIZATION

To whom it may concern,

Please allow this letter to serve as authorization for Cotleur & Hearing and its staff to act as agents for the area owned by PSL Land Investments LLC in the Verano project, located at Crosswtown Parkway and I-95 in the City of Port St. Lucie, Florida, for the purposes of obtaining approvals and permits from state and local government agencies regarding POD H site plan, signage plan, subdivision plat, PUD, and other similarly related applications.



AUTHORIZED SIGNATORY FOR PSL LAND INVESTMENTS, LLC



PRINTED NAME

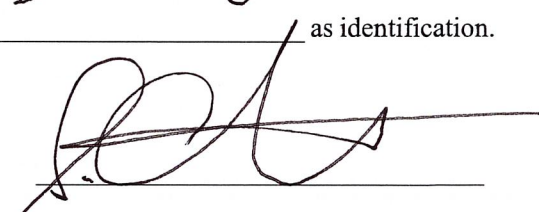
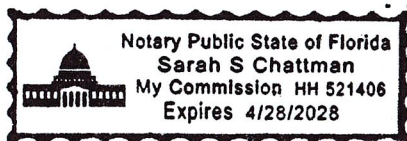
NOTARY ACKNOWLEDGEMENT

STATE OF FLORIDA

COUNTY OF St. Lucie

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 30th day of May, 2025, by Darren Weimer, who ☒ is personally known to me, or ☐ has produced _____ as identification.

(seal)



Notary Public – State of Florida

Print Name: Sarah S. Chattman

EXHIBIT 4
BINDING PUD AGREEMENT
(PLEASE SEE BELOW)

EXHIBIT 4

Binding PUD Agreement

The undersigned acknowledges that the area of the Verano South Pod H PUD, described as follows:

See Attached

Is subject to an existing Planned Unit Development approval and is under the unified control of the undersigned petitioner(s) who agree to (1) proceed with the proposed development according to the provisions of the Port St. Lucie PUD Zoning Regulations; and (2) provide such agreements, contracts, deed restrictions and sureties as are acceptable to the City of Port St Lucie for the completion of the development in accordance with the plan approved by the City. In addition, the said petitioner shall be responsible for the continuing operations and maintenance of such areas, functions and facilities until such time as a private property owners association, Community Development District or similar entity agrees to accept the same responsibilities. The petitioner further agrees to bind all successors in title to the commitments herein in this paragraph made.

PSL LAND INVESTMENTS LLC

By: 

Print Name: JOHN CSAPC

Title: AUTHORIZED SIGNATORY

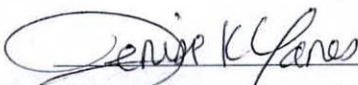
STATE OF FLORIDA

COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☐ online notarization, this 11 day of MARCH 2021, by JOHN CSAPC, as Manager of The Kolter Group LLC, a Florida limited liability company, which is Manager of PSL LAND INVESTMENTS LLC, a Florida limited liability company, and who ☒ is personally known to me, or ☐ has produced _____ as identification.

(seal)





Notary Public - State of Florida

Print Name: Denise K Yanes

EXHIBIT 5
SITE INFORMATION
(PLEASE SEE BELOW)

EXHIBIT 5
SITE INFORMATION

	Existing	Proposed
Land Use Designation	RGC	N/A
Existing Zoning	SLC Agricultural-5	N/A
Proposed Zoning	N/A	PUD
Total Area	N/A	+/- 387.056
	N/A	100%
Total Dwelling Units	N/A	900 du's
Density	N/A	+/- 2.32 du/ac
Residential Area (ac)	N/A	129.856 ac
	N/A	33.5 %
Recreation (ac)	N/A	6 ac
	N/A	1.6%
R/W (ac)	N/A	43 ac
	N/A	11.1%
Open Spaces (ac)	N/A	55.4 ac
	N/A	14.3%
Lakes (ac)	N/A	52 ac
	N/A	13.4%
Commercial Site 1 (ac)	N/A	10 ac
	N/A	2.6%
Commercial Site 2 (ac)	N/A	8.7 ac
	N/A	2.2%
FPL Easement (ac)	N/A	82.1 ac
	N/A	21.2%

***The total number of units in the DRI shall not exceed 7,200 unless the DRI is amended, or conversion matrix is implemented.**

1. TOTAL ACREAGE 387.056 ACRES

Residential Area	129.856	Acres
Recreation	6	Acres
Road Rights-of-Way	43	Acres
Open Spaces	55.4	Acres
Lakes	52	Acres
Commercial Site 1	10	Acres
Commercial Site 2	8.7	Acres
FPL Easement	82.1	Acres

2. UPLAND PRESERVATION:

As satisfied in the Verano DRI Development Order. Section 6B of Resolution 12-R102, approved on 10/22/12, the City acknowledged that Verano has previously exceeded the 25% upland preservation requirement of the City of Port St Lucie Code for the Verano DRI. The existing Verano Conservation Area Management Plan and conservation easement includes a surplus 11.4 acres of protected upland habitat beyond what is required for the original Verano development order. In addition to the original conservation area, Verano deeded 22.86 acres of land, for open space conservation purposes. All upland habitat portions of the 22.86-acre parcel of land counts toward the required upland habitat within the DRI.

3. PEDESTRIAN WAYS:

The system of pedestrian movement will consist of paved multiuse paths or sidewalks adjacent to streets of the residential neighborhoods as well as an interior collector road.

Note: Verano South Pod H is part of the Verano DRI with regards to maximum building coverage, open space and upland preservation requirements. The acreage breakdown provided is conceptual and subject to adjustments during the platting process.

EXHIBIT 6
DEVELOPMENT USES AND STANDARDS
(PLEASE SEE BELOW)

Table 1. DEVELOPMENT USES AND STANDARDS					
DEVELOPMENT STANDARD	SINGLE-FAMILY	TOWNHOMES **	VILLAS	MODEL HOMES	NON - RESIDENTIAL
PRIMARY STRUCTURE					
Minimum Lot Width	40'	16'	25'	25'	-
Minimum Lot Depth	120'	80'	100'	120'	-
Maximum Lot Depth	None	None	None	None	-
Maximum Building Lot Coverage	60%	70%	60%	60%	80%
Maximum Impervious Lot Coverage	75%	80%*	75%	75%	80%
Minimum Open Space	25%	20%*	25%	25%	20%
Minimum Front Setback (Front Loaded)*	20' Garage	20' Garage	20' Garage	20' Garage	-
Minimum Front Setbacks (Non-garage)	15'	15'	15'	15'	-
Minimum Front Setback (Side Loaded)	15'	-	-	15'	-
Minimum Front Setback (Rear Loaded)	13'	13'	-	13'	-
Minimum Side Setback (Internal Lot) (May be 0' on a zero-lot-line provided that minimum building separation of 10' is maintained between units.	5'			5'	-
Minimum Side Setback (Side-Entry)		5'	5'		
Minimum Side Setback (Front- Entry)		5'	5'		
Minimum Side Setback (Corner Lot)	15'	10'	15'	15'	
If adjacent to open space tract 15' in width or greater	5'	5'	5'	5'	-
Minimum Rear Setback (Corner Lot)	10'	10'	10'	10'	
Minimum Rear Setback (Internal Lot)	10'	10'	10'	10'	
Minimum Rear Setback (Rear Loaded with garage)	5'	5'	5'	5'	-
Minimum Rear Setback (Rear loaded without garage)	20'	20'	20'	20'	-
ACCESSORY STRUCTURES					
Minimum Rear Setback (Non-Rear Loaded)	3'	3'	3'	3'	-
If adjacent to open space or common area tract 50' or wider	0'	0'	0'	0'	-
Minimum Rear Setback (Rear Loaded)	5'	5'	3'	3'	-
Minimum Side Setback (Internal Lot)	2' (2' from property line)	2'	2'	3'	-
Minimum Side Setback (Corner Lot)	15'	15'	15'	15'	-

Note:

Open Space refers to requirement for individual lots and may include walkways and driveways but not patios or principal structures.

*For a dwelling unit with a front-loaded garage, the minimum front setback for the principal structure, excluding the garage, shall be thirteen (13) feet from the front property line provided there is at least a 20-foot setback for the garage.

**** Townhomes - Overall Building or Site Plan:**

Maximum impervious lot coverage and maximum open space refers to the code requirement of the total impervious versus pervious lot coverage for the parcel or pod, not individual townhome lots.

EXHIBIT 6
DEVELOPMENT USES AND STANDARDS

1. PERMITTED PRINCIPAL USES

*Any use as listed in the approved Verano DRI.

1. Single Family Detached Residences, Villas (Duplex subdivided on individual lots)
2. Multifamily and Town Homes
3. Model Homes, Model Home Sales Center, Model Home Design Center
4. Temporary Construction Trailers
5. Lakes
6. Entry Gates and Guard House(s)
7. Office Commercial
8. Retail Commercial
9. Open Space
10. Recreation Area and Clubhouses
11. Free Standing Emergency Department (FSED), 24 hour

2. DENSITY:

Density will comply with the approved DRI. The overall density for the Verano DRI is regulated by the RGC land use which is 5 du/ac over the entire 3,001.15-acre property. Density is not regulated or restricted on any particular PUD or Site Plan.

3. PARKING REQUIRED:

All single-family units shall have at minimum two (2) residential-car garages parking spaces. If no driveway is provided, then there shall be one guest parking space provided elsewhere on site at one (1) space per unit. Villas and Townhomes with single car garages will have, at minimum, parking for one (1) space in the garage and one (1) tandem exterior parking space in the driveway. Villa and Townhome garages may have a 1 or 2-car capacity. All Villas and Townhomes with two (2) car garages will have at minimum parking for two (2) spaces in the garage and two (2) spaces in the driveway.

Driveways will be a minimum of nine feet (9') wide for a one (1) car garage and eighteen feet (18') wide for a two (2)-car garage. Past the right-of-way, Single Family Home driveways can extend up to thirty feet (30') in width to accommodate Single-Family Homes with larger garages.

Refer to the City Code for parking space requirements as related to multifamily apartments, commercial, and office uses. If the proposed number of parking spaces differs from the City Code, a parking analysis justifying proposed parking shall be provided by the traffic engineer at the time of Site Plan Review.

One (1) space/ per 200 gross square feet of enclosed Recreation Facility/Clubhouse. On-street parking may be utilized to satisfy this requirement.

4. STREET DESIGN:

Corner radii of intersecting streets with a collector street shall be a minimum of twenty-five feet (25'). Corner radii of intersecting local streets shall be a minimum of fifteen feet (15').

5. MAXIMUM BLDG HEIGHT:

Maximum height of single-family residential structures and recreation centers shall not exceed thirty-five feet (35') above finished floor. Architectural elements (monuments, entry features, towers, etc.) may not exceed fifty feet (50') above finished floor. Multifamily residential structures shall not exceed seventy-five feet (75') above finished floor, or seven (7) stories.

6. LOT SIZES: (See Exhibit 11 – Typical Lots)

Lot sizes are not restricted to the typical lot plans illustrated in this PUD, provided they adhere to the minimum setback requirement detailed in Table 1, Development Uses & Standards. And the minimum lot widths and minimum lot area requirements identified in Exhibit 11.

7. BLDG SETBACKS: (See Exhibit 11, Typical Lots)

Single-family:

Setbacks shall be as stated in Table 1, Development Uses & Standards, unless otherwise indicated. Roofs are allowed to overhang into building setbacks but not to exceed twenty-four inches (24"). Any accessory structure placed within the side setback must be landscaped to be shielded from the right-of-way. Sand set pavers may encroach into the setbacks up to the property line.

Pool equipment and HVAC are not considered accessory uses and are allowed in the side yard, and side setbacks do not apply.

Villas/Townhomes:

Setbacks shall be as stated in Table 1, Development Standards & Uses, unless otherwise indicated. Roofs are allowed to overhang into building setbacks but not to exceed twenty-four inches (24"). Any accessory structure placed within the side setback must be landscaped to be shielded from surrounding neighbors. Sand set pavers may encroach into the setbacks up to the property line.

Other Uses:

Multifamily (apartments and townhomes) and commercial (office and retail) uses shall follow development criteria as defined in the City of Port St. Lucie Zoning Code, unless otherwise stated in this PUD.

8. FENCES / WALLS:

Single Family:

Fences and walls may be located along the rear and side property line, but they shall not extend past the front building line into the front setback. These fences and walls may have a maximum height of seven (7) feet. Notwithstanding the foregoing, the front and side setbacks of the lot which extend past the front of the building may allow a fence with a maximum height of three (3) feet.

Villas:

Fences and walls may be located along the rear and side property line but shall not extend past the front building line into the front setback. These fences and walls may have a maximum height of seven (7) feet. Notwithstanding the foregoing, the front and side setbacks of the lot which extend past the front of the building may allow a fence with a maximum height of three (3) feet.

9. ACCESSORY USES:

Accessory Uses/Structures are permitted in connection with any principal use, provided that all accessory structures or uses are in full compliance with all setbacks, height and building lot impervious coverage, requirements. Such approved uses or structures include but are not limited to patios, pools, outdoor cooking areas, gazebos, and screen enclosures.

10. LANDSCAPING:

1. Single-family and Duplex Lots:

No more than 50% of the required trees on single family lots or villa duplex lots may be palm trees. A minimum of 25% of all required trees shall be native species.

2. Easement and Utility Area Landscaping:

No trees may be planted within five (5) feet of any existing utility pole, guy wire, and pad mounted transformer. No protective barriers will be required. When platted, development tract is within 50' of Florida Power and Light (FPL) easement, a planting plan demonstrating compliance with FPL's "Right Tree, Right Place" publication will be provided consistent with plat construction drawings.

3. Perimeter Landscaping:

Trees and Shrubs are not required along the lake edges for amenity centers and model home sales centers. The minimum perimeter landscape buffer width for amenity

centers and model home sales centers is five (5) feet. Multifamily (townhomes and apartments), commercial, office, and recreational uses are subject to the City Code, unless otherwise stated in this PUD document.

4. Street Trees:

~~Large canopy street trees shall be provided on a basis of one (1) tree per forty (40) linear feet of roadway per side. Tree spacing can be adjusted as necessary but shall not exceed fifty feet (50') on center as per the City Subdivision Code. Street trees planted front of residential lots may be counted toward the canopy tree requirements for the lot. Townhome and villa developments that cannot achieve street trees that are forty feet (40') on center will provide equal compensation along the right of way, within the distances less than forty feet (40').~~ 60' R-O-W - Large street trees shall be provided on a basis of one (1) tree per fifty (50) linear feet. Where there are utility and/or driveway conflicts the spacing may differ and may exceed the fifty (50) feet, but the overall quantity required per street shall not be reduced and shall be provided on such street or an alternative location only with approval of Staff prior to placement. Street trees planted in front of residential lots may be counted towards the canopy tree requirements for lot.

11. CLUBHOUSE/ RECREATION:

Permitted Uses:

Pool, Hot Tub, Cabana, Conference Facilities, Clubhouse, Health Club, Outdoor Sports Facilities, Tot lot, Passive Garden Area, Golf Cart Parking Spaces, Racquet Club Facilities, Fire Pits, Outdoor Cooking, Social Gathering Areas and Outdoor Stage.

12. MODEL ROW AND SALES CENTERS:

Model homes and their respective sales centers are permitted within Pod H. If the location of model row is not shown on the Conceptual Master Plan (Exhibit 9a), it may be permitted within Pod H through site plan review and model home applications, without warranting a PUD amendment. Temporary trap fences are permitted in model row.

13. FACADES AND ARCHITECTURAL REVIEW ELEVATIONS:

The Citywide Design Standards apply to commercial, office, institutional, multifamily (excluding duplex villas), unless indicated otherwise. The Citywide Design Standards do not apply to clubhouses, amenity centers, mail kiosks, model home sales centers, and guardhouses, golf maintenance facilities, single-family, or villa duplex development.

14. UTILITIES AND PUBLIC WORKS:

All construction shall be in accordance with the City of Port St. Lucie Utility Systems Department's Technical Specifications and Construction Standards, latest revision, and with all applicable Florida Department of Environmental Protection rules and regulations. Pod H will be subject to the Florida Department of Environmental Protection rules and regulations. Pod H will be supplied with Water and/or Wastewater Services by the City of Port St. Lucie Utility Systems Department (PSLUSD) and will abide and comply with all the applicable City Ordinances, Policies, Specifications and Regulatory Agencies governing such services. Pump Stations may be designed to serve neighboring parcels to maximize the benefit to the system and minimize maintenance costs to the City. The Applicant acknowledges that the City may require reuse water to be utilized for irrigation, equal to the amount of wastewater generated by the project. The extension of fiber optic lines is required for the communication of all Lift Stations and Reuse meter stations. Fiber optic line will be added in five feet (5') City Utility Easement at least five feet (5') from force main. No vegetation with intrusive root systems shall be placed within ten feet (10') of utilities. All utilities shall be placed underground.

Trees shall not be planted within ten feet (10') of any PSLUSD mains or appurtenances. All other utilities shall be a minimum of five feet (5') horizontal separation from city utility mains for parallel installations and a minimum of eighteen inches (18") below city utility mains (all measurements are from outside to outside).

No landscaping shall be placed in a manner that would create conflicts with the intended operation and maintenance of any existing or proposed water/ wastewater utility lines. All measurements are from outside to outside, not centerline to centerline. Example: outside of pipe to nearest point on tree trunk.

Berms and structural landscape features such as rock, foundations, sculpture, decorative wall, and tree wells are generally not allowed in PSLUSD easements but may be reviewed on a case-by-case basis.

No landscaping other than sod grasses may be planted within a five feet (5') radius maintenance area of any PSLUSD appurtenance such as water meters, backflow devices, fire hydrants, sanitary sewer cleanouts, and manholes, air release valves, etc.

All landscaping within PSLUSD utility easements shall comply with PSLUSD technical specifications, policies, and codes.

The property owner, contractor, and authorized representatives shall provide pickup, removal, and disposal of litter within the project limits and shall be responsible for maintenance of the area from the edge of the pavement to the property line within the City's right-of-way in accordance with City Code, Section 41.08 (g).

15. POLICE FACILITIES:

Verano Development is serviced by the City of Port St. Lucie Police Department (PSLPD). If requested by the PSLPD, a mini substation located within a commercial area of Pod H may be provided.

16. HURRICANE PREPAREDNESS:

The St. Lucie County Division of Emergency Management's Interactive Emergency Shelter Location Map provides five (5) emergency shelters within a nine (9)-mile radius of Pod H, which Verano Development residents may utilize during Hurricanes.

17. AFFORDABLE HOUSING:

As per the Resolution 12-R102 fact #7, the proposed Verano development does not create an adequate housing need within the meaning of housing rule 9J-2.048, F.A.C. Therefore, no mitigation is required for the affordable housing.

EXHIBIT 7a
LEGAL DESCRIPTION
(PLEASE SEE BELOW)

DESCRIPTION:

A PARCEL OF LAND LYING IN A PORTION OF SECTION 6, TOWNSHIP 37 SOUTH, RANGE 39 EAST AND SECTION 31, TOWNSHIP 36 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA, IN THE CITY OF PORT ST. LUCIE, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWESTERLY MOST CORNER OF VERANO SOUTH - P.U.D.1. - POD G - PLAT NO. 1, AS RECORDED IN PLAT BOOK 92, PAGE(S) 11 THROUGH 30 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE S.74°00'26"W., ALONG THE NORTHERLY LINE OF THE WEST VIRGINIA EXTENSION, AS RECORDED IN OFFICIAL RECORDS BOOK 2186, PAGE 548, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, A DISTANCE OF 1444.37 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 22918.00 FEET; THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 13°41'03", A DISTANCE OF 5473.57 FEET TO THE POINT OF NON-TANGENT INTERSECTION AND THE **POINT OF BEGINNING**.

PARCEL "A"

THENCE S.00°01'15"W., DEPARTING SAID NORTHERLY LINE OF THE WEST VIRGINIA EXTENSION, A DISTANCE OF 1280.93 FEET; THENCE S.89°58'45"E., A DISTANCE OF 1650.00 FEET TO A POINT HEREON TO BE KNOWN AS REFERENCE POINT "A"; THENCE N.00°01'15"E., A DISTANCE OF 376.00 FEET; THENCE N.89°58'45"W., A DISTANCE OF 1560.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD S-609, AS SHOWN ON THE F.D.O.T. RIGHT-OF-WAY MAP DATED 11/05/64 AND REVISED JAN. 1965; THENCE N.00°01'15"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD S-609, A DISTANCE OF 1237.72 FEET TO A POINT OF THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF THE FLORIDA EAST COAST RAILWAY AND ALSO BEING THE NORTHWESTERLY LINE OF THE FLORIDA POWER AND LIGHT EASEMENT, AS RECORDED IN OFFICIAL RECORDS BOOK 348, PAGE 993, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE N.44°46'01"E., ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE OF THE FLORIDA EAST COAST RAILWAY AND SAID NORTHWESTERLY LINE OF THE FLORIDA POWER AND LIGHT EASEMENT, A DISTANCE OF 5195.17 FEET TO A POINT OF NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE SOUTHWEST, WITH A RADIUS OF 2038.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS S.46°54'13"W. AT SAID INTERSECTION; THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 41°06'59", A DISTANCE OF 1462.50 FEET TO A POINT OF TANGENCY; THENCE S.01°58'48"E., A DISTANCE OF 2828.10 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 1998.00 FEET; THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 12°29'13", A DISTANCE OF 435.44 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 2268.00 FEET; THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 25°45'05", A DISTANCE OF 1019.35 FEET TO A POINT OF TANGENCY; THENCE S.15°14'40"E., A DISTANCE OF 603.08 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 1895.00 FEET; THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 09°49'05", A DISTANCE OF 324.73 FEET TO A POINT OF NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE NORTHWEST, WITH A RADIUS OF 22918.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS N.05°37'16"W. AT SAID INTERSECTION; THENCE SOUTHWESTERLY,

ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 03°18'50", A DISTANCE OF 1325.54 FEET TO THE **POINT OF BEGINNING**.

PARCEL "A" CONTAINING: 16,424,542 SQUARE FEET OR 377.056 ACRES, MORE OR LESS.

TOGETHER WITH:

PARCEL "B"

BEING A PORTION OF SECTION 6, TOWNSHIP 37 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA.

COMMENCE AT REFERENCE POINT "A" AS PREVIOUSLY DESCRIBED; THENCE S.54°36'38"W., A DISTANCE OF 1104.27 FEET TO POINT OF BEGINNING - 2. THENCE S.00°01'15"W., A DISTANCE OF 660.00 FEET TO A POINT ON THE NORTHERLY LINE OF THE WEST VIRGINIA EXTENSION, AS RECORDED IN OFFICIAL RECORDS BOOK 2186, PAGE 548 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE N.89°58'45"W., ALONG SAID NORTHERLY LINE OF THE WEST VIRGINIA EXTENSION, A DISTANCE OF 660.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD S-609, AS SHOWN ON THE F.D.O.T. RIGHT-OF-WAY MAP DATED 11/05/64 AND REVISED JAN. 1965; THENCE N.00°01'15"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD S-609, A DISTANCE OF 660.00 FEET; THENCE S.89°58'45"E., DEPARTING SAID EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD S-609, A DISTANCE OF 660.00 FEET TO POINT OF BEGINNING - 2.

PARCEL "B" CONTAINING: 435,600 SQUARE FEET OR 10.00 ACRES, MORE OR LESS.

TOTAL LANDS CONTAINING: 16,860,142 SQUARE FEET OR 387.056 ACRES, MORE OR LESS.

EXHIBIT 7b
WARRANTY DEEDS
(PLEASE SEE BELOW)

This instrument prepared by, and after recording, return to:

Tyrone T. Bongard, Esq.
Gunster, Yoakley & Stewart, P.A.
777 S. Flagler Drive, Suite 500
West Palm Beach, FL 33401

Tax Parcel No: 4306-100-0000-000-8
3331-111-0000-000-7 (Portion)
3328-322-0001-000-2 (Portion)

(Space Reserved for Clerk of Court)

NOTE TO CLERK: THIS CONVEYANCE IS EXEMPT FROM STATE DOCUMENTARY STAMP TAX BASED ON THE CASE OF CRESCENT MIAMI CENTER, LLC v. FLORIDA DEPARTMENT OF REVENUE, 903 So.2d 913 (FLA 2005).

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made and given as of the 15th day of February, 2021, by **VERANO DEVELOPMENT LLC**, a Delaware limited liability company, having an address of 105 NE 1st Street, Delray Beach, Florida 33444 (the "Grantor"), to and in favor of **PSL LAND INVESTMENTS LLC**, a Florida limited liability company, having an address of 105 NE 1st Street, Delray Beach, Florida 33444 (the "Grantee").

[Whenever used herein the terms "Grantor" and "Grantee" include the parties to this instrument, together with their respective successors and assigns.]

WITNESSETH, that Grantor, for and in consideration of Ten and No/100 (\$10.00) Dollars and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, has granted, bargained and sold, and by these presents does hereby grant, bargain and sell, to Grantee and its successors and assigns, forever, the following described land lying, being, and situate in St. Lucie County, Florida (the "Property"), to wit:

See Exhibit "A" attached hereto and made a part hereof.

SUBJECT TO: taxes and assessments for the year 2021 and subsequent years not yet due or payable; all laws, ordinances, regulations, restrictions, prohibitions and other requirements imposed by governmental authority, including, but not limited to, all applicable building, zoning, land use and environmental ordinances and regulations; and conditions, restrictions, limitations, easements and other matters of record, if any, but this reference shall not operate to reimpose any of the same.

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.


TO HAVE AND TO HOLD unto Grantee in fee simple forever.

AND Grantor hereby covenants with Grantee that Grantor is lawfully seized of the Property in fee simple; that Grantor has good right and lawful authority to sell and convey the Property to Grantee; that Grantor specially warrants the title to the Property subject to the foregoing matters and will defend the same against the lawful claims of all persons claiming by, through or under Grantor but no others.

[Signature Page Follows]


IN WITNESS WHEREOF, Grantor has signed these presents the day and year first above written.

WITNESSES



Witness signature
JOHN CSAPO

Print Name




Witness signature
Denise Yano

Print Name

GRANTOR

VERANO DEVELOPMENT LLC, a Delaware limited liability company

By: The Kolter Group LLC, a Florida limited liability company, its Manager

By: 

Name: William Johnson

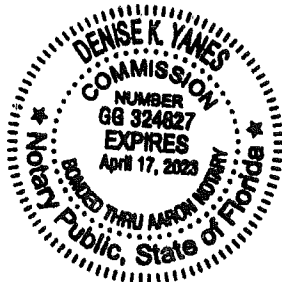
Title: Manager

STATE OF FLORIDA

COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 15th day of February, 2021, by William Johnson, as Manager of The Kolter Group LLC, a Florida limited liability company, which is Manager of VERANO DEVELOPMENT LLC, a Delaware limited liability company, on behalf of said company, and who ☒ is personally known to me, or ☐ has produced _____ as identification.

(Seal)

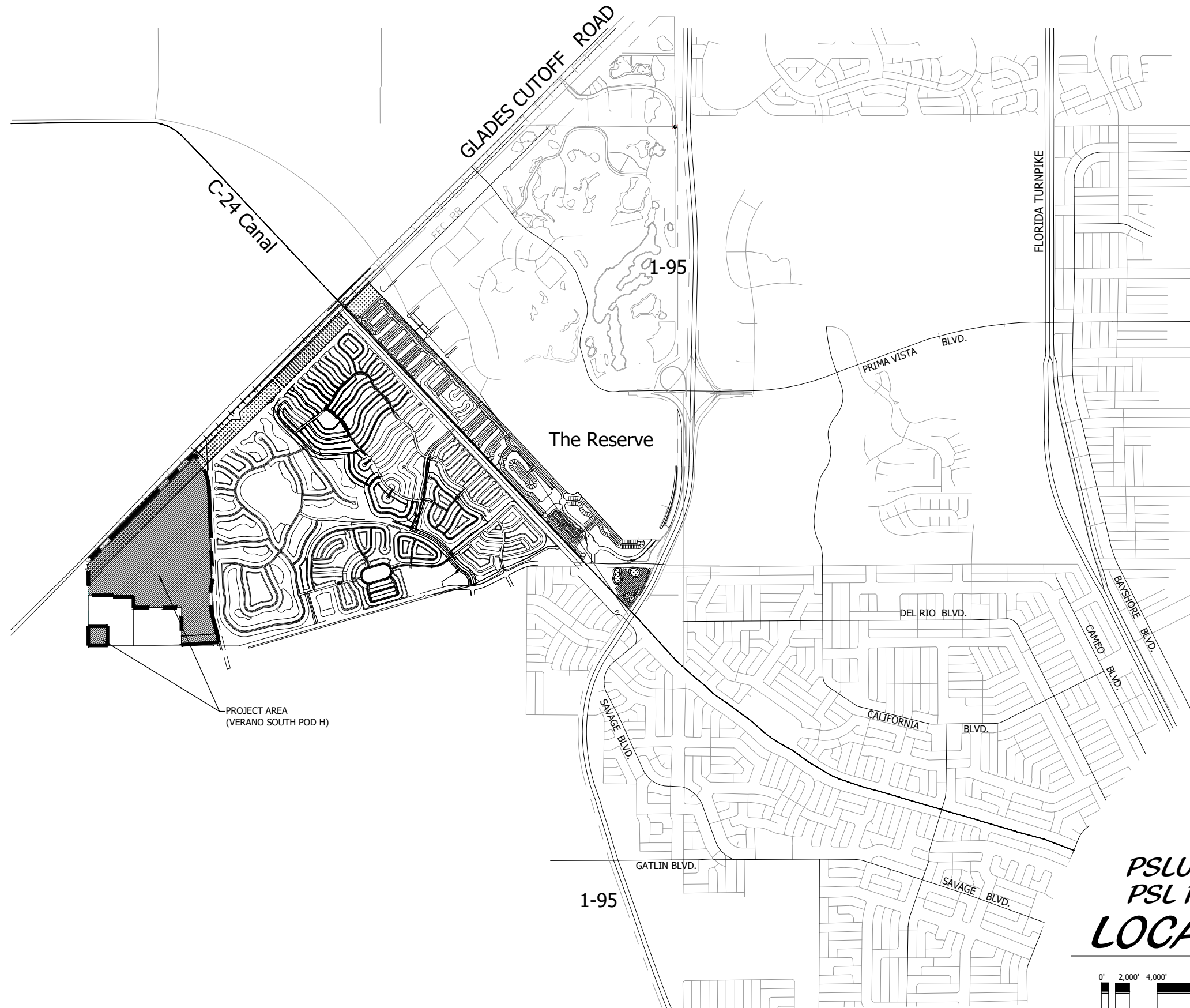




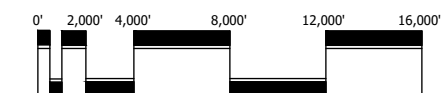
Notary Public - State of Florida

Print Name: Denise Yano

EXHIBIT 8
LOCATION MAP
(PLEASE SEE BELOW)



PSLUSD #11-652-37
 PSL PROJ# P21-070
LOCATION MAP



Scale: 1" = 4,000'-0"



North



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VERANO SOUTH POD H

Kolter Homes
 Port St. Lucie, Florida

DESIGNED	LAH
DRAWN	LAH
APPROVED	DTS
JOB NUMBER	21-0216
DATE	02-26-21
REVISIONS	09-09-21
	02-21-22 11-24-21
	03-14-22 12-14-21

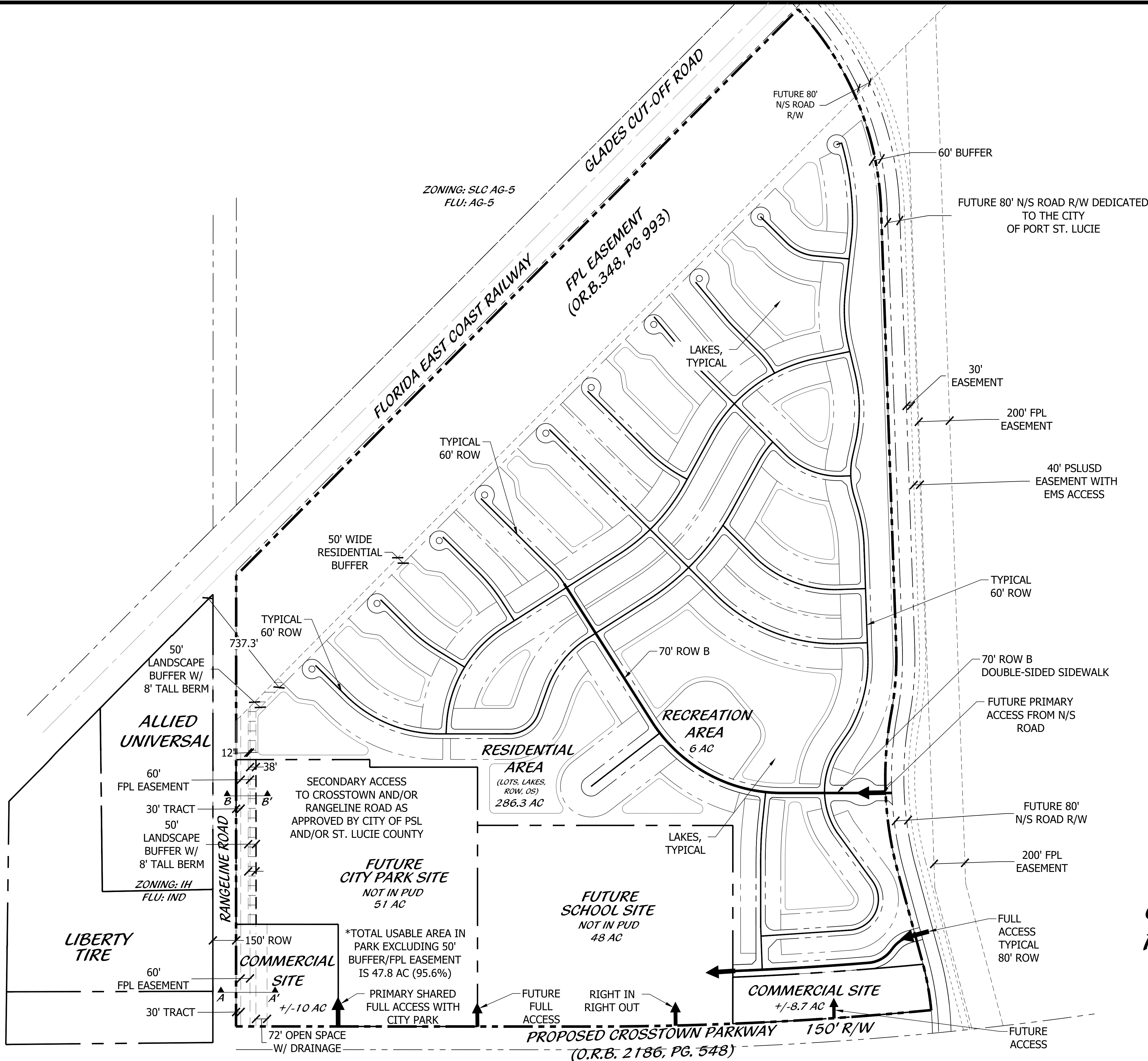
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11-09-22	12-01-23

SHEET 1 OF 1

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P21-006

EXHIBIT 9a
PUD CONCEPTUAL MASTER PLAN
(PLEASE SEE BELOW)



LEGEND

----- FUTURE VERANO
PUD G BOUNDARY

➔ INGRESS/ EGRESS
TO PUD/SITE

PSLUSD #11-652-37
PSL PROJ# P21-070
**CONCEPTUAL MASTER
PLAN POD H - EXHIBIT**

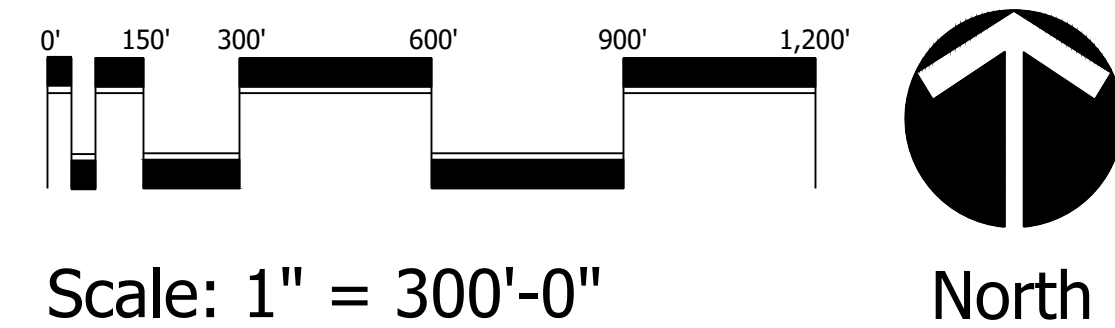


EXHIBIT 9b
RANGELINE ROAD SECTIONS
(PLEASE SEE BELOW)



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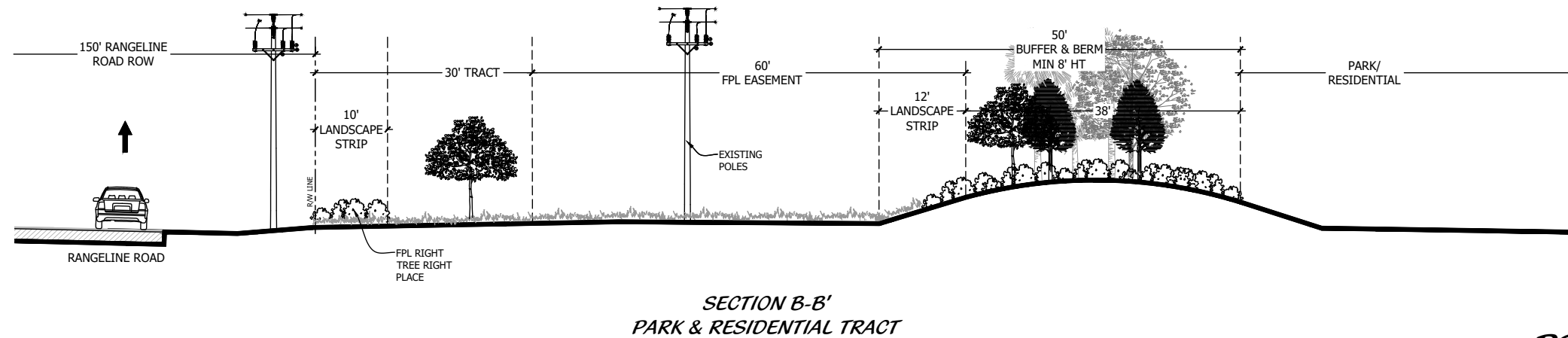
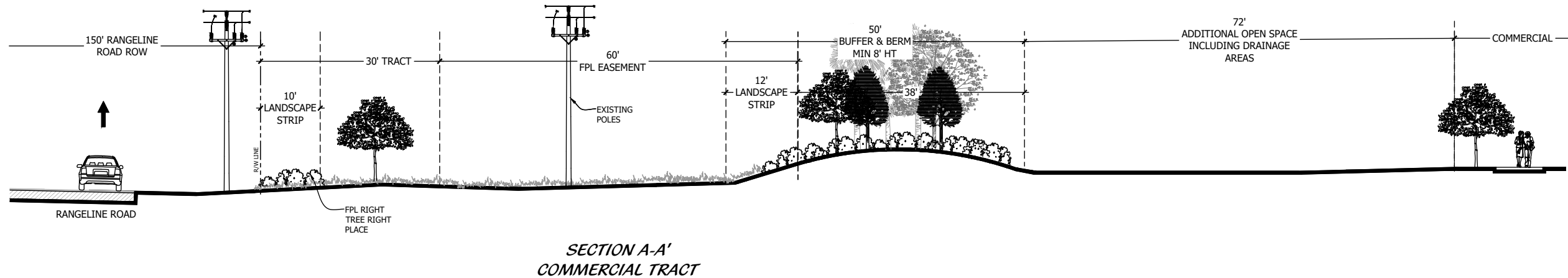
VERANO SOUTH POD H
Kolter Homes
Port St. Lucie, Florida

DESIGNED	LAH
DRAWN	LAH
APPROVED	DTS
JOB NUMBER	21-0216
DATE	02-26-21
REVISIONS	09-09-21
	02-21-22 11-24-21
	03-14-22 12-14-21

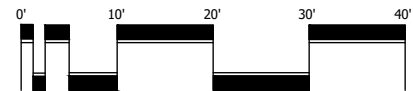
08-16-22 09-08-22

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PSLUSD #11-652-37
PSL PROJ# P21-070
RANGELINE ROAD
SECTIONS

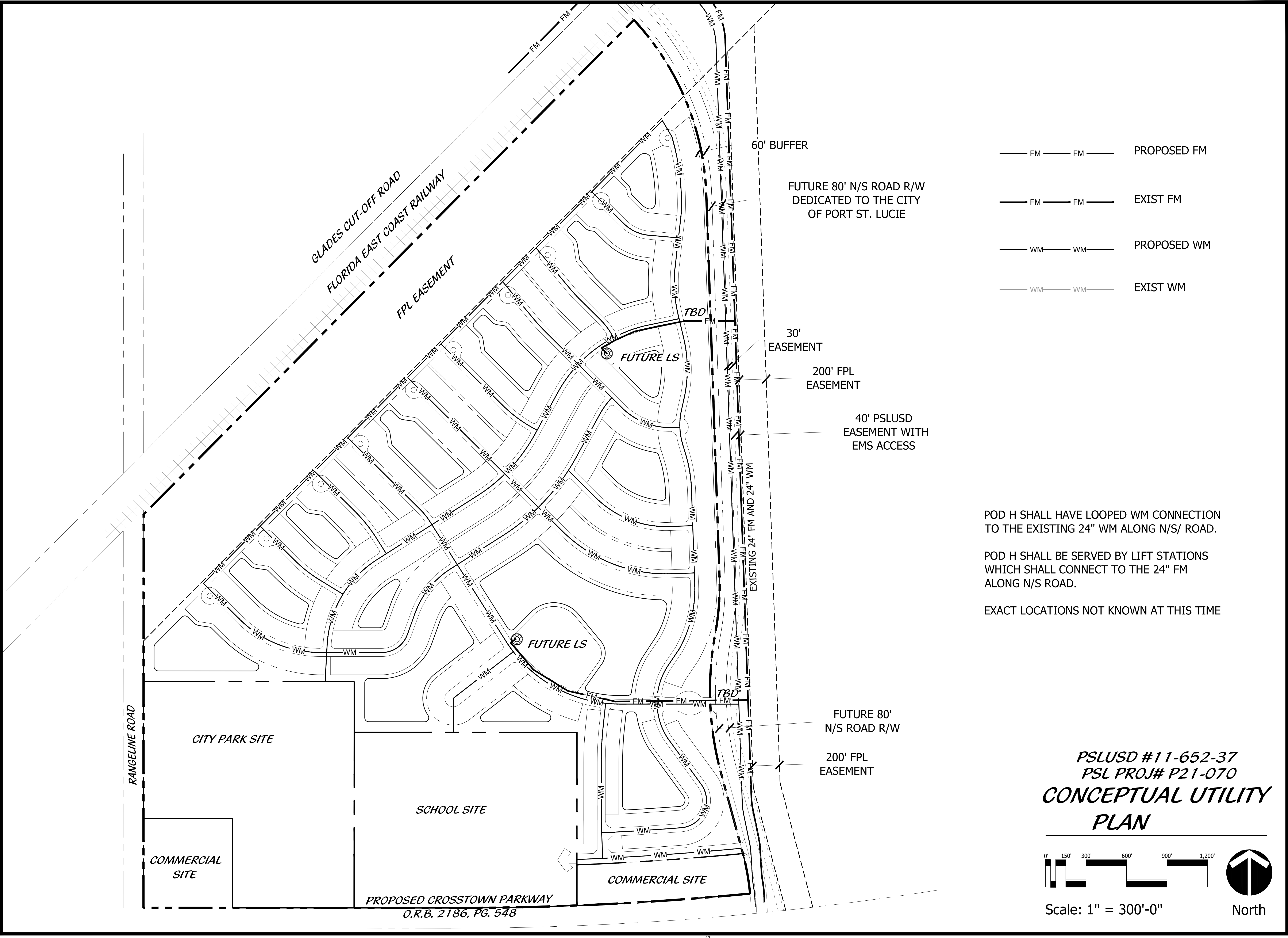


Scale: 1" = 20'-0"



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EXHIBIT 9c
PUD CONCEPTUAL WATER AND SEWER MASTER PLAN
(PLEASE SEE BELOW)





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Kolter Homes
Port St. Lucie, Florida

DESIGNED	LAH
DRAWN	LAH
APPROVED	DTS
JOB NUMBER	21-0216
DATE	02-26-21
REVISIONS	09-15-21

EXHIBIT 10
TYPICAL ROADWAYS
(PLEASE SEE BELOW)



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Port St. Lucie, Florida

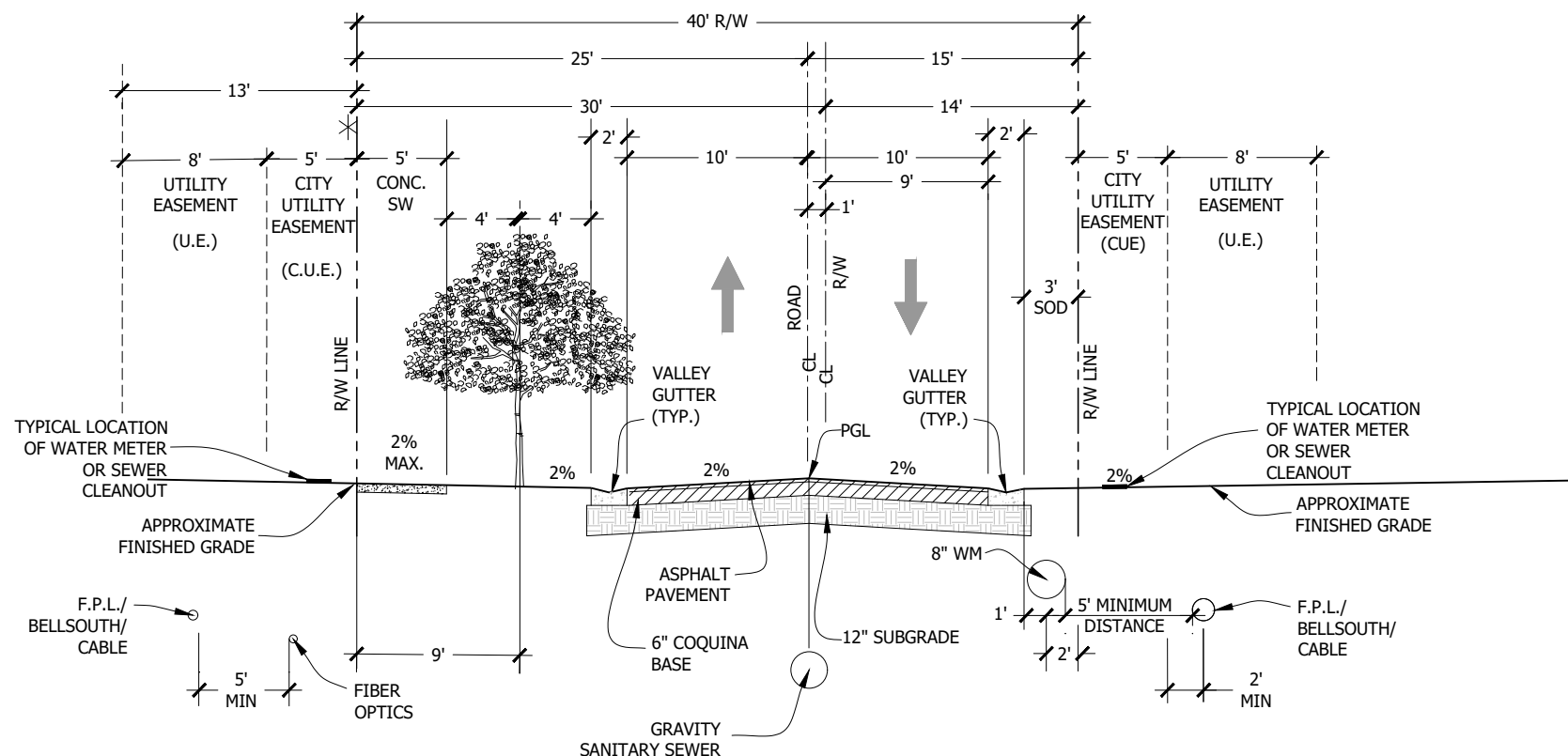
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APPROVED	DTS
JOB NUMBER	21-0216
DATE	02-26-21
REVISIONS	09-09-21

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LEGEND

- ASPHALT PAVING
- CONCRETE
- UTILITY EASEMENT
- CENTERLINE
- PROPOSED RIGHT-OF-WAY

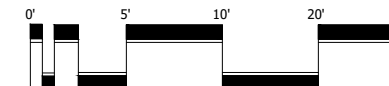


40' RIGHT-OF-WAY
TOWNHOME COMMUNITY SECTION
POSTED SPEED 25 MPH

* NOTE:
3' SIDEWALK OFFSET AND 5' C.U.E. WILL BE
REQUIRED IF P.S.L. MAINLINE FACILITIES ARE
LOCATED ON BOTH SIDES OF STREET.
PSLUSD FIBEROPTICS WILL BE LOCATED IN 5' CUE IF
FM IS REQUIRED.
IT IS ANTICIPATED THIS SECTION WILL BE IN THE
FUTURE MULTI-FAMILY PARCEL.

PSLUSD #11-652-37
PSL PROJ# P21-070

**MULTIFAMILY TOWN HOME
COMMUNITY 40' ROW**



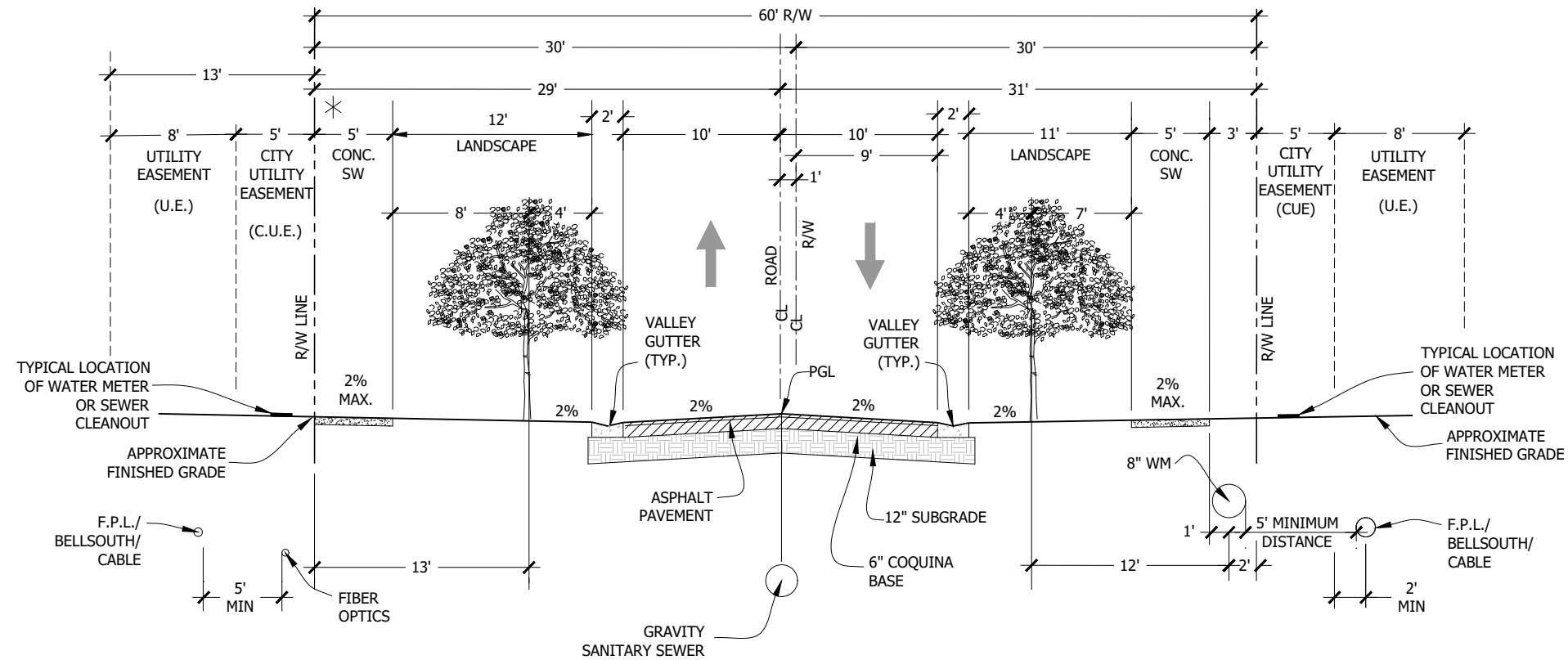
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North

LEGEND

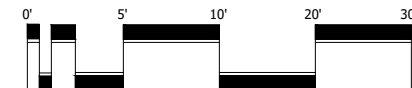
- ASPHALT PAVING
- CONCRETE
- UTILITY EASEMENT
- CENTERLINE
- PROPOSED RIGHT-OF-WAY



60' RIGHT-OF-WAY
TYPICAL SECTION
POSTED SPEED 25 MPH

* NOTE:
3' SIDEWALK OFFSET AND 5' C.U.E. WILL BE
REQUIRED IF P.S.L. MAINLINE FACILITIES ARE
LOCATED ON BOTH SIDES OF STREET.
PSLUSD FIBEROPTICS WILL BE LOCATED IN 5' CUE IF
FM IS REQUIRED.

PSLUSD #11-652-37
PSL PROJ# P21-070
TYPICAL 60' ROW
POD H



Scale: 1" = 10'-0"



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VERANO SOUTH POD H

Kolter Homes
Port St. Lucie, Florida

DESIGNED _____ LAH
DRAWN _____ LAH
APPROVED _____ DTS
JOB NUMBER _____ 21-0216
DATE _____ 02-26-21
REVISIONS _____ 09-09-21

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VERANO SOUTH POD H
Kolter Homes
Port St. Lucie, Florida

DESIGNED _____ LAH
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APPROVED _____ DTS
JOB NUMBER _____ 21-0216
DATE _____ 02-26-21
REVISIONS _____ 09-09-21

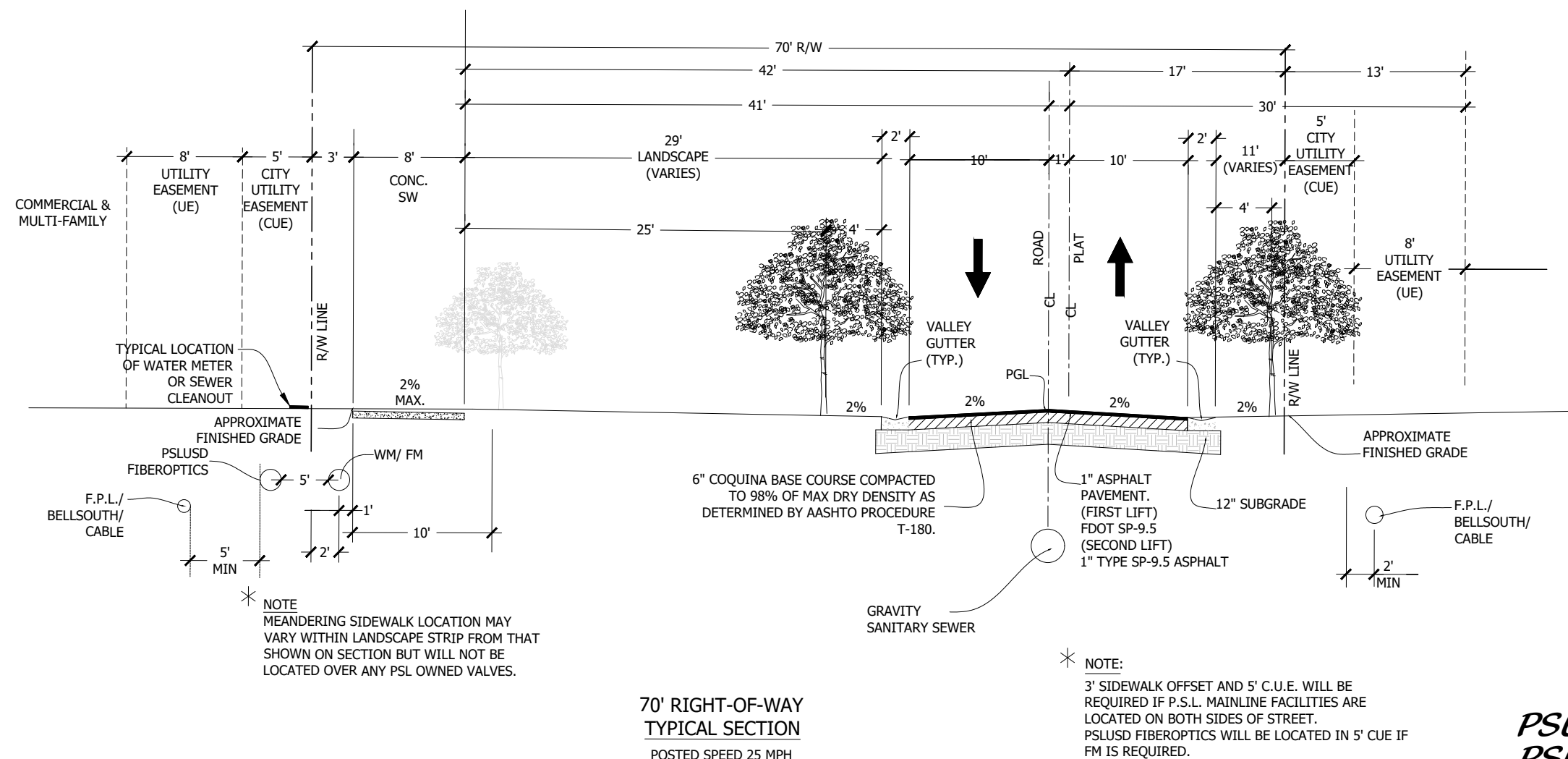
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LEGEND

- ASPHALT PAVING
- CONCRETE
- UTILITY EASEMENT
- CENTERLINE
- PROPOSED RIGHT-OF-WAY



PSLUSD #11-652-37
PSL PROJ# P21-070
TYPICAL 70' ROW
POD H (A)



Scale: 1" = 10'-0"



North



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VERANO SOUTH POD H

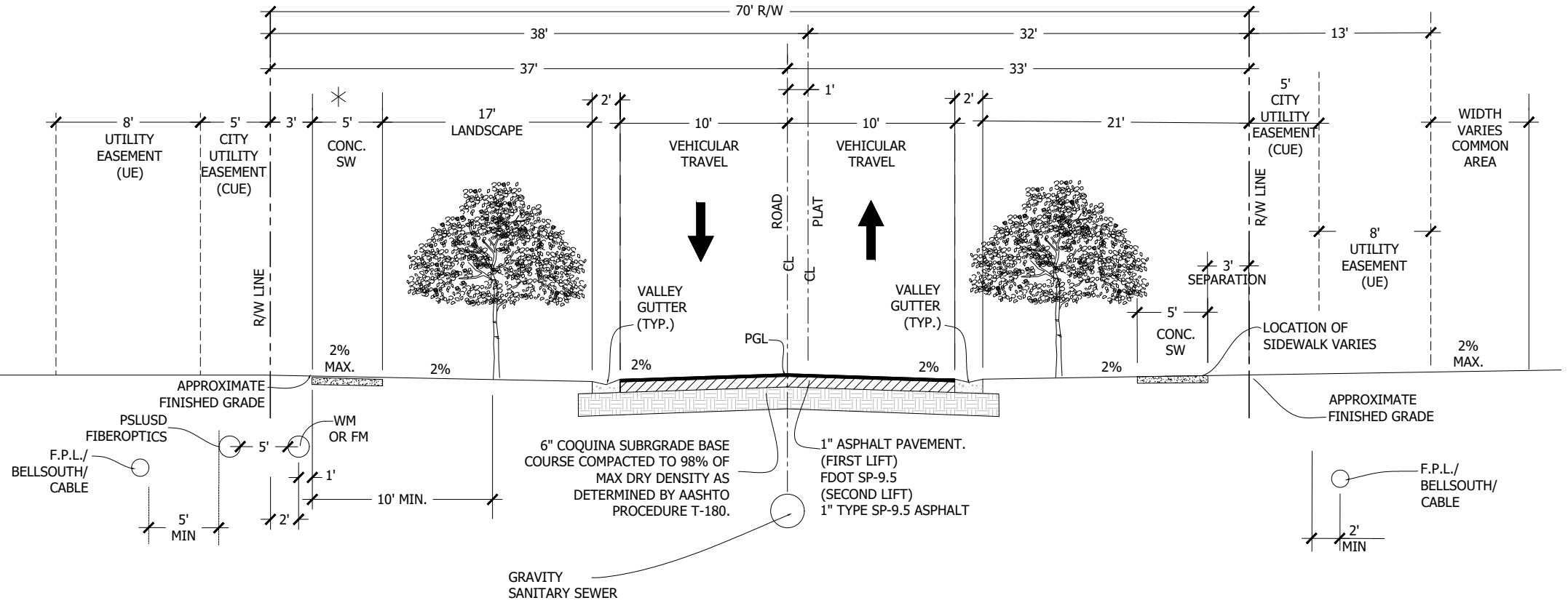
Kolter Homes
Port St. Lucie, Florida

DESIGNED	LAH
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LEGEND

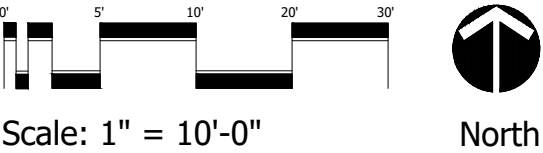
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- CONCRETE
- UTILITY EASEMENT
- CENTERLINE
- PROPOSED RIGHT-OF-WAY








**70' RIGHT-OF-WAY
TYPICAL SECTION**
POSTED SPEED 25 MPH

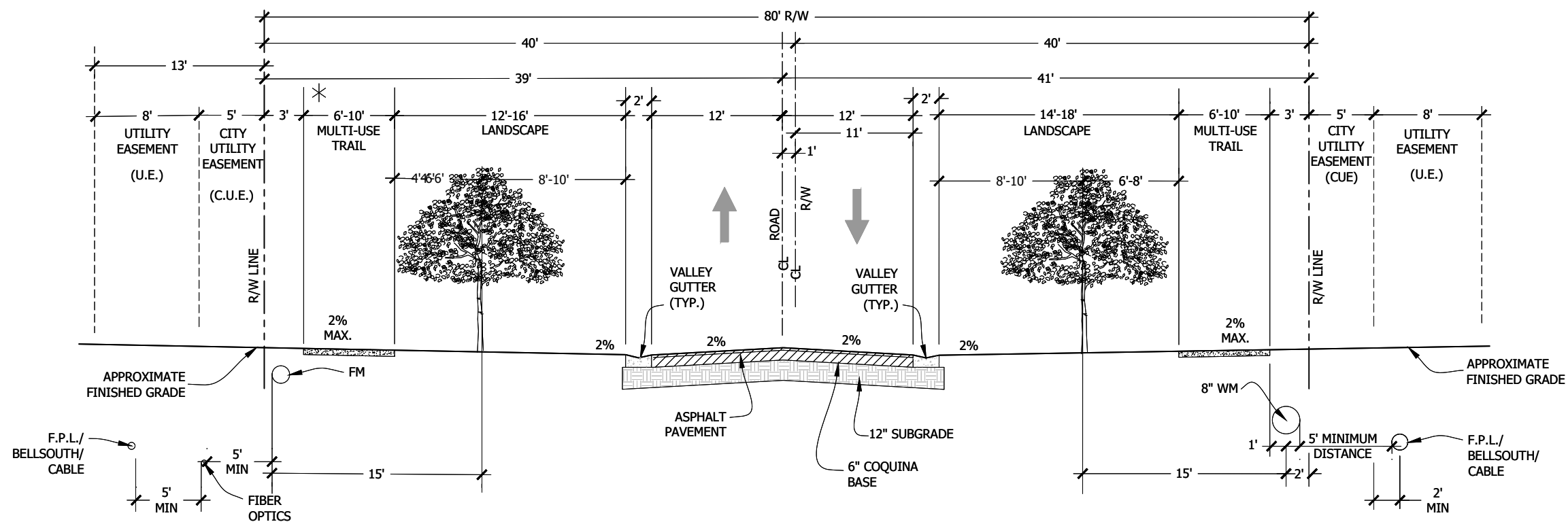
* NOTE:
3' SIDEWALK OFFSET AND 5' C.U.E. WILL BE
REQUIRED IF P.S.L. MAINLINE FACILITIES ARE
LOCATED ON BOTH SIDES OF STREET.
PSLUSD FIBEROPTICS WILL BE LOCATED IN 5' CUE IF
FM IS REQUIRED.

PSLUSD #11-652-37
PSL PROJ# P21-070
TYPICAL 70' ROW
POD H (B)



LEGEND

-  ASPHALT PAVING
-  CONCRETE
-  UTILITY EASEMENT
-  CENTERLINE
-  PROPOSED RIGHT-OF-WAY

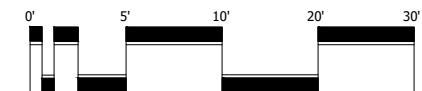


80' RIGHT-OF-WAY
TYPICAL SECTION

* NOTE:

3' MULTI-USE TRAIL OFFSET AND 5' C.U.E. WILL BE REQUIRED IF P.S.L. MAINLINE FACILITIES ARE LOCATED ON BOTH SIDES OF STREET. PSLUSD FIBEROPTICS WILL BE LOCATED IN 5' CUE IF FM IS REQUIRED. ONE SIDE OF ROAD WILL HAVE 6' MULTI-USE TRAIL, THE OTHER SIDE OF ROAD TO HAVE A 10' MULTI-USE TRAIL.

PSLUSD #11-652-37
PSL PROJ# P21-070
TYPICAL 80' ROW
POD H



Scale: 1" = 10'-0"



North



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VERANO SOUTH POD H

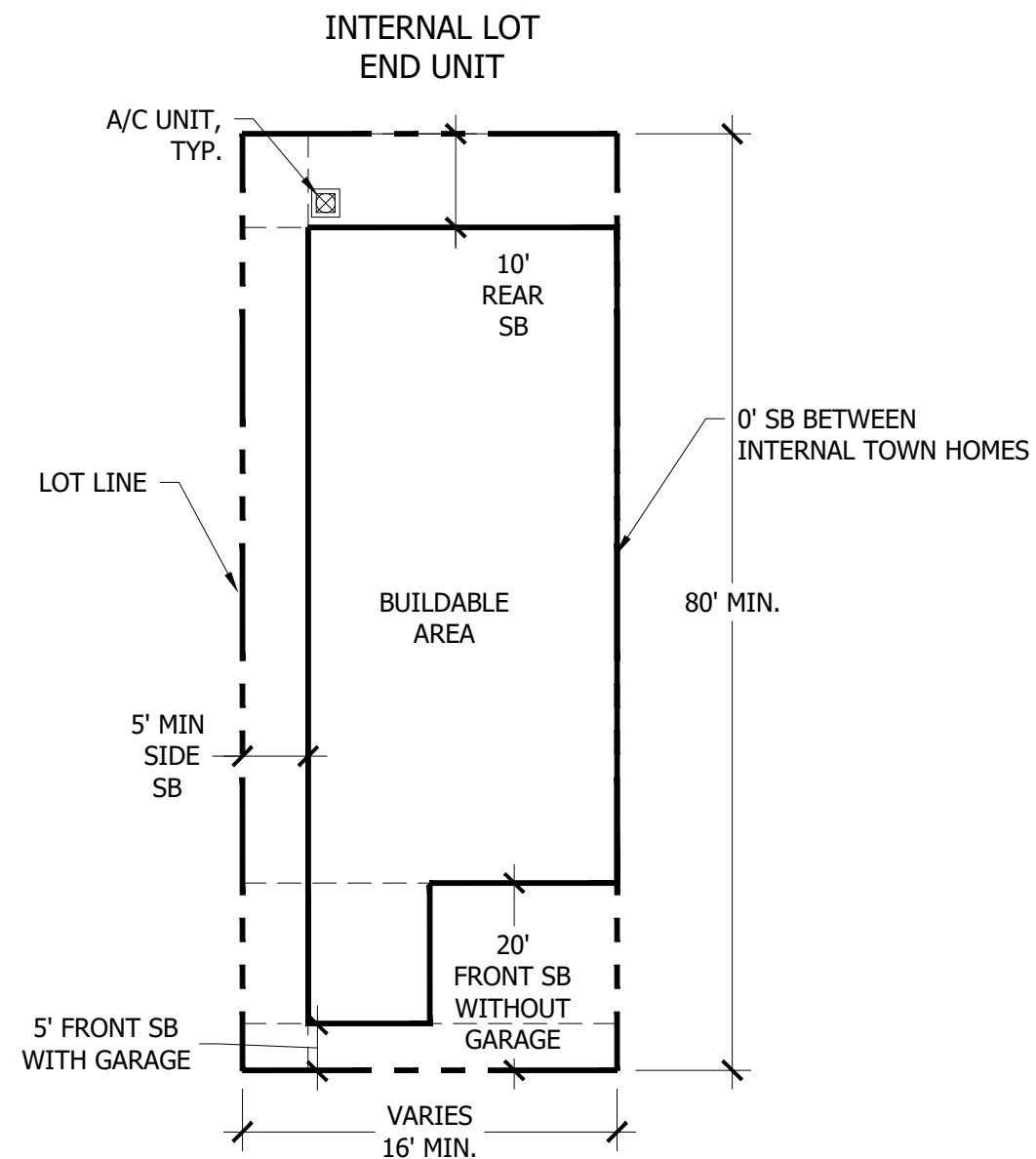
Kolter Homes
Port St. Lucie, Florida

DESIGNED	LAH
DRAWN	LAH
APPROVED	DTS
JOB NUMBER	21-0216
DATE	02-26-21
REVISIONS	09-09-21

SHEET 1 OF 1

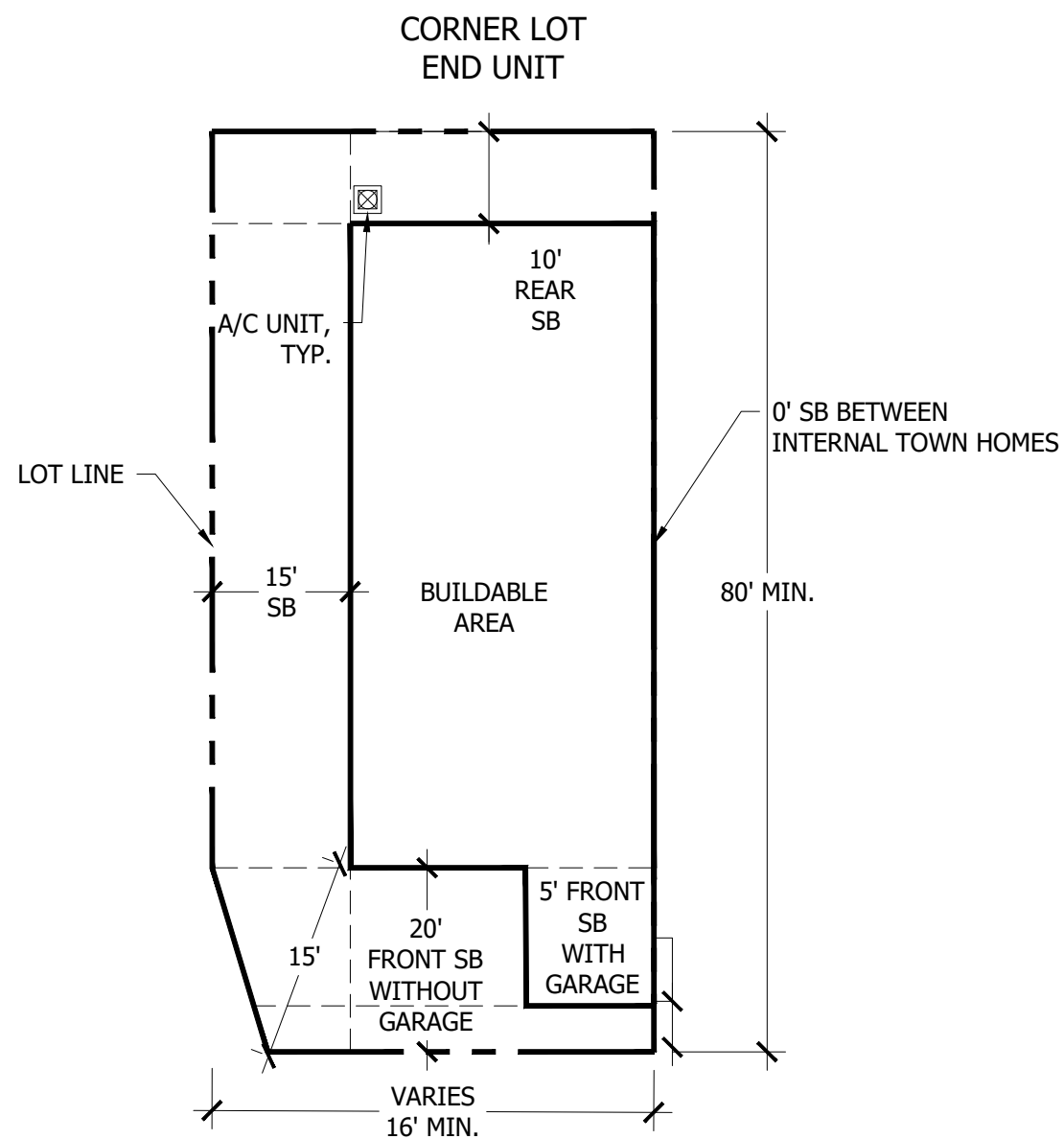
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EXHIBIT 11
TYPICAL LOTS
(PLEASE SEE BELOW)



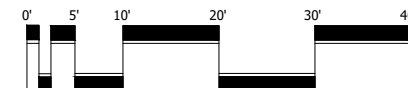
Notes:

1. ACCESSORY SETBACK IS 3' MIN. OR 0' IF ADJACENT TO OPEN SPACE OR LAKE.
2. IF NO GARAGE IS PROVIDED, THE SETBACK SHALL BE 20'.
3. IF A GARAGE IS PROVIDED, THE SETBACK SHALL BE 5'.
4. 10' MIN. SETBACK BETWEEN BUILDINGS.
5. THE MINIMUM WIDTH OF THE DRIVEWAY IS 9'.
6. MINIMUM LOT AREA IS 1,280 SF.



IF ADJACENT TO AN OPEN SPACE TRACT 15' IN WIDTH OR GREATER, THE SIDE CORNER LOT SETBACK CAN BE REDUCED TO 5'. WHEN NOT ADJACENT TO AN OPEN SPACE TRACT, SIDE SETBACK SHALL BE A MINIMUM OF 15' ON STREET SIDE.

PSLUSD #11-652-37
PSL PROJ# P21-070
**TYPICAL TOWN
HOME LOT**



Scale: 1" = 20'-0"



North



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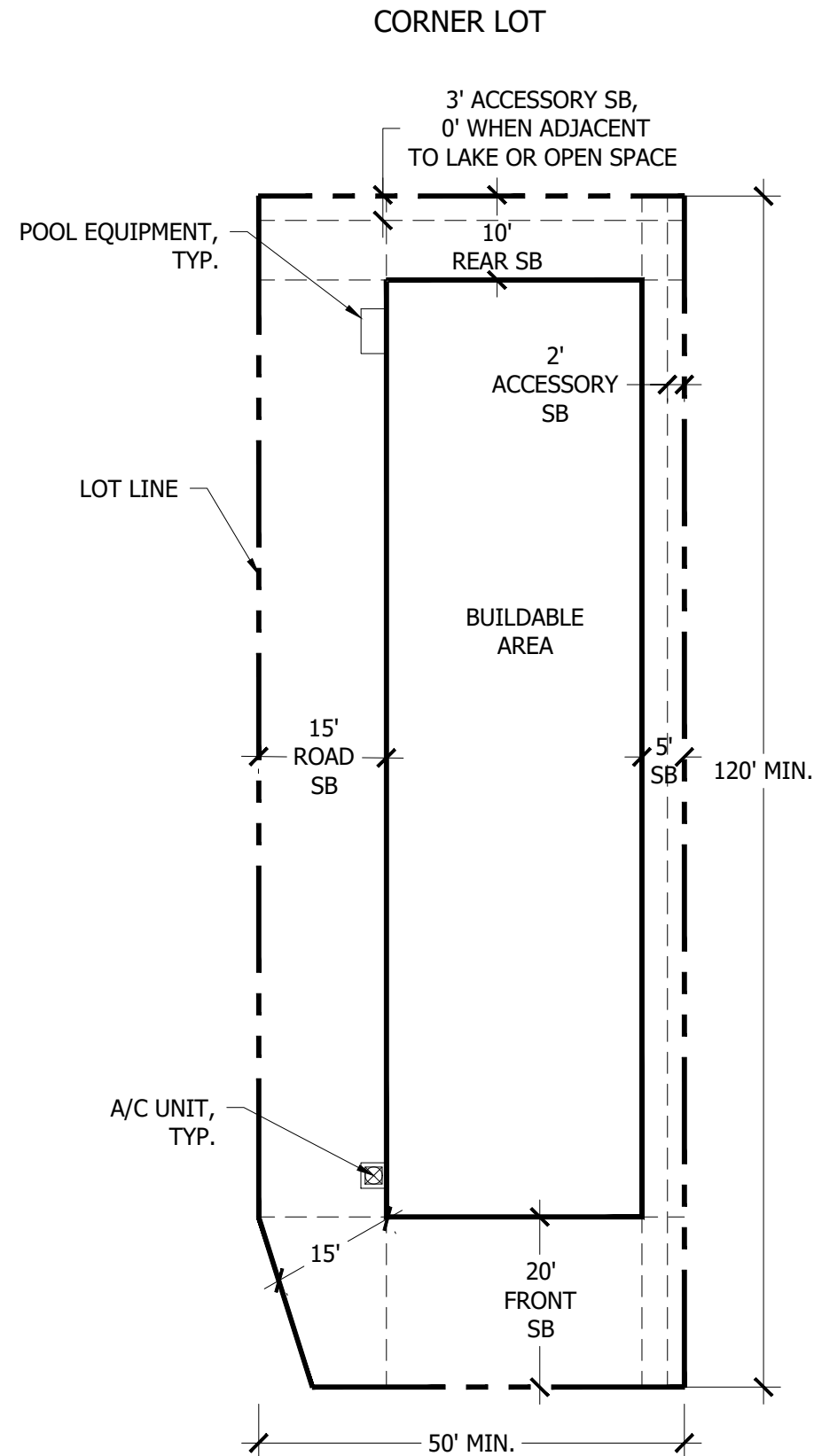
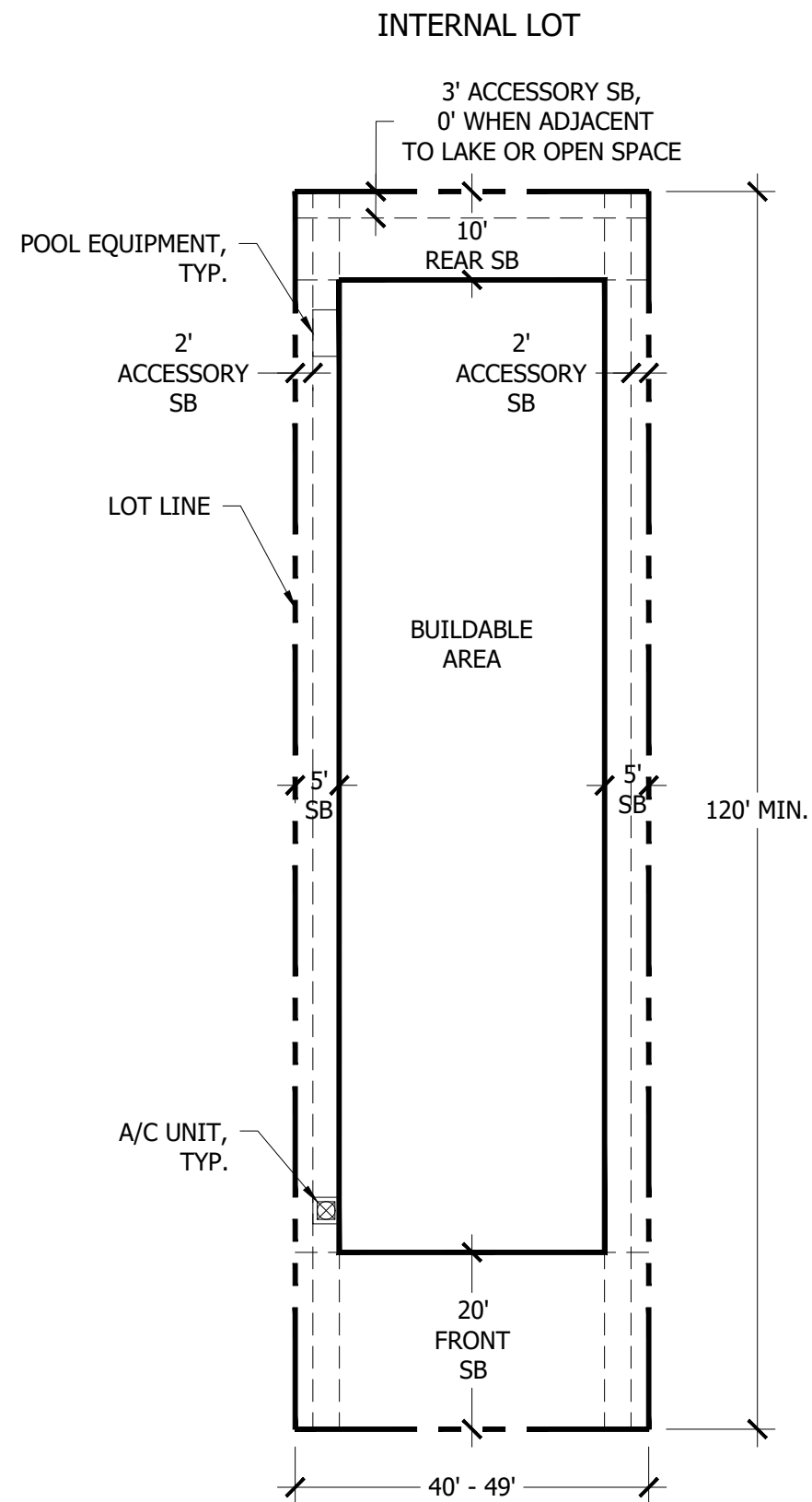
VERANO SOUTH POD H

Kolter Homes
Port St. Lucie, Florida

DESIGNED _____ LAH
DRAWN _____ LAH
APPROVED _____ DTS
JOB NUMBER _____ 21-0216
DATE _____ 02-26-21
REVISIONS _____ 09-09-21

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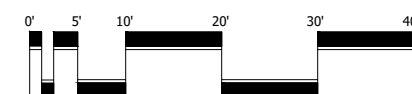
Notes:

1. ACCESSORY SETBACK IS 3' MIN. OR 0' IF ADJACENT TO OPEN SPACE OR LAKE.
2. THE MINIMUM WIDTH OF THE DRIVEWAY IS 9'.
3. MINIMUM LOT AREA IS 4,800 SF.

IF ADJACENT TO AN OPEN SPACE TRACT 15' IN WIDTH OR GREATER, THE SIDE CORNER LOT SETBACK CAN BE REDUCED TO 5'. WHEN NOT ADJACENT TO AN OPEN SPACE TRACT, SIDE SETBACK SHALL BE A MINIMUM OF 15' ON STREET SIDE.

PSLUSD #11-652-37
PSL PROJ# P21-070

40' - 49'
TYPICAL LOT



Scale: 1" = 20'-0"



North



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Lic# LC-C000239

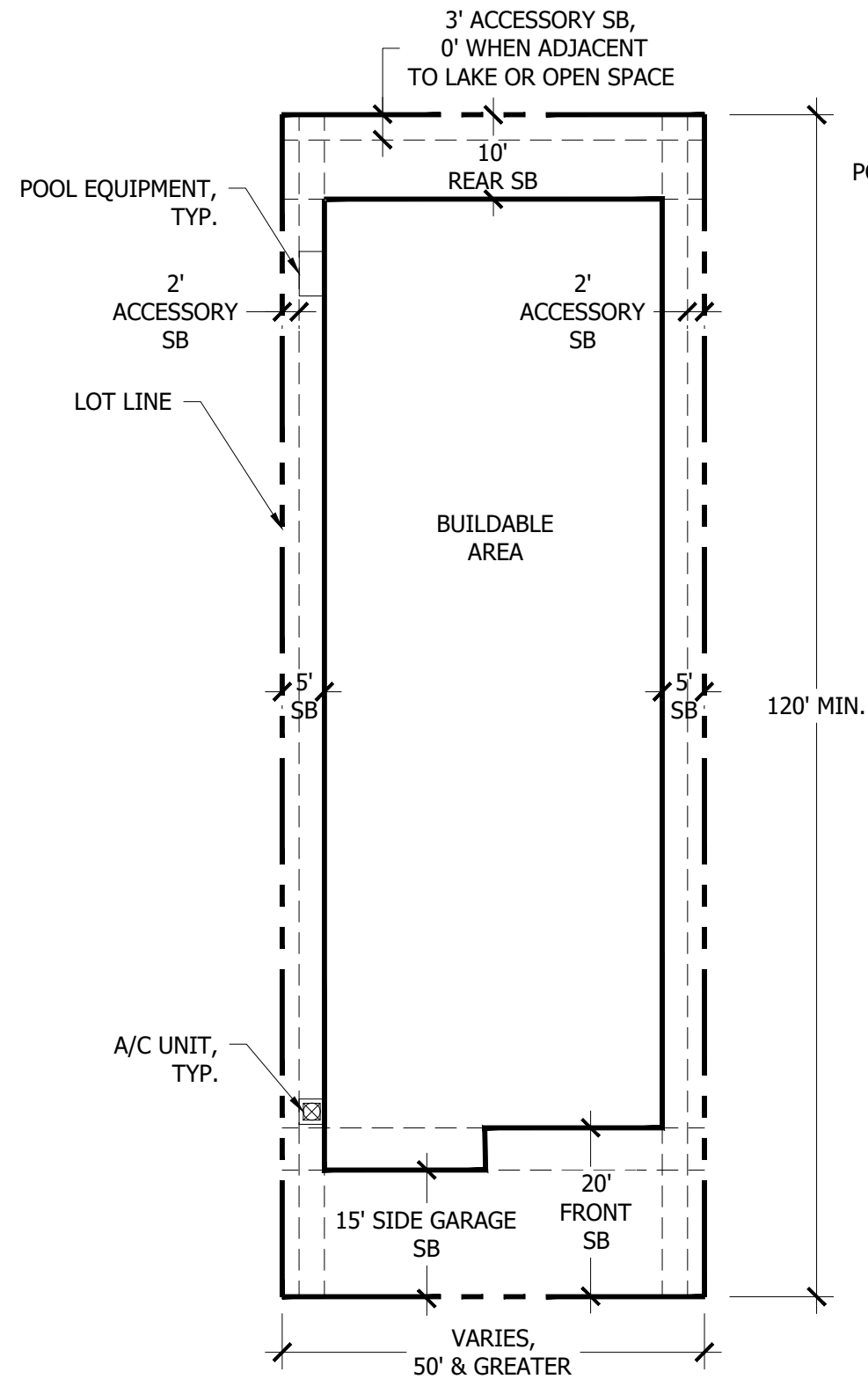
VERANO SOUTH POD H

Kolter Homes
Port St. Lucie, Florida

DESIGNED	LAH
DRAWN	LAH
APPROVED	DTS
JOB NUMBER	21-0216
DATE	02-26-21
REVISIONS	09-09-21

SHEET 1 OF 1
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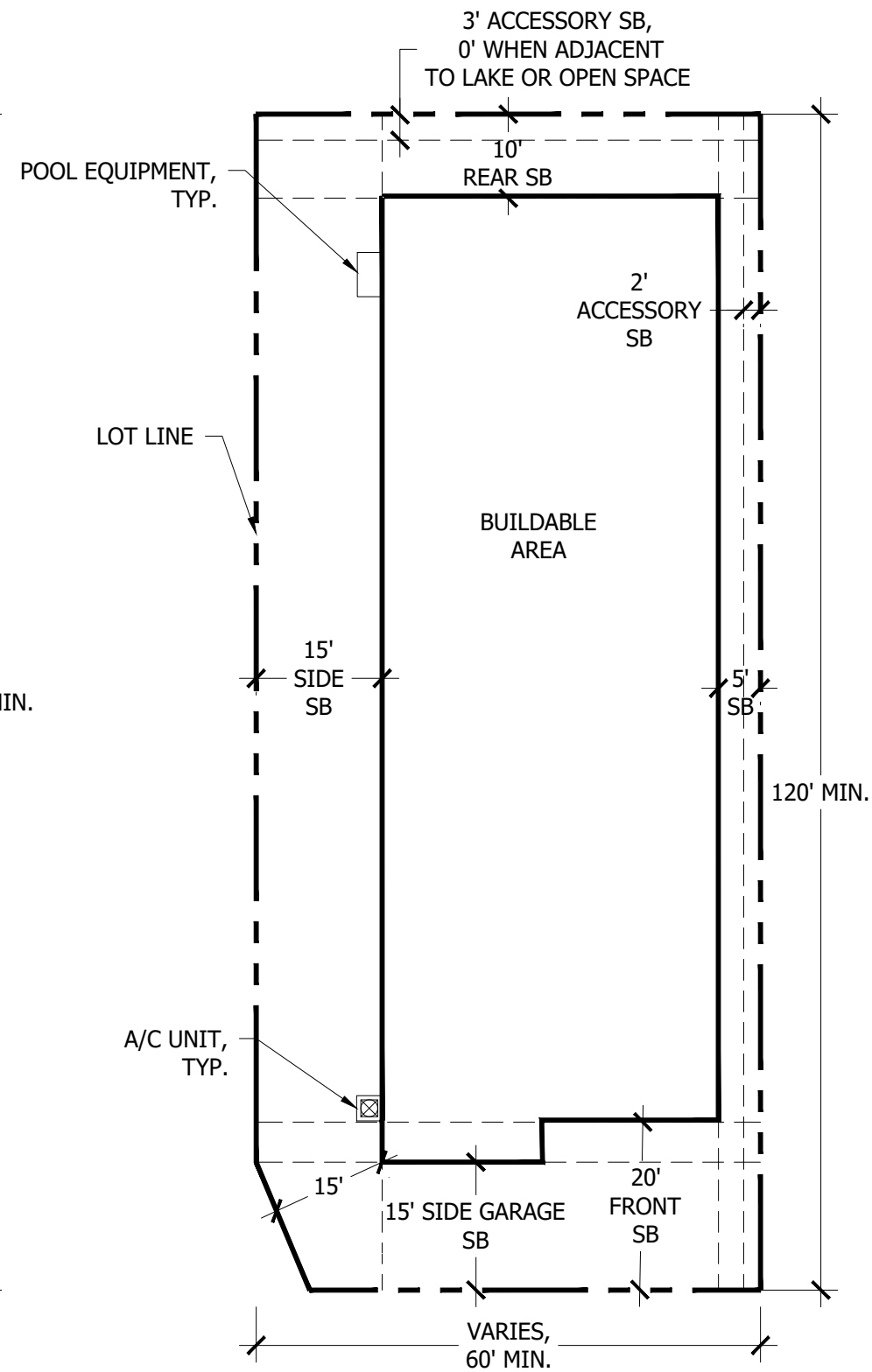
INTERNAL LOT



Notes:

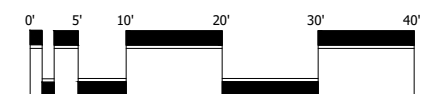
1. ACCESSORY SETBACK IS 3' MIN. OR 0' IF ADJACENT TO OPEN SPACE OR LAKE.
2. THE MINIMUM WIDTH OF THE DRIVEWAY IS 9'.
3. MINIMUM LOT AREA IS 6,000 SF.

CORNER LOT



IF ADJACENT TO AN OPEN SPACE TRACT 15' IN WIDTH OR GREATER, THE SIDE CORNER LOT SETBACK CAN BE REDUCED TO 5'. WHEN NOT ADJACENT TO AN OPEN SPACE TRACT, SIDE SETBACK SHALL BE A MINIMUM OF 15' ON STREET SIDE.

PSLUSD #11-652-37
PSL PROJ# P21-070
TYPICAL LOT
(50' & GREATER)



Scale: 1" = 20'-0"



North



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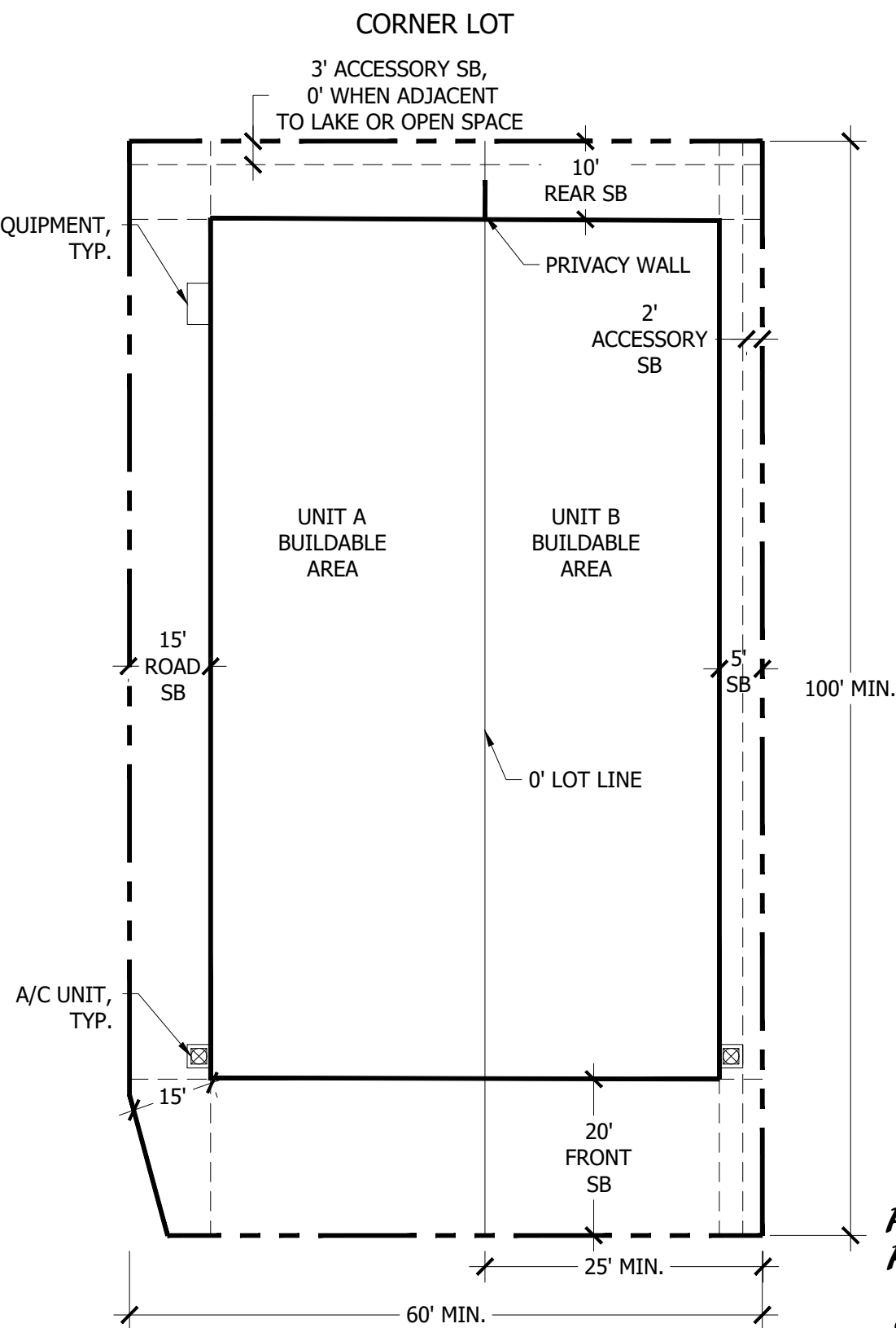
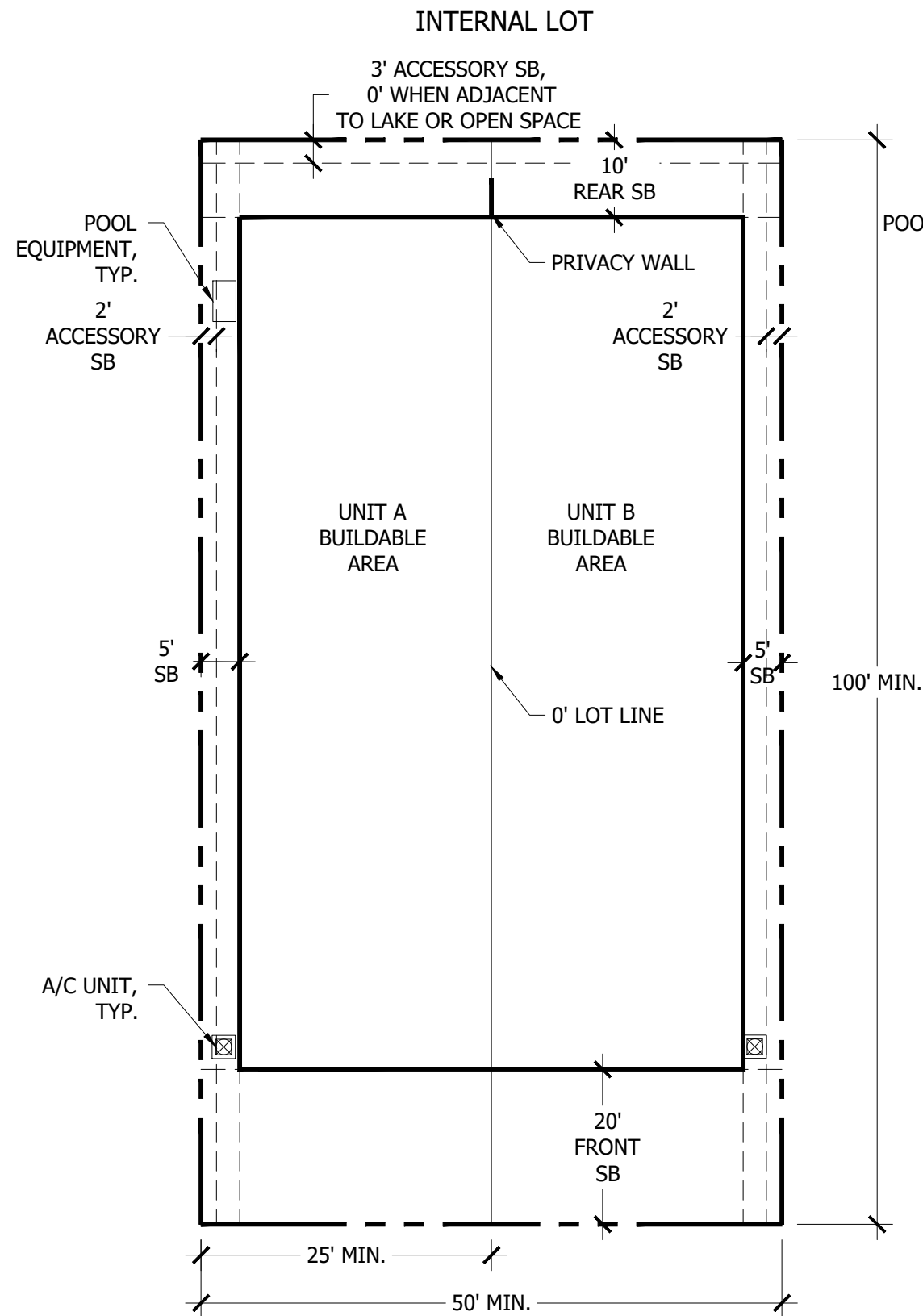
VERANO SOUTH POD H

Kolter Homes
Port St. Lucie, Florida

DESIGNED _____ LAH
DRAWN _____ LAH
APPROVED _____ DTS
JOB NUMBER _____ 21-0216
DATE _____ 02-26-21
REVISIONS _____ 09-09-21

SHEET 1 OF 1
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P21-070



Notes:

1. ACCESSORY SETBACK IS 3' MIN. OR 0' IF ADJACENT TO OPEN SPACE OR LAKE.
2. THERE WILL BE A 10' MIN. SEPARATION BETWEEN BUILDINGS
3. THE MINIMUM WIDTH OF THE DRIVEWAY IS 9'.
4. MINIMUM LOT AREA IS 2,500 SF.

IF ADJACENT TO AN OPEN SPACE TRACT 15' IN WIDTH OR GREATER, THE SIDE CORNER LOT SETBACK CAN BE REDUCED TO 5'. WHEN NOT ADJACENT TO AN OPEN SPACE TRACT, SIDE SETBACK SHALL BE A MINIMUM OF 15' ON STREET SIDE.

PSLUSD #11-652-37
PSL PROJ# P21-070
**50' TYPICAL
VILLA LOT**



Scale: 1" = 20'-0"



North



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VERANO SOUTH POD H

Kolter Homes
Port St. Lucie, Florida

DESIGNED	LAH
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APPROVED	DTS
JOB NUMBER	21-0216
DATE	02-26-21
REVISIONS	09-09-21

SHEET 1 OF 1
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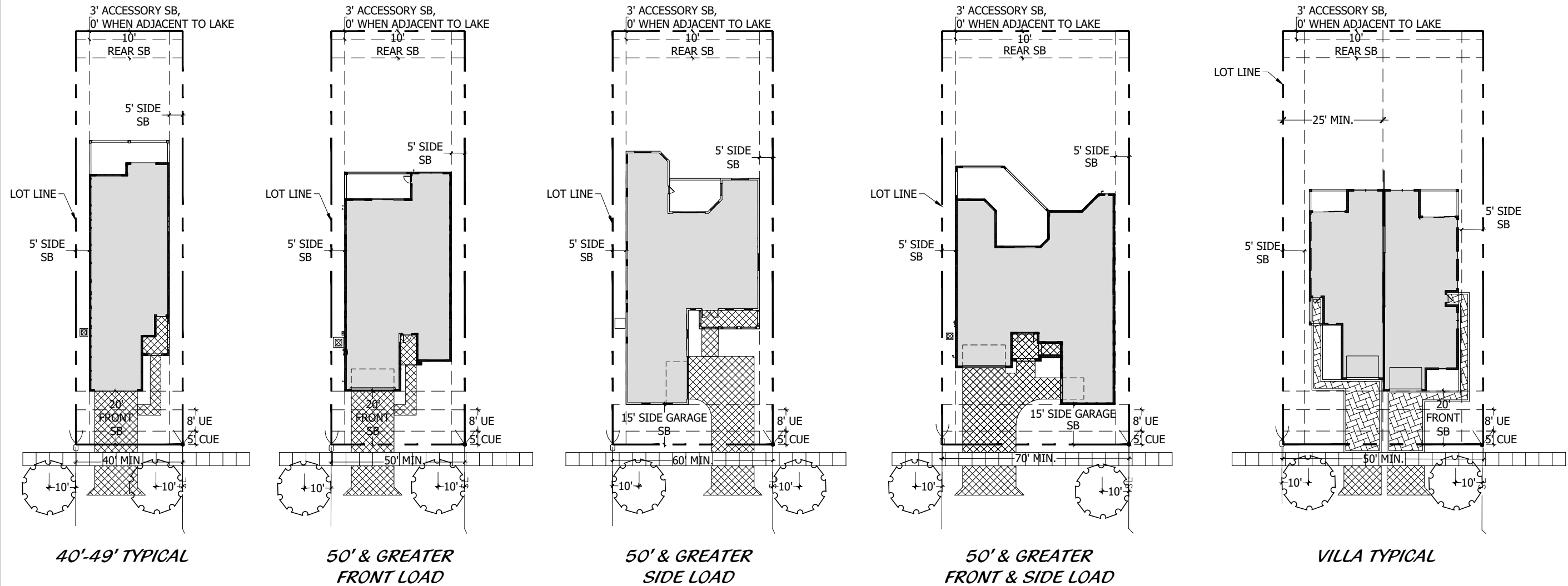
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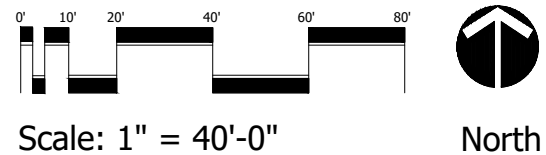
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VERANO SOUTH POD H

Kolter Homes
Port St. Lucie, Florida



PSLUSD #11-652-37
PSL PROJ# P21-070
TYPICAL
DRIVEWAY LAYOUT



DESIGNED _____ LAH
DRAWN _____ LAH
APPROVED _____ DTS
JOB NUMBER _____ 21-0216
DATE _____ 02-26-21
REVISIONS _____ 09-09-21

SHEET 1 OF 1
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EXHIBIT 12
TRAFFIC STATEMENT
(PLEASE SEE BELOW)


Engineering & Planning, Inc.

1172 SW 30th Street, Suite 500 • Palm City • Florida • 34990
(772) 286-8030 • www.mackenzieengineeringinc.com

To: City of Port St. Lucie Planning Department
From: Shaun G. MacKenzie, P.E.
Date: July 24, 2025
Re: Verano Planned Unit Development (Pod H)
24-Hour Free Standing Emergency Room
Traffic Statement



Digitally signed
by Shaun G
MacKenzie
Date: 2025.07.24
15:07:51 -04'00'

Shaun G. MacKenzie
Florida P.E. 61751
CA#29013

This traffic Statement was prepared for the proposed masterplan amendment to Pod H to permit a free-standing emergency room. Pod H contains two commercial sites (NW corner of Crosstown Parkway & N/S A and the NE corner of Crosstown Parkway and Range Line Road). In addition, a City park site and a high school are located adjacent to Pod H. The amendment to Pod H permits construction of a free-standing emergency room, but does not affect the trip generation potential or overall entitlements of Verano.

Therefore, the trip generation potential at buildout remains 88,540 daily, 6,382 AM peak hour (2,346 in, 4,036 out) and 8,230 PM peak hour (4,660 in, 3,570 out) total trips, based on the trip generation projection included in the ADA Traffic analysis.

After internal capture with other uses within the DRI and pass-by capture, the buildout is projected to generate the following net new external trips: 68,960 daily, 5,302 AM peak-hour (1,806 in, 3,496 out) and 6,410 PM peak-hour (3,750 in, 2,660 out) trips.

The proposed Pod H amendment does not warrant any changes to the previously approved transportation related Development Order conditions.

Verano Phase	Development Area	Dwelling Units
1	Verano PUD (North of the C-24)	1,200
2	Verano South PUD 1, Pod A	350
2	Verano South PUD 1, Pod B	260
2	Verano South PUD 1, Pod C	450
2	Verano South PUD 1, Pod D	702
2	Verano South PUD 1, Pod E	317
2, 3, 4	Verano South PUD 1, Pod G	2,867
4	Verano South PUD 1, Pod H	900
	Total	7,046

Transportation conditions, which are triggered at building permit, will continue to be monitored at site plan approval and through biennial reporting to ensure compliance with the Development Order.

EXHIBIT 13
DRAINAGE STATEMENT
(PLEASE SEE BELOW)

DRAINAGE STATEMENT FOR

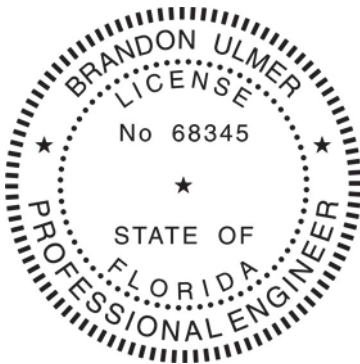
PUD H

March 17, 2021

The proposed project is the remainder of the overall Verano DRI, along the south side of the C-24 just across from the existing Verano development on the North side of C-24 canal. See attached location map for current development progress vs proposed PUD.

The project is under an existing SFWMD conceptual permit #56-01648-P (application #170530-4, modified under application #201016-4498). The Proposed Pod H is part of the master concept plan which encompasses basin 2 and basin 3 of the master overall conceptual SFWMD permit. Basin assumptions will follow the criteria set in the original conceptual permit for each basin respectively. The proposed drainage system throughout the PUD will consist of a network of pipes and catch basins interconnecting the roadways to the proposed onsite lakes. The neighborhoods will also provide for the required lake interconnect pipes which will be consistent with the SFWMD permit. Water quality will be achieved within the lake. Each basin will have a control structure which will be installed as the projects develops west and will be designed based on the conceptual assumptions provided in the overall conceptual SFWMD permit.

As the overall property is developed lakes, ditches and control structures will be constructed to provide sufficient attenuation of run-off at various stages of the project until the overall lake and drainage system is complete.



Brandon Ulmer
Florida P.E. License # 68345
Florida Business CA # 27528

PUD AMENDMENT APPLICATION

CITY OF PORT ST. LUCIE

Planning & Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984
(772) 871-5213

FOR OFFICE USE ONLY

Planning Dept. _____
Fee (Nonrefundable)\$ _____
Receipt # _____

Refer to "Fee Schedule" for application fee. Make checks payable to the "City of Port St. Lucie." Fee is nonrefundable unless application is withdrawn prior to the Planning and Zoning Board meeting. **All** items on this application should be addressed, otherwise it cannot be processed. Attach proof of ownership: two copies of deed. Please type or print clearly in **BLACK** ink.

PRIMARY CONTACT EMAIL ADDRESS: Dhearing@coteleur-hearing.com / CC Clane@coteleur-hearing.com

PROPERTY OWNER: _____

Name: PSL Land Investments LLC

Address: 105 NE 1st Street, Delray Beach, Florida 33444

Telephone No. 772-370-2468 Email Dweimer@kolter.com

AGENT OF OWNER (if any)

Name: Coteleur & Hearing: Donaldson Hearing

Address: 1934 Commerce Lane, Suite 1, Jupiter, Florida 34984

Telephone No. 561-747-6336 Email Dhearing@coteleur-hearing.com

PROPERTY INFORMATION

Legal Description: Please see attached Legal Description.
(Include Plat Book and Page)

Parcel I.D. Number: 3331-131-0001-000-6

Current Zoning: PUD Proposed Zoning: N/A


Future Land Use Designation: RGC Acreage of Property: 387.056

Reason for amendment request: Please see attached Narrative.

1) Applicant must list on the first page of the attached amendment all proposed changes with corresponding page number(s).

2) All proposed additions must be underlined and deleted text must have a ~~strikethrough~~.

3) Where there are conflicts between the requirements of the general provisions of this chapter or other applicable codes of the city and the requirements established by official action upon a specific PUD, the latter requirements shall govern.


Signature of Owner _____ Donaldson Hearing _____ 5/23/2025
Hand Print Name _____ Date _____

***If signature is not that of the owner, a letter of authorization from the owner is needed.**

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

MEMORANDUM

TO: Daniel Robinson, Planner III, Planning & Zoning

FROM: Clyde Cuffy, P.E. – Regulatory Division Director, Public Works

DATE: July 24, 2025

SUBJECT: Verano South POD H PUD (P25-096)
Traffic Generation, Stacking & Circulation Approval

This application and Traffic Report prepared by MacKenzie Engineering & Planning, Inc. dated July 24, 2025 has been reviewed by the Public Works Department and the transportation elements of the project were found to be in compliance with the adopted level of service and requirements of Chapter 156 of City Code, and Public Works Policy 19-01pwd.

The proposed POD H within the Verano DRI will add 900 dwelling units in addition to commercial development, a city park site and a high school. This is the final POD within the Verano DRI. The total approved dwelling units within the entire DRI is 7,200 units; however, after the completion of this final POD the total dwelling units for the entire DRI will be 7,046. Total net new PM Peak hour trips at DRI build out will be 6,410.

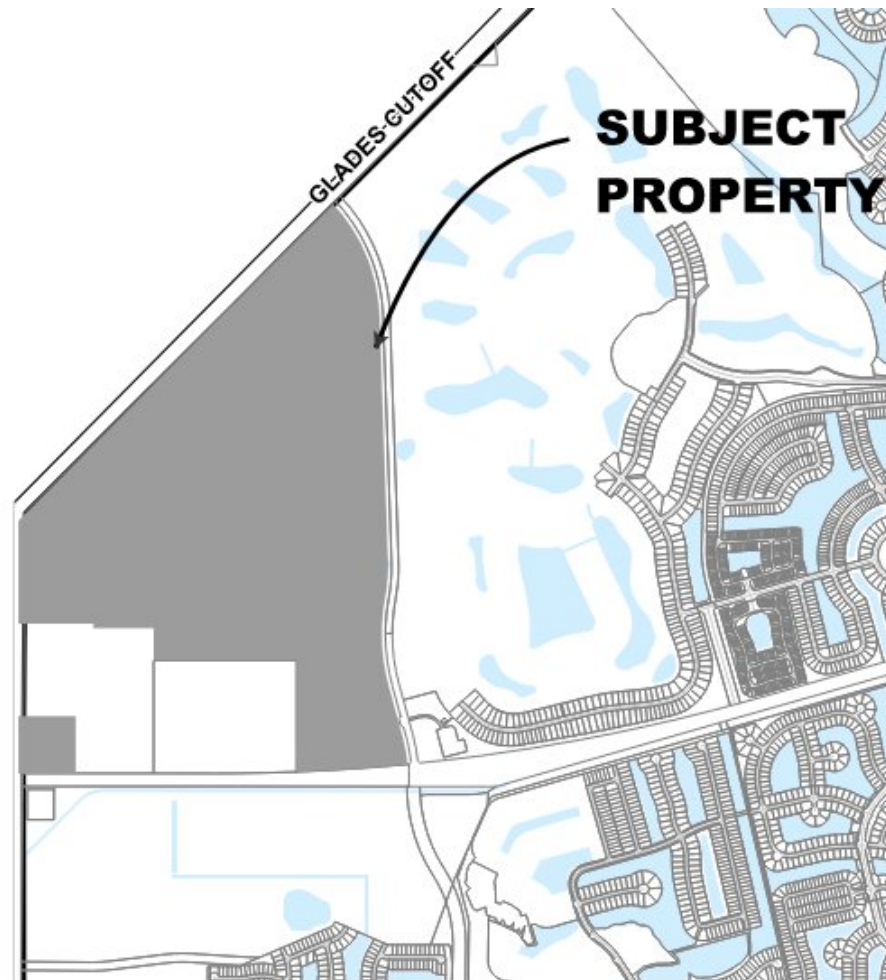


Verano South POD H

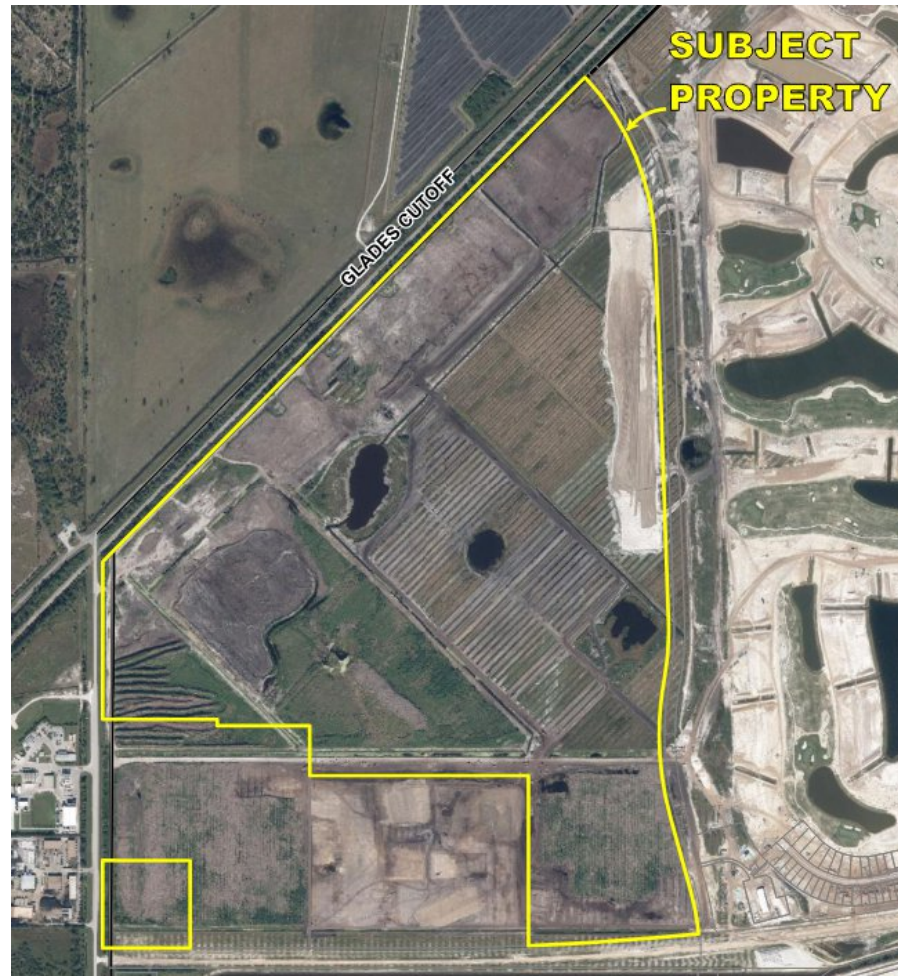
PUD Amendment Application
(P25-096)

Planning and Zoning Board Meetings – August 5, 2025

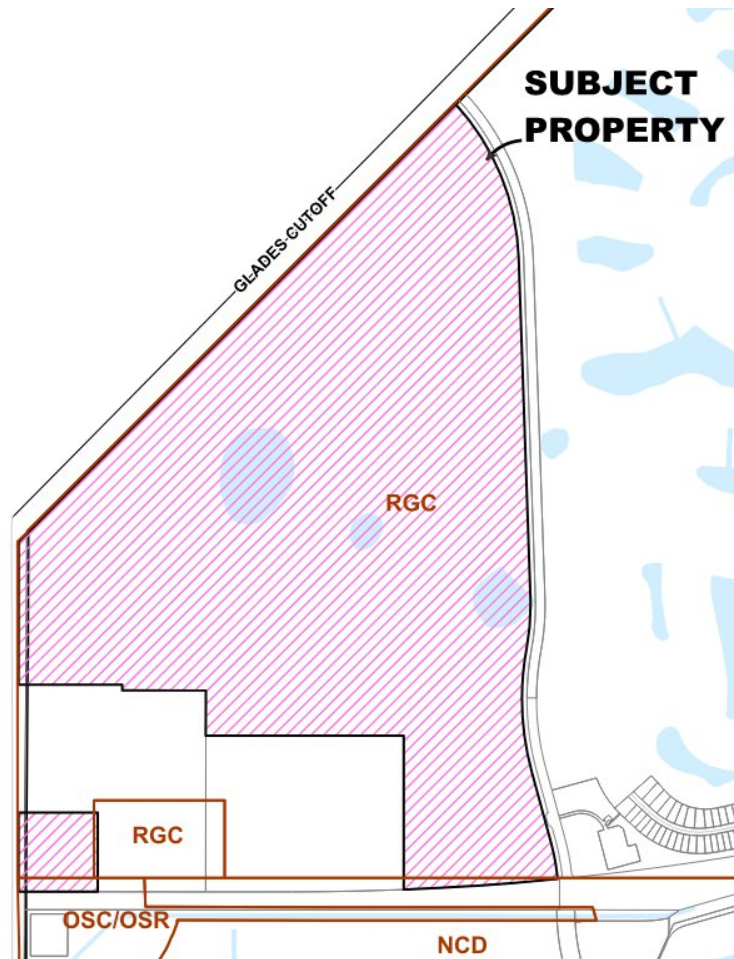
Location Map



Location Map



Aerial Map



Proposed Project

An application for the 1st Amendment to the Verano South POD H Planned Unit Development (PUD) to revise the PUD concept plan, update to the permitted uses, and update the street tree requirements.

The Verano South POD H PUD was first approved in 2024 (P21-070) per Ordinance #24-01. The future land use designation for the project is RGC (Residential Golf Course) and is located within the Verano Development of Regional Impact (DRI).

Proposed Update

This PUD amendment is consistent with the direction and policies of the Comprehensive Plan. The current PUD does not specify any institutional permitted uses. The applicant is proposing to add a 24- hour free standing emergency department as a permitted use. Institutional land uses are consistent with the RGC lands use designation. If further Institutional Uses are to be proposed in the future another PUD amendment shall be required. The proposed use does not change any of the non-residential entitlements of the Verano DRI.

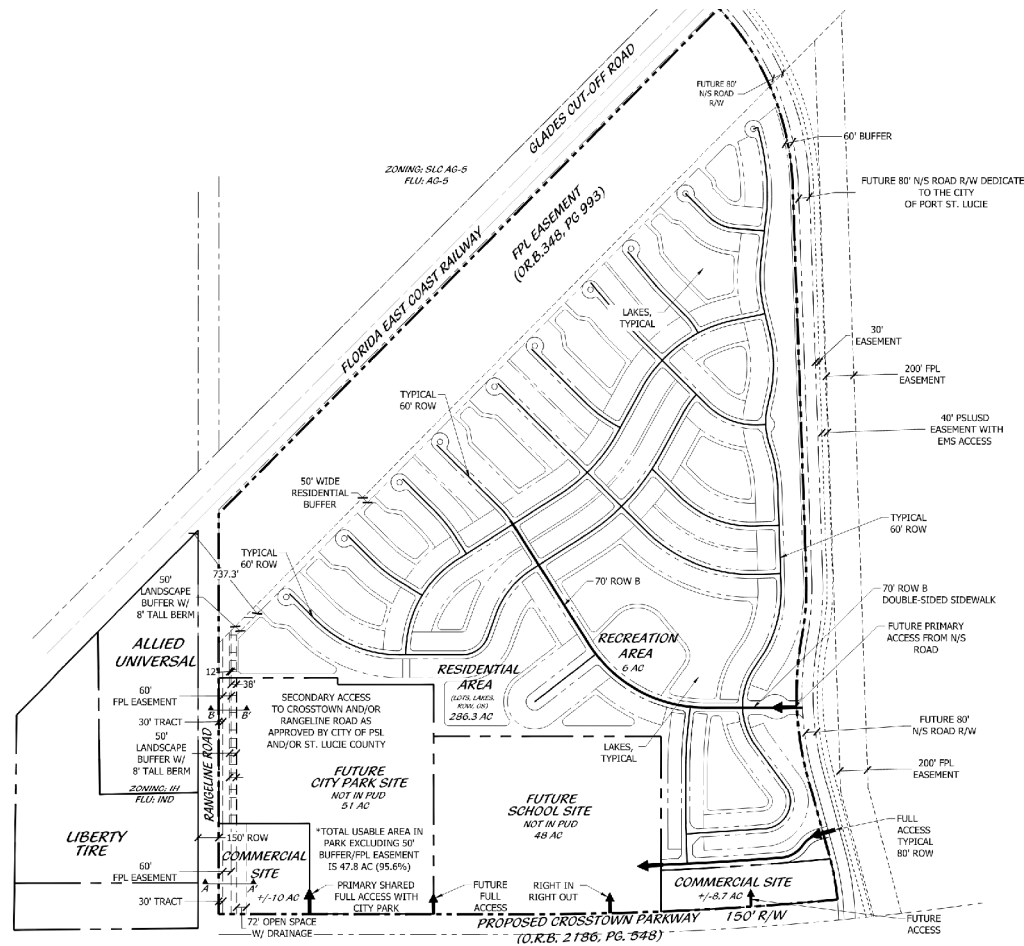
Proposed Update

The proposed street tree change is to allow POD H Pud to include consistent regulations with the other Verano PUDs (PODS A, B, C, D, E, G, and Pud 1) that were recently updated with the same language. The Pud currently requires one large street tree. The update allows large and medium street trees to be proposed with a maximum distance separation consistent with the Subdivision Regulations. The update also includes language that if utility or driveway conflicts occur, the applicant may request further spacing or alternate acceptable locations prior to planting. However, the overall number of street trees for a street may not be reduced.

Proposed Update

The concept plan proposal includes an update to the ingress/egress location along the southern boundary for the commercial area in the southeast corner of the PUD. Currently the concept plan provides two ingress/egress points along Crosstown Parkway for the commercial site located at the northeast corner of Sundance Vista Boulevard and Crosstown Parkway. The proposed change reduces the ingress/egress to only one. The Crosstown Parkway construction plans show the ingress/egress as proposed with this change. No other changes are proposed at this time.

Proposed PUD Concept Plan



Impacts and Findings

This PUD amendment is consistent with the direction and policies of the Comprehensive Plan. Policy 1.1.4.10 RGC (Residential Golf Course) allows for the free-standing emergency room as an institutional use. The proposed amendment is also consistent with the non-residential entitlements of the Verano DRI.

Recommendation

The Site Plan Review Committee recommended approval of the proposed PUD document and concept plan at the June 25, 2025, Site Plan Review Committee meeting. The Planning and Zoning Department staff finds the request to be consistent with the direction and intent of the future land use map and policies of the City's Comprehensive Plan and recommends approval.

Planning and Zoning Board Action Options:

- Motion to recommend approval to the City Council.
- Motion to recommend approval to the City Council with conditions.
- Motion to recommend denial to the City Council.



Agenda Summary

2025-715

Agenda Date: 8/5/2025

Agenda Item No.: 8.d

Placement: Public Hearing - Quasi Judicial

Action Requested: Motion / Vote

P25-108 Cemar Realty, LLC - Rezoning

Location: The property is located on the northeast corner of SW Gatlin Boulevard and SW Brighton Street.

Legal Description: Port St. Lucie Section 16, Block 1501, Lot 1

This is a request to rezone property from Single-Family Residential (RS-2) to the General Commercial (CG) Zoning District.

Submitted By: Marissa Da Breo-Latchman, Environmental Planner II

Executive Summary: The applicant, Joseph Capra, Captec Engineering, Inc., on behalf of property owner, Cemar Realty, LLC, is requesting approval for the rezoning of a 0.27-acre parcel from Single-Family Residential (RS-2) to General Commercial (CG). The parcel is located at the northeast corner of SW Gatlin Boulevard and SW Brighton Street and has an assigned address of 913 SW Gatlin Boulevard.

Presentation Information: Staff will provide a presentation.

Staff Recommendation: Move that the Board recommend approval of the rezoning request to the City Council.

Alternate Recommendation:

1. Move that the Board recommend denial of the rezoning request.

Background: The subject property was not included in the rezoning or the original site plan for the adjacent Westport Plaza, which was approved on December 3, 1990, by the City Council. The plaza has gone through several phases of development since its original construction and the subject parcel has not been incorporated into the site.

Issues/Analysis: The existing RS-2 zoning is incompatible with the underlying CG Future Land Use. The proposed rezoning to CG will eliminate the inconsistency and provide for a use that is compatible with surrounding zoning designations and existing commercial uses.

The parcel does not meet the minimum lot size of 20,000 SF per Sec. 158.124 (E) General Commercial (CG) Minimum Lot Requirements. The parcel will require a Unity of Control or Unity of Title with the adjacent parcel prior to this application being reviewed by the City Council.

Special Consideration: N/A

Location of Project: 913 SW Gatlin Boulevard

Attachments:

1. Staff Report
2. Application
3. Deed
4. Agent Authorization
5. Staff Presentation

Cemar Realty, LLC
Rezoning
P25-108



SUMMARY

Applicant's Request:	To rezone the 0.27-acre subject property from Single-Family Residential (RS-2) to the General Commercial (CG) Zoning District.
Property Owners:	Cemar Realty, LLC
Applicant:	Captec Engineering, Inc.
Location:	Northeast corner of SW Gatlin Boulevard and SW Brighton St.
Address:	913 SW Gatlin Boulevard
Project Planner:	Marissa Da Breo-Latchman, Environmental Planner II

Project Description

The applicant, Joseph Capra, Captec Engineering, Inc., on behalf of property owner, Cemar Realty, LLC, is requesting approval for the rezoning of a 0.27-acre parcel from Single-Family Residential (RS-2) to General Commercial (CG). The parcel is legally described as Port St. Lucie Section 16, Block 1501, Lot 1 and is located at the northeast corner of SW Gatlin Boulevard and SW Brighton Street. The property has an assigned address of 913 SW Gatlin Boulevard.

The property has a future land use designation of General Commercial (CG) which is compatible with the proposed General Commercial (CG) zoning district.

Adjacent Development Background

The area of the Westport Plaza was subject to a Comprehensive Plan Amendment in 1987 (P87-123) that changed the underlying land use for Section 16, Block 1501, Tract C from Limited Commercial Development to General Commercial (Ordinance 88-60). At that time, there were 15 residentially zoning lots along SW Brighton Street and SW Aviation Avenue. In 1989, the underlying land use for the residential lots was changed from residential (Low Density Residential and Multi-family Residential) to General Commercial (CG) (Resolution 89-45). Ordinance 89-97 rezoned residential lots from Single-Family Residential (RS-4) to General Commercial (CG). The subject property was not included in the rezoning or the original site plan for the Westport Plaza, which was approved on December 3, 1990 by City Council. The plaza has gone through several phases of development since its original construction and the subject parcel has not been incorporated into the site.

Public Notice Requirements

Public notice was mailed to owners within 750 feet of the subject property on July 24th, 2025 for the August 5th, 2025, Planning & Zoning Board meeting.

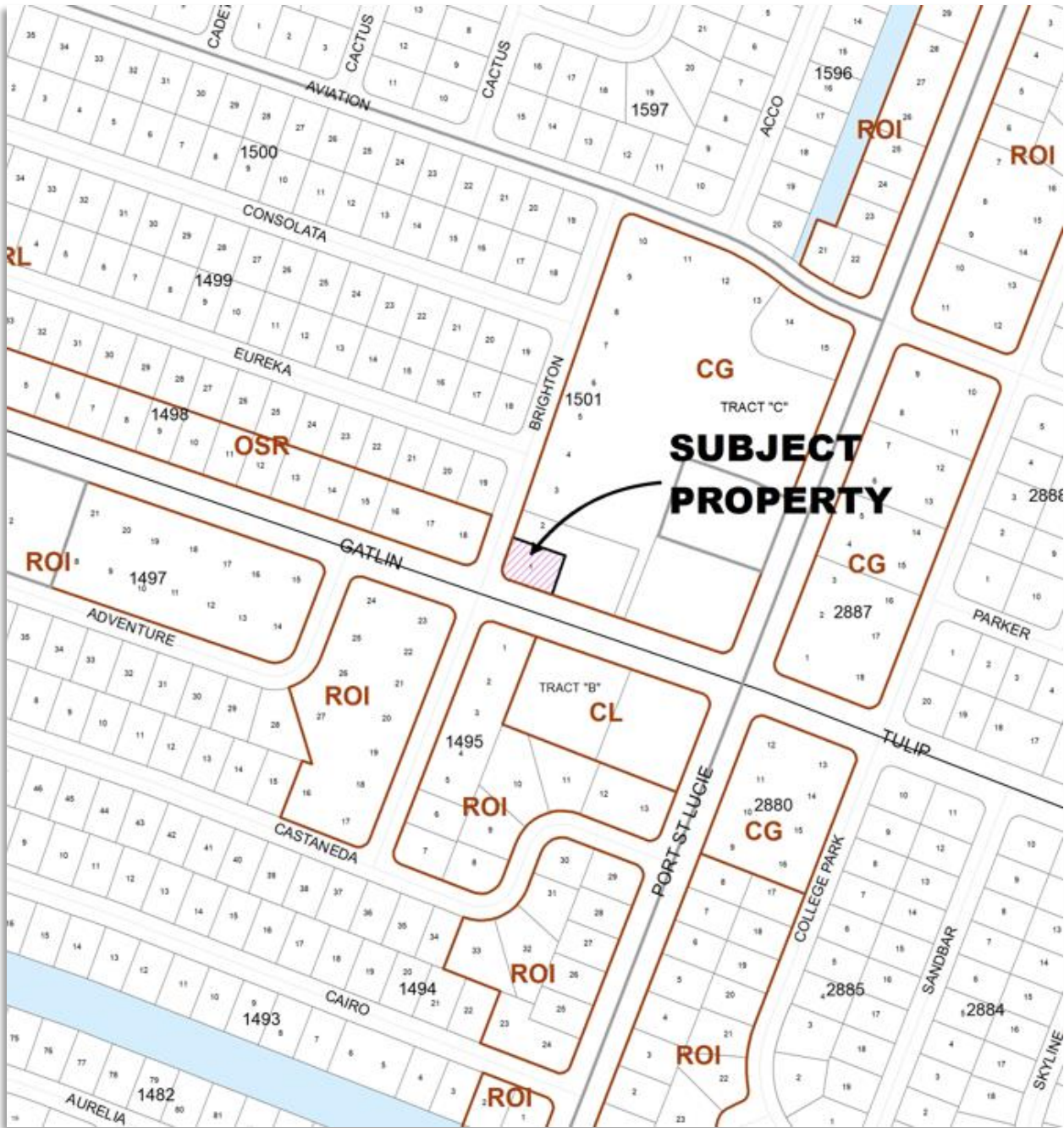
Location and Site Information

Parcel Number(s):	3420-575-0752-000-2
Property Size:	0.27 acres
Legal Description:	Port St. Lucie Section 16, Block 1501, Lots 1 (PB 13, PG 7, 7A-7C)
Future Land Use:	General Commercial (CG)
Existing Zoning:	Single Family Residential (RS-2)
Existing Use:	Vacant lot
Requested Zoning:	General Commercial (CG)
Proposed Use:	Restaurant and retail plaza

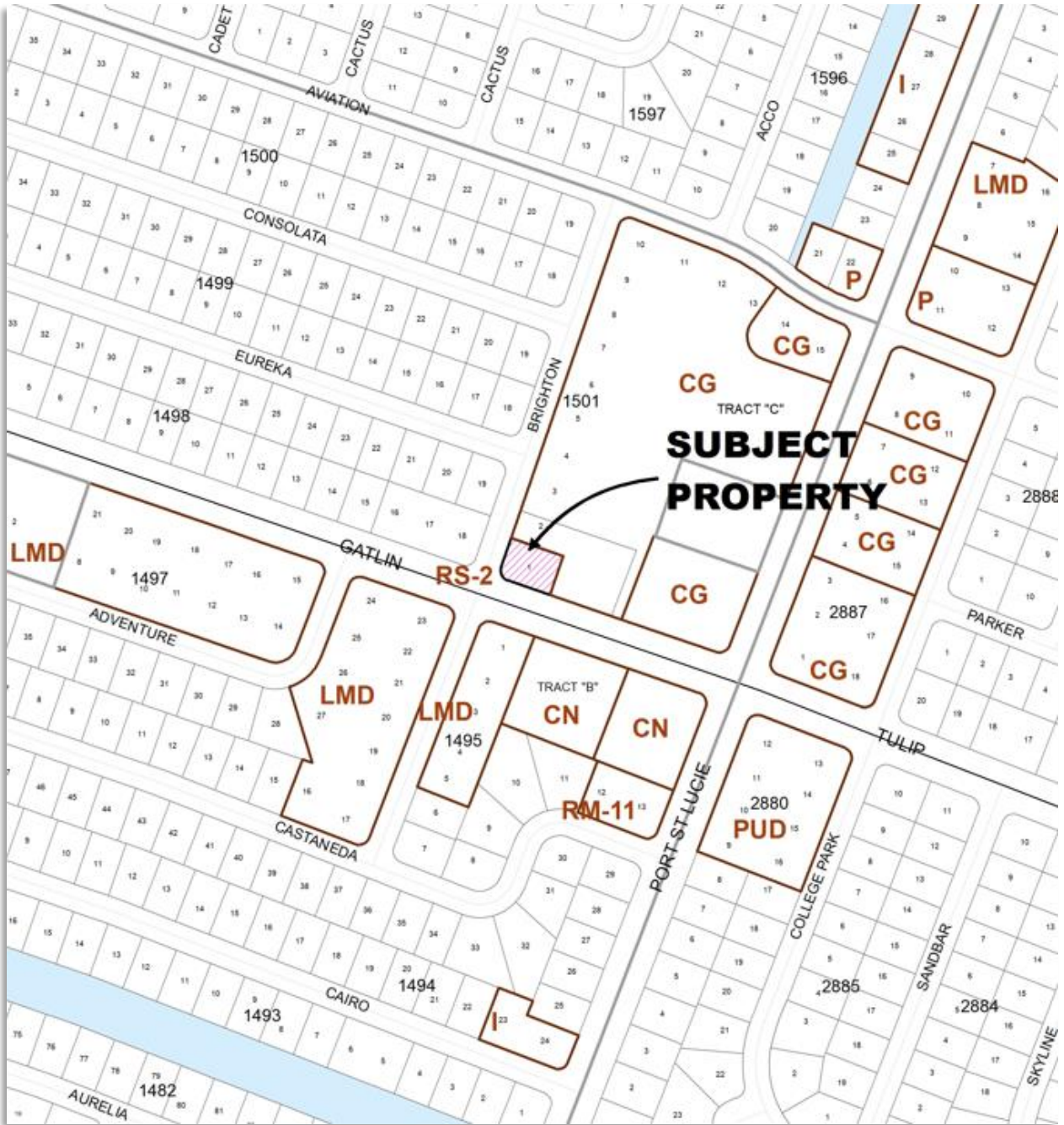
Surrounding Uses

Direction	Future Land Use	Zoning	Existing Use
North	CG	CG	Westport Plaza
South	ROI, CL	CN, LMD	Commercial
East	CG	CG	Commercial, Mobil Gas station
West	OSR, RL	RS-2	Gatlin Blvd ROW

CG - General Commercial, ROI-Residential Office Institutional, CL- Limited Commercial, OSR-Open Space- Recreation, RL-Low Density Residential, CN-Neighborhood Commercial, LMD-Limited Mixed Use, RS-2 - Single-Family Residential



FUTURE LAND USE MAP



EXISTING ZONING MAP

IMPACTS AND FINDINGS

COMPREHENSIVE PLAN REVIEW

Land Use Consistency (Policies 1.1.4.2 and 1.1.4.13): Policy 1.1.4.2 of the Future Land Use Element states the City shall provide the CG Future Land Use Designation to accommodate general retail sales and services with restrictions on heavy vehicular sales, services, wholesale, warehouse uses, outdoor storage, or other nuisance uses. The proposed rezoning is consistent with Policy 1.1.4.13 in which the General Commercial (CG) zoning district is listed as a compatible zoning district under the General Commercial (CG) future land use classification.

FUTURE LAND USE CLASSIFICATION	COMPATIBLE ZONING DISTRICT(S)
General Commercial (CG)	CN, CG, P, GU, LMD

ZONING REVIEW

Applicant's Justification Statement: The applicant requests to rezone the parcels from RS-2 to CG to support development of a restaurant and retail plaza. The current RS-2 does not support commercial development.

Staff Analysis: The existing RS-2 zoning is incompatible with the underlying CG Future Land Use. The proposed rezoning to CG will eliminate the inconsistency and provide for a use that is compatible with surrounding zoning designations and existing commercial uses.

The parcel does not meet the minimum lot size of 20,000 SF per Sec. 158.124 (E) General Commercial (CG) Minimum Lot Requirements. The parcel will require a Unity of Control or Unity of Title with the adjacent parcel prior to this application being reviewed by the City Council.

ENVIRONMENTAL REVIEW

The site is vacant but surrounded by developed parcels to the north, east and south. Paved roadways are located to the west.

RELATED PROJECTS

None.

STAFF RECOMMENDATION

The Planning and Zoning Department staff finds the request to be consistent with the direction and intent of the future land use map and policies of the City's Comprehensive Plan and recommends approval.

Planning and Zoning Board Action Options:

- Motion to recommend approval to the City Council
- Motion to recommend denial to the City Council

Please note: Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to *table* or *continue* the hearing or review to a future meeting.

REZONING APPLICATION

CITY OF PORT ST. LUCIE

Planning & Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984
(772) 871-5213

FOR OFFICE USE ONLY

Planning Dept. _____
Fee (Nonrefundable) \$ _____
Receipt # _____

Refer to "Fee Schedule" for application fee. Make checks payable to the "City of Port St. Lucie". Fee is nonrefundable unless application is withdrawn prior to the Planning and Zoning Board Meeting. **All** items on this application should be addressed, otherwise it cannot be processed. Attach proof of ownership: two copies of recorded deed. If the application includes more than one (1) lot, our Legal Department will contact you regarding the execution of the required Unity of Title. Please type or print clearly in **BLACK** ink.

PRIMARY CONTACT EMAIL ADDRESS: icapra@gocaptec.com copy: smarquart@gocaptec.com

PROPERTY OWNER:

Name: CEMAR REALTY LLC
Address: 2820 SW Port St. Lucie Boulevard, Port St. Lucie, Florida 34953
Telephone No.: (772) 352-3556 Email luismerejo.lm@gmail.com

AGENT OF OWNER (if any):

Name: Joseph W. Capra, P.E., and Steve Marquart, P.E., CAPTEC Engineering, Inc.
Address: 301 NW Flagler Avenue, Stuart, Florida 34994
Telephone No.: (772) 692-4344 Email icapra@gocaptec.com smarquart@gocaptec.com


PROPERTY INFORMATION:

Legal Description (Include Plat Book and Page): LOT 1, BLOCK 1501 OF PORT ST. LUCIE SECTION SIXTEEN, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 13, PAGES 7, 7A THROUGH 7C, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

Parcel I.D. Number: 3420-575-0752-000-2
Current Zoning: Single-Family Residential 2
Proposed Zoning: General Commercial

Future Land Use Designation: General Commercial

Reason for Rezoning Request: Project includes a proposed restaurant and retail plaza. Client intends to seek a Unity of Title to join this parcel along with Parcels 3420-575-0003-000-7 and 3420-575-0003-020-3


*Signature of Owner

Luis Merejo
Hand Printed Name

05/16/25
Date

If signature is not that of owner, a letter of authorization from the owner is needed.

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development process. Adequacy of public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

02/26/20

This Instrument Prepared by and Return to:

Judy O. Jurcak

Prime Title Services, LLC

1775 S.W. Gatlin Boulevard #105

Port St. Lucie, FL 34953

Our File No.: **25-017**

Property Appraisers Parcel Identification (Folio) Number: **3420-575-0752-000-2**

Florida Documentary Stamps in the amount of **\$1,785.00** have been paid hereon.

Space above this line for Recording Data _____

WARRANTY DEED

THIS WARRANTY DEED, made the **28th** day of **February, 2025** by **Janieli Delfim Apolinario, a married woman**, whose post office address is **1525 SW Underwood Ave, Port St. Lucie, FL 34953** herein called the Grantor, to **Cemar Realty LLC, a New York Limited Liability Company** whose post office address is **2820 W Port St. Lucie Blvd, Port St. Lucie, FL 34953**, hereinafter called the Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

W I T N E S S E T H: That the Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee all that certain land situate in St Lucie County, State of Florida, viz.:

Lot 1, Block 1501, of PORT ST. LUCIE SECTION SIXTEEN, according to the Plat thereof, as recorded in Plat Book 13, Pages 7, 7A through 7C, of the Public Records of St. Lucie County, Florida.

GRANTOR HEREIN EXPRESSLY WARRANTS THIS IS NOT AND HAS NEVER BEEN HOMESTEAD PROPERTY, OR CONTIGUOUS THERETO. SUBJECT PROPERTY IS IN FACT VACANT, UNIMPROVED LAND.

Subject to easements, restrictions and reservations of record and taxes for the year 2025 and thereafter.

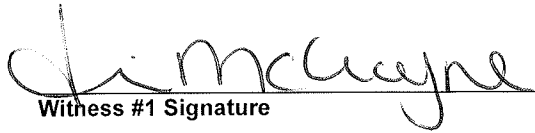
TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2024.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:



Witness #1 Signature

Isis McCloyne

Witness #1 Printed Name

1775 SW Gatlin Blvd, Ste 105

Witness #1 Street Address

Port St. Lucie, FL 34953

Witness #1 City, State Zip



Witness #2 Signature

Judy O. Jurcak

Witness #2 Printed Name

1775 SW Gatlin Blvd, Ste 105

Witness #2 Street Address

Port St. Lucie, FL 34953

Witness #2 City, State Zip

 (Seal)

Janieli Delfim Apolinario

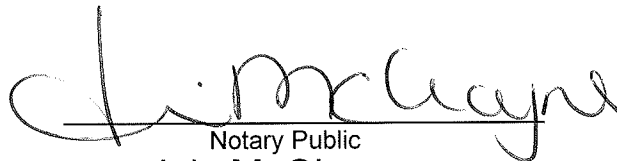
State of Florida
County of St Lucie

The foregoing instrument was acknowledged before me this 28th day of February, 2025 by Janieli Delfim Apolinario who appeared by ☒ physical presence or ☐ online notarization and has produced Driver's License as identification and who ☐ did ☒ did not take an oath.

SEAL



ISIS MCCLOYNE
Commission # HH 443589
Expires September 13, 2027



Notary Public

Isis McCloyne

Printed Notary Name

My Commission Expires:



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Foreign Limited Liability Company
CEMAR REALTY LLC

Filing Information

Document Number M16000006889
FEI/EIN Number 13-3932911
Date Filed 08/26/2016
State NY
Status ACTIVE

Principal Address

2820 SW PORT SAINT LUCIE BLVD
PORT SAINT LUCIE, FL 34953

Mailing Address

2820 SW PORT SAINT LUCIE BLVD
PORT SAINT LUCIE, FL 34953

Registered Agent Name & Address

RAMIREZ, CESAR
9704 WYLAND CT
WINDERMERE, FL 34786

Name Changed: 03/08/2017

Address Changed: 07/06/2018

Authorized Person(s) Detail

Name & Address

Title MGRM

RAMIREZ, CESAR
9704 WYLAND CT
WINDERMERE, FL 34786

Title MGRM

ABREU, MARINO
9342 QUIET LANE
WINTERGARDEN, FL 34787

Title MGRM

MEREJO, LUIS

1197 SW LIVE OAK COVE

PORT ST. LUCIE, FL 34986

Annual Reports

Report Year	Filed Date
2023	03/06/2023
2024	03/25/2024
2025	04/23/2025

Document Images

04/23/2025 -- ANNUAL REPORT	View image in PDF format
03/25/2024 -- ANNUAL REPORT	View image in PDF format
03/06/2023 -- ANNUAL REPORT	View image in PDF format
02/28/2022 -- ANNUAL REPORT	View image in PDF format
02/19/2021 -- ANNUAL REPORT	View image in PDF format
02/13/2020 -- ANNUAL REPORT	View image in PDF format
04/16/2019 -- ANNUAL REPORT	View image in PDF format
07/06/2018 -- ANNUAL REPORT	View image in PDF format
03/08/2017 -- ANNUAL REPORT	View image in PDF format
08/26/2016 -- Foreign Limited	View image in PDF format

CEMAR REALTY LLC
2820 SW PORT ST. LUCIE BOULEVARD
PORT ST. LUCIE, FLORIDA 34953

April 21, 2025

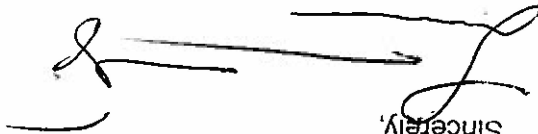
Planning and Zoning Department
City of Port St. Lucie
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984

RE: Bravo Plaza Outparcel Rezoning Application
Authorization Letter

To Whom it May Concern:

As Applicant, I hereby authorize Joseph W. Capra, P.E., Steve Marquart, P.E., and Karen Krumholz with CAPTEC Engineering, Inc., to act as agent for any and all City of Port St. Lucie approvals and permitting required for the referenced project.

Sincerely,



Luis Mereo

STATE OF FLORIDA
COUNTY OF ST. LUCIE

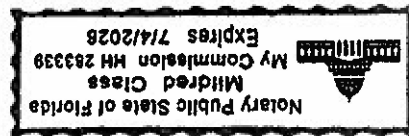
The foregoing instrument was acknowledged before me this 16 day of May, 2025, by Luis Mereo who is personally known to me or has produced as identification.

Notary Public Signature

Mildred Glass

Notary Public Printed Name

My Commission Expires: 7/4/2026



Notary Seal



Cemar Realty, LLC -Rezoning
Project No. P25-108

Planning and Zoning Board Meeting
Marissa Da Breo-Latchman, Environmental Planner II
August 5, 2025

Request Summary

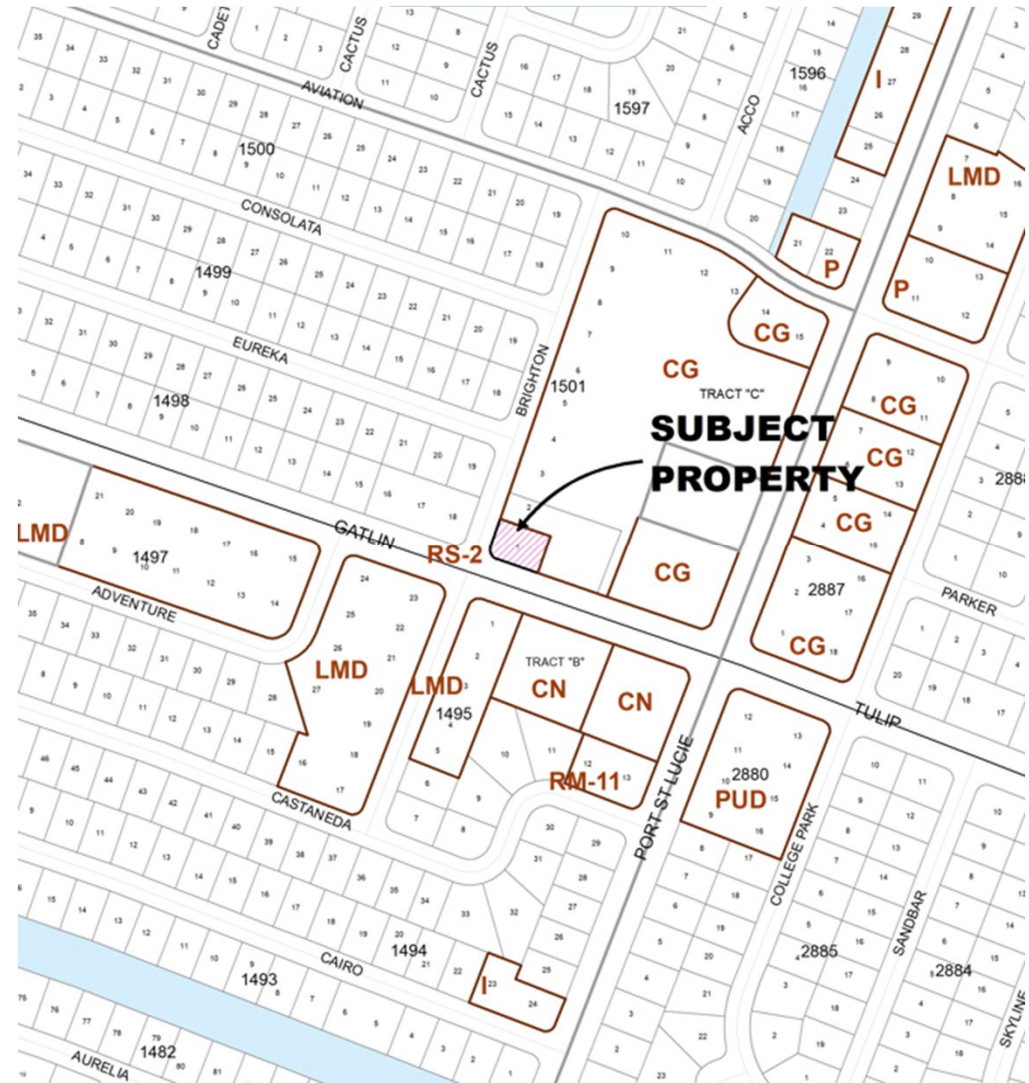
Applicant's Request:	The applicant requests to rezone the subject property from Single-Family Residential (RS-2) to General Commercial (CG) Zoning District to be consistent with the City's Comprehensive Plan and Future Land Use map. The proposed use is restaurant and retail plaza.
Applicant:	Joseph Capra, Captec Engineering. Inc.,
Property Owner:	Cemar Realty, LLC
Location:	The parcel is located at the northeast corner of SW Gatlin Boulevard and SW Brighton St.

Aerial Photograph



Surrounding Areas

Direction	Existing Use	Future Land Use	Zoning
North	Westport Plaza	CG	CG
South	Commercial	ROI, CL	CN, LMD
East	Westport Plaza, Mobil Gas station	CG	CG
West	Gatlin Blvd ROW	OSR, RL	RS-2



Impacts and Findings

- The proposed rezoning is consistent with Policy 1.1.4.13 of the Future Land Use Element of the Comprehensive Plan which establishes the compatible future land use and zoning categories.
- The proposed rezoning to General Commercial (CG) zoning district is compatible with the General Commercial (CG) future land use classification.
- The parcel does not meet the minimum lot size of 20,000 SF per Sec. 158.124 (E) General Commercial (CG) Minimum Lot Requirements. The parcel will require a Unity of Control or Unity of Title with the adjacent parcel prior to this application being reviewed by the City Council.

Policy 1.1.4.13 Future Land Use

Future Land Use Classification	Compatible Zoning District
General Commercial (CG)	CN, CG, P, GU, LMD

Staff Recommendation

The Planning and Zoning Department staff finds the request to be consistent with the direction and intent of the future land use map and policies of the City's Comprehensive Plan and recommends approval.

Planning and Zoning Board Action Options:

- Motion to recommend approval to the City Council.
- Make a motion to recommend denial to the City Council.
- Make a motion to table.



Agenda Summary

2025-719

Agenda Date: 8/5/2025

Agenda Item No.: 8.e

Placement: Public Hearing - Quasi Judicial

Action Requested: Motion / Vote

P25-111 Tri-County - Biltmore Properties - Rezoning

Location: The property is located at 801 and 817 SW Biltmore Street

Legal Description: Port St. Lucie Section 28, Block 75, Lots 6 and Lot 7

This is a request to rezone the property from the General Commercial (CG) Zoning District to the Service Commercial (CS) Zoning District.

Submitted By: Ivan Betancourt, Planner I, Planning and Zoning

Executive Summary: The applicant is requesting to rezone the property from the General Commercial (CG) zoning district to the Service Commercial (CS) zoning district. The Service Commercial zoning district allows permitted uses as listed per Section 158.126 of the City's Zoning Code.

Presentation Information: Staff will provide a presentation.

Staff Recommendation: Move that the Board recommend approval of the rezoning request.

Alternate Recommendation:

1. Move that the Board recommend denial of the rezoning request.

Background: N/A

Issues/Analysis: The rezoning classification complies with the direction and intent of the City of Port St. Lucie Comprehensive Plan. The Service Commercial Zoning District (CS) is compatible with the Service Commercial (CS) future land use classification, Policy 1.1.4.13 of the Future Land Use Element.

Special Consideration: N/A

Location of Project: 801 SW Biltmore St. and 817 SW Biltmore St.

Attachments:

1. Staff Report
2. Rezoning Application
3. Warranty Deed
4. Agent Authorization
5. Staff Presentation

Tri- County – Biltmore Properties
Rezoning
P25-111



SUMMARY

Applicant's Request:	To rezone the subject property from General Commercial (CG) to the Service Commercial (CS) Zoning District.
Property Owners:	Tri-County Realty Holdings LLC
Applicant:	Connor Kennedy, Haley Ward, Inc.
Location:	The property is generally located east of SW Biltmore St
Address:	801 SW Biltmore St and 817 SW Biltmore St
Project Planner:	Ivan Betancourt, Planner I

Project Description

The applicant, Connor Kennedy, Haley Ward, Inc., acting as the agent for the property owner, Tri-County Realty Holdings LLC is requesting to rezone the property from the General Commercial (CG) zoning district to the Service Commercial (CS) zoning district. The property is located at 801 and 817 SW Biltmore Street. The property is legally described as Port St. Lucie Section 28, Block 75, Lots 6 and Lot 7.

The property has a future land use designation of Light Industrial/Service Commercial (LI/CS) which is compatible with the proposed Service Commercial (CS) zoning district.

Public Notice Requirements

Public notice was mailed to owners within 750 feet of the subject property on July 24th, 2025 for the August 5th, 2025, Planning & Zoning Board meeting.

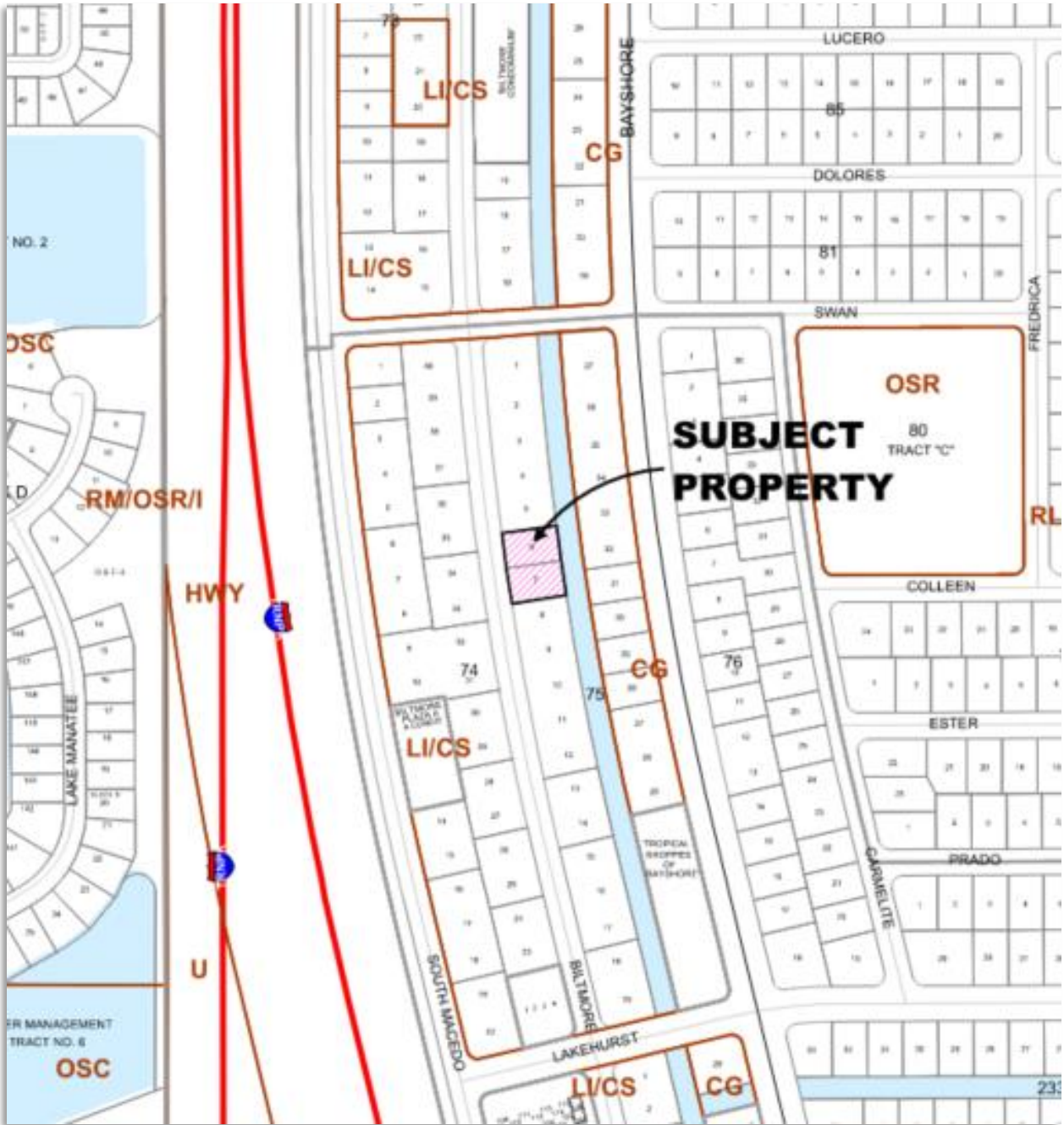
Location and Site Information

Parcel Number(s):	3420-635-0046-000-3 & 3420-635-0047-000-0
Property Size:	0.46 acres
Legal Description:	Port St. Lucie Section 28, Block 75, Lots 6 and Lot 7
Future Land Use:	Light Industrial/Service Commercial (LI/CS)
Existing Zoning:	General Commercial (CG)
Existing Use:	Towing Business
Requested Zoning:	Service Commercial (CS)
Proposed Use:	Towing Business

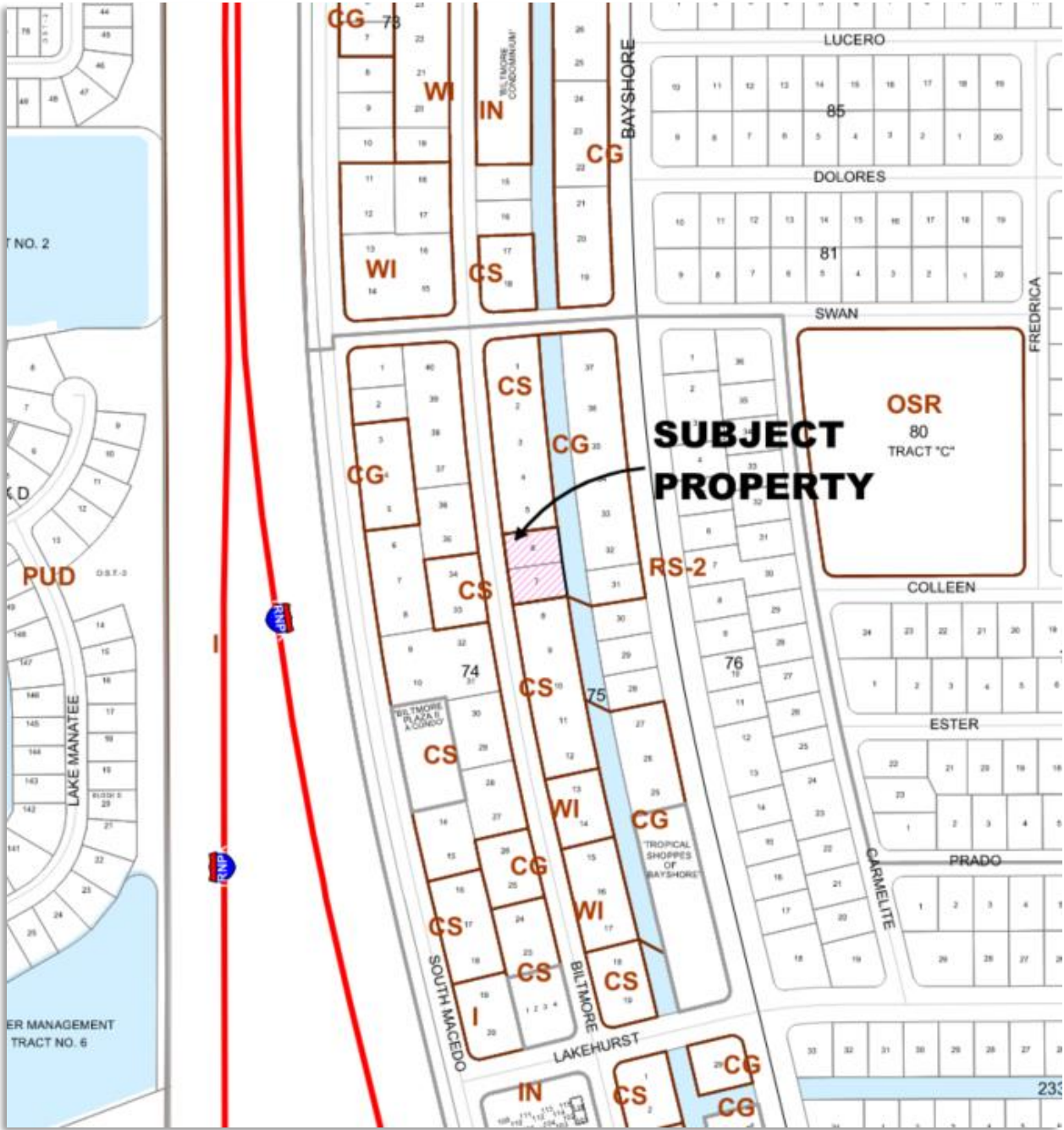
Surrounding Uses

Direction	Future Land Use	Zoning	Existing Use
North	LI/CS	CS	Vacant Land
South	LI/CS	CS	Automobile Repair Shop
East	CG	CG	Retail Plaza
West	LI/CS	CS	Storage Yard

CG - General Commercial, ROI-Residential Office Institutional, CL- Limited Commercial, OSR-Open Space- Recreation, RL-Low Density Residential, CN-Neighborhood Commercial, LMD-Limited Mixed Use, RS-2 - Single-Family Residential



FUTURE LAND USE MAP



EXISTING ZONING MAP

IMPACTS AND FINDINGS

COMPREHENSIVE PLAN REVIEW

Land Use Consistency (Policies 1.1.4.2 and 1.1.4.13): The proposed zoning of Service Commercial is compatible with Policy 1.1.4.13 and future land use classification of Light Industrial/Service Commercial (LI/CS).

ZONING REVIEW

Applicant's Justification Statement: Applicant is seeking to rezone his property from General Commercial (CG) to Service Commercial (CS) for his existing towing business that is located on site. This is a permitted use under the proposed Service Commercial (CS) Zoning designation. This zoning district also aligns with the existing Light Industrial/Service Commercial (LI/CS) Future Land Use.

Staff Analysis: The rezoning classification complies with the direction and intent of the City of Port St. Lucie Comprehensive Plan. The Service Commercial Zoning District (CS) is compatible with the Service Commercial (CS) future land use classification, Policy 1.1.4.13 of the Future Land Use Element.

Minimum Lot Requirements

	Required	Proposed
Minimum Lot Size	20,000 square feet	20,037.6 square feet
Minimum Frontage	160 feet	161.42 feet

Compliance with Conversion Area Requirements

Planning Area location per Conversion Manual	26	
Is all property within planning area?	Yes	
Type of Conversion Area	LI/CS	
Proposed rezoning	Service Commercial Zoning District	
Will rezoning result in isolation of lots?	No	
Has Unity of Title been submitted?	No (Unity of Title is in process)	
	Required	Proposed
Minimum Frontage	160 feet	161.42 feet
Minimum Depth	125 feet (abutting a major drainage R/W)	125 feet
Landscape Buffer Wall	N/A	

ENVIRONMENTAL REVIEW

The property is developed.

RELATED PROJECTS

N/A

STAFF RECOMMENDATION

The Planning and Zoning Department recommends approval of the proposed rezoning.

Planning and Zoning Board Action Options:

- Motion to recommend approval to the City Council with the following:
- Motion to recommend denial to the City Council

Please note: Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to *table* or *continue* the hearing or review to a future meeting.

REZONING APPLICATION

CITY OF PORT ST. LUCIE

Planning & Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984
(772) 871-5213

FOR OFFICE USE ONLY

Planning Dept. _____
Fee (Nonrefundable)\$ _____
Receipt # _____

Refer to "Fee Schedule" for application fee. Make checks payable to the "City of Port St. Lucie". Fee is nonrefundable unless application is withdrawn prior to the Planning and Zoning Board Meeting. **All** items on this application should be addressed, otherwise it cannot be processed. Attach proof of ownership: two copies of recorded deed. If the application includes more than one (1) lot, our Legal Department will contact you regarding execution of the required Unity of Title. Please type or print clearly in **BLACK** ink.

PRIMARY CONTACT EMAIL ADDRESS: ckennedy@haleyward.com (Authorized Agent)

PROPERTY OWNER:

Name: Tri-County Realty Holdings (Anthony DiFrancesco)
Address: 3345 Okeechobee Rd, Fort Pierce, FL 34947
Telephone No.: (772)-201-5561 Email tricountyenterprise@gmail.com

AGENT OF OWNER (if any)

Name: Haley Ward, Inc. (Connor Kennedy and Brad Currie)
Address: 10250 SW Village Pkwy - Suite 201, Port St. Lucie, FL 34987
Telephone No.: (772)462-2455 Email ckennedy@haleyward.com

PROPERTY INFORMATION

Legal Description: LOTS 6 AND 7, BLOCK 75, PORT ST. LUCIE SECTION TWENTY EIGHT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 14, PAGES 7, 7A THROUGH 7C, PUBLICRECORDS OF ST. LUCIE COUNTY, FLORIDA
(Include Plat Book and Page)

Parcel I.D. Number: 3420-635-0046-000-3 & 3420-635-0047-000-0

Current Zoning: General Commercial (CG)

Proposed Zoning: Service Commercial (CS)

Future Land Use Designation: Light Industrial/Service Commercial (LI/CS) Acreage of Property: 0.46 Acres

Reason for Rezoning Request: Applicant is seeking to rezone his property from General Commercial (CG) to Service Commercial (CS) for his existing towing business that is located on site. This is an allowed use under the proposed Service Commercial (CS) Zoning designation. This zoning district also aligns with the existing Light Industrial/Service Commercial (LI/CS) Future Land Use.

*Signature of Owner

Connor Kennedy (Authorized Agent)
Hand Print Name

July 22, 2025
Date

***If signature is not that of the owner, a letter of authorization from the owner is needed.**

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

02/26/20

Prepared by and return to:

Robert A. Burson
Attorney at Law
Robert A. Burson, P.A.
Post Office Box 1620
Stuart, FL 34995
772-286-1616
File Number: 20-063
Will Call No.:

Parcel Identification No. 3420-635-0046-000/3

379,000 . -

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Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 19th day of August, 2020 between James Ward and Jacqueline Ward, husband and wife whose post office address is 473 SE Veranda Avenue, Fort Pierce, FL 34983-2242 of the County of Saint Lucie, State of Florida, grantor*, and Tri-County Realty Holdings, LLC, a Florida limited liability company whose post office address is 3345 Okeechobee Road, Fort Pierce, FL 34947 of the County of Saint Lucie, State of Florida, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Saint Lucie County, Florida, to-wit:

Lots 6 and 7, Block 75, PORT ST. LUCIE SECTION TWENTY EIGHT, according to the plat thereof as recorded in Plat Book 14, pages 7, 7A through 7C, public records of St. Lucie County, Florida

Subject to taxes for 2020 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

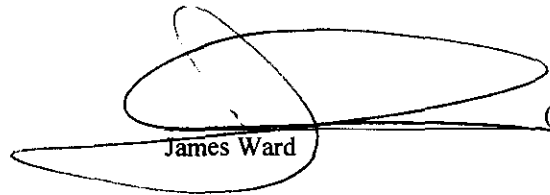
and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

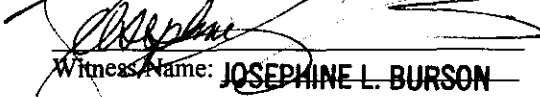
* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.


Signed, sealed and delivered in our presence:

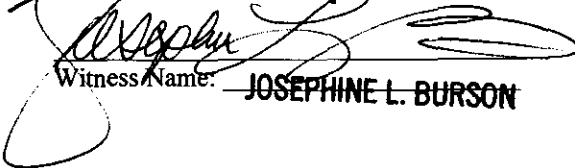

 Witness Name: **Monique I. McCall**

 (Seal)
 James Ward


 Witness Name: **JOSEPHINE L. BURSON**

 (Seal)
 Jacqueline Ward


 Witness Name: **Monique I. McCall**

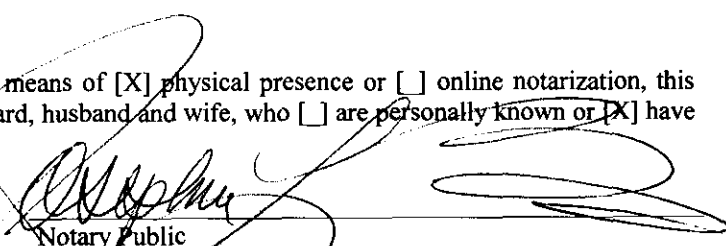

 Witness Name: **JOSEPHINE L. BURSON**

State of Florida
 County of Martin

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 19th day of August, 2020 by James Ward and Jacqueline Ward, husband and wife, who ☐ are personally known or ☒ have produced a driver's license as identification.

[Notary Seal]




 Notary Public

JOSEPHINE L. BURSON

Printed Name:

My Commission Expires:

5-9-2021

TRI-COUNTY REALTY HOLDINGS, LLC

3345 Okeechobee Rd

Fort Pierce, FL 34947

AGENT CONSENT FORM

Project Name: Tri-County Biltmore St

Parcel ID(s): 3420-635-0046-000-3 & 3420-635-0047-000-0

BEFORE ME THIS DAY PERSONALLY APPEARED Tony DiFrancesco WHO BEING DULY SWORN, DEPOSES AND SAYS THE FOLLOWING:

I hereby give CONSENT to EDC a division of Haley Ward, Inc. to act on my behalf, to submit or have submitted applications and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining all City, County and State permits for completion of the project indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application for the proposed use of a commercial development.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 24th day of June, 2025 by Tony DiFrancesco (Name of Person Acknowledging) who is personally known to me or who has produced Driver License (type of identification) as identification and who did (did not) take an oath.

Jamie Lee Pierce
Notary Signature

Jamie Lee Pierce

Printed Name of Notary

(Notary Seal)

Anthony DiFrancesco
Owner's Signature

Anthony DiFrancesco

Owner's Name

3345 Okeechobee Road

Street Address

Fort Pierce FL 34947

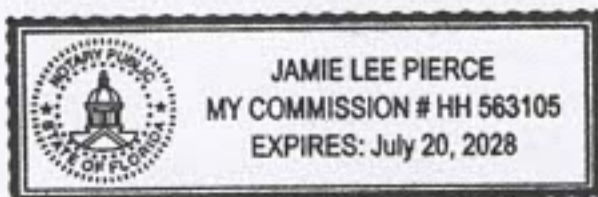
City, State, Zip

7-20-2028

My commission expires

772-201-5561

Telephone / Email





Tri- County – Biltmore Properties - Rezoning
Project No. P25-111

Planning and Zoning Board Meeting
Ivan Betancourt, Planner I
August 5, 2025

Request Summary

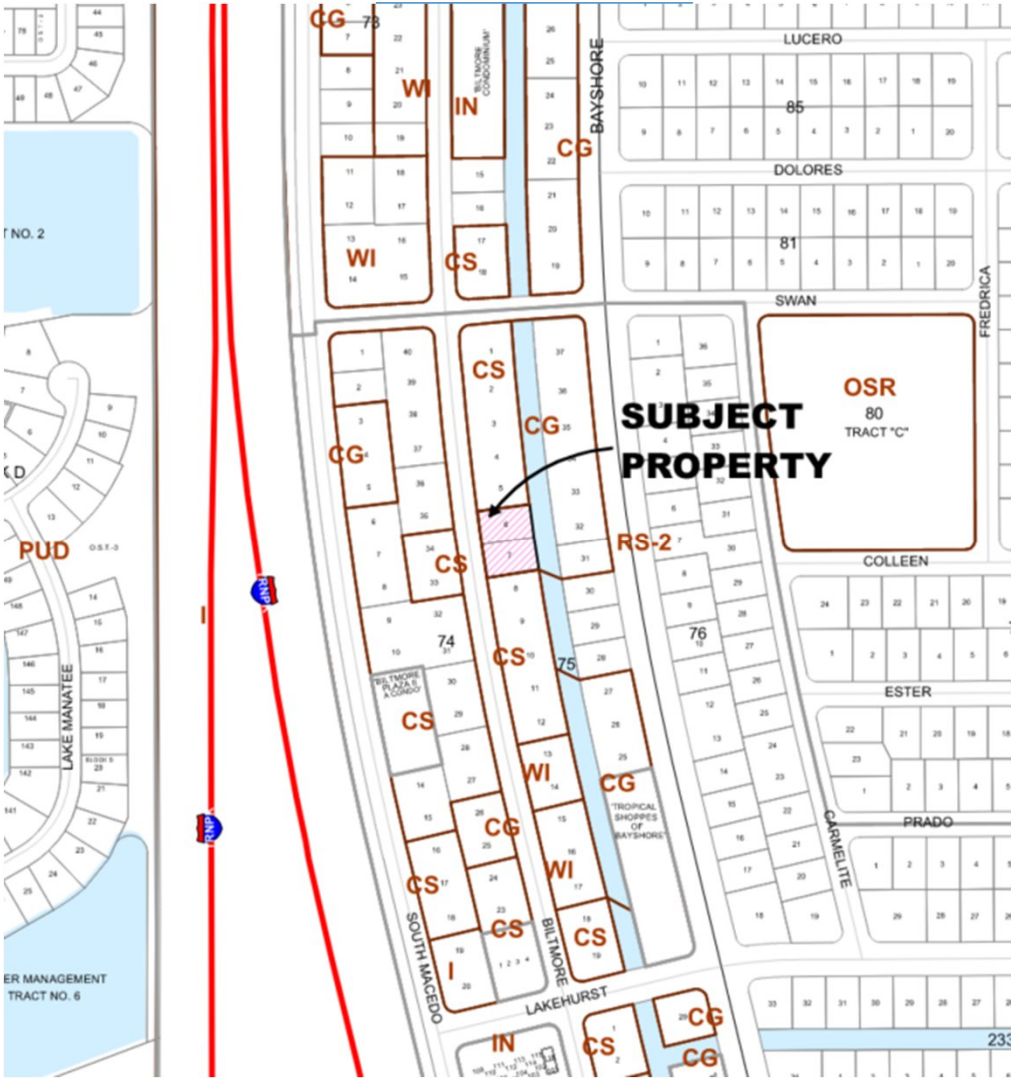
Applicant's Request:	The applicant requests to rezone the subject property from General Commercial (CG) to Service Commercial (CS) Zoning District. The existing use is a towing business.
Applicant:	Connor Kennedy, Haley Ward. Inc.
Property Owner:	Tri-County Realty Holdings LLC
Location:	The parcel is generally located east of SW Biltmore Street and south of Swan Avenue.

Aerial Photograph



Surrounding Areas

Direction	Existing Use	Future Land Use	Zoning
North	Vacant Land	LI, CS	CS
South	Automobile Repair Shop	LI, CS	CS
East	Retail Plaza	CG	CG
West	Storage Yard	LI, CS	CS



Justification

- The proposed rezoning is consistent with Policy 1.1.4.13 of the Future Land Use Element of the Comprehensive Plan which establishes the compatible future land use and zoning categories.
- The proposed rezoning to Service Commercial (CS) zoning district is compatible with the Light Industrial/Service Commercial (LI/CS) future land use classification.

Policy 1.1.4.13 Future Land Use	
Future Land Use Classification	Compatible Zoning District
Service Commercial (CS)	CS, GU, WI

Staff Recommendation

The Planning and Zoning Department staff finds the request to be consistent with the direction and intent of the future land use map and policies of the City's Comprehensive Plan and recommends approval.

Planning and Zoning Board Action Options:

- Motion to recommend approval to the City Council.
- Make a motion to recommend denial to the City Council.
- Make a motion to table.

McDonald's PSL
Project № 24336.01.03
December 13, 2024

Queue Analysis
City of Port St. Lucie
Florida

Prepared for:



Integrity Engineering & Development Services, Inc.
3615 Braselton Highway, Suite 201
Dacula, Georgia 30019

Prepared by:



3725 SE Ocean Boulevard, Suite 201
Stuart, Florida 34996
www.trafficmobility.com
(772) 781-7918

EXECUTIVE SUMMARY

Project Information

Name: McDonald's PSL
Location: Northeast corner of US Highway 1 and SE Jennings Road in Port St. Lucie, Florida
Jurisdiction: City of Port St. Lucie, Florida
Description: 3,859 Square Foot Fast Food Restaurant with Drive-Through

Findings

Trip Generation: 857 daily net new trips / 86 AM peak hour trips / 57 PM peak hour trips
Queue Analysis: The vehicle storage on the site is adequate for the projected queue length at the drive-through window.

PROFESSIONAL ENGINEERING CERTIFICATION

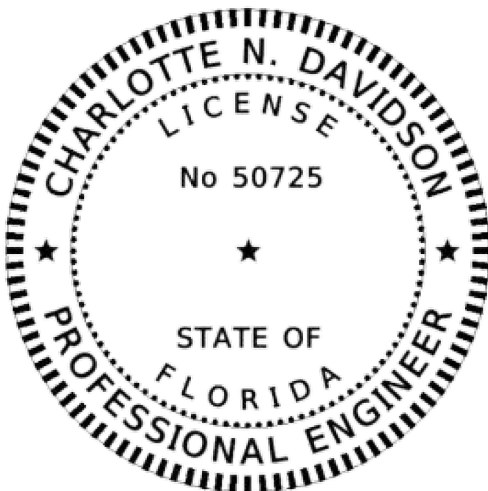
I hereby certify that I am a Professional Engineer properly registered in the State of Florida practicing with Susan E. O'Rourke, PE, LLC, a corporation authorized to operate as an engineering business, CA-26869, by the State of Florida Department of Professional Regulation, Board of Professional Engineers, and that I have prepared or approved the evaluations, findings, opinions, conclusions, or technical advice attached hereto for:

PROJECT: McDonald's PSL

LOCATION: City of Port St. Lucie, Florida

CLIENT: Integrity Engineering & Development Services, Inc.

I hereby acknowledge that the procedures and references used to develop the results contained in these computations are standard to the professional practice of Transportation Engineering as applied through professional judgment and experience.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY

ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.

SUSAN E. O'ROURKE, PE, LLC
3725 SE OCEAN BLVD SUITE 201
SEWALL'S POINT, FLORIDA 34996

CERTIFICATE OF AUTHORIZATION CA-26869

CHARLOTTE N. DAVIDSON, P.E. № 50725

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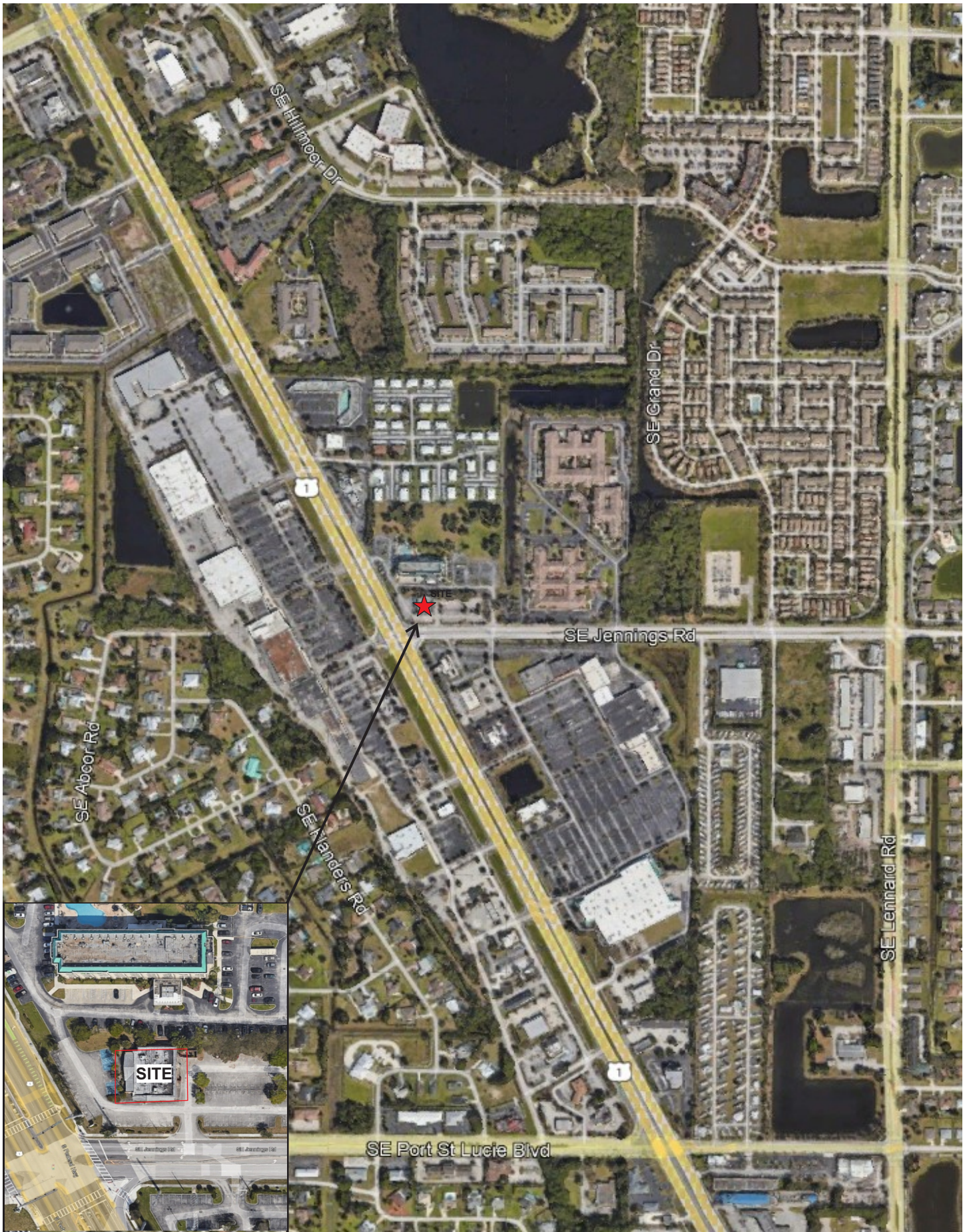
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1.0 INTRODUCTION

This analysis was prepared to provide queue analysis of the proposed 3,859 square foot McDonald's to be located north of SE Jennings Road Parkway and east of US Highway 1 in Port St. Lucie, Florida. The site location is illustrated in **Figure 1**. An overall site plan depicting the site layout, land uses, and access points is included in **Appendix A**.

Information used in this analysis includes data collected by O' Rourke Engineering & Planning, a TMC Company, information provided by the project team, and/or other data and information obtained from the City of Port St. Lucie, the Institute of Transportation Engineers (ITE), and the Florida Department of Transportation (FDOT).



Site Location Map

McDonald's PSL
 24336.01.03

Figure

1

2.0 TRIP GENERATION

The traffic generation of the proposed development was calculated using the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition*. The pass-by percentage was derived from the Appendices of the *ITE Trip Generation Handbook, 11th Edition*.

ITE Code 934 presents pass-by rates for fast food restaurants with drive-through service and indoor seating, with observed averages of 50% for the AM and 55% for the PM. For the daily rate, an average of the AM and PM rates (52.5%) was used. It should be noted that the pass-by rate applies only to off-site intersections and is not used for the queue analysis. The trip generation for the project is summarized in **Table 1** and the ITE information sheets are provided in **Appendix B**.

Table 1
Trip Generation Summary

ITE Code	Land Use	Size	Daily		AM Peak Hour				PM Peak Hour			
			Rate	Trips	Rate	Total	Enter	Exit	Rate	Total	Enter	Exit
934	Fast Food Restaurant with Drive-Through Window	3,859 SF	467.48	1,804	44.61	172	88	84	33.03	127	66	61
<i>Pass-By Percentages (Daily 52.5%, AM 50%, PM 55%)</i>				947		86	44	42		70	36	34
Net New External Trips				857		86	44	42		57	30	27

Trip Generation analysis based on ITE Trip Generation Manual, 11th Edition.

Pass-By analysis based on ITE Trip Generation Manual, 11th Edition.

The proposed development is projected to generate 857 net new daily trips, of which 86 trips occur during the AM peak hour and 57 trips occur during the PM peak hour.

3.0 Queue Analysis

The drive-through service point is located south of the building, where the queue can begin to form and can extend in a circular path counterclockwise. The east side of the building also has available space where additional queues can form.

On the south side of the building, the entire stretch from the service point to the point where the drive-through lane separates from the exit access driveway could be used for queues. Based on the available site information and assuming each 20-foot segment can accommodate one (1) car, the total queue capacity of the proposed McDonald's is fifteen (15) vehicles.

For the queue analysis, this study gathered data from three (3) similar sites in Port St. Lucie, Florida and Jensen Beach, Florida to assess potential queuing. The sites studied were:

- Site 1: McDonald's at 3546 Northwest Federal Highway
- Site 2: McDonald's at 7626 South Federal Highway
- Site 3: McDonald's at 1080 Southeast Port Saint Lucie Boulevard

The observed queues for the three (3) surrogate sites during AM and PM peak hours are included in **Appendix C**.

Based on gross trip generation rates for LUC 934, the proposed site is estimated to generate 88 trips entering during the AM peak hour and 66 trips entering during the PM peak hour. The maximum queued vehicle per trip generated observed at the three (3) similar sites was found to be 0.14 for the AM peak hour and 0.117 for the PM peak hour. The maximum queue calculations for McDonald's PSL during AM and PM peak hours are shown in **Table 2** and **Table 3**, respectively. The results indicate that the maximum queue at the proposed McDonald's will be thirteen (13) vehicles during AM peak hours and eight (8) vehicles during PM peak hours.

Table 2
Maximum Queue for Morning Peak Hours

	Site 1		Site 2		Site 3	
	7 AM to 8 AM	8 AM to 9 AM	7 AM to 8 AM	8 AM to 9 AM	7 AM to 8 AM	8 AM to 9 AM
Vehicle/hr (V)	100	86	92	110	95	97
Maximum Queue (Q)	10	11	13	15	12	11
Q/V	0.10	0.128	0.141	0.136	0.13	0.1
Maximum Q/V	0.14					
McDonald's PSL Trips	88					
McDonald's PSL Maximum Q/V	12.4 = 13					

Table 3
Maximum Queue for Afternoon Peak Hours

	Site 1		Site 2		Site 3	
	4 PM to 5 PM	5 PM to 6 PM	4 PM to 5 PM	5 PM to 6 PM	4 PM to 5 PM	5 PM to 6 PM
Vehicle/hr (V)	110	105	128	145	141	136
Maximum Queue (Q)	12	11	12	17	15	13
Q/V	0.109	0.105	0.094	0.117	0.11	0.1
Maximum Q/V	0.117					
McDonald's PSL Trips	66					
McDonald's PSL Maximum Q/V	7.7 = 8					

The analysis indicates that the proposed McDonald's has more than enough capacity to accommodate the projected vehicular demand, ensuring that queuing does not spill into the cross-access easement driveway or outside the site's entrances.

4.0 FINDINGS / CONCLUSION

This study was conducted to analyze the drive-through queue. The site is located on the northeast corner of US Highway 1 and SE Jennings Road in St. Lucie County, Florida. The proposed commercial development is a 3,859 square foot drive-through fast food restaurant.

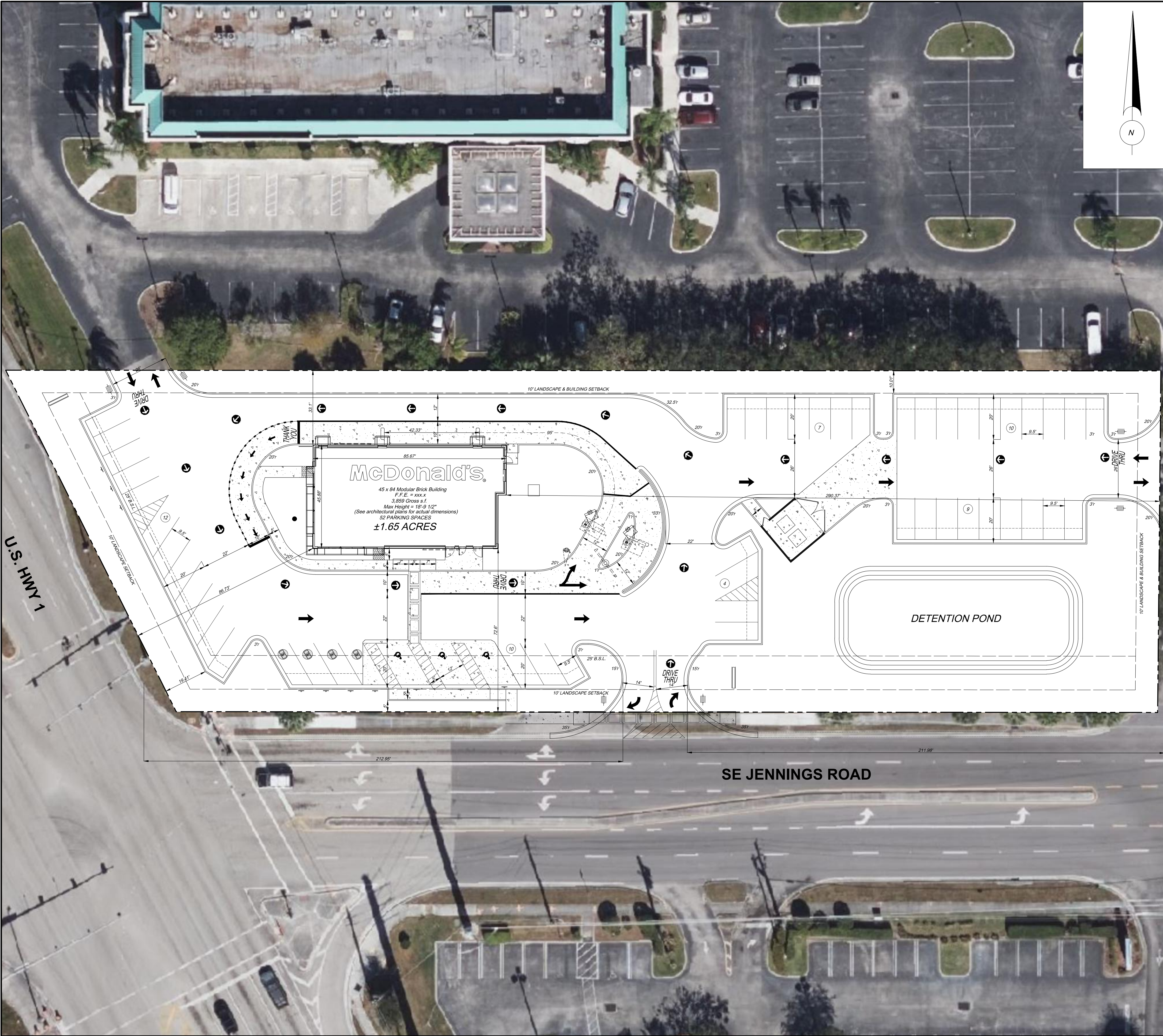
The analysis included a determination of project trip generation and the queue analysis of the drive-through lanes. The results of the analysis are summarized as follows:

Summary of Findings

- The proposed development is projected to generate 857 net new external trips per day, of which 86 trips occur during the AM peak hour and 57 trips occur during the PM peak hour.
- A maximum projected queue of 13 vehicles is expected based on the patterns observed at three (3) other McDonald's locations in the area.
- The vehicle storage within the site is projected to adequately accommodate the queue length at the drive-through window.

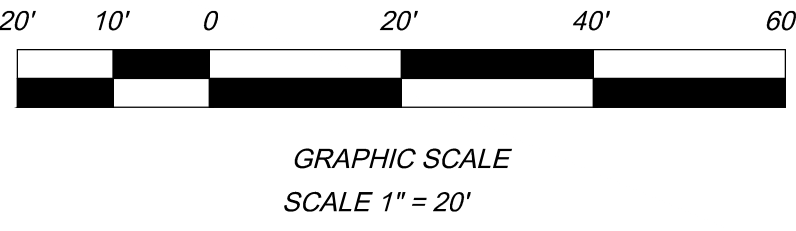
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Appendix A
Site Plan / Information

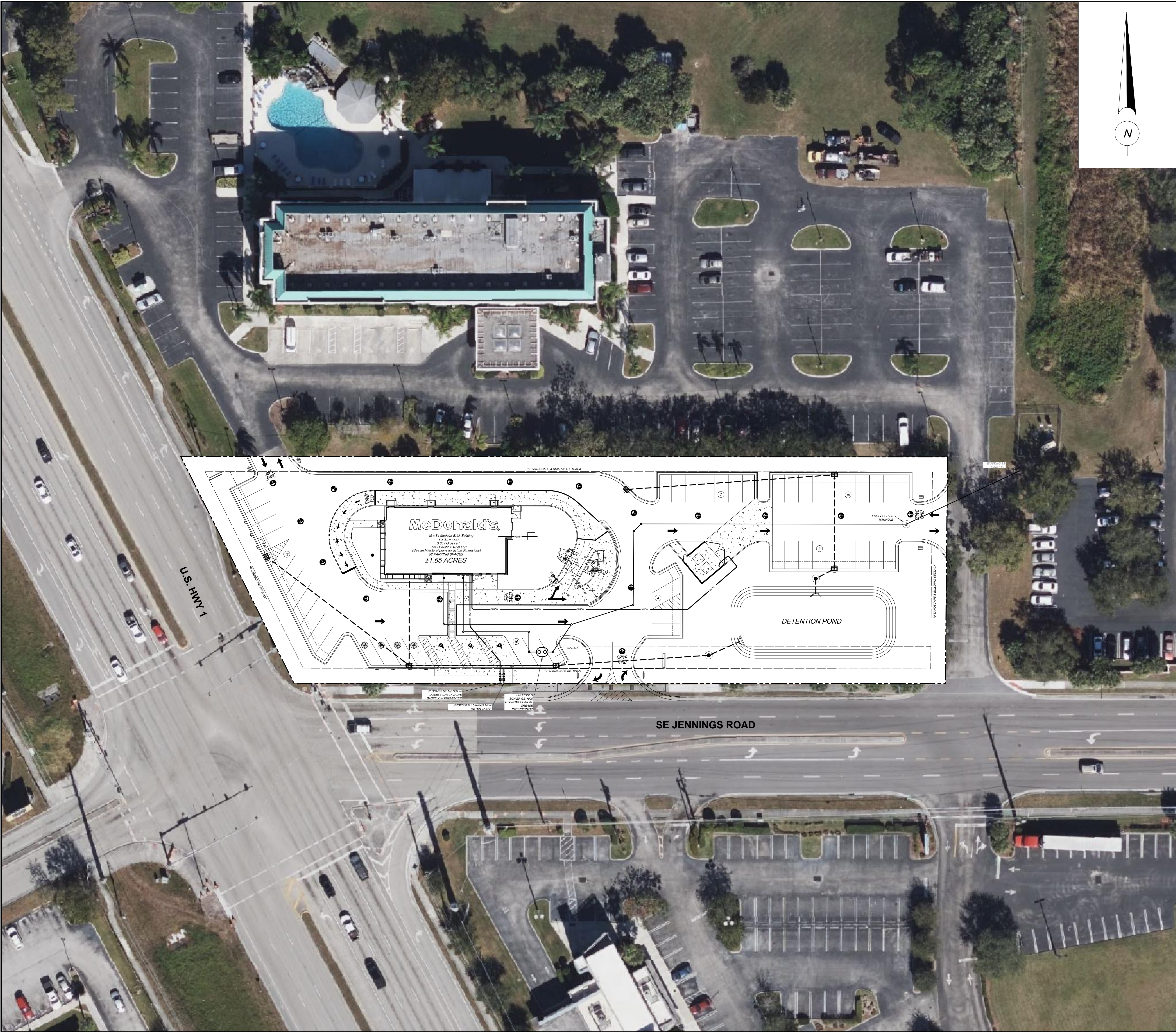


SITE DATA		
LOCATION: 3820 EATON AVE., PUNTA GORDA, FL		
SITE AREA: +/- 1.47 ACRES		
CURRENT ZONING: ECAP		
BUILDING TYPE: 45' x 84'		
ZONING REQUIREMENTS		
BUILDING SETBACKS	REQUIRED	PROPOSED
FRONT	25'	86.73'
LEFT SIDE	10'	33.1'
RIGHT SIDE	25'	72.6'
REAR	10'	290.37'
PARKING SPACES		
REGULAR	49	49
H/C PARKING	3	3
TOTAL PARKING	52	52
STRIPING LEGEND		
(A-1) ADA ACCESSIBLE STALL WITH WHITE SYMBOL PER ADA REQUIREMENTS	(S-1) OUTDOOR DIGITAL MENU BOARD	
(A-2) HANDICAP ACCESSIBLE AISLE 4' WHITE STRIPES @ 45' 2" O.C.	(S-2) SPRINGBOARD CANOPY	
(A-3) 5' WIDE PEDESTRIAN ACCESS AISLE WITH 6" WHITE STRIPES	(S-3) DIGITAL PRE-SALE BOARD	
(A-4) 4' WHITE PARKING STRIPE OR STRIPED AREA - 4' WHITE STRIPES	(S-4) FTP 21-06 & FTP 22-06 - HANDICAP PARKING	
(A-5) 6" YELLOW DRIVE-THRU STRIPE	(S-6) "WELCOME" SIGN (NEXT GENERATION)	
(A-6) DOUBLE HEADED ARROW	(S-7) "THANK YOU" SIGN (NEXT GENERATION)	
(A-7) YELLOW OOSP STRIPING	(S-8) DOUBLE GATEWAY SIGN	
(A-8) "DRIVE THRU" W/ ARROW PAVEMENT MARKING	(S-9) DO NOT ENTER SIGN	
(A-9) "THANK YOU" PAVEMENT MARKING PLACED 40' FROM C.L. OF PRESENT BOOTH WINDOW	(S-10) FLAG POLE	
(A-10) PARKING LOT ARROWS @ 40' - 80' (S2' IDEAL)	(S-11) DRIVE-THRU RESERVED SIGN	
(A-11) INGRESS / EGRESS ARROWS	(S-12) CURBSIDE PICKUP SIGN	
(A-12) 24" STOP BAR	(S-13) PROPOSED ROAD SIGN	
(A-13) CURBSIDE PAVEMENT MARKING	(S-14) "CAUTION PEDESTRIAN CROSSING" SIGN	
(A-14) DOUBLE YELLOW LINE	(S-15) STOP SIGN	
(A-15) MERGE POINT STRIPING	(S-16) MCDelivery COURIER PARKING SIGN	
	(S-17) DRIVE THRU LEFT TURN SIGN	
	(S-18) DRIVE THRU PULL AHEAD SIGN	
	(S-19) DRIVE THRU PICK UP HERE SIGN	

KEY	DESCRIPTION	SPECIFICATION	QTY.
P-1	CONCRETE PAVING	6" THK 4,000 PSI CONCRETE WITH FIBERMESH	5,720 S.F.
P-2	CONCRETE TRASH ENCLOSURE PAD	18'-0" W x 19'-2" X 8" THK 4,000 PSI CONCRETE WITH FIBERMESH	413 S.F.
P-3	PAVER SIDEWALK	COLOR PATTERN & MFR. BY PROJECT MANAGER	51 S.F.
P-4	CURB & GUTTER (18" PAN)	3,500 PSI CONCRETE WITH FIBERMESH	ON-SITE 1,285 L.F. OFF-SITE 46 L.F.
P-5	STANDING CURB	6" x 18" 3,500 PSI CONCRETE WITH FIBERMESH	ON-SITE 609 L.F. OFF-SITE 11 L.F.
P-6	6" CURB POURED WITH MONOLITHIC SLABS	6" x 12" 4,000 PSI CONCRETE WITH FIBERMESH	0 L.F.
P-7	CONCRETE SIDEWALK	4" THK 4,000 PSI CONCRETE WITH FIBERMESH	ON-SITE 1,166 S.F. OFF-SITE 244 S.F.
P-8	CONCRETE TRASH APRON	6" THK 4,000 PSI CONCRETE WITH FIBERMESH	1,064 S.F.
P-9	ASPHALT	1" TOPPING OVER 2" BINDER (COMPRESSED) OVER 8" STONE BASE	ON-SITE 2,888 S.Y. OFF-SITE 86 S.Y.
P-10	5' OPTIONAL CONCRETE DRIP APRON	5' W x 6" THK 4,000 PSI CONCRETE FIBERMESH	2,362 S.F.
P-11	OPTIONAL CONCRETE DELIVERY TRUCK APRON	10' W x 6" THK 4,000 PSI CONCRETE FIBERMESH	0 S.F.
MISCELLANEOUS ITEMS			
P-12	DELIVERY RAMP		
P-13	DETECTOR LOOP (INSTALL IF NOT EXISTING)		
P-14	6" BOLLARD (TYP.)		
P-15	CONCRETE TRANSFORMER PAD		
P-16	TRELLIS OVERHANG		
P-17	6" SAFETY RAIL (STAINLESS STEEL)		
P-18	TYPE I H/C RAMP (REFER TO ADA DETAILS SHEET FOR DETAILS)		
P-19	TYPE II H/C RAMP (REFER TO ADA DETAILS SHEET FOR DETAILS)		
P-20	TYPE III H/C RAMP (REFER TO ADA DETAILS SHEET FOR DETAILS)		
P-21	EXTENTS OF CURB & GUTTER AND/OR ASPHALT PAVING. TIE TO EXISTING AT THIS POINT.		
P-22	TRANSITION FROM ASPHALT TO CONCRETE (SEE SITE DETAILS SHEET FOR DETAILS)		
P-23	DUMPSTER ENCLOSURE (REFER TO STRUCTURAL PLANS FOR DETAILS) EXTERIOR FINISH TO MATCH BUILDING.		
P-24	20' x 9' 6" STORAGE SHED EXTERIOR FINISH TO MATCH DUMPSTER ENCLOSURE / BUILDING.		
P-25	CONCRETE DRAINAGE FLUME (SEE SITE DETAILS SHEET FOR DETAILS)		
P-26	OUTDOOR PATIO AREA (SEE SITE DETAILS SHEET FOR DETAILS)		



NO.	DATE:	DESCRIPTION	ISSUE
1	08/28/24	SUBMIT TO MCDONALD'S	
2	09/03/24	REVISE MONUMENT SIGN LOCATION	
3			
4			



SITE UTILITIES (DIV. 33)				
KEY	DESCRIPTION	CATEGORY	UNIT	QTY.
U-1	SCHIER GB-1000		1000	1
U-2	SANITARY SEWER UTIL	33.30.00.S	LF	614'
U-3	JUNCTION BOX	33.40.02.S	QTY.	2
U-4	UNDERGROUND DETENTION	33.40.08.S	LF	0
U-5	STORM PIPE (18")	33.41.00.S	LF	631'
U-6	STORM PIPE (24")	33.41.00.S	LF	0
U-7	STORM PIPE (30")	33.41.00.S	LF	0
U-8	CULVERTS	33.42.00.S	LF	0
U-9	AREA DRAIN/CATCH BASIN	33.44.00.S	QTY.	6
U-10	STORM WAT TREAT SYS	33.44.19.S	QTY.	0

NO.	DATE	DESCRIPTION
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4		

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4		

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2	08/03/24	REVISE MONUMENT SIGN LOCATION
3		
4		

INTEGRITY

ENGINEERING & DEVELOPMENT SERVICES, INC.

3615 Brandon Highway, Suite 201

Dacula, Ga 30019 (678) 546-0446

ISSUE

DESCRIPTION

SUBMIT TO MCDONALD'S

REVISE MONUMENT SIGN LOCATION

NO.

DATE

DESCRIPTION

1

08/28/24

SUBMIT TO MCDONALD'S

2

08/03/24

REVISE MONUMENT SIGN LOCATION

3

4

McDonald's USA, L.L.C.

One Glenlake Parkway, Suite 500 Atlanta, Ga 30328-5327

McDonald's

10180 S. US Highway 1

Parcel ID

#3414-501-3810-100-1 Port

St. Lucie, St. Lucie County

Zoned: GC

9-2788

IEDS PROJECT NUMBER:

MCD-24129

SHEET TITLE:

PRELIMINARY UTILITY PLAN

SHEET NUMBER

3

3

1. 1/2" scale and smaller

2. 1/4" scale and smaller

3. 1/8" scale and smaller

4. 1/16" scale and smaller

5. 1/32" scale and smaller

6. 1/64" scale and smaller

7. 1/128" scale and smaller

8. 1/256" scale and smaller

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10. 1/1024" scale and smaller

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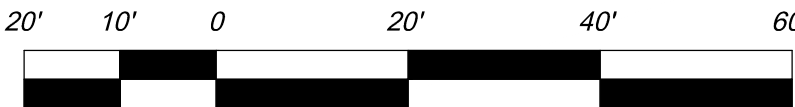
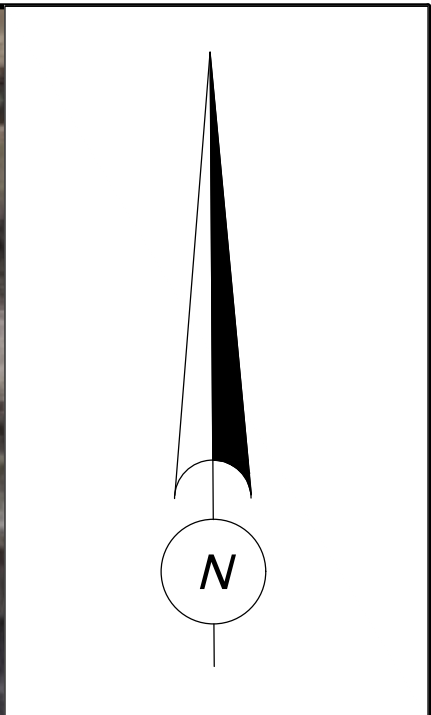
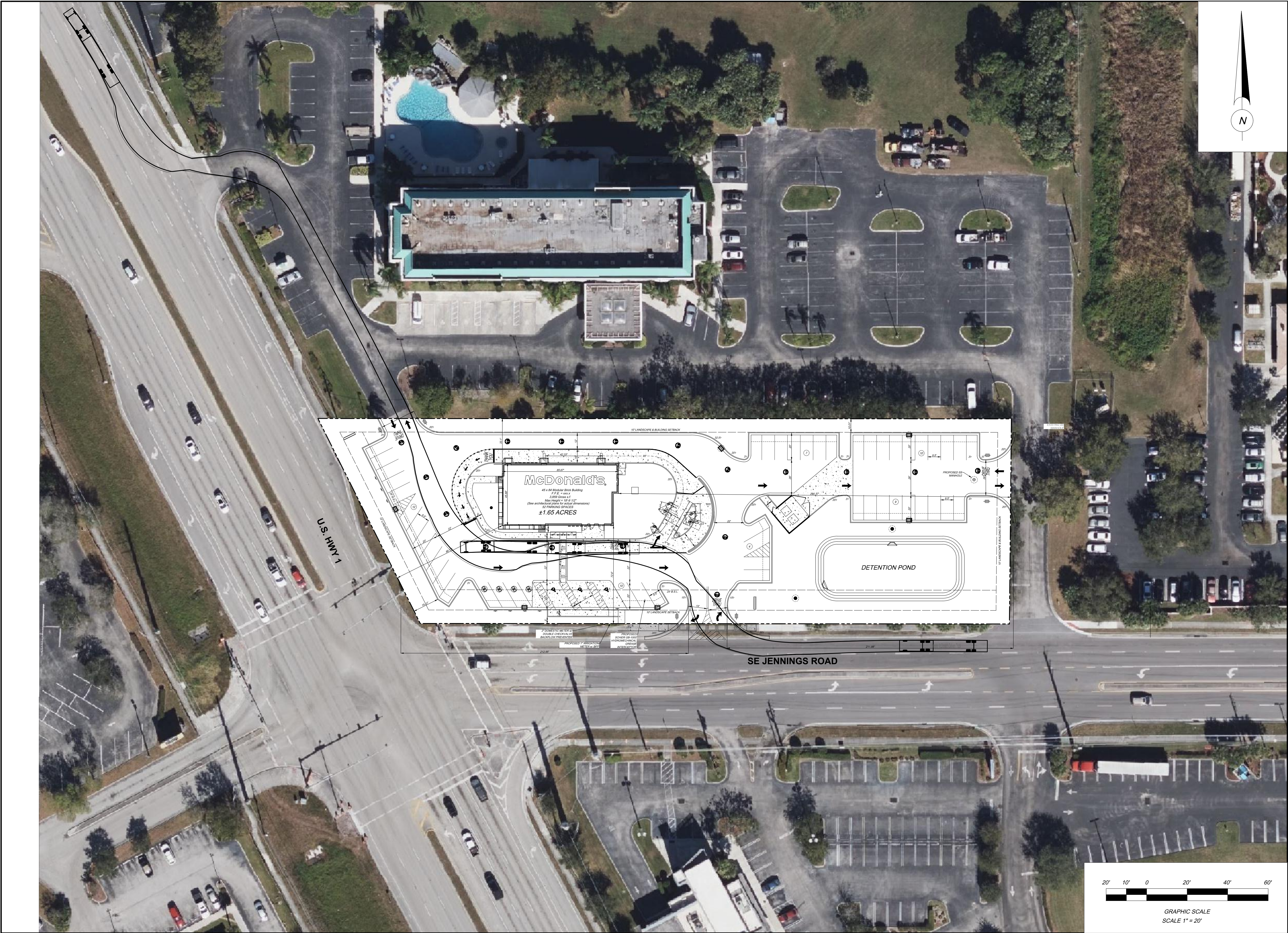
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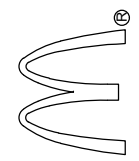
216. 1/10531229294748344487391802868



GRAPHIC SCALE
SCALE 1" = 20'

NO.	DATE	DESCRIPTION
1	08/28/24	SUBMIT TO MCDONALD'S
2	09/03/24	REVISE MONUMENT SIGN LOCATION
3		
4		



**McDonald's USA, L.L.C.**
One Glenlake Parkway, Suite 500 Atlanta, Ga 30328-5327

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McDonald's
10180 S. US Highway 1
Parcel ID
#3414-501-3810-100-1 Port
St. Lucie, St. Lucie County
Zoned: GC

MCD STATE SITE CODE:
9-2788

IEDS PROJECT NUMBER:
MCD-24129

SHEET TITLE:
**TRUCK
ACCESS PLAN**

SHEET NUMBER	3
	3

Appendix B
ITE Information Sheets

Fast-Food Restaurant with Drive-Through Window (934)

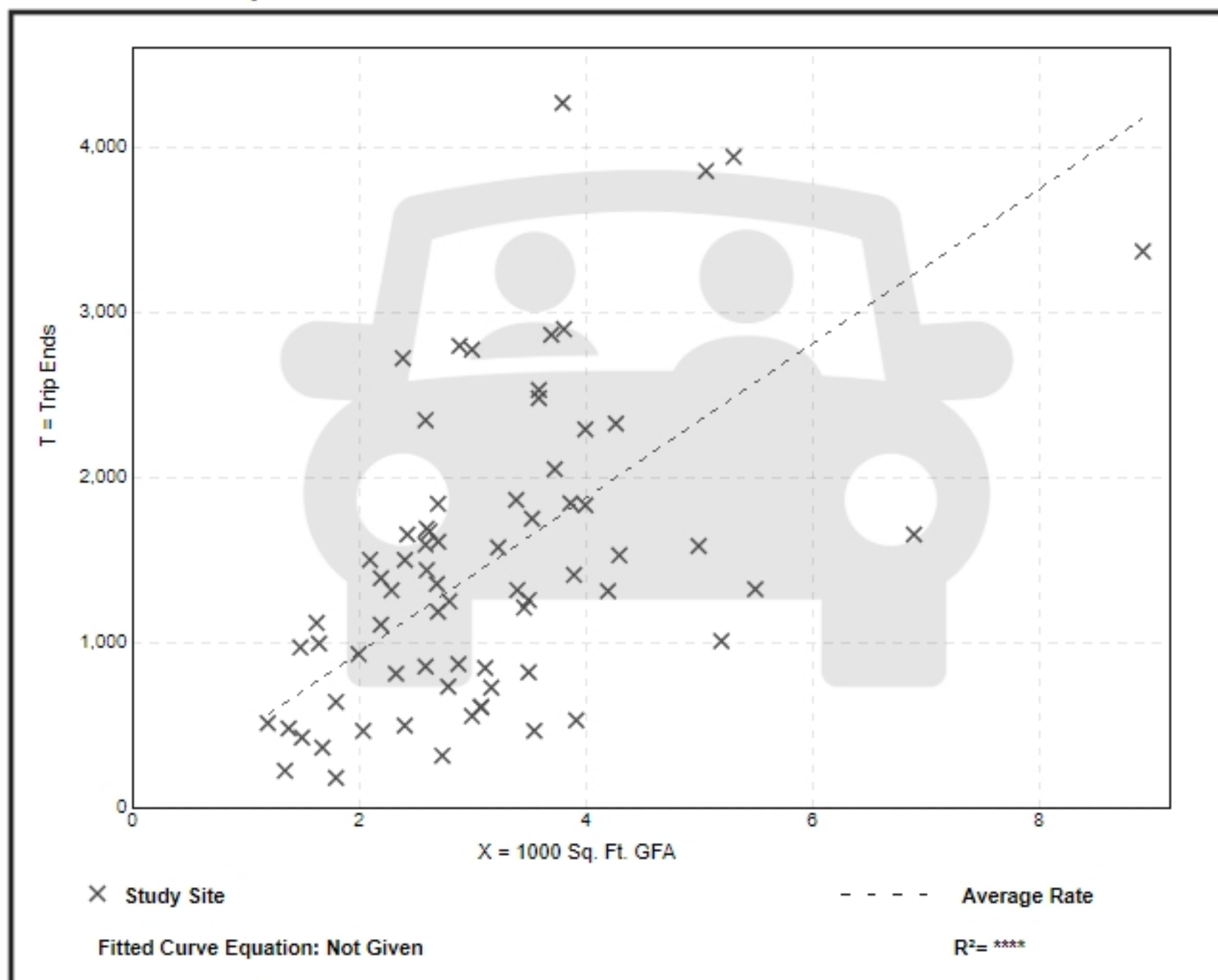
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 71
Avg. 1000 Sq. Ft. GFA: 3
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
467.48	98.89 - 1137.66	238.62

Data Plot and Equation



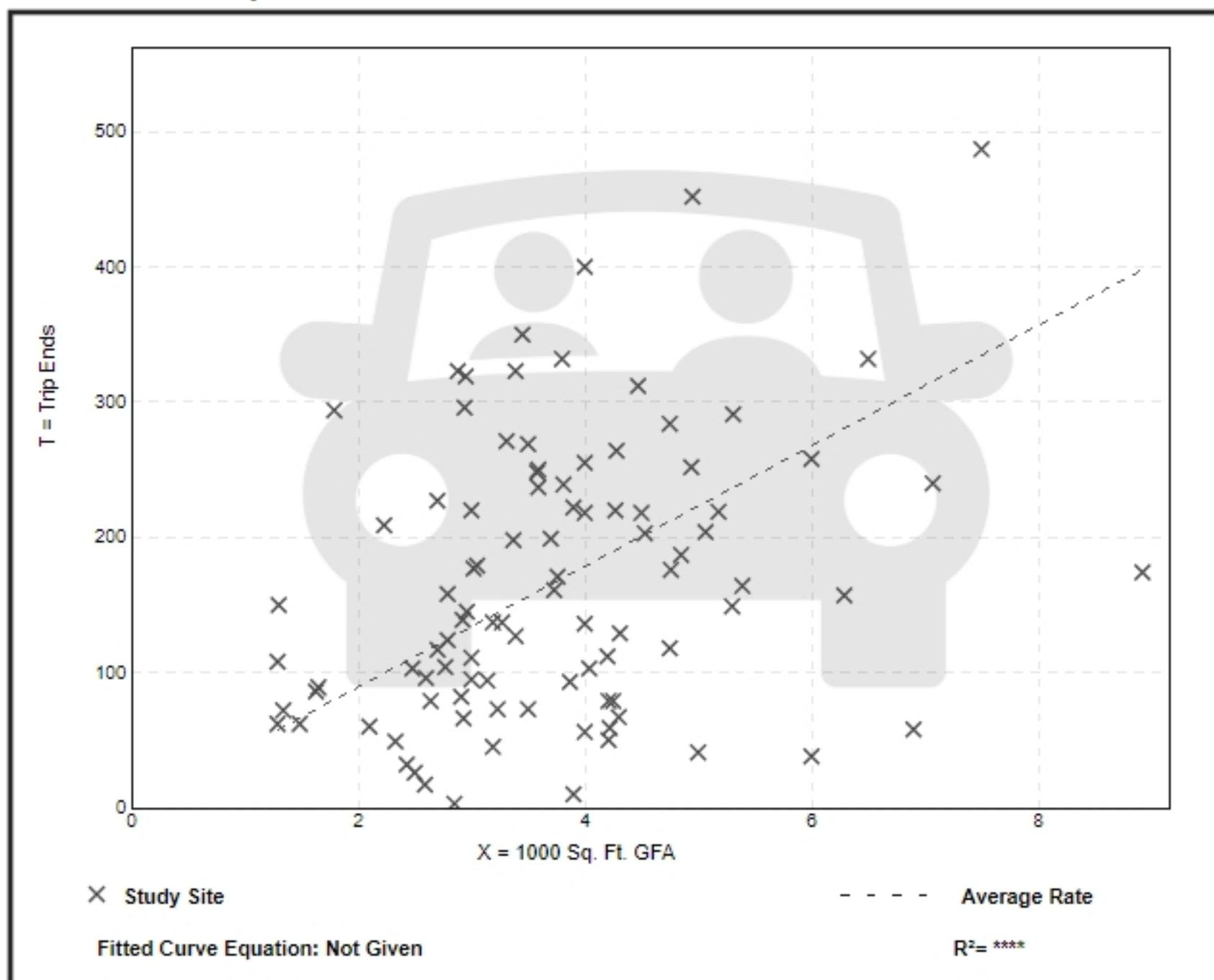
Fast-Food Restaurant with Drive-Through Window (934)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.
Setting/Location: General Urban/Suburban
Number of Studies: 96
Avg. 1000 Sq. Ft. GFA: 4
Directional Distribution: 51% entering, 49% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
44.61	1.05 - 164.25	27.14

Data Plot and Equation



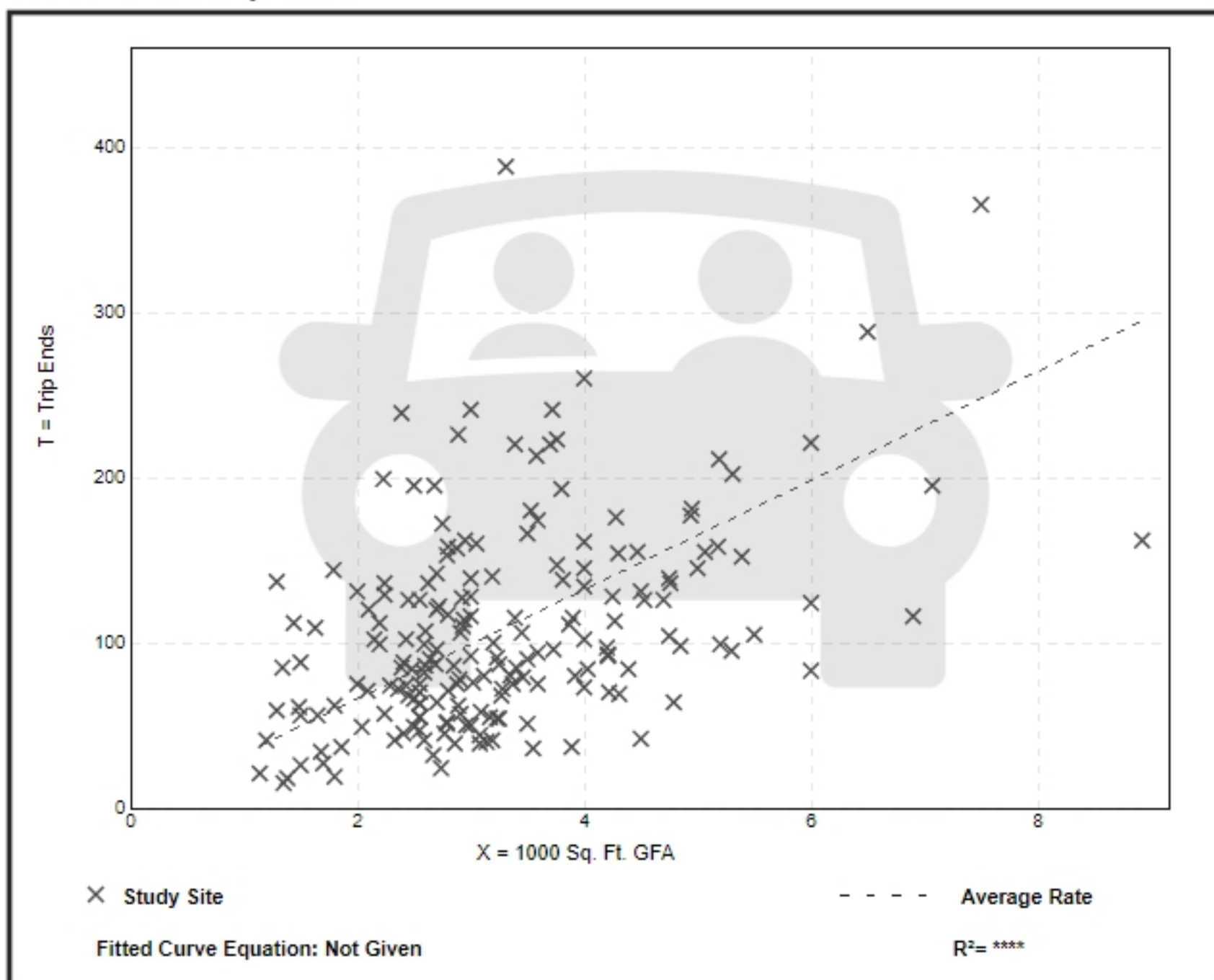
Fast-Food Restaurant with Drive-Through Window (934)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.
Setting/Location: General Urban/Suburban
Number of Studies: 190
Avg. 1000 Sq. Ft. GFA: 3
Directional Distribution: 52% entering, 48% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
33.03	8.77 - 117.22	17.59

Data Plot and Equation



Vehicle Pass-By Rates by Land Use									
Source: ITE <i>Trip Generation Manual</i> , 11th Edition									
Land Use Code	934								
Land Use	Fast-Food Restaurant with Drive-Through Window								
Setting	General Urban/Suburban								
Time Period	Weekday AM Peak Period								
# Data Sites	5								
Average Pass-By Rate	50%								
	Pass-By Characteristics for Individual Sites								
	State or Province	Survey Year	# Interviews	Pass-By Trip (%)	Non-Pass-By Trips			Adj Street Peak Hour Volume	Source
GFA (000)					Primary (%)	Diverted (%)	Total (%)		
1.4	Kentucky	1993	—	62	22	16	38	1407	2
3	Kentucky	1993	—	43	14	43	57	2903	2
3.3	--	1996	—	68	—	—	32	—	21
3.6	Kentucky	1993	—	32	47	21	68	437	2
4.2	Indiana	1993	—	46	23	31	54	1049	2

Vehicle Pass-By Rates by Land Use									
Source: ITE Trip Generation Manual , 11th Edition									
Land Use Code	934								
Land Use	Fast-Food Restaurant with Drive-Through Window								
Setting	General Urban/Suburban								
Time Period	Weekday PM Peak Period								
# Data Sites	11								
Average Pass-By Rate	55%								
	Pass-By Characteristics for Individual Sites								
GFA (000)	State or Province	Survey Year	# Interviews	Pass-By Trip (%)	Non-Pass-By Trips			Adj Street Peak Hour Volume	Source
					Primary (%)	Diverted (%)	Total (%)		
1.3	Kentucky	1993	—	68	22	10	32	2055	2
1.9	Kentucky	1993	33	67	24	9	33	2447	2
2.8	Florida	1995	47	66	—	—	34	—	30
2.9	Florida	1996	271	41	41	18	59	—	30
3	Kentucky	1993	—	31	31	38	69	4250	2
3.1	Florida	1995	28	71	—	—	29	—	30
3.1	Florida	1996	29	38	—	—	62	—	30
3.2	Florida	1996	202	40	39	21	60	—	30
3.3	—	1996	—	62	—	—	38	—	21
4.2	Indiana	1993	—	56	25	19	44	1632	2
4.3	Florida	1994	304	62	—	—	38	—	30

Appendix C
Queue Date / Surrogate Site Data

3546 NW Federal Hwy - Jensen Beach

Time	Inside Lane 1 Order Board to End of Queue	Outside Lane 2 Order Board to End of Queue	Window to End of Queue	Totals
7:00 AM	6	1	3	10
7:05 AM	4	0	4	8
7:10 AM	3	2	2	7
7:15 AM	4	2	3	9
7:20 AM	2	2	4	8
7:25 AM	3	1	2	6
7:30 AM	3	2	3	8
7:35 AM	3	2	4	9
7:40 AM	0	2	5	7
7:45 AM	5	1	4	10
7:50 AM	4	3	2	9
7:55 AM	4	2	3	9
8:00 AM	5	2	4	11
8:05 AM	1	1	2	4
8:10 AM	2	2	3	7
8:15 AM	1	1	4	6
8:20 AM	3	2	2	7
8:25 AM	3	1	4	8
8:30 AM	1	2	4	7
8:35 AM	4	2	2	8
8:40 AM	1	0	3	4
8:45 AM	3	2	5	10
8:50 AM	2	2	3	7
8:55 AM	2	1	4	7
Totals	69	38	79	186

100

86

Time	Inside Lane 1 Order Board to End of Queue	Outside Lane 2 Order Board to End of Queue	Pickup Window to End of Queue	Totals
4:00 PM	2	2	3	7
4:05 PM	3	3	4	10
4:10 PM	4	2	2	8
4:15 PM	3	3	3	9
4:20 PM	4	1	4	9
4:25 PM	2	2	5	9
4:30 PM	4	3	4	11
4:35 PM	3	1	2	6
4:40 PM	4	2	3	9
4:45 PM	5	2	4	11
4:50 PM	4	3	5	12
4:55 PM	2	1	6	9
5:00 PM	3	2	4	9
5:05 PM	4	2	2	8
5:10 PM	2	3	4	9
5:15 PM	3	2	2	7
5:20 PM	4	1	4	9
5:25 PM	5	2	3	10
5:30 PM	4	3	4	11
5:35 PM	2	1	5	8
5:40 PM	3	2	4	9
5:45 PM	4	3	2	9
5:50 PM	2	2	2	6
5:55 PM	3	3	4	10
Totals	79	51	85	215

110

105

401

Window

Board

7626 S Federal Hwy - PSL

Time	Inside Lane 1 Order Board to End of Queue	Outside Lane 2 Order Board to End of Queue	Pickup Window to End of Queue	Totals
7:00 AM	4	3	3	10
7:05 AM	0	4	2	6
7:10 AM	1	4	1	6
7:15 AM	1	2	3	6
7:20 AM	1	2	4	7
7:25 AM	1	5	2	8
7:30 AM	0	2	3	5
7:35 AM	4	5	4	13
7:40 AM	1	4	2	7
7:45 AM	1	1	1	3
7:50 AM	2	5	1	8
7:55 AM	5	5	3	13
8:00 AM	2	3	4	9
8:05 AM	2	3	3	8
8:10 AM	3	3	4	10
8:15 AM	5	6	2	13
8:20 AM	1	4	3	8
8:25 AM	2	4	4	10
8:30 AM	2	3	4	9
8:35 AM	3	5	2	10
8:40 AM	2	4	3	9
8:45 AM	5	6	4	15
8:50 AM	1	1	2	4
8:55 AM	1	2	2	5
Totals	50	86	66	202

92

110

Window

Board

Time	Inside Lane 1 Order Board to End of Queue	Outside Lane 2 Order Board to End of Queue	Pickup Window to End of Queue	Totals
4:00 PM	3	3	3	9
4:05 PM	1	4	4	9
4:10 PM	3	6	3	12
4:15 PM	4	4	4	12
4:20 PM	3	5	4	12
4:25 PM	4	2	5	11
4:30 PM	5	3	2	10
4:35 PM	4	4	3	11
4:40 PM	3	5	4	12
4:45 PM	4	4	2	10
4:50 PM	4	2	3	9
4:55 PM	3	4	4	11
5:00 PM	4	3	5	12
5:05 PM	2	4	2	8
5:10 PM	3	5	3	11
5:15 PM	4	4	4	12
5:20 PM	2	6	5	13
5:25 PM	3	4	4	11
5:30 PM	4	8	5	17
5:35 PM	4	4	4	12
5:40 PM	2	5	4	11
5:45 PM	4	6	5	15
5:50 PM	2	4	2	8
5:55 PM	3	8	4	15
Totals	78	107	88	273

128

145

475

Window

Board

1080 SE Port St. Lucie Blvd - PSL

Time	Inside Lane 1 Order Board to End of Queue	Outside Lane 2 Order Board to End of Queue	Window to End of Queue	Totals
7:00 AM	1	1	3	5
7:05 AM	1	2	4	7
7:10 AM	1	0	2	3
7:15 AM	1	3	3	7
7:20 AM	2	3	4	9
7:25 AM	0	3	6	9
7:30 AM	3	4	5	12
7:35 AM	1	3	4	8
7:40 AM	2	3	5	10
7:45 AM	1	3	5	9
7:50 AM	1	4	4	9
7:55 AM	1	2	4	7
8:00 AM	1	3	4	8
8:05 AM	1	2	6	9
8:10 AM	2	5	2	9
8:15 AM	2	3	6	11
8:20 AM	3	3	4	10
8:25 AM	2	1	4	7
8:30 AM	0	1	2	3
8:35 AM	2	2	5	9
8:40 AM	2	4	3	9
8:45 AM	2	4	2	8
8:50 AM	2	2	2	6
8:55 AM	2	4	2	8
Totals	36	65	91	192

Window

Board

95

97

Time	Inside Lane 1 Order Board to End of Queue	Outside Lane 2 Order Board to End of Queue	Pickup Window to End of Queue	Totals
4:00 PM	2	3	3	8
4:05 PM	1	4	4	9
4:10 PM	3	2	6	11
4:15 PM	4	3	4	11
4:20 PM	2	4	5	11
4:25 PM	3	5	4	12
4:30 PM	4	5	6	15
4:35 PM	3	4	4	11
4:40 PM	2	5	5	12
4:45 PM	3	6	6	15
4:50 PM	4	4	4	12
4:55 PM	5	4	5	14
5:00 PM	4	4	5	13
5:05 PM	2	5	6	13
5:10 PM	3	4	4	11
5:15 PM	2	3	5	10
5:20 PM	3	4	4	11
5:25 PM	2	5	6	13
5:30 PM	4	4	4	12
5:35 PM	2	2	6	10
5:40 PM	3	3	4	10
5:45 PM	4	4	5	13
5:50 PM	2	2	6	10
5:55 PM	3	3	4	10
Totals	70	92	115	277

Window

Board

141

136

469