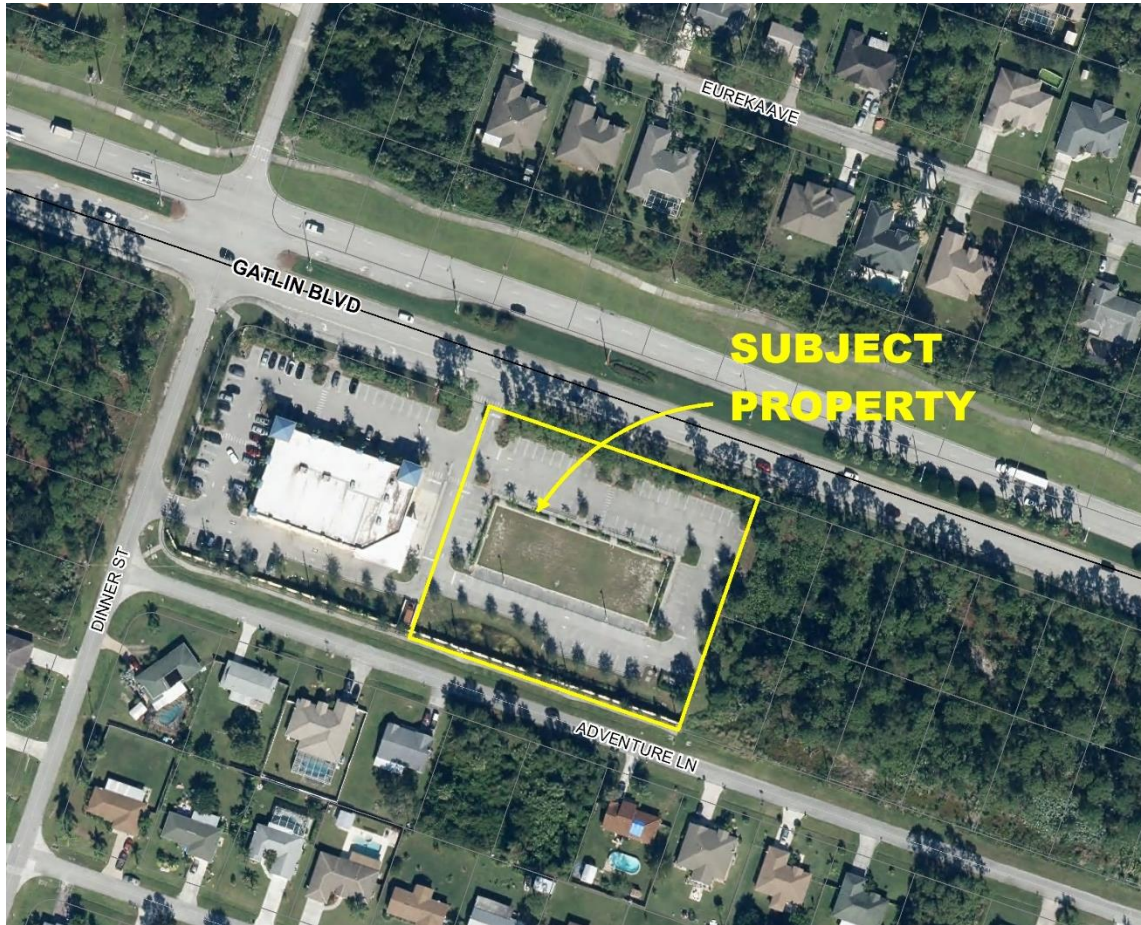




**Phoenix Gatlin Center Major Site Plan Amendment Application
P14-136-A1**



Aerial Map

SUMMARY

Applicant's Request:	This is an application for approval of a Major Site Plan amendment to make a significant change to the elevations of an office and retail use building that was previously approved, but not built.
Applicant:	Brad Curry, Engineering, Design & Construction (EDC, Inc.)
Property Owner:	Gatlin Blvd., LLC.
Location:	The property is located on the south side of SW Gatlin Boulevard, east of SW Dinner Street, and west of SW Port St. Lucie Boulevard. This property is located directly east of the existing Goodwill building.
Address:	1070 SW Gatlin Blvd.
Project Planner:	Holly F. Price, AICP, Senior Planner



Lot 2 - Proposed Building Elevations

Related Projects:

P14-136 – Unity Detox Site Plan Amendment – Administrative Amendment approved by Site Plan Review Committee (SPRC) on September 10, 2014. The latest administrative amendment was approved on February 3, 2015.

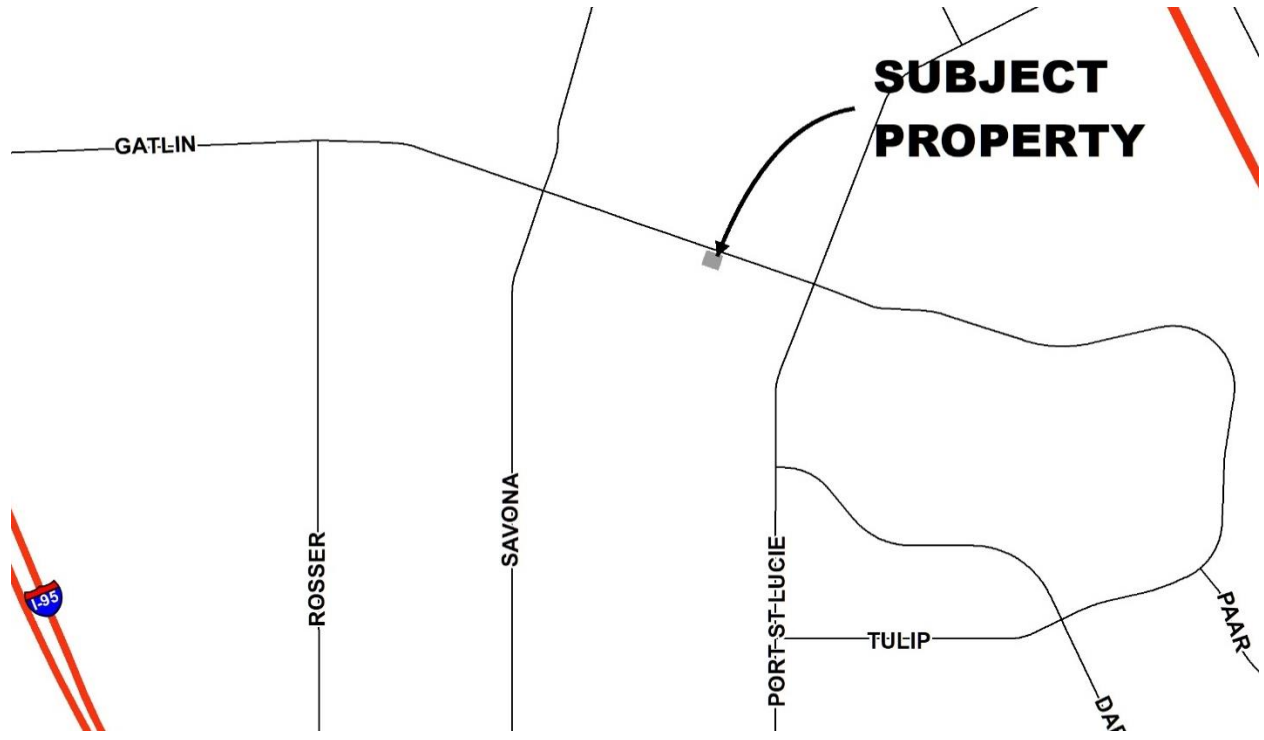
P14-031 – Goodwill Center – Modification to LMD Concept Plan - The LMD rezoning (P06-171) and the conceptual site plan were approved by the City Council on September 25, 2006 as per Ordinance 06-106 for this site. This application revised the previously approved concept plan (P11-154) for the LMD zoned property. Approved by City Council on May 12, 2014, Ordinance 14-25.

Location and Site Information

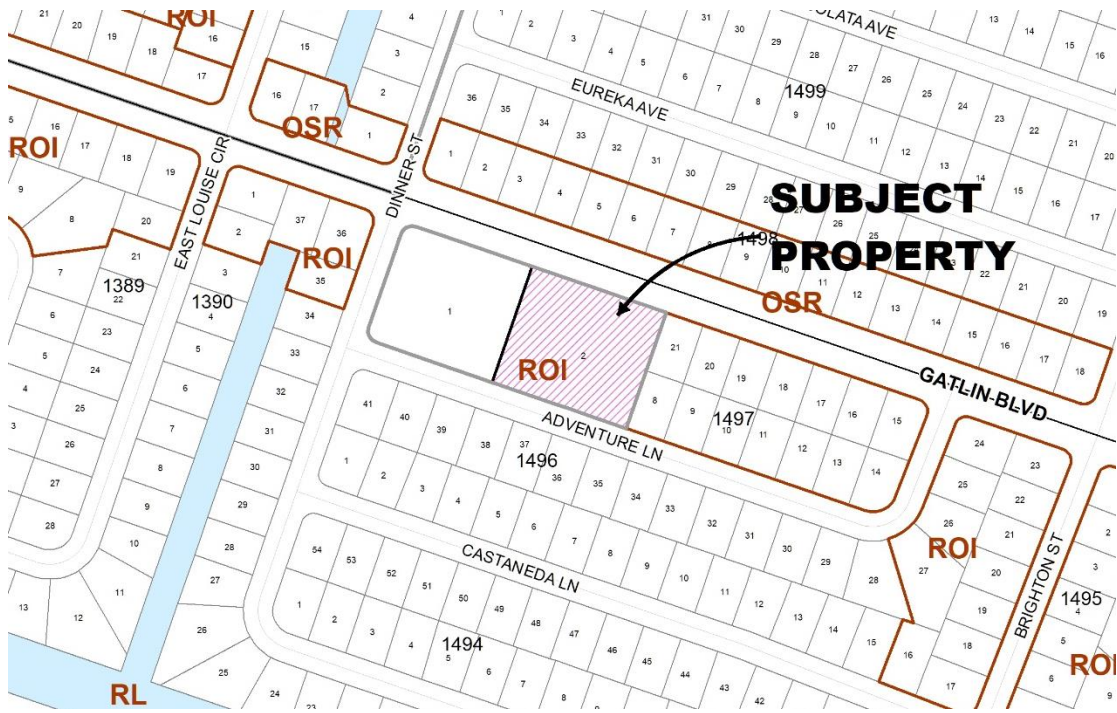
Parcel Number:	4418-600-0002-000-1 (Lot 2)
Property Size:	Lot 2 = 1.664 acres
Legal Description:	Phoenix Gatlin Center (PB 67-5)- Lot 2 (OR 3660-189)
Future Land Use:	Residential Office Institutional (ROI)
Existing Zoning:	Limited Mixed Use (LMD)
Existing Use:	Vacant

Surrounding Uses

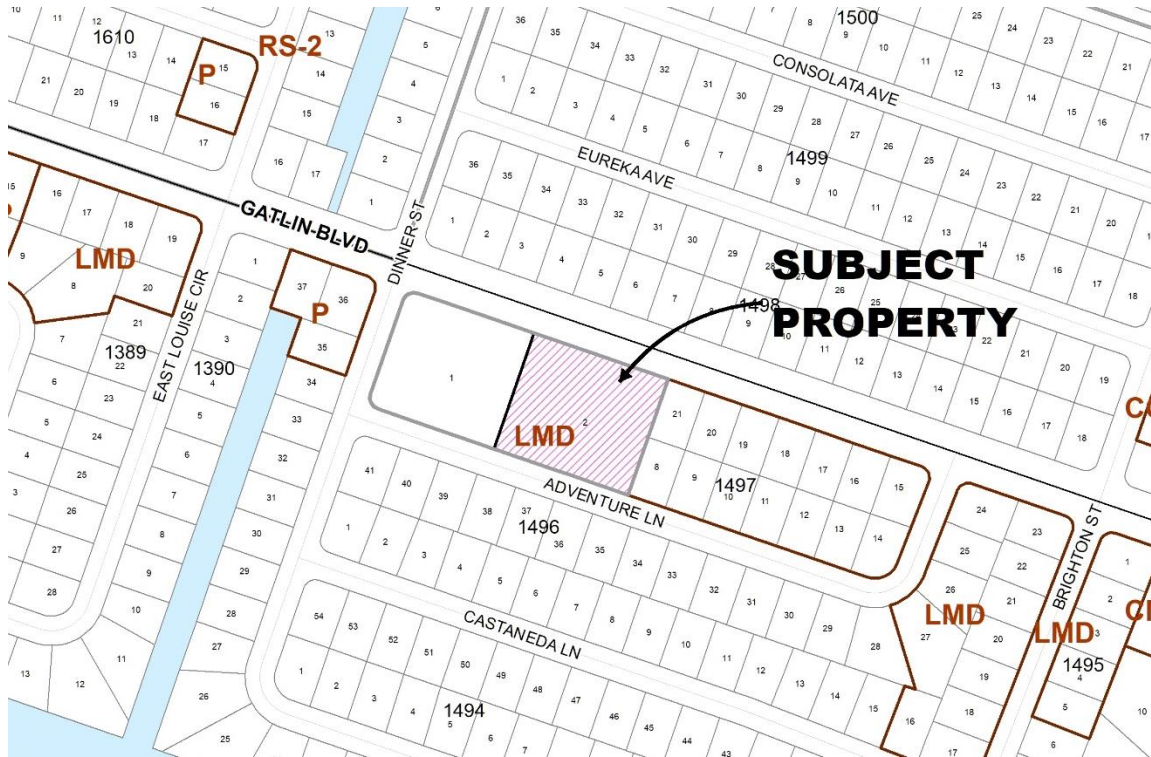
Direction	Future Land Use	Zoning	Existing Use
North	Open Space Recreational (OSR)	Open Space Recreational (OSR)	Trailway
South	Low Density Residential (RL)	Single Family Residential (RS-2)	Residential
East	Residential Office Institutional (ROI)	Limited Mixed Use (LMD)	Vacant
West	Residential Office Institutional (ROI)	Limited Mixed Use (LMD)	Retail



Location Map



Future Land Use Map



Zoning Map

IMPACTS AND FINDINGS

ZONING REVIEW: The proposed project has been reviewed for compliance with the City of Port St. Lucie zoning requirements and documented as follows:

CRITERIA	FINDINGS	
USE	The subject property is located in a Limited Mixed Use (LMD) zoning district. As per the City Code, retail and office uses are permitted.	
DUMPSTER ENCLOSURE	Site plan depicts 1) dumpster enclosures for garbage and recycle.	
ARCHITECTURAL DESIGN STANDARDS	This project has been reviewed for compliance with the Citywide Design Standards.	
STACKING REQUIREMENTS	N/A.	
	Public Works recommended approval of the proposed plan.	
	Required per Code	Provided
BUILDING HEIGHT	35 feet, maximum	30'-4"
SETBACKS (minimum)	Front = 25' Sides = 10', 25' street side Rear = 10', 25' street rear	The setbacks are consistent with the LMD zoning district.
PARKING	132 spaces required (Lot 1 and 2, Joint Parking Agreement)	132 provided (Lot 1 and 2, Joint Parking Agreement)

LANDSCAPE BUFFER	A wall is required in a landscape buffer strip where commercial uses abut property with single-family residential uses on the south side.	A landscape buffer with a wall has been provided along the south side of the site that is adjacent to single-family residential uses.
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NATURAL RESOURCE PROTECTION

The project has been reviewed for compliance with the requirements of Chapter 157, Natural Resource Protection Code, and documented as follows:

Native Habitat/Tree Protection: Upland mitigation was paid at time of construction for the Goodwill Center and included lots 1 and 2.

Wildlife Protection: The site has been cleared and landscaping has been installed.

CONCURRENCY REVIEW

The project has been reviewed for compliance with the City of Port St. Lucie regarding provision of adequate public facilities and documented as follows:

<i>CRITERIA</i>	<i>FINDINGS</i>
SEWER/WATER SERVICES	Sewer/water will be provided by City of Port St. Lucie Utility Systems Department. A developer's agreement with the City Utility Systems Department, that is consistent with the adopted level of service, is required prior to issuance of building permits.
TRANSPORTATION	For Lots 1 and 2, the proposed site plan is projected to generate 1,166 daily trips with 180 a.m. peak hour trips and 71 p.m. peak hour trips according to the ITE Trip Generation Manual 7 th Edition. Public Works has reviewed this project and recommended support of the proposed site plan.
PARKS AND RECREATION	N/A.
STORMWATER	A paving and drainage plan that is in compliance with the adopted level of service standard is required.
SOLID WASTE	Solid waste impacts are measured and planned based on population projections on an annual basis. There is adequate capacity available.
PUBLIC SCHOOL CONCURRENCY	N/A.

OTHER

Fire District: The access location (external and internal) has been reviewed by the Fire District for safety purposes.

Public Art (Chapter 162): This project was approved and partially constructed prior to Public Art requirements. No fee or art is required.

STAFF RECOMMENDATION

Planning and Zoning Department staff has reviewed the application to modify the building elevations. The Planning and Zoning Department staff finds the request to be consistent with the direction and intent of the City's Land Development Regulations and policies of the Comprehensive Plan and recommends approval.