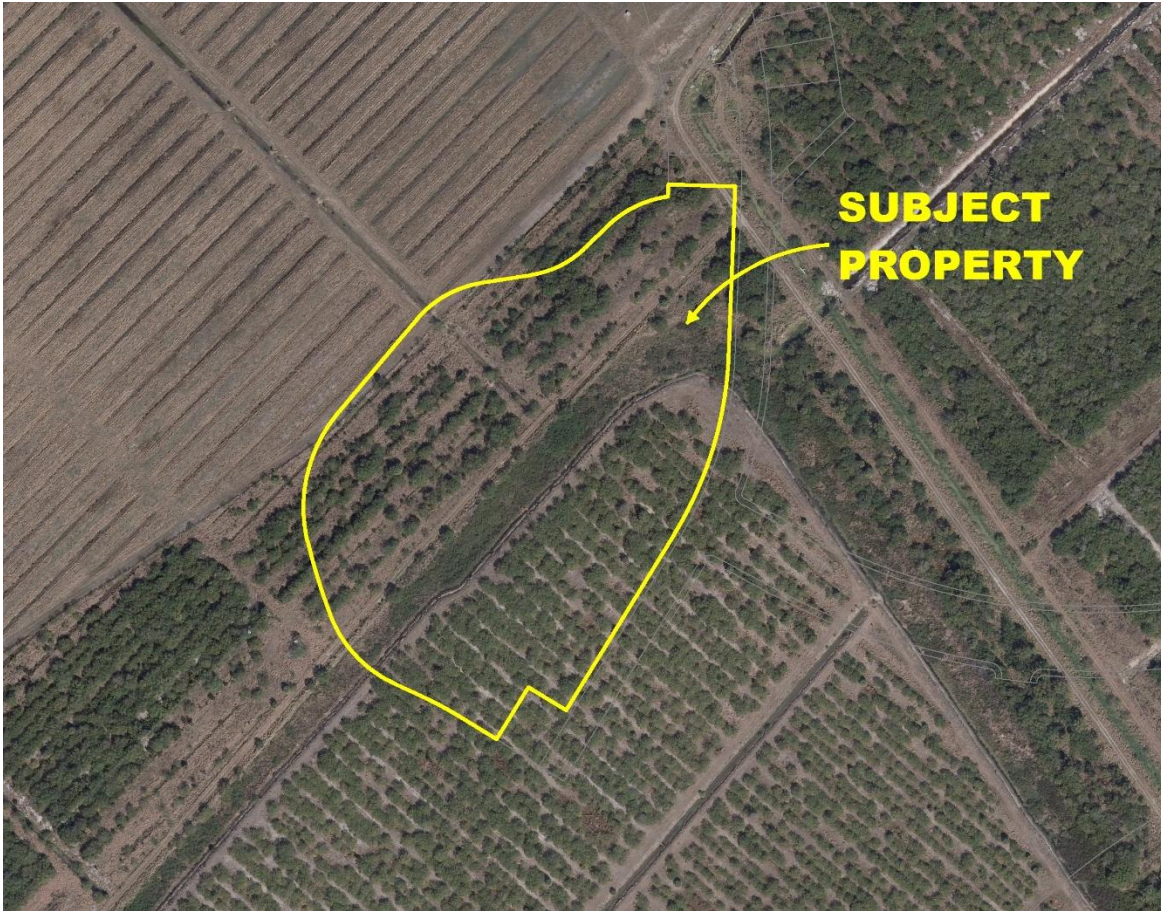




**Verano South - Pod G - Plat No. 6**  
**Final Subdivision Plat**  
**P22-022**



**Aerial Map**

**SUMMARY**

Applicant's Request:	Request for approval of a Final Plat that is 14.568 acres in area and includes one lot for a project known as Verano South POD G Plat No. 6.
Applicant:	Cotleur-Hearing / Daniel Sorrow, PLA
Property Owner:	Verano Development, LLC
Location:	West of Interstate 95, north of Crosstown Parkway, east of Glades Cut-off Road
Project Planner:	Holly F. Price, AICP, Senior Planner

**Project Description**

The applicant is requesting approval of a Final Plat that is 14.568 acres in area and includes one lot. There are no Construction Plans. A golf club clubhouse, a golf cart storage facility, and recreation facilities are planned to be built on the parcel in the future. The location of water, sewer, and drainage infrastructure will be identified on the Site Plan.

**Previous Actions and Prior Reviews**

The Site Plan Review Committee recommended approval of this Final Subdivision Plat on February 9, 2022.

**Related Projects**

P21-170 – Verano South Pod G PUD – Approved by City Council on November 8, 2021.

P21-209 – Verano South Pod G, Plat 4 Preliminary Plat – Approved by City Council on November 11, 2021.

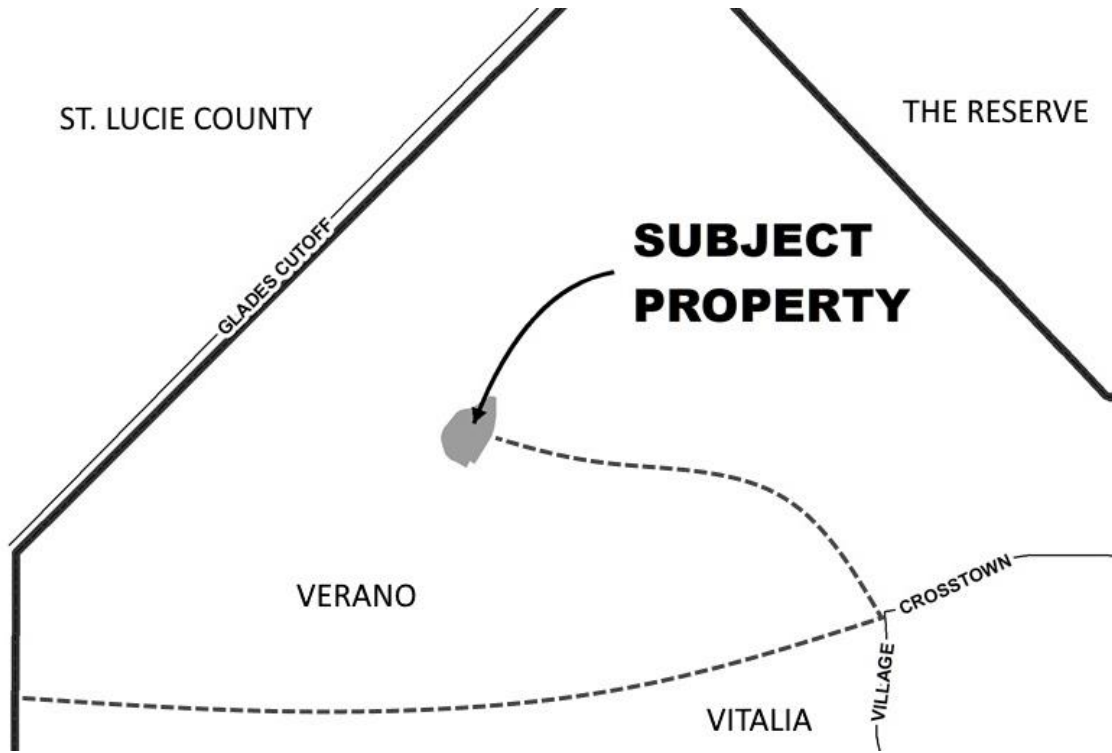
**Location and Site Information**

Property Size:	14.568 acres
Legal Description:	Being A Portion of Section 32, Township 36 South, Range 39 East City of Port St. Lucie, St. Lucie County, Florida.
Future Land Use:	Residential Golf Course (RGC)
Existing Zoning:	PUD (Planned Unit Development)
Existing Use:	Vacant land

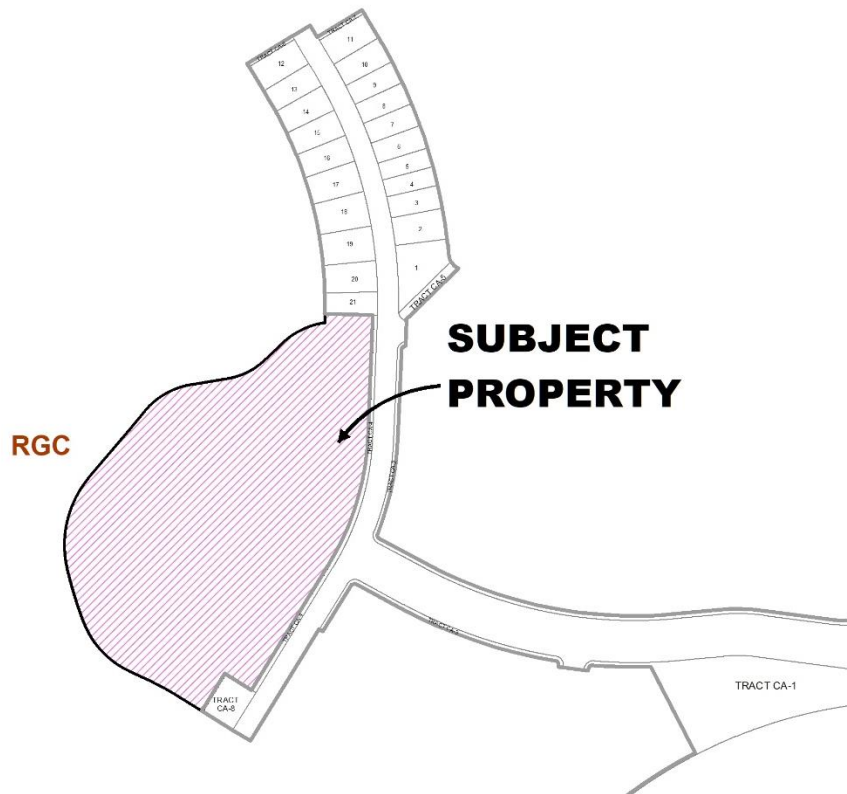
**Surrounding Uses**

Direction	Future Land Use	Zoning	Existing Use
North	RGC	PUD	Vacant
South	RGC	PUD	Vacant
East	RGC	PUD	Vacant
West	RGC	PUD	Vacant

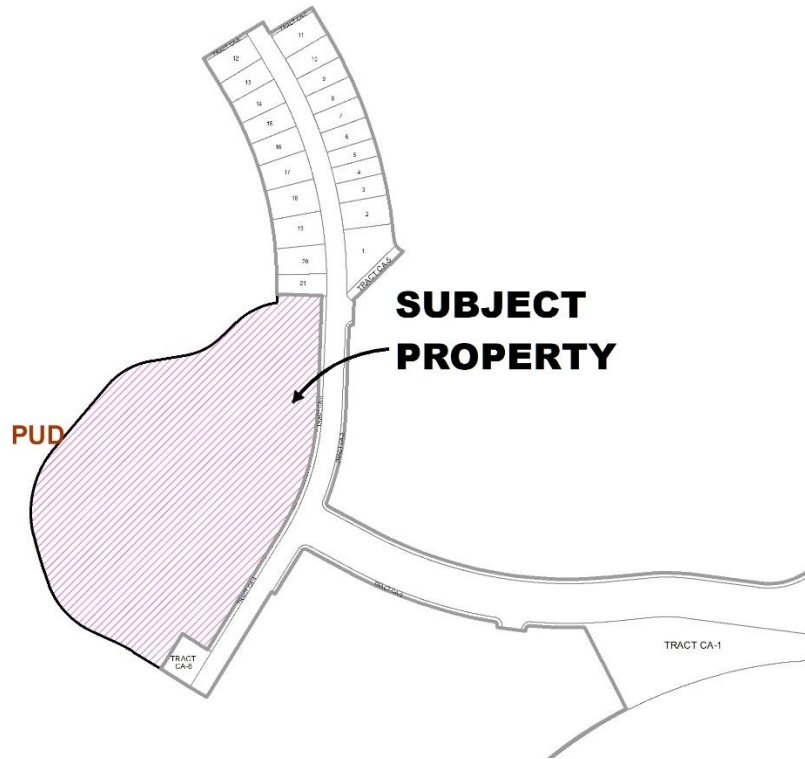
RGC (Residential Golf Club) – PUD (Planned Unit Development)



Location Map



Future Land Use



**Zoning Map**

**IMPACTS AND FINDINGS**

**CONCURRENCY REVIEW (CHAPTER 160)**

The project has been reviewed for compliance with Chapter 160, City Code, and the Verano Development of Regional Impact (DRI) Development Order, regarding provision of adequate public facilities and documented as follows:

<b><i>Sanitary Sewer and Potable Water Facilities</i></b>	Sewer/water service will be reviewed by Port St. Lucie Utility Systems Department at the time of site plan review. No proposed development at this time.
<b><i>Traffic Circulation</i></b>	Traffic generation will be reviewed at the time of site plan review.
<b><i>Parks and Recreation Facilities</i></b>	In future phases, as indicated by the DRI Development Order, the applicant will need to provide a 50-acre park site for public recreational uses.
<b><i>Stormwater Management Facilities</i></b>	Paving and drainage plans that are in compliance with the adopted level of service will be reviewed at the time of Site Plan review.
<b><i>Solid Waste</i></b>	Adequate capacity is available for future development.
<b><i>Public School Concurrency Analysis</i></b>	Not applicable.

**Native Habitat/Tree Protection:** Upland preservation/mitigation requirements for the Verano DRI are addressed in the Development Order. There are no preservation/mitigation requirements for this property.

**OTHER**

**Fire District:** No development proposed at this time.

**Public Art (Chapter 162):** For the development of single-family or duplex residential properties, the Developer has agreed to provide a major piece, or pieces, of art to be installed in a prominent or public place to meet the public art requirement. A bond has been submitted by the applicant to ensure that funds are available for this art piece(s).

Development of a recreation facility will require either the installation of public art or a fee. The requirement for public art will be reviewed at the time of Site Plan review.

**Public Works Traffic Analysis:**

A Traffic Analysis will be performed by the applicant and reviewed by staff at the time of Site Plan review.

**STAFF RECOMMENDATION**

The Site Plan Review Committee recommended approval of Verano South - Pod G - Plat No. 6 Final Plat on February 9, 2022.

The Planning and Zoning Department staff finds the request to be consistent with the direction and intent of the City's Land Development Regulations and policies of the Comprehensive Plan and recommends approval.