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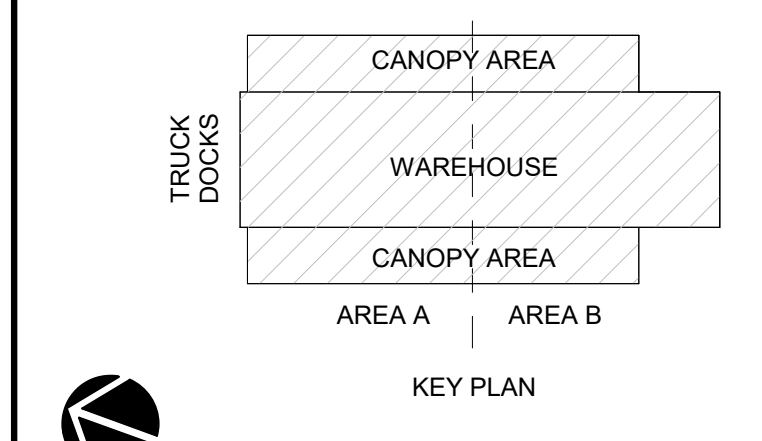
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**B1** OVERALL FLOOR PLAN  
1" = 40'-0"



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NO	DATE	REVISION/ SUBMISSION

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE AND ABILITY, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.

**NOT FOR CONSTRUCTION**

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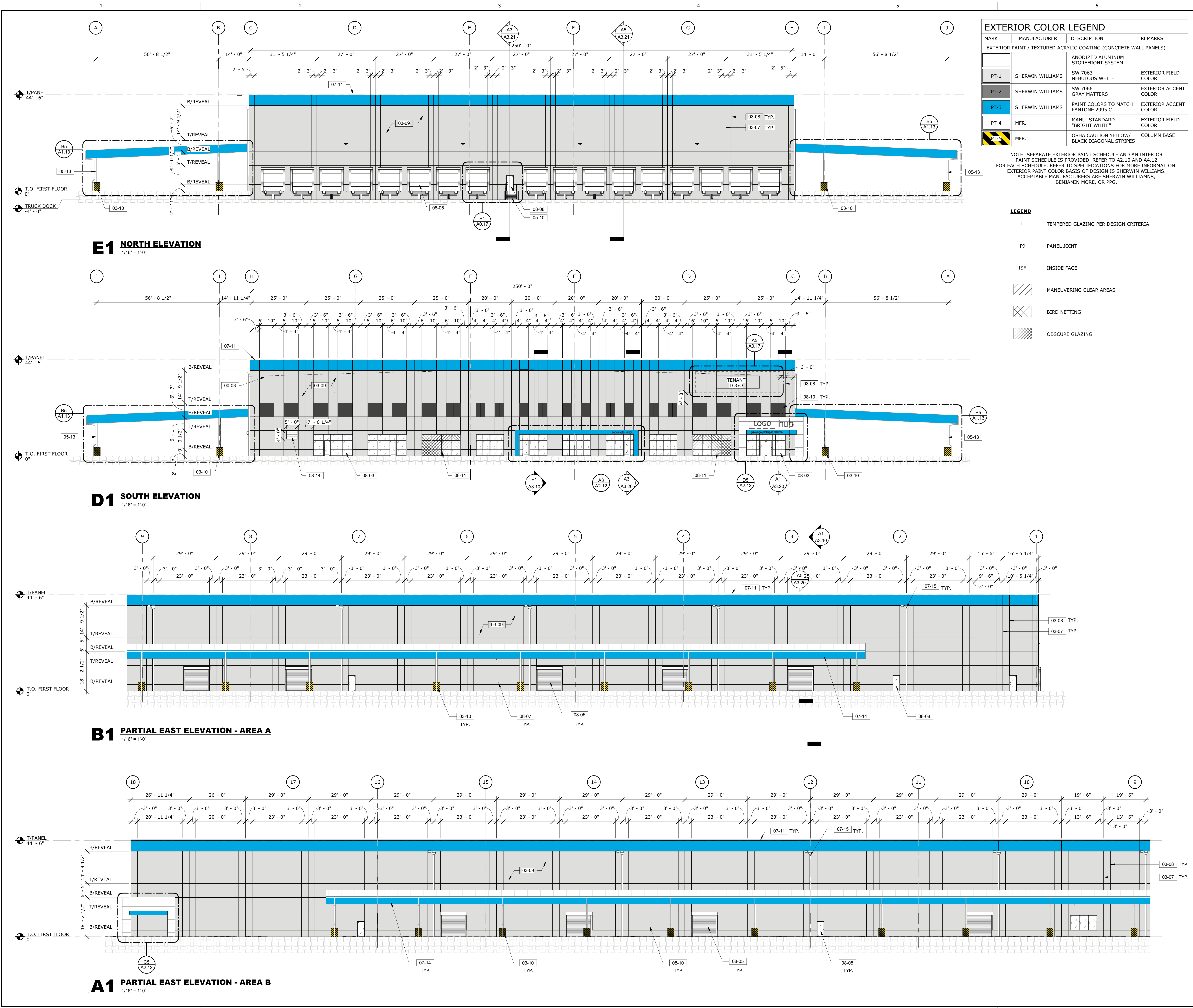
**LEGACY PARK AT TRADITION**

SW VILLAGE PARKWAY & SW BECKER ROAD  
PORT ST. LUCIE, FL 34953

**OVERALL FLOOR PLAN**

PROJECT NO: 210027 SHEET NUMBER: **A1.10**





### EXTERIOR COLOR LEGEND

MARK	MANUFACTURER	DESCRIPTION	REMARKS
EXTERIOR PAINT / TEXTURED ACRYLIC COATING (CONCRETE WALL PANELS)			
		ANODIZED ALUMINUM STOREFRONT SYSTEM	
PT-1	SHERWIN WILLIAMS	SW 7063 NEBULOUS WHITE	EXTERIOR FIELD COLOR
PT-2	SHERWIN WILLIAMS	SW 7066 GRAY MATTERS	EXTERIOR ACCENT COLOR
PT-3	SHERWIN WILLIAMS	PAINTE COLORS TO MATCH PANTONE 2995 C	EXTERIOR ACCENT COLOR
PT-4	MFR.	MANU. STANDARD "BRIGHT WHITE"	EXTERIOR FIELD COLOR
PT-5	MFR.	OSHA CAUTION YELLOW/BLACK DIAGONAL STRIPES	COLUMN BASE

NOTE: SEPARATE EXTERIOR PAINT SCHEDULE AND AN INTERIOR PAINT SCHEDULE IS PROVIDED. REFER TO A2.10 AND A4.12 FOR EACH SCHEDULE. REFER TO SPECIFICATIONS FOR MORE INFORMATION. EXTERIOR PAINT COLOR BASIS OF DESIGN IS SHERWIN WILLIAMS. ACCEPTABLE MANUFACTURERS ARE SHERWIN WILLIAMS, BENJAMIN MORE, OR PPG.

### LEGEND

T	TEMPERED GLAZING PER DESIGN CRITERIA
PJ	PANEL JOINT
ISF	INSIDE FACE
[Hatched Box]	MANEUVERING CLEAR AREAS
[Cross-hatched Box]	BIRD NETTING
[Dotted Box]	OBSCURE GLAZING

### GENERAL NOTES - EXTERIOR ELEVATIONS

- ELEVATION 0'-0" = FINISH FLOOR ELEVATION INDICATED IN CIVIL DRAWINGS.
- SEE PLANS AND WALL SECTIONS FOR ROUGH OPENING LOCATIONS AND WINDOW TYPES.
- SEE A5.13 FOR WINDOW TYPES.
- ALL STOREFRONT GLAZING TO BE INSULATED GLAZING TYPE, UNLESS NOTED OTHERWISE.
- VERIFY WITH AHJ FOR SITE REQUIREMENTS FOR TEMPERED INSULATED GLAZING BEFORE IMPLEMENTING.
- ALL FIXED INSULATED GLAZING SHALL BE CERTIFIED & LABELED WITH ITS MAX FACTOR & SOLAR HEAT GAIN COEFFICIENT BY AN INDEPENDENT AGENCY LICENSED BY THE NFRC, IN COMPLIANCE WITH THE VALUES LISTED IN THE DESIGN CRITERIA.
- PROVIDE AND COORDINATE KNOCKBOX LOCATION WITH FIRE DEPARTMENT AND ARCHITECT PRIOR TO INSTALL.
- ALL VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR, UNLESS NOTED OTHERWISE.
- CHANGE IN PAINT COLOR OCCURS AT BACK OF REVEAL, TYP, UNLESS NOTED OTHERWISE.
- ALUMINUM DOOR TO MATCH STOREFRONT SYSTEM, TYP, SEE DOOR SCHEDULE.
- PAINT ALL SIDES OF SOFFIT PT-3.
- REFER TO CANOPY DESIGN GUIDELINES FOR ADDITIONAL INFORMATION.
- REFER TO SHEET A0.17 FOR SIGNAGE AND GRAPHICS.

### KEYNOTE LEGEND

00-03	ROOF LINE BEYOND.
03-07	PANEL JOINT, SEE 2/A5.10.
03-08	PANEL REVEAL, SEE A5.10.
03-09	TILT UP CONCRETE PANEL, PAINT - REFER TO COLOR LEGEND.
03-10	CONCRETE COLUMN PROTECTION, PAINT - REFER TO COLOR LEGEND.
05-10	PRE-FABRICATED METAL STAIR AT TRUCK COURT, GALVANIZED (NO PAINT). SEE D4/A5.10.
05-13	STEEL STRUCTURE PAINT PT-1.
07-11	PRE-FINISHED METAL COPING, MFRS STANDARD COLOR TO MATCH PAINT PT-1.
07-14	CANOPY.
07-15	DOWNSPOUT AND THROUGHWALL SCUPPER AS REQUIRED, CONFIRM LOCATION, SIZE AND NUMBER WITH SITE CONDITIONS. ALIGN W/ PANEL JOINT, PAINT TO MATCH TILT-UP PANEL. CONNECT TO UNDERGROUND STORMWATER SYSTEM. SEE ELEVATIONS FOR ADDITIONAL INFORMATION. REFER TO DETAILS D1/A5.11, B2/A5.10 AND A3/A5.10.
08-03	ANODIZED ALUMINUM STOREFRONT SYSTEM - SEE EXTERIOR ELEVATIONS.
08-05	COILING OVERHEAD LOAD OUT DOOR (INSULATED), PRIMED AND FIELD PAINTED, PAINT - REFER TO COLOR LEGEND.
08-06	SECTIONAL OVERHEAD TRUCK DOCK DOOR (INSULATED) WITH BUMPERS AND DOCK SEAL, PRE-PRIMED, PAINT PER LEGEND, TYP. REFER TO E1/A0.17 FOR SIGNAGE AROUND DOOR.
08-07	KNOCK OUT PANEL. SEE STRUCTURAL.
08-08	HM DOOR AND FRAME, PAINT - REFER TO COLOR LEGEND.
08-10	KNOCK OUT WINDOW LOCATIONS AT SECOND LEVEL NOT A PART OF BASE SCOPE BUT INDICATE TENANTS PREFERRED LOCATION AS REQUIRED BY AHJ.
08-11	ADJUSTABLE ARM DOCK FANLIGHT COMBINATION.
08-14	ACCESS DOOR/HATCH, 3'-6" X 4'-0", MOUNTED AT 2'-0" A.F.F.

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**PROJECT SENIOR**  
 P21-057  
 SW VILLAGE PARKWAY & SW BECKER ROAD  
 PORT ST. LUCIE, FL 34953

**BUILDING ELEVATIONS**  
 PROJECT NO: 210027.00 SHEET NUMBER: **A2.10**

A2.10

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**EXTERIOR COLOR LEGEND**

MARK	MANUFACTURER	DESCRIPTION	REMARKS
EXTERIOR PAINT / TEXTURED ACRYLIC COATING (CONCRETE WALL PANELS)			
		ANODIZED ALUMINUM STOREFRONT SYSTEM	
PT-1	SHERWIN WILLIAMS	SW 7063 NEBULOUS WHITE	EXTERIOR FIELD COLOR
PT-2	SHERWIN WILLIAMS	SW 7066 GRAY MATTERS	EXTERIOR ACCENT COLOR
PT-3	SHERWIN WILLIAMS	PAINT COLORS TO MATCH PANTONE 2995 C	EXTERIOR ACCENT COLOR
PT-4	MFR.	MANU. STANDARD "BRIGHT WHITE"	EXTERIOR FIELD COLOR
PT-5	MFR.	OSHA CAUTION YELLOW/BLACK DIAGONAL STRIPES	COLUMN BASE

NOTE: SEPARATE EXTERIOR PAINT SCHEDULE AND AN INTERIOR PAINT SCHEDULE IS PROVIDED. REFER TO A2.10 AND A4.12 FOR EACH SCHEDULE. REFER TO SPECIFICATIONS FOR MORE INFORMATION. EXTERIOR PAINT COLOR BASIS OF DESIGN IS SHERWIN WILLIAMS. ACCEPTABLE MANUFACTURERS ARE SHERWIN WILLIAMS, BENJAMIN MORE, OR PPG.

**LEGEND**

- T TEMPERED GLAZING PER DESIGN CRITERIA
- PJ PANEL JOINT
- ISF INSIDE FACE
- MANEUVERING CLEAR AREAS
- BIRD NETTING
- OBSCURE GLAZING

**GENERAL NOTES- EXTERIOR ELEVATIONS**

- A ELEVATION 0'-0" = FINISH FLOOR ELEVATION INDICATED IN CIVIL DRAWINGS.
- B SEE PLANS AND WALL SECTIONS FOR ROUGH OPENING LOCATIONS AND WINDOW TYPES.
- C SEE A5.13 FOR WINDOW TYPES.
- D ALL STOREFRONT GLAZING TO BE INSULATED GLAZING TYPE, UNLESS NOTED OTHERWISE.
- E VERIFY WITH AHJ FOR SITE REQUIREMENTS FOR TEMPERED INSULATED GLAZING BEFORE IMPLEMENTING.
- F ALL FIXED INSULATED GLAZING SHALL BE CERTIFIED & LABELED WITH ITS MAX. I-FACTOR & SOLAR HEAT GAIN COEFFICIENT BY AN INDEPENDENT AGENCY LICENSED BY THE NFRC, IN COMPLIANCE WITH THE VALUES LISTED IN THE DESIGN CRITERIA.
- G PROVIDE AND COORDINATE KNOCKBOX LOCATION WITH FIRE DEPARTMENT AND ARCHITECT PRIOR TO INSTALL.
- H ALL VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR, UNLESS NOTED OTHERWISE.
- I CHANGE IN PAINT COLOR OCCURS AT BACK OF REVEAL, TYP, UNLESS NOTED OTHERWISE.
- J ALUMINUM DOOR TO MATCH STOREFRONT SYSTEM, TYP, SEE DOOR SCHEDULE.
- K PAINT ALL SIDES OF SOFFIT PT-3.
- L REFER TO CANOPY DESIGN GUIDELINES FOR ADDITIONAL INFORMATION.
- M REFER TO SHEET A0.17 FOR SIGNAGE AND GRAPHICS.

**KEYNOTE LEGEND**

- 03-07 PANEL JOINT, SEE 2/A5.10.
- 03-08 PANEL REVEAL, SEE A5.10.
- 03-09 TILT UP CONCRETE PANEL, PAINT - REFER TO COLOR LEGEND.
- 03-10 CONCRETE COLUMN PROTECTION, PAINT - REFER TO COLOR LEGEND.
- 07-11 PRE-FINISHED METAL COPING, MFRS STANDARD COLOR TO MATCH PAINT PT-1.
- 07-14 CANOPY.
- 07-15 DOWNSPOUT AND THROUGHWALL SCUPPER AS REQUIRED, CONFIRM LOCATION, SIZE AND NUMBER WITH SITE CONDITIONS. ALIGN W/ PANEL JOINT, PAINT TO MATCH TILT-UP PANEL. CONNECT TO UNDERGROUND STORMWATER SYSTEM. SEE ELEVATIONS FOR ADDITIONAL INFORMATION. REFER TO DETAILS 01/A5.11, B2/A5.10 AND A3/A5.10.
- 08-05 COLLING OVERHEAD LOAD OUT DOOR (INSULATED), PRIMED AND FIELD PAINTED, PAINT - REFER TO COLOR LEGEND.
- 08-07 KNOCK OUT PANEL, SEE STRUCTURAL.
- 08-08 HM DOOR AND FRAME, PAINT - REFER TO COLOR LEGEND.
- 08-10 KNOCK OUT WINDOW LOCATIONS AT SECOND LEVEL NOT A PART OF BASE SCOPE BUT INDICATE TENANTS PREFERRED LOCATION AS REQUIRED BY AHJ.
- 08-14 ACCESS DOOR/HATCH, 1'-6" X 4'-0", MOUNTED AT 2'-0" A.F.F.

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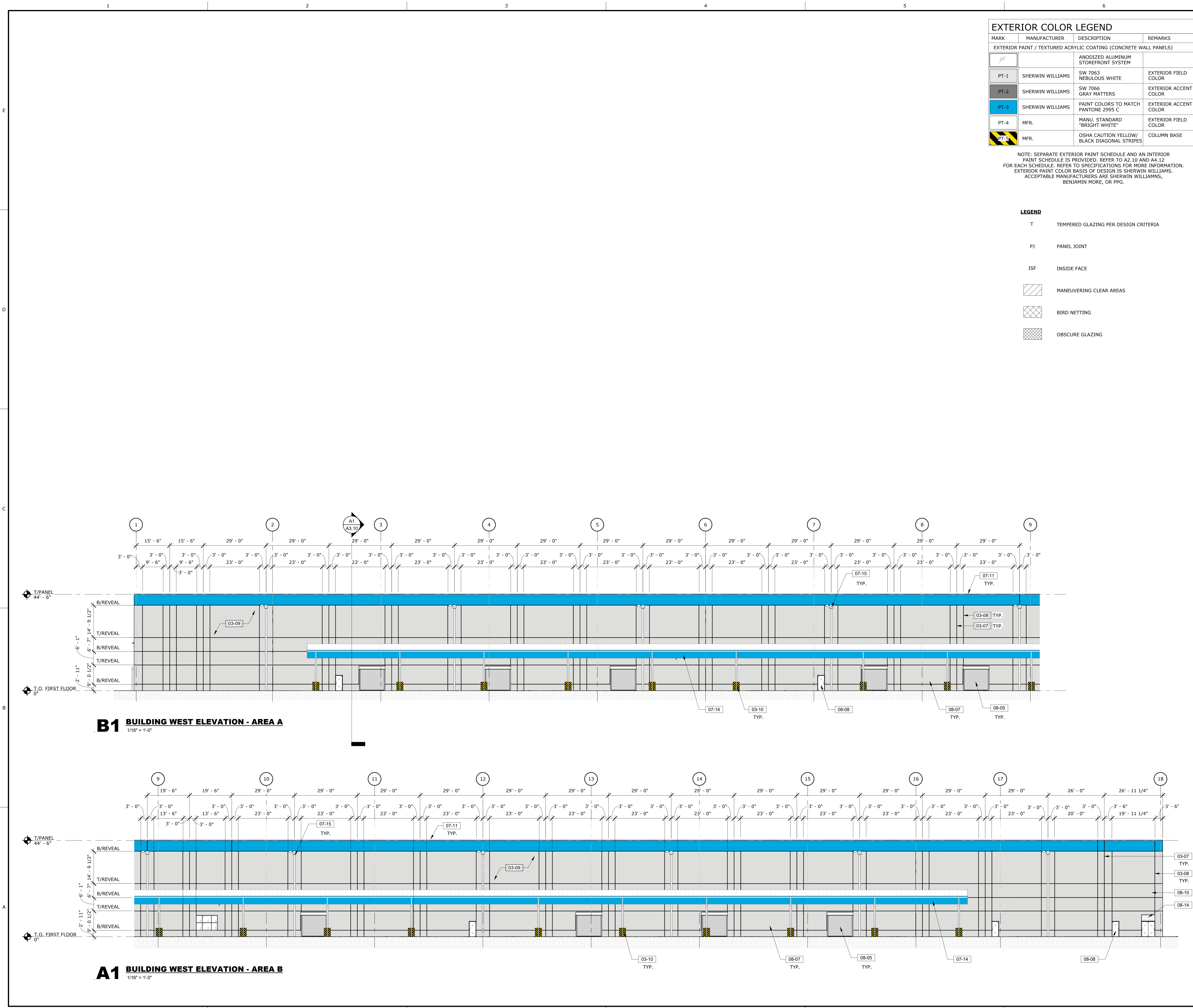
NO DATE	REVISION/ SUBMISSION

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 P21-057  
 SW VILLAGE PARKWAY & SW BECKER ROAD  
 PORT ST. LUCIE, FL 34953

**BUILDING ELEVATIONS**  
 PROJECT NO: 210027.00 SHEET NUMBER: **A2.11**



A2.11

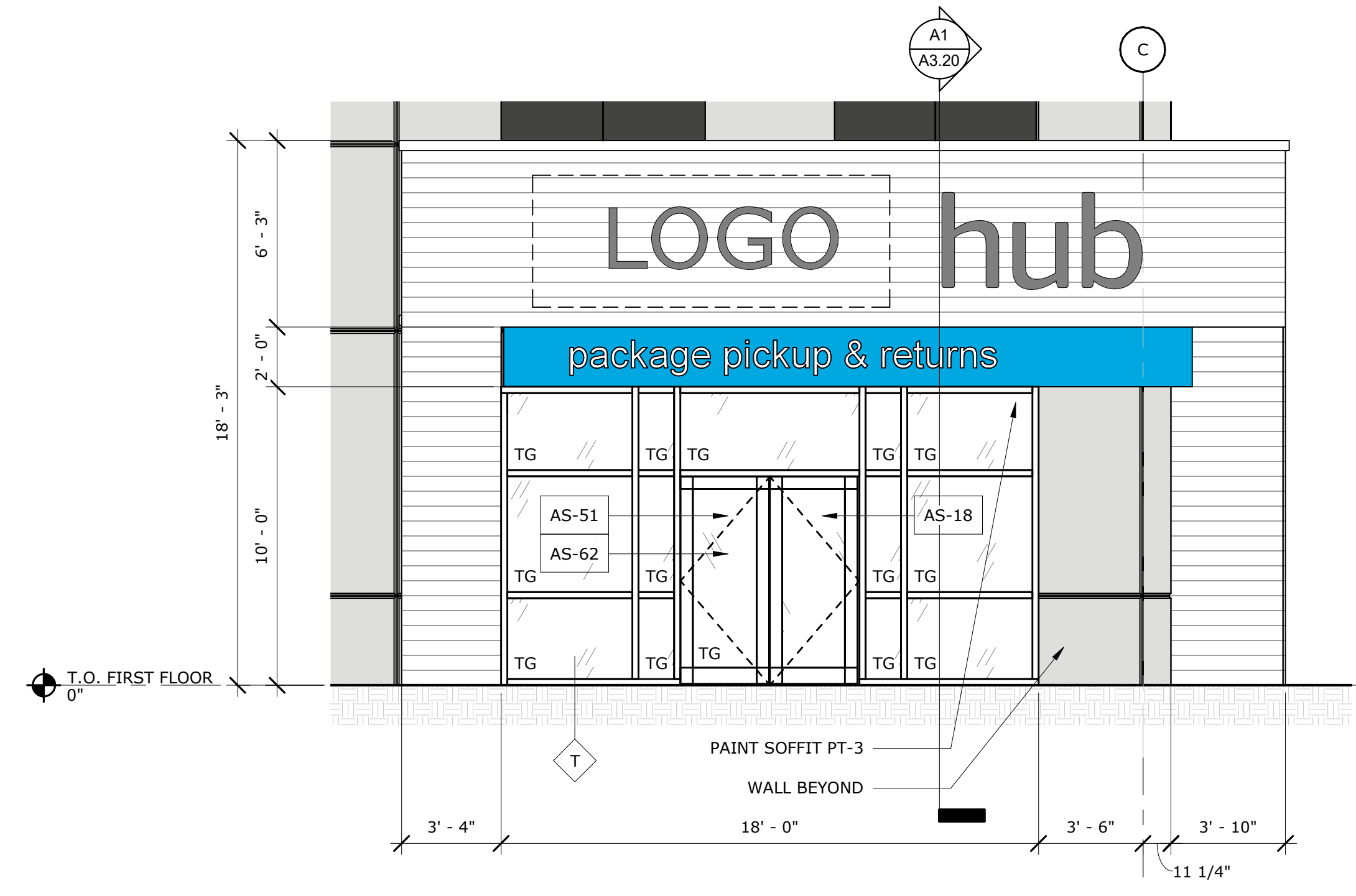
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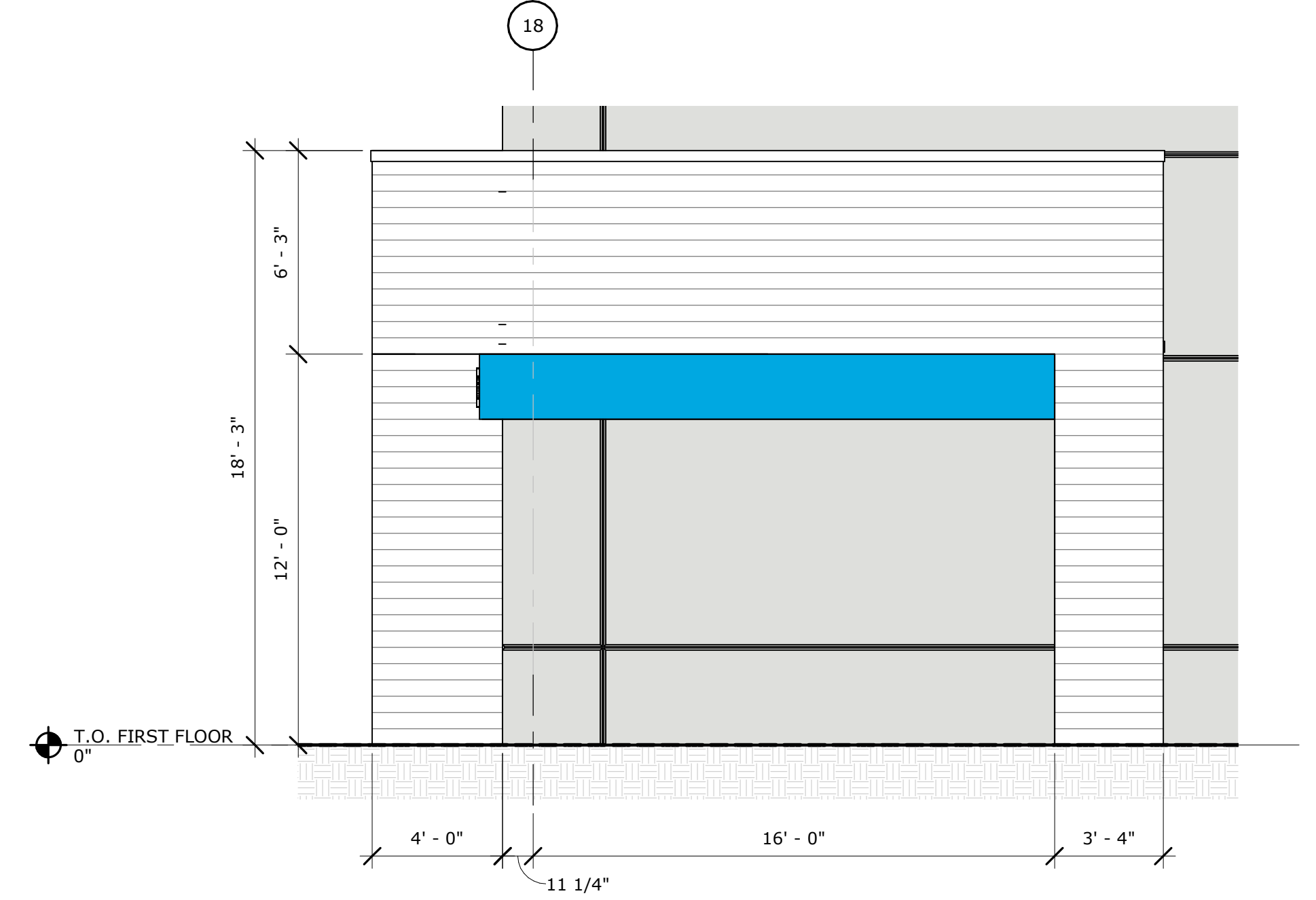
EXTERIOR COLOR LEGEND			
MARK	MANUFACTURER	DESCRIPTION	REMARKS
EXTERIOR PAINT / TEXTURED ACRYLIC COATING (CONCRETE WALL PANELS)			
		ANODIZED ALUMINUM STOREFRONT SYSTEM	
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PT-2	SHERWIN WILLIAMS	SW 7066 GRAY MATTERS	EXTERIOR ACCENT COLOR
PT-3	SHERWIN WILLIAMS	PAINT COLORS TO MATCH PANTONE 2995 C	EXTERIOR ACCENT COLOR
PT-4	MFR.	MANU. STANDARD "BRIGHT WHITE"	EXTERIOR FIELD COLOR
PT-5	MFR.	OSHA CAUTION YELLOW/BLACK DIAGONAL STRIPES	COLUMN BASE

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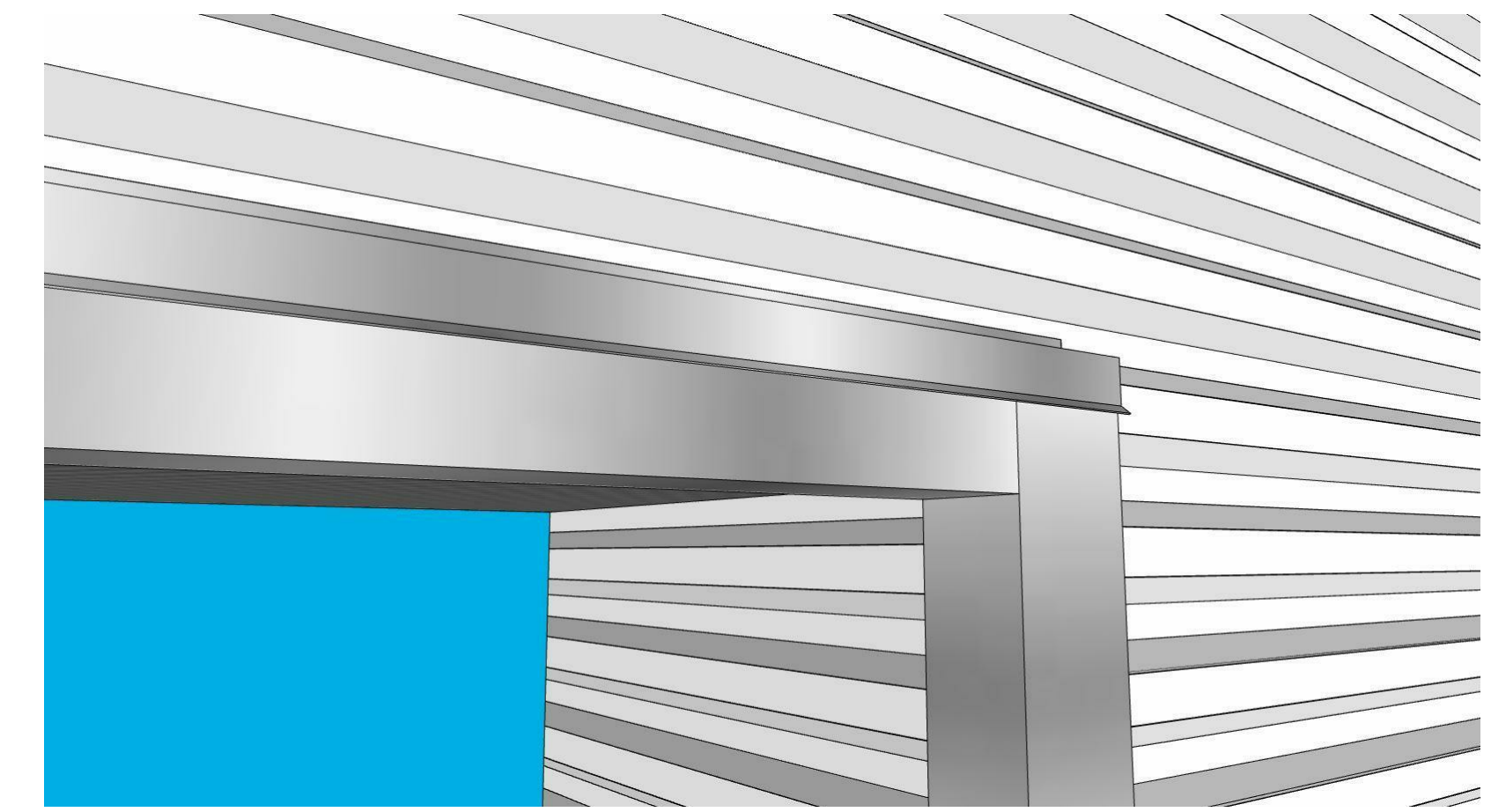
GENERAL NOTES- EXTERIOR ELEVATIONS	
A	ELEVATION 0'-0" = FINISH FLOOR ELEVATION INDICATED IN CIVIL DRAWINGS.
B	SEE PLANS AND WALL SECTIONS FOR ROUGH OPENING LOCATIONS AND WINDOW TYPES.
C	SEE A5.13 FOR WINDOW TYPES.
D	ALL STOREFRONT GLAZING TO BE INSULATED GLAZING TYPE, UNLESS NOTED OTHERWISE.
E	VERIFY WITH AHJ FOR SITE REQUIREMENTS FOR TEMPERED INSULATED GLAZING BEFORE IMPLEMENTING.
F	ALL FIXED INSULATED GLAZING SHALL BE CERTIFIED & LABELED WITH ITS MAX I-FACTOR & SOLAR HEAT GAIN COEFFICIENT BY AN INDEPENDENT AGENCY LICENSED BY THE NFRC, IN COMPLIANCE WITH THE VALUES LISTED IN THE DESIGN CRITERIA.
G	PROVIDE AND COORDINATE KNOXBOX LOCATION WITH FIRE DEPARTMENT AND ARCHITECT PRIOR TO INSTALL.
H	ALL VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR, UNLESS NOTED OTHERWISE.
I	CHANGE IN PAINT COLOR OCCURS AT BACK OF REVEAL, TYP, UNLESS NOTED OTHERWISE.
J	ALUMINUM DOOR TO MATCH STOREFRONT SYSTEM, TYP, SEE DOOR SCHEDULE.
K	PAINT ALL SIDES OF SOFFIT PT-3.
L	REFER TO CANOPY DESIGN GUIDELINES FOR ADDITIONAL INFORMATION.
M	REFER TO SHEET A0.17 FOR SIGNAGE AND GRAPHICS.



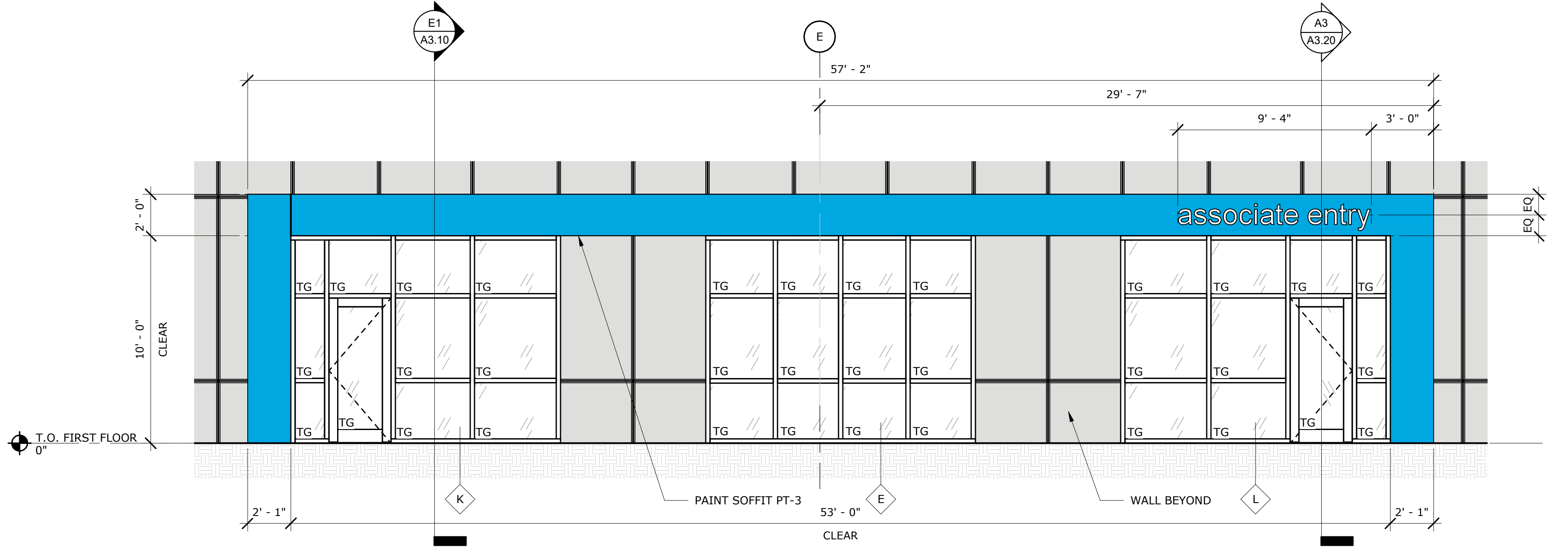
**D5 ENLARGED BUILDING SOUTH ELEVATION - HUB ENTRY**  
1/4" = 1'-0"



**C5 ENLARGED EAST ELEVATION - HUB ENTRY**  
1/4" = 1'-0"



**A2 TYPICAL CANOPY ENTRY TRIM END**  
3/32" = 1'-0"



**A3 ENLARGED SOUTH ELEVATION - ASSOCIATE ENTRY**  
1/4" = 1'-0"

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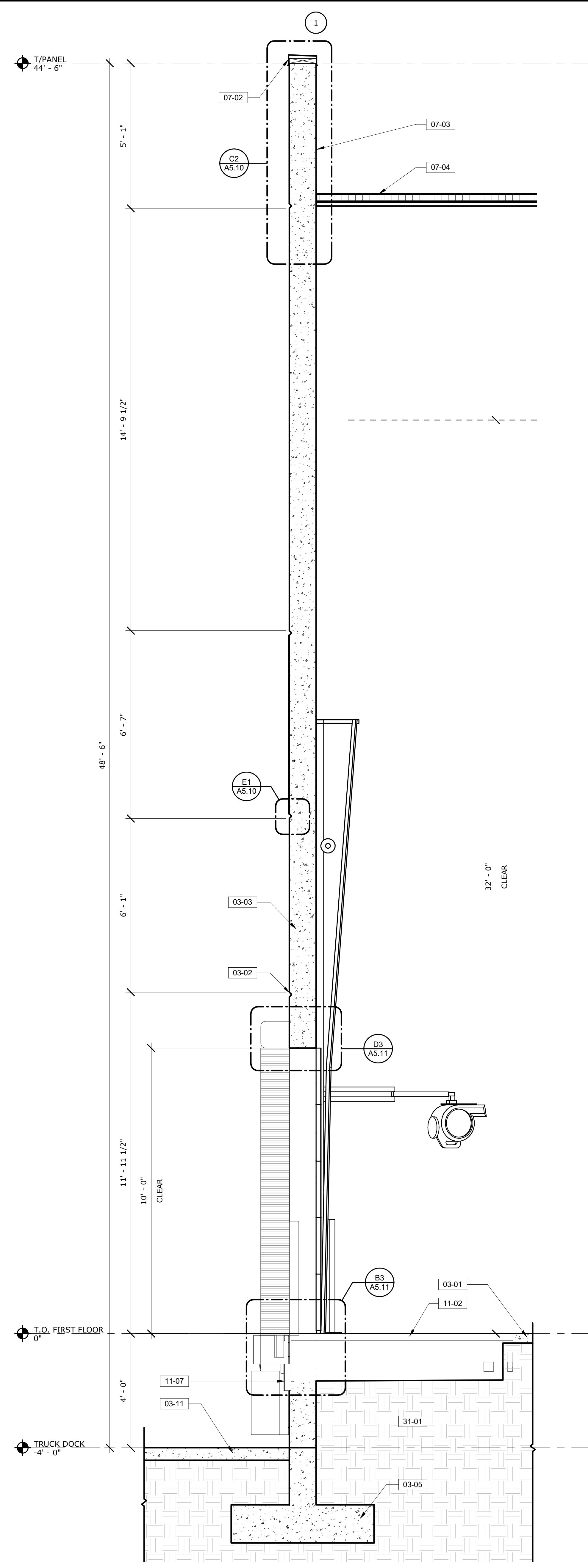
**PROJECT SENIOR**  
P21-057  
SW VILLAGE PARKWAY & SW BECKER ROAD  
PORT ST. LUCIE, FL 34953

**ENLARGED BUILDING ELEVATIONS**

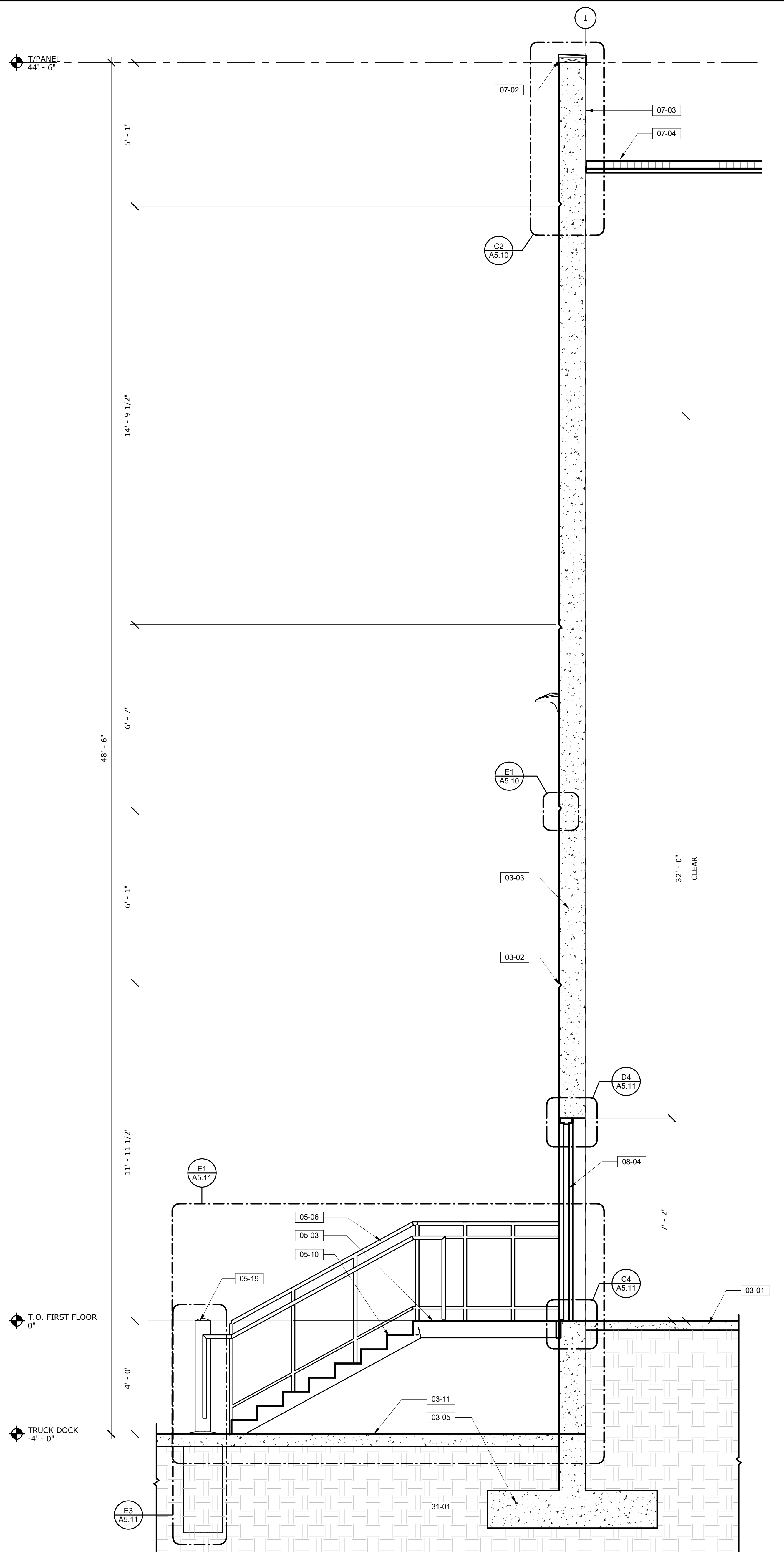
PROJECT NO: 210027.00 SHEET NUMBER: **A2.12**

A2.12 210027.00 3/31/2021 3:30:23 PM





**A3 WALL SECTION - DOCK DOOR**  
1/2" = 1'-0"



**A5 WALL SECTION - HM DOOR**  
1/2" = 1'-0"

GENERAL NOTES- WALL SECTIONS

- ALL INSULATION SHALL BE PER THE COVER SHEET NOTES AND LOCAL CODES.
- ANY FUTURE INSTALLED EXPOSED INSULATION AND FACING SHALL CONFORM TO LOCAL CODES SECTION 720

**KEYNOTE LEGEND**

03-01	REINFORCED CONCRETE SLAB, TYP.
03-02	REVEAL PER ELEVATIONS, TYP.
03-03	CONCRETE TILT-UP WALL PANELS PER STRUCTURAL, PAINT PER ELEVATIONS, TYP.
03-05	CONCRETE FOOTING PER STRUCTURAL.
03-11	CONCRETE TRUCK COURT PAVING SLOPE AWAY FROM BUILDING.
05-03	DESIGN BUILD STAIR INSTALLER TO PROVIDE CONNECTION TO STRUCTURE AND CONNECTIONS AS REQUIRED.
05-06	PROVIDE GUARDRAIL AT STAIR.
05-10	PRE-FABRICATED METAL STAIR AT TRUCK COURT, GALVANIZED (NO PAINT), SEE D4/A5.10.
05-19	STEEL PIPE BOLLARD, PAINTED CAUTION YELLOW.
07-02	METAL COPING, PER ELEVATIONS.
07-03	EXTEND TPO ROOFING UP OVER PANEL AND UNDER METAL COPING, AT PARAPETS PER MANUFACTURERS RECOMMENDATIONS, WHERE PARAPET EXCEEDS RECOMMENDED HEIGHT, INSTALL TERMINATION PARAS REQUIRED.
07-04	TPO ROOFING SYSTEM, PER ROOF PLAN.
08-04	HM DOOR AND FRAME, PAINT PER ELEVATIONS.
11-02	HYDRAULIC DOCK LEVELER.
11-07	TRAILER RESTRAINT.
31-01	STRUCTURAL FILL PER GEOTECHNICAL REPORT AND STRUCTURAL.

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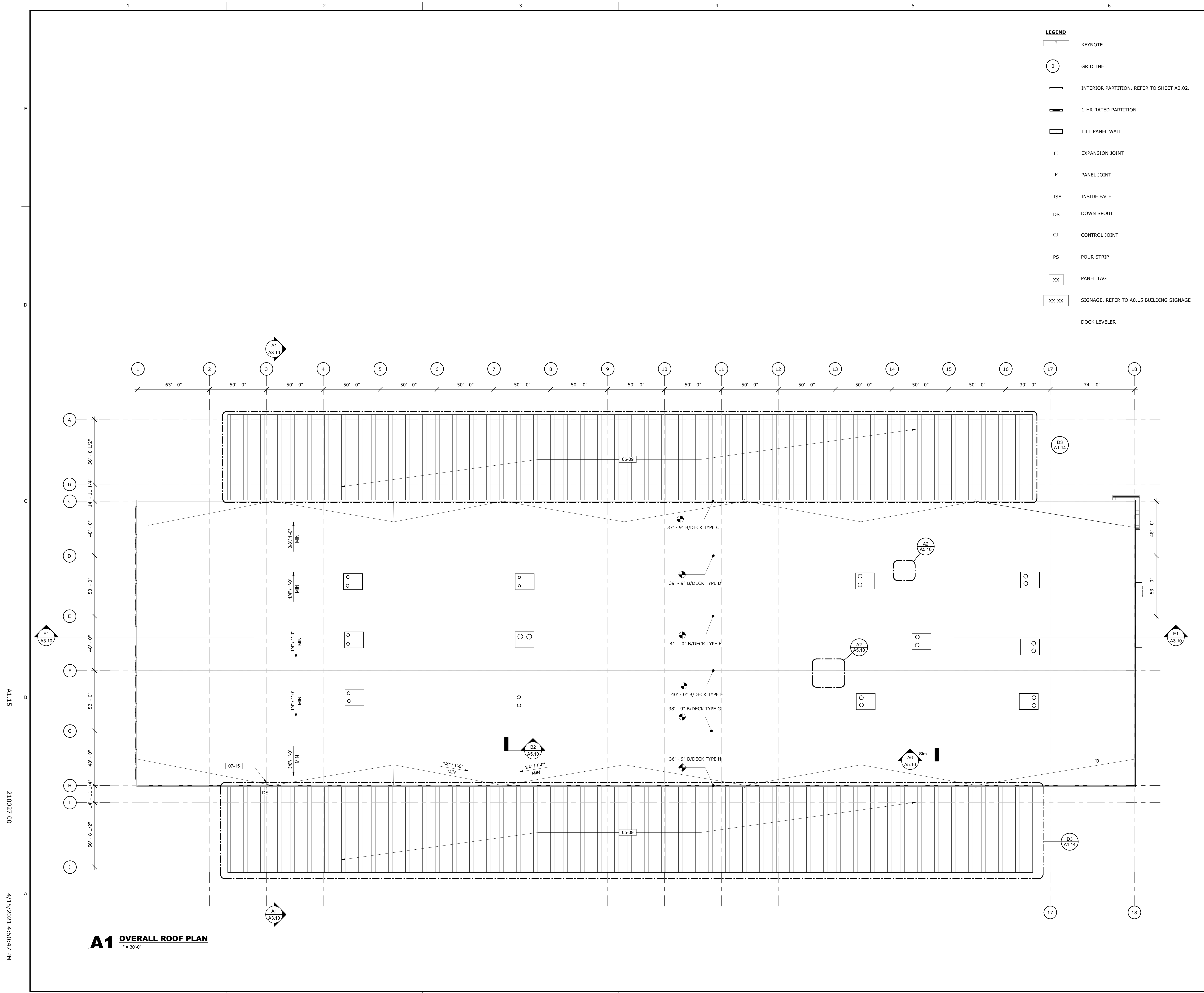
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**PROJECT SENIOR**  
P21-057  
SW VILLAGE PARKWAY & SW BECKER ROAD  
PORT ST. LUCIE, FL 34953

**WALL SECTIONS**  
PROJECT NO: 210027.00 SHEET NUMBER: **A3.21**

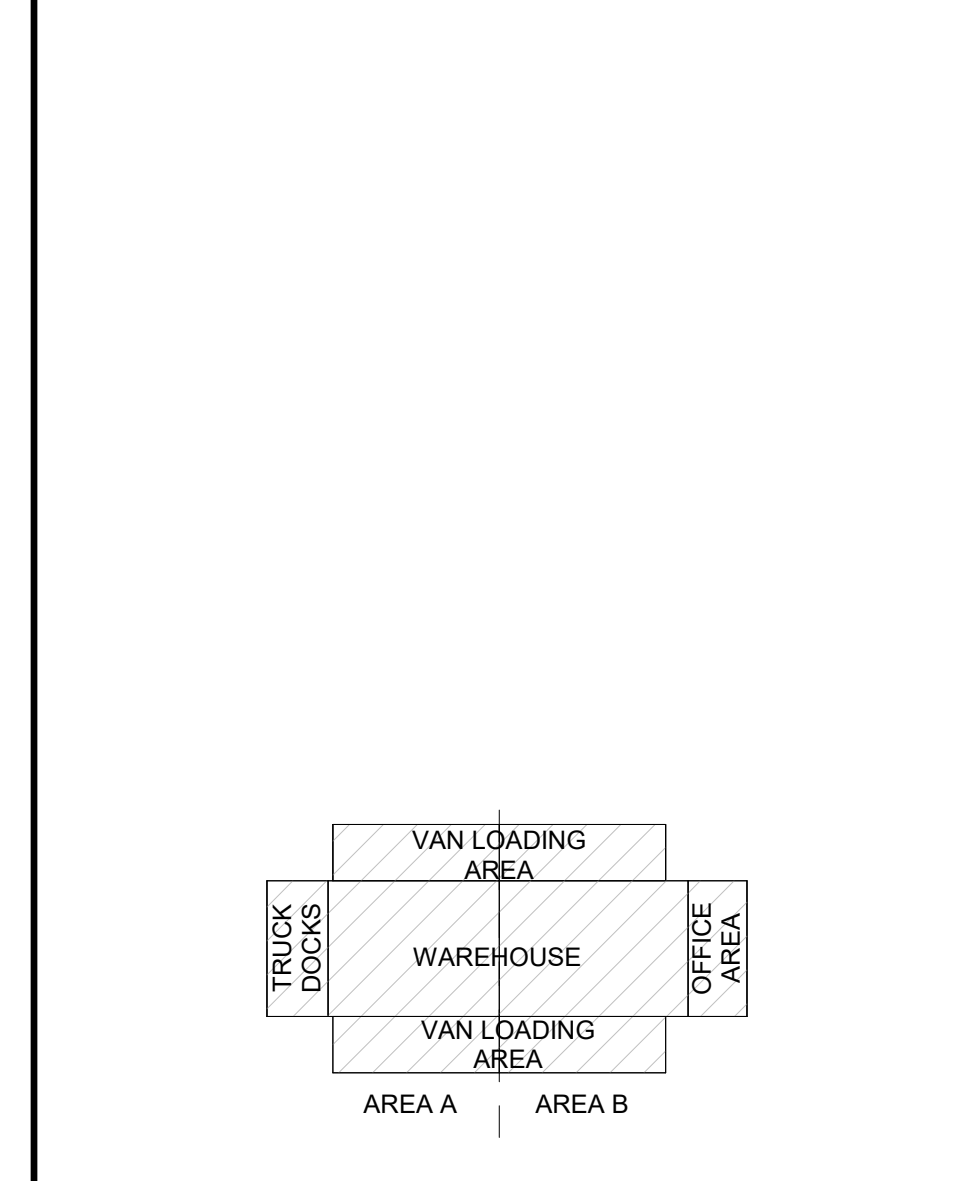
A3.21 210027.00 4/15/2021 2:41:27 PM



LEGEND	
(?)	KEYNOTE
(O)	GRIDLINE
---	INTERIOR PARTITION. REFER TO SHEET A0.02.
█	1-HR RATED PARTITION
▭	TILT PANEL WALL
EJ	EXPANSION JOINT
PJ	PANEL JOINT
ISF	INSIDE FACE
DS	DOWN SPOUT
CJ	CONTROL JOINT
PS	POUR STRIP
XX	PANEL TAG
XX-XX	SIGNAGE, REFER TO A0.15 BUILDING SIGNAGE
	DOCK LEVELER

GENERAL NOTES - ROOF PLAN	
A	MAINTAIN 1/4" PER FOOT MINIMUM SLOPE THROUGHOUT ROOF.
B	WALKWAY PADS TO BE PROVIDED AT AREAS SHOWN AND TO INCLUDE ALL EQUIPMENT INSTALLATIONS, DOORWAYS, STAIR/LADDER LANDINGS, AND OTHER AREAS REQUIRING REGULAR MAINTENANCE.
C	CONTRACTOR TO PROVIDE COVERS, ENCLOSURES, AND/OR SEALANTS AT ALL ROOF PENETRATIONS, PIPES, CURBS, DUCTS, AND CONNECTIONS. COORDINATE AND REFER TO MECHANICAL/ELECTRICAL DISCIPLINES FOR ADDITIONAL INFORMATION.
D	PROVIDE TAPERED INSULATION ROOF CRICKETS AT MECHANICAL UNITS AS REQUIRED. MIN SLOPE TO BE 1/4" / 1'-0". PROVIDE VALLEY SLOPES AS REQUIRED BY AHJ AND WARRANTY REQUIREMENTS.
E	ALL DIMENSIONS ARE FOR GENERAL ARRANGEMENT AND LOCATION ONLY. ACTUAL REQUIREMENTS AND DIMENSIONS SHALL BE VERIFIED AND COORDINATED WITH EQUIPMENT, SHOP DRAWINGS AND STRUCTURAL FRAMING.
F	SEE STRUCTURAL FRAMING PLAN FOR ROOF DECK HEIGHTS TO ESTABLISH ROOF SLOPES AND ROOF MEMBER LOCATIONS.
G	NO CONDUIT ON ROOF.
H	ALL COMPONENTS FOR THE ROOF DRAINAGE SYSTEM SHALL BE SIZED BASED ON A STORM OF 60 MINUTES DURATION AND 100 YEAR RETURN PERIOD PER LOCAL BUILDING CODE.
I	ALL ROOF MATERIALS SHALL COMPLY W/ THE STANDARDS AS SPECIFIED BY LOCAL CODE AND SHALL HAVE A FIRE CLASSIFICATION AS REQUIRED.
J	ALL ROOF DRAINS SHALL COMPLY WITH LOCAL BUILDING CODE. ALL STORM DRAINS SHALL PROVIDE CLEAN OUTS IN CONFORMANCE AS REQUIRED BY CODE.
K	ALL ROOF TOP EQUIPMENT AND DEVICES REQUIRING MAINTENANCE SHALL BE NO CLOSER THAN 20 FEET FROM THE PARAPET WALL.

KEYNOTE LEGEND	
00-00	
05-09	LAUNCH PAD CANOPY. SEE A1.13.
07-15	DOWNSPOUT AND THROUGHWALL SCUPPER AS REQUIRED, CONFIRM LOCATION, SIZE AND NUMBER WITH SITE CONDITIONS. ALIGN W/ PANEL JOINT, PAINT TO MATCH TILT-UP PANEL. CONNECT TO UNDERGROUND STORMWATER SYSTEM. SEE ELEVATIONS FOR ADDITIONAL INFORMATION. REFER TO DETAILS D1/A5.11, B2/A5.10 AND A3/A5.10.



NO DATE		REVISION/ SUBMISSION

TO THE BEST OF THE ARCHITECTS OR ENGINEERS' KNOWLEDGE AND ABILITY, THE PLANS AND SPECIFICATIONS CORRELATE WITH THE APPLICABLE MINIMUM BUILDING CODES.

JED PREST, AIA  
14988

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**PROJECT SENIOR**  
P21-057  
SW VILLAGE PARKWAY & SW BECKER ROAD  
PORT ST. LUCIE, FL 34953

**OVERALL ROOF PLAN**  
PROJECT NO: 210027.00 SHEET NUMBER: **A1.15**

**A1 OVERALL ROOF PLAN**  
1" = 30'-0"

A1.15 210027.00 4/15/2021 4:50:47 PM