

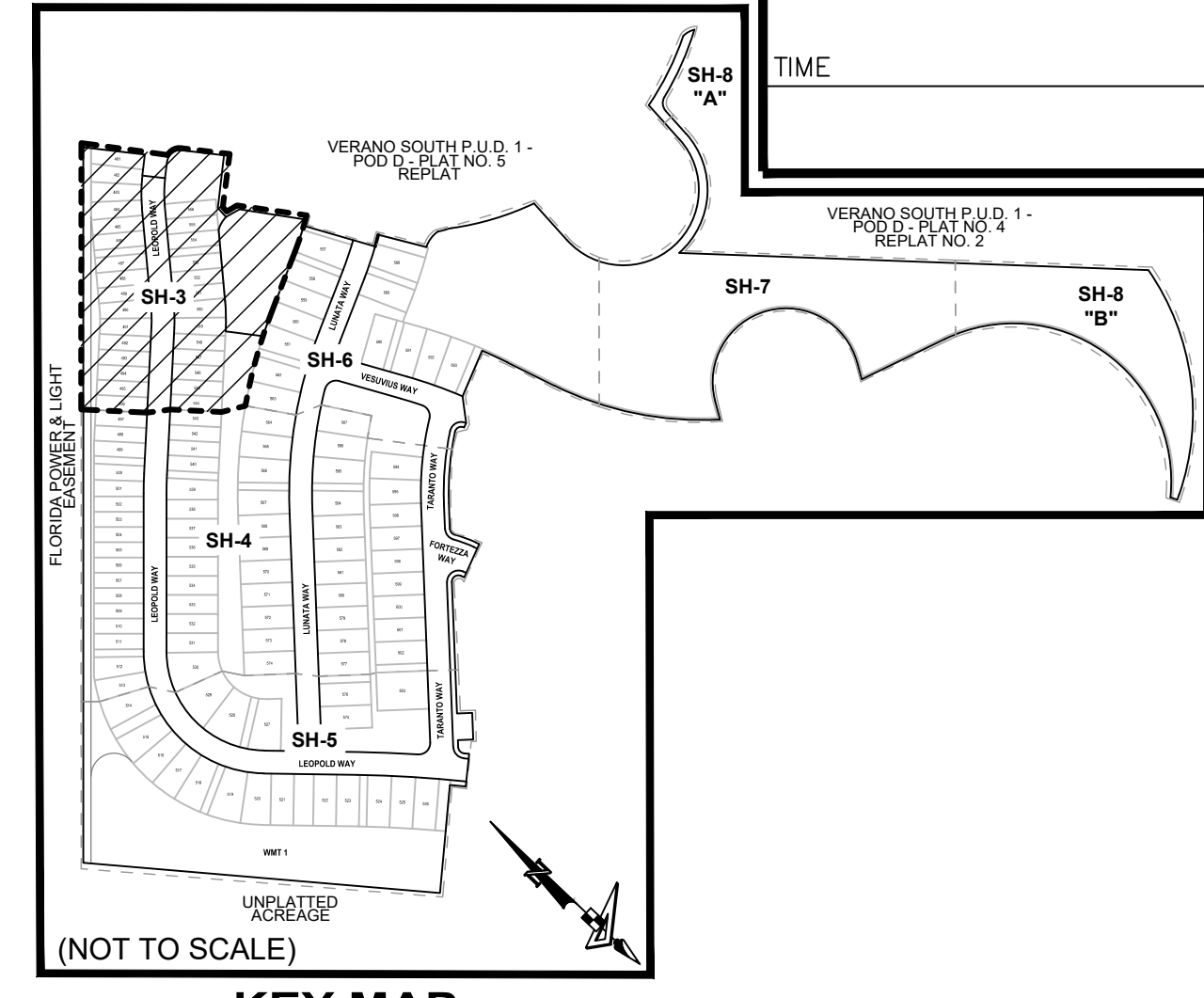
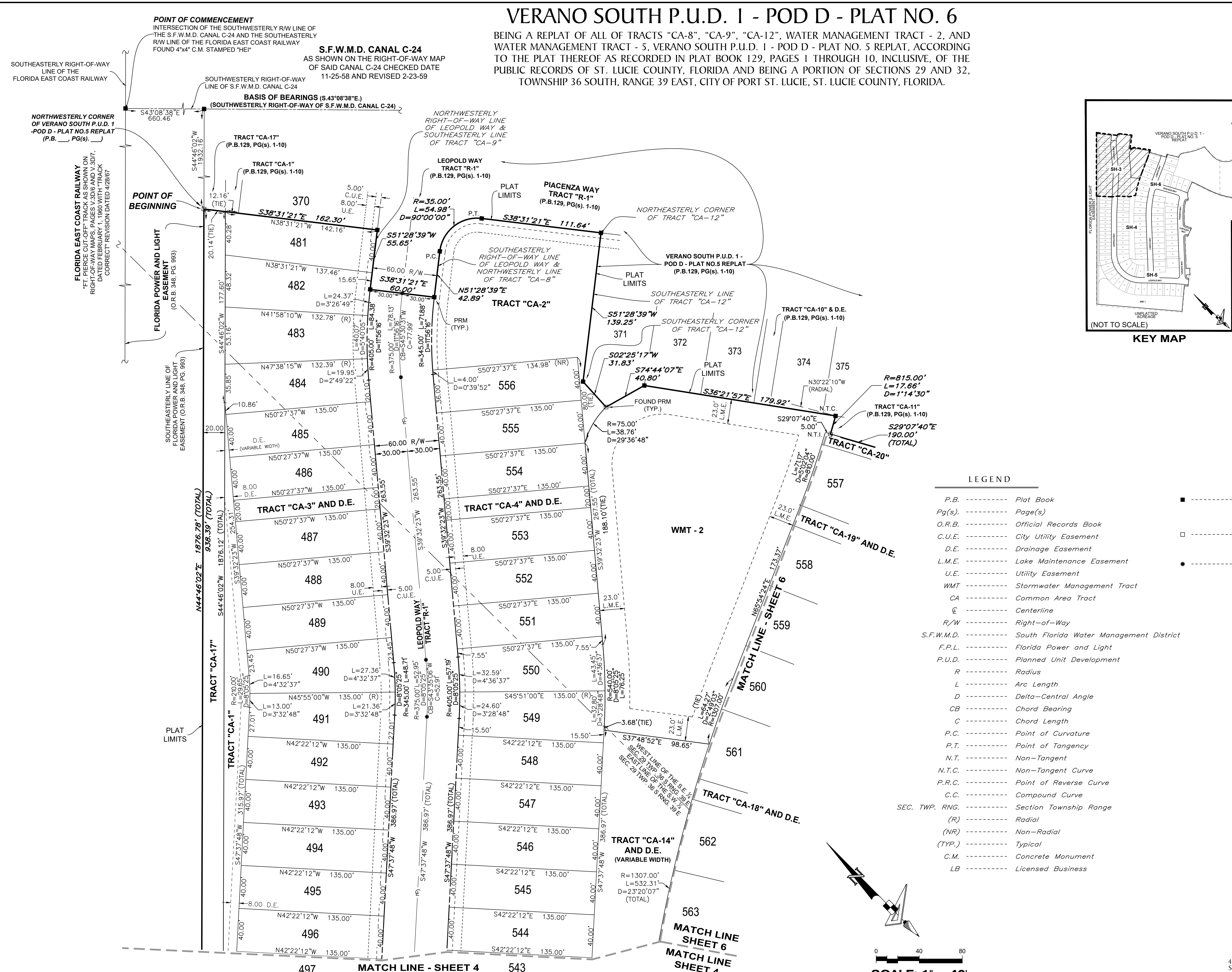




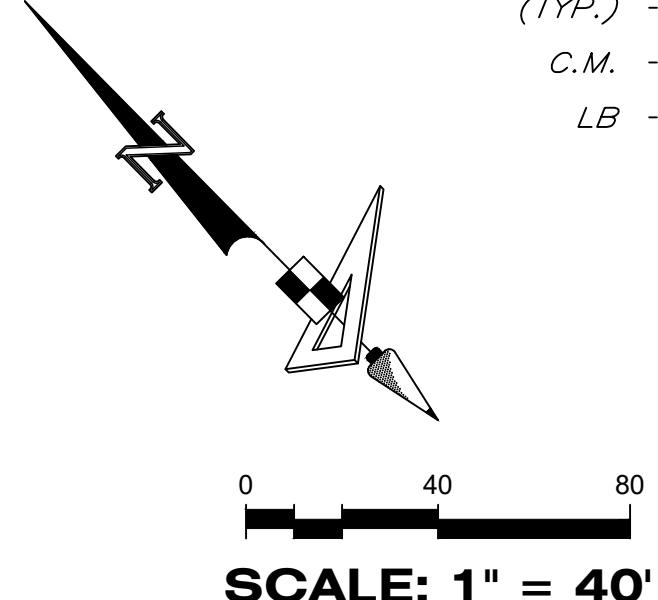
# VERANO SOUTH P.U.D. 1 - POD D - PLAT NO. 6

BEING A REPLAT OF ALL OF TRACTS "CA-8", "CA-9", "CA-12", WATER MANAGEMENT TRACT - 2, AND WATER MANAGEMENT TRACT - 5, VERANO SOUTH P.U.D. 1 - POD D - PLAT NO. 5 REPLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 129, PAGES 1 THROUGH 10, INCLUSIVE, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA AND BEING A PORTION OF SECTIONS 29 AND 32, TOWNSHIP 36 SOUTH, RANGE 39 EAST, CITY OF PORT ST. LUCIE, ST. LUCIE COUNTY, FLORIDA.

PLAT BOOK
PAGE
FILE NO.
DATE
TIME



- LEGEND**
- P.B. ----- Plat Book
  - Pg(s) ----- Page(s)
  - O.R.B. ----- Official Records Book
  - C.U.E. ----- City Utility Easement
  - D.E. ----- Drainage Easement
  - L.M.E. ----- Lake Maintenance Easement
  - U.E. ----- Utility Easement
  - WMT ----- Stormwater Management Tract
  - CA ----- Common Area Tract
  - ⊙ ----- Centerline
  - R/W ----- Right-of-Way
  - S.F.W.M.D. ----- South Florida Water Management District
  - F.P.L. ----- Florida Power and Light
  - P.U.D. ----- Planned Unit Development
  - R ----- Radius
  - L ----- Arc Length
  - D ----- Delta-Central Angle
  - CB ----- Chord Bearing
  - C ----- Chord Length
  - P.C. ----- Point of Curvature
  - P.T. ----- Point of Tangency
  - N.T. ----- Non-Tangent
  - N.T.C. ----- Non-Tangent Curve
  - P.R.C. ----- Point of Reverse Curve
  - C.C. ----- Compound Curve
  - SEC. TWP. RNG. ----- Section Township Range
  - (R) ----- Radial
  - (NR) ----- Non-Radial
  - (TYP.) ----- Typical
  - C.M. ----- Concrete Monument
  - LB ----- Licensed Business
- ----- Indicates (PRM) Permanent Reference Monument - 4"x4" Concrete Monument LB7768 (Unless Otherwise Noted)
  - ----- Indicates found (PRM) Permanent Reference Monument - 4"x4" Concrete Monument LB7768 (Unless Otherwise Noted)
  - ----- Indicates (PCP) Permanent Control Point LB7768

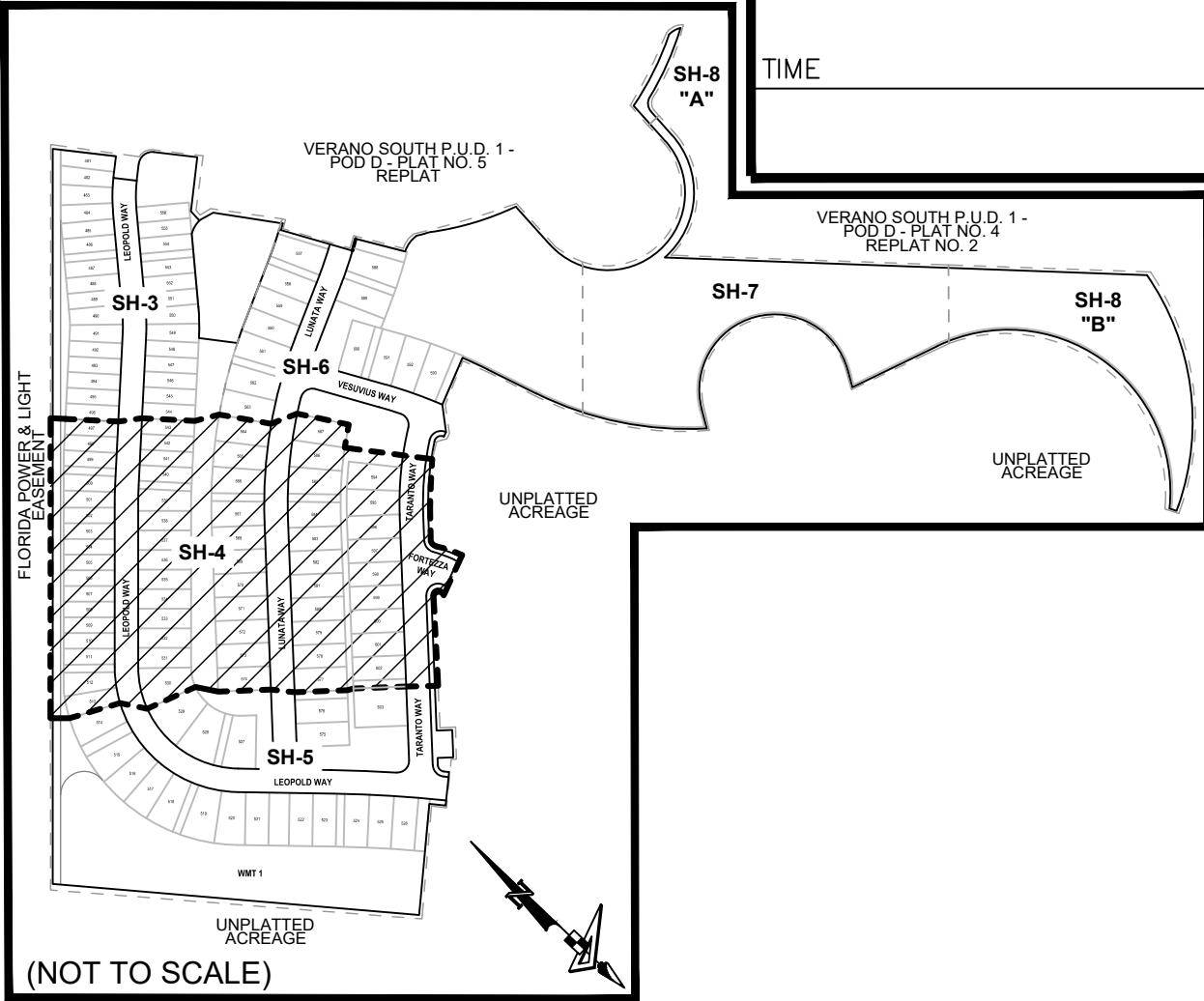
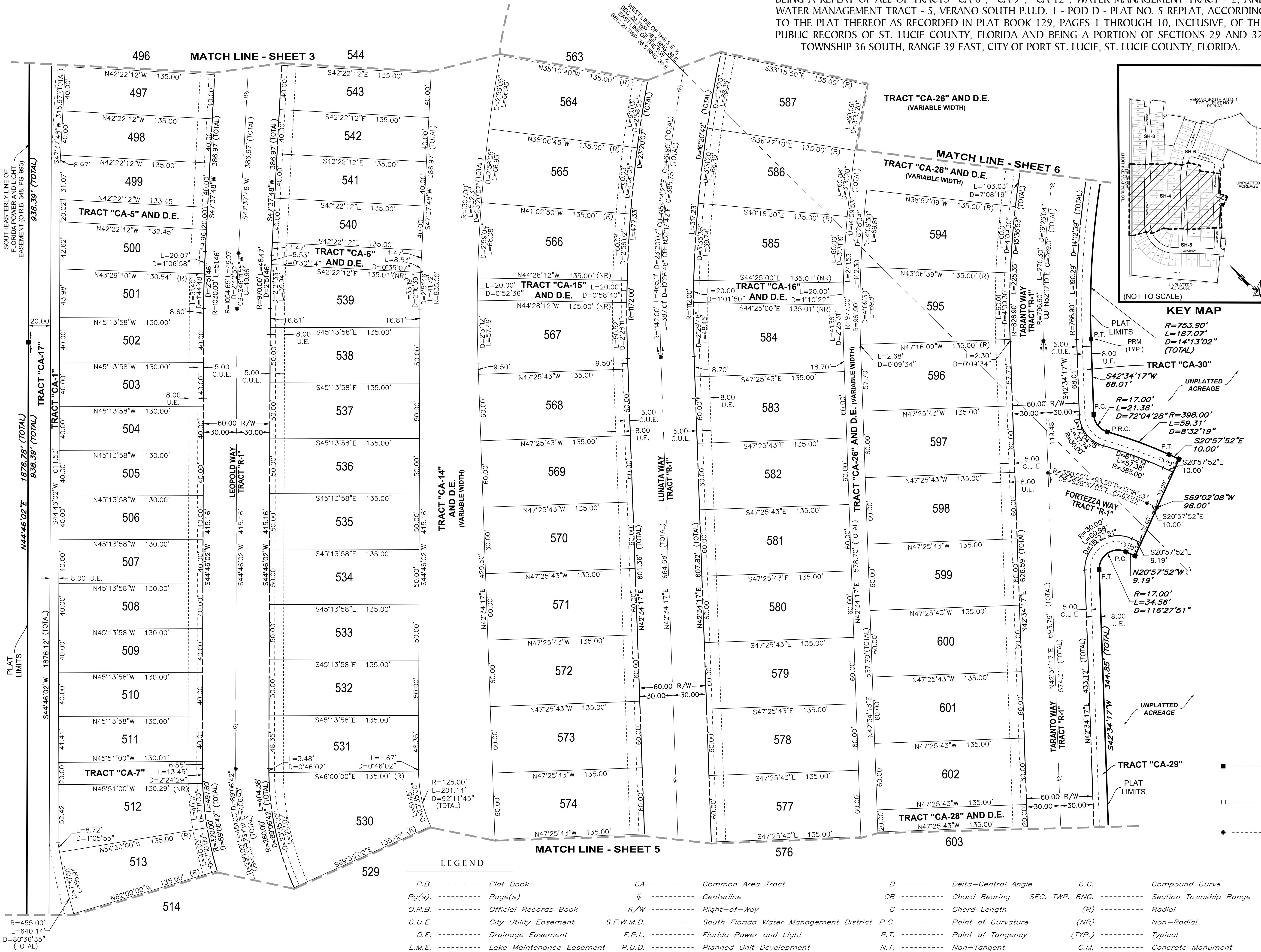


DRAWN BY: WALTER/PLATTING/VERANO SOUTH P.U.D. 1 - POD D - PLAT NO. 5 REPLAT; CHECKED BY: SERGIO MACHADO; DATE: 12/28/24 11:59 AM; LAST SAVED BY: SERGIO MACHADO; ON: 12/28/24 11:59 AM

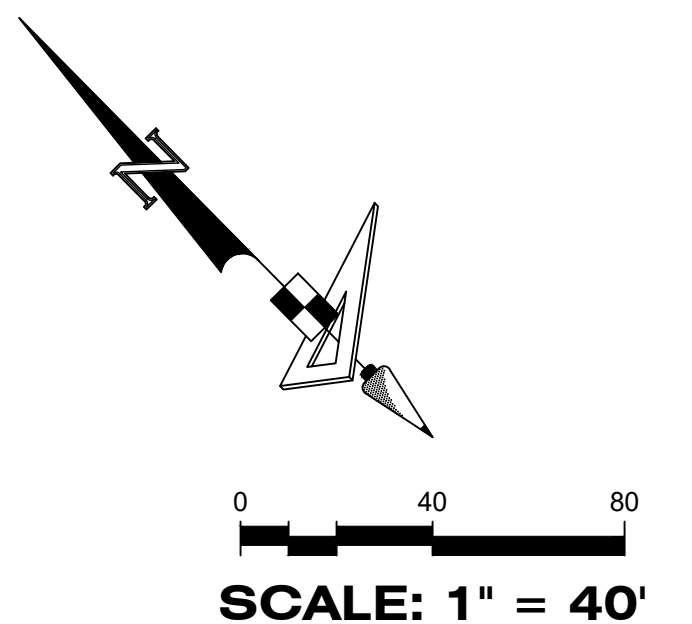
# VERANO SOUTH P.U.D. I - POD D - PLAT NO. 6

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PLAT BOOK	
PAGE	
FILE NO.	
DATE	
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KEY MAP



PSLUSD # P24-048  
CITY OF PORT ST. LUCIE PROJECT NO. (11-652-33E)

**LEGEND**

P.B. ----- Plat Book	CA ----- Common Area Tract
Pg(s) ----- Page(s)	C ----- Centerline
O.R.B. ----- Official Records Book	R/W ----- Right-of-Way
C.U.E. ----- City Utility Easement	S.F.W.M.D. ----- South Florida Water Management District
D.E. ----- Drainage Easement	F.P.L. ----- Florida Power and Light
L.M.E. ----- Lake Maintenance Easement	P.U.D. ----- Planned Unit Development
U.E. ----- Utility Easement	R ----- Radius
WMT ----- Stormwater Management Tract	L ----- Arc Length

D ----- Delta—Central Angle	C.C. ----- Compound Curve
CB ----- Chord Bearing	SEC. TWP. RNG. ----- Section Township Range
C ----- Chord Length	(R) ----- Radial
P.C. ----- Point of Curvature	(NR) ----- Non—Radial
P.T. ----- Point of Tangency	(TYP.) ----- Typical
N.T. ----- Non—Tangent	C.M. ----- Concrete Monument
N.T.C. ----- Non—Tangent Curve	LB ----- Licensed Business
P.R.C. ----- Point of Reverse Curve	

- LEGEND**
- Indicates (PRM) Permanent Reference Monument—4"x4" Concrete Monument LB7768 (Unless Otherwise Noted)
  - Indicates found (PRM) Permanent Reference Monument—4"x4" Concrete Monument LB7768 (Unless Otherwise Noted)
  - Indicates (PCP) Permanent Control Point LB7768

**GeoPoint Surveying, Inc.**

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**SHEET 04 OF 08 SHEETS**

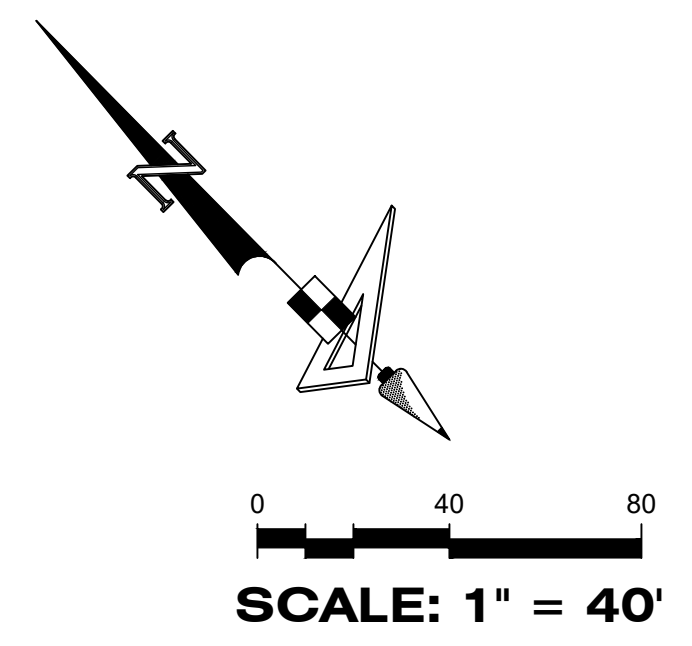
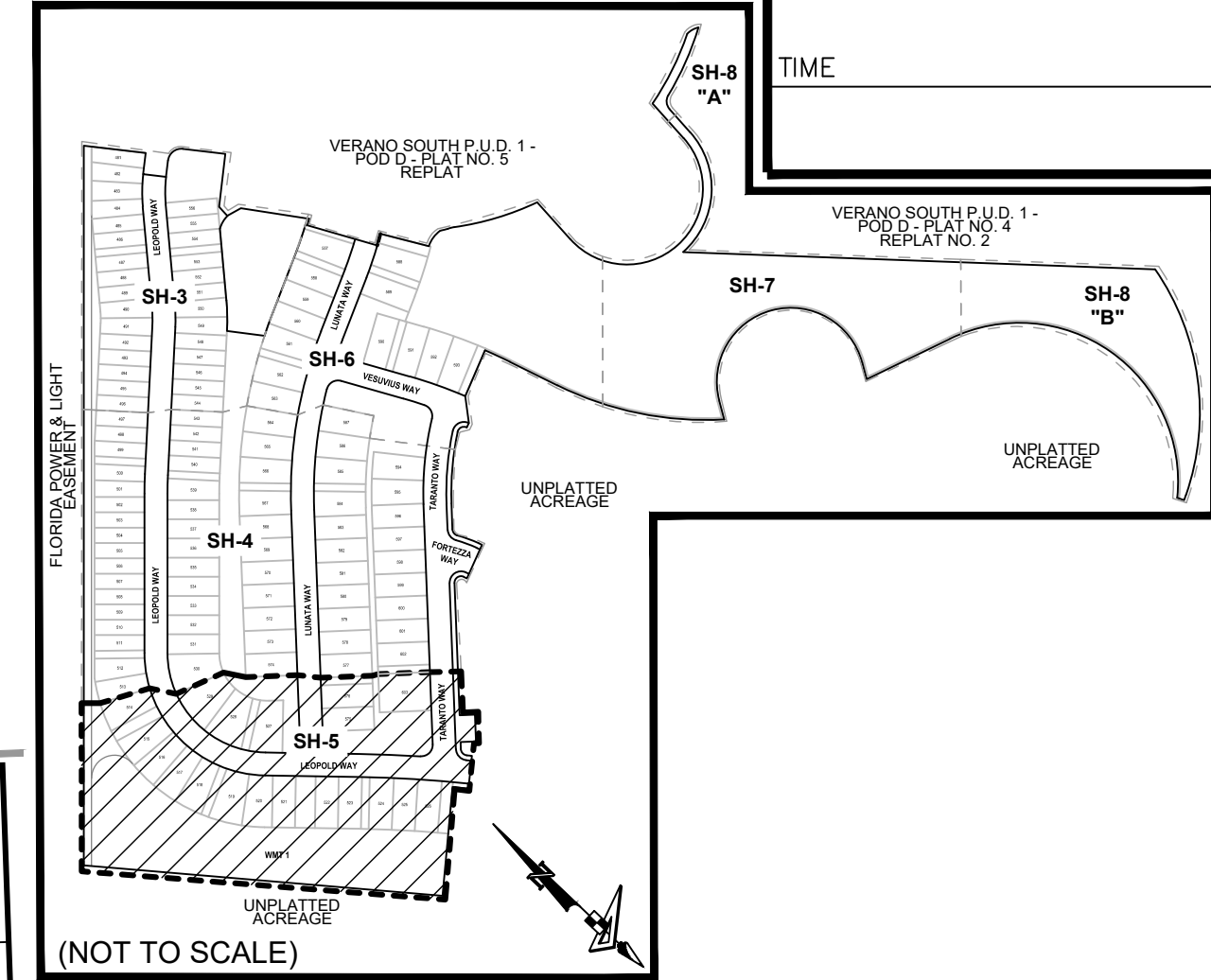
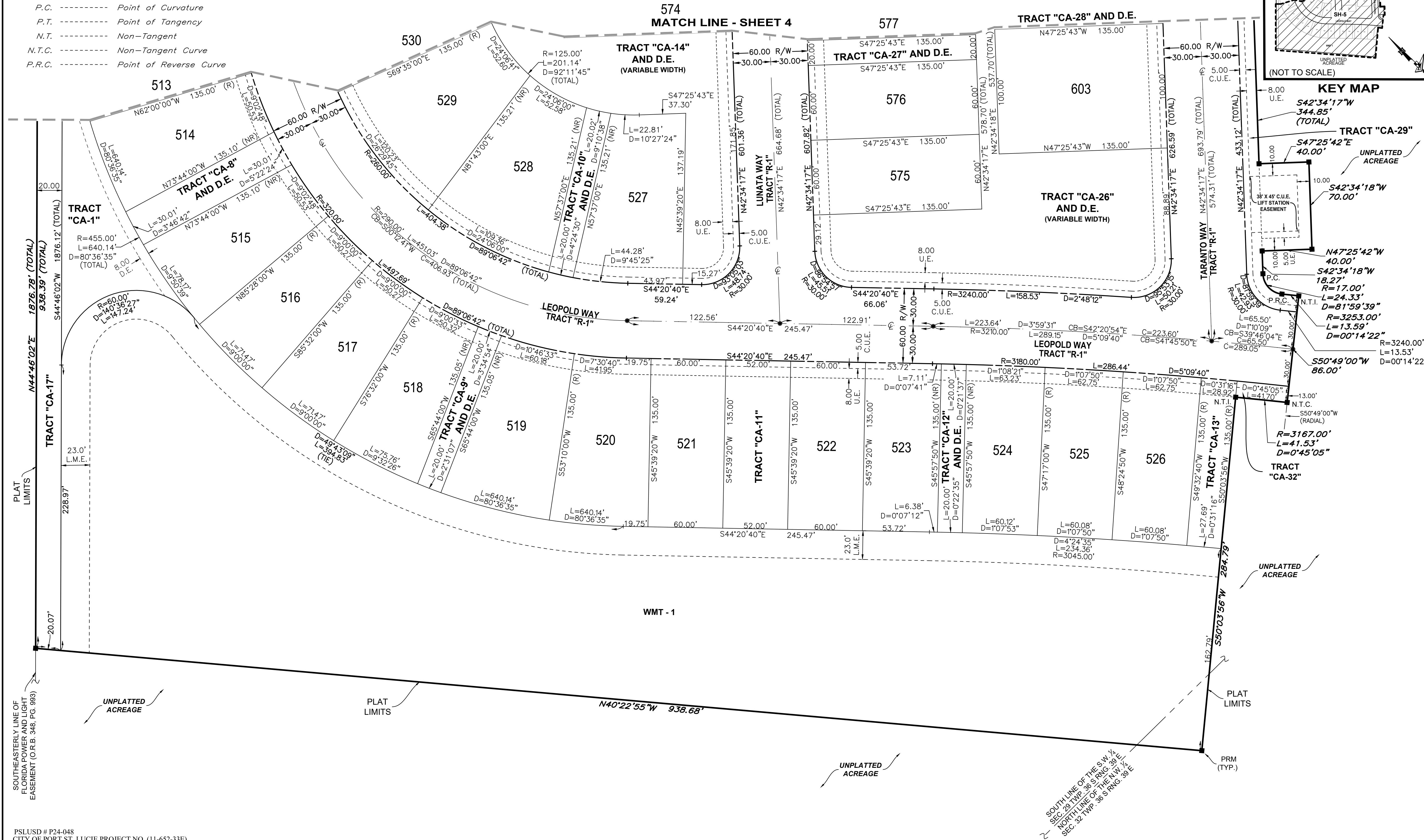
LEGEND

- |                                                          |                                                                                                                    |
|----------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------|
| P.B. ----- Plat Book                                     | C.C. ----- Compound Curve                                                                                          |
| Pg(s) ----- Page(s)                                      | SEC. TWP. RNG. ----- Section Township Range                                                                        |
| O.R.B. ----- Official Records Book                       | (R) ----- Radial                                                                                                   |
| C.U.E. ----- City Utility Easement                       | (NR) ----- Non-Radial                                                                                              |
| D.E. ----- Drainage Easement                             | (TYP.) ----- Typical                                                                                               |
| L.M.E. ----- Lake Maintenance Easement                   | C.M. ----- Concrete Monument                                                                                       |
| U.E. ----- Utility Easement                              | LB ----- Licensed Business                                                                                         |
| WMT ----- Stormwater Management Tract                    | ■ ----- Indicates (PRM) Permanent Reference Monument—4"x4" Concrete Monument LB7768 (Unless Otherwise Noted)       |
| CA ----- Common Area Tract                               | □ ----- Indicates found (PRM) Permanent Reference Monument—4"x4" Concrete Monument LB7768 (Unless Otherwise Noted) |
| Ⓢ ----- Centerline                                       | ● ----- Indicates (PCP) Permanent Control Point LB7768                                                             |
| R/W ----- Right-of-Way                                   |                                                                                                                    |
| S.F.W.M.D. ----- South Florida Water Management District |                                                                                                                    |
| F.P.L. ----- Florida Power and Light                     |                                                                                                                    |
| P.U.D. ----- Planned Unit Development                    |                                                                                                                    |
| R ----- Radius                                           |                                                                                                                    |
| L ----- Arc Length                                       |                                                                                                                    |
| D ----- Delta-Central Angle                              |                                                                                                                    |
| CB ----- Chord Bearing                                   |                                                                                                                    |
| C ----- Chord Length                                     |                                                                                                                    |
| P.C. ----- Point of Curvature                            |                                                                                                                    |
| P.T. ----- Point of Tangency                             |                                                                                                                    |
| N.T. ----- Non-Tangent                                   |                                                                                                                    |
| N.T.C. ----- Non-Tangent Curve                           |                                                                                                                    |
| P.R.C. ----- Point of Reverse Curve                      |                                                                                                                    |

VERANO SOUTH P.U.D. I - POD D - PLAT NO. 6

BEING A REPLAT OF ALL OF TRACTS "CA-8", "CA-9", "CA-12", WATER MANAGEMENT TRACT - 2, AND WATER MANAGEMENT TRACT - 5, VERANO SOUTH P.U.D. I - POD D - PLAT NO. 5 REPLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 129, PAGES 1 THROUGH 10, INCLUSIVE, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA AND BEING A PORTION OF SECTIONS 29 AND 32, TOWNSHIP 36 SOUTH, RANGE 39 EAST, CITY OF PORT ST. LUCIE, ST. LUCIE COUNTY, FLORIDA.

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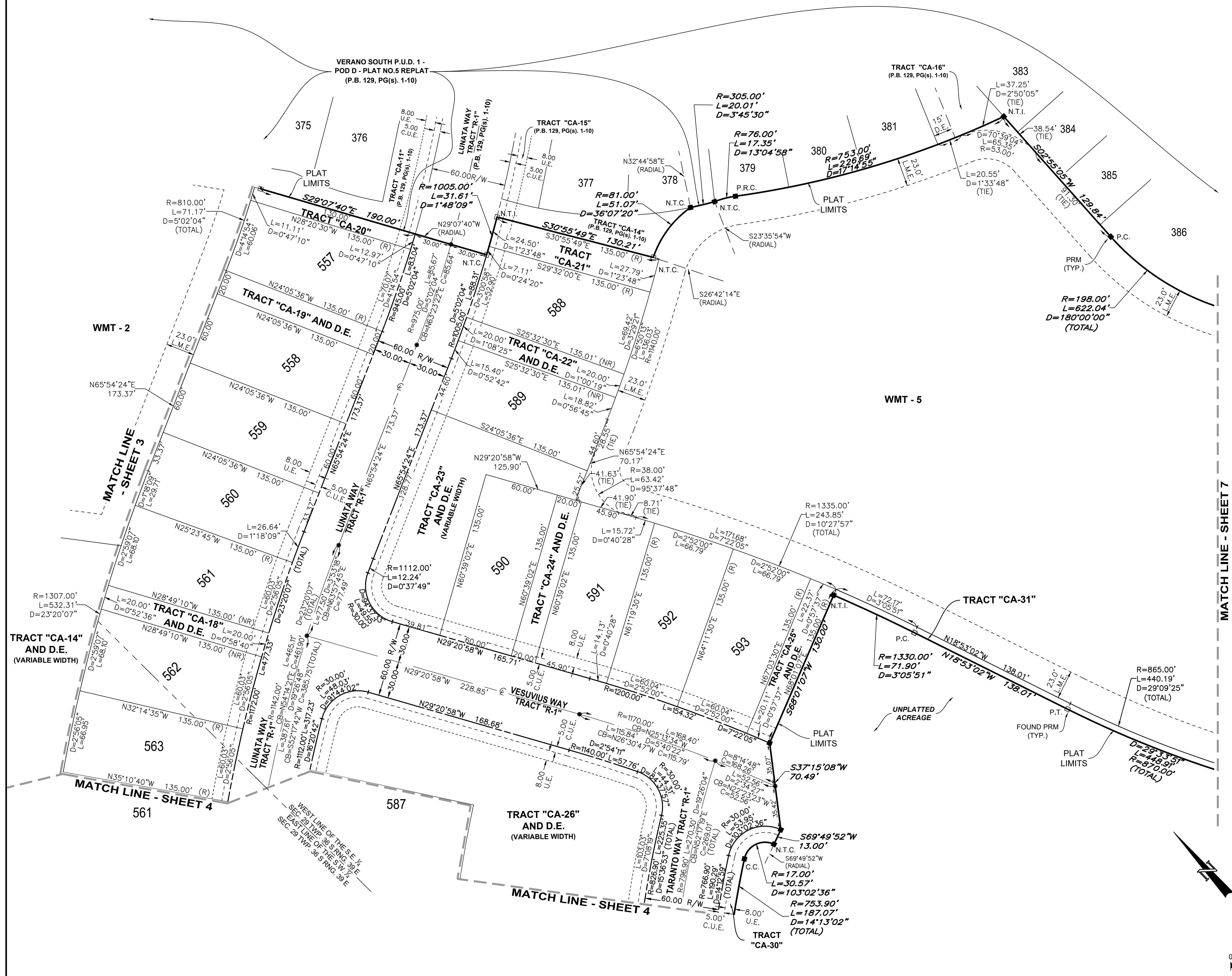
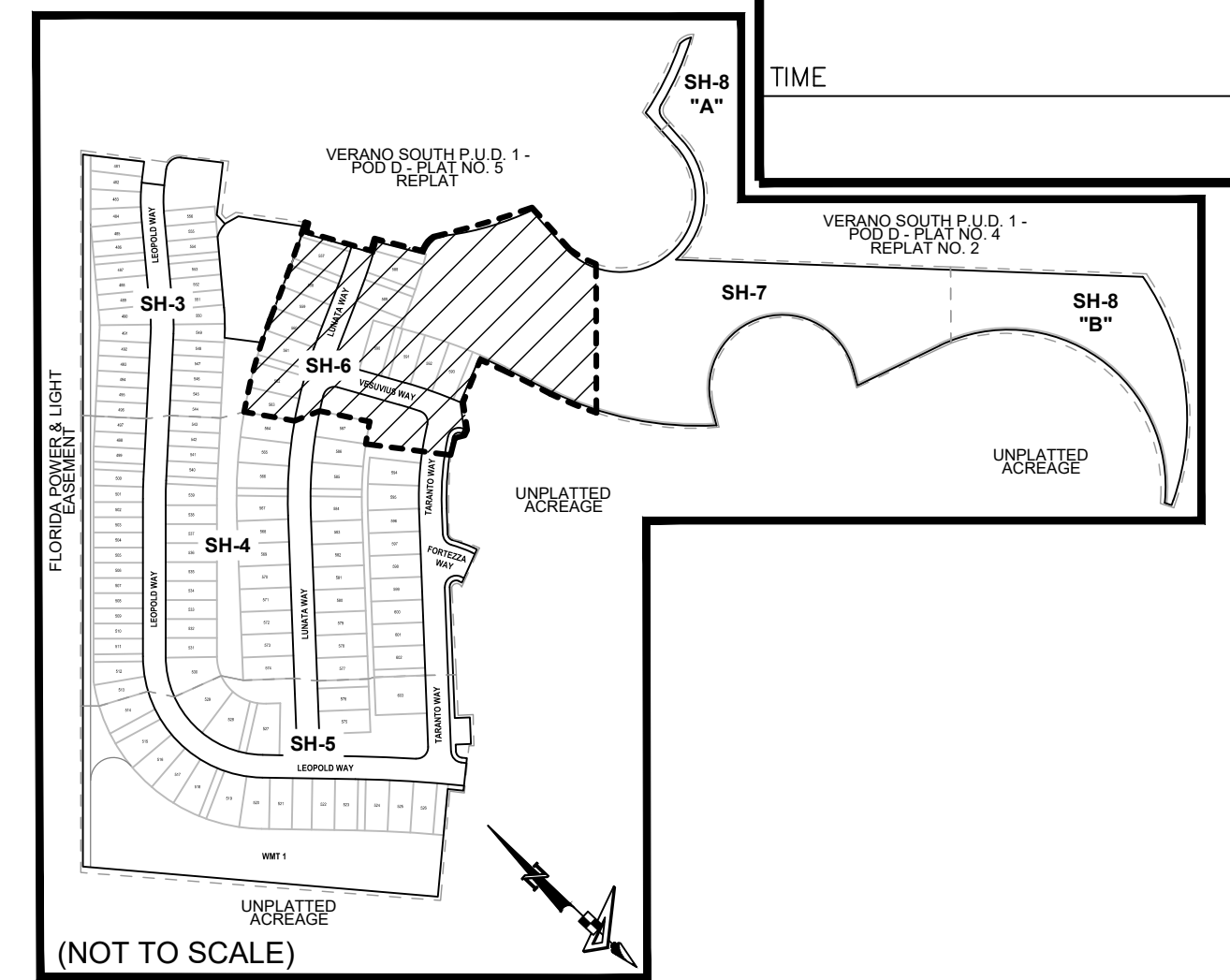


DRAWN BY: WALTERSON/PLATTING/VERANO SOUTH P.U.D. I - POD D - PLAT NO. 6 REPLAT. LAST SAVED BY: SERGIO MACHADO. ON: 12/28/24 11:59 AM

# VERANO SOUTH P.U.D. 1 - POD D - PLAT NO. 6

BEING A REPLAT OF ALL OF TRACTS "CA-8", "CA-9", "CA-12", WATER MANAGEMENT TRACT - 2, AND WATER MANAGEMENT TRACT - 5, VERANO SOUTH P.U.D. 1 - POD D - PLAT NO. 5 REPLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 129, PAGES 1 THROUGH 10, INCLUSIVE, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA AND BEING A PORTION OF SECTIONS 29 AND 32, TOWNSHIP 36 SOUTH, RANGE 39 EAST, CITY OF PORT ST. LUCIE, ST. LUCIE COUNTY, FLORIDA.

PLAT BOOK	
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### LEGEND

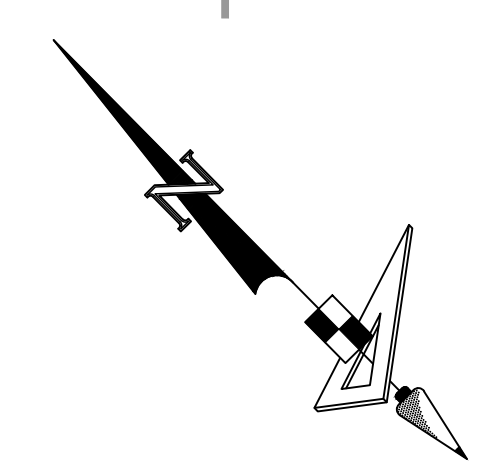
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MATCH LINE - SHEET 7

MATCH LINE - SHEET 3

MATCH LINE - SHEET 4

MATCH LINE - SHEET 4

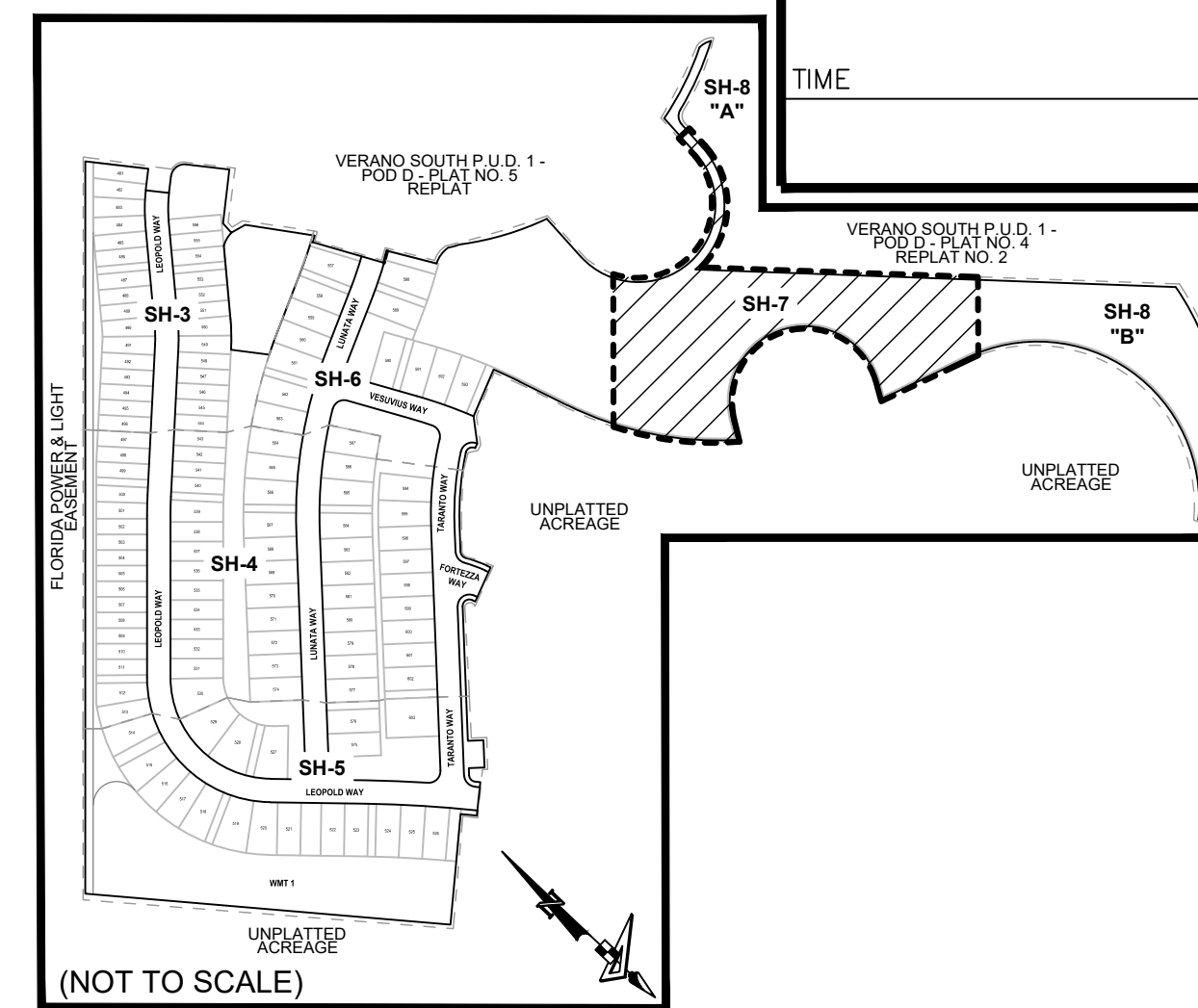


SCALE: 1" = 40'

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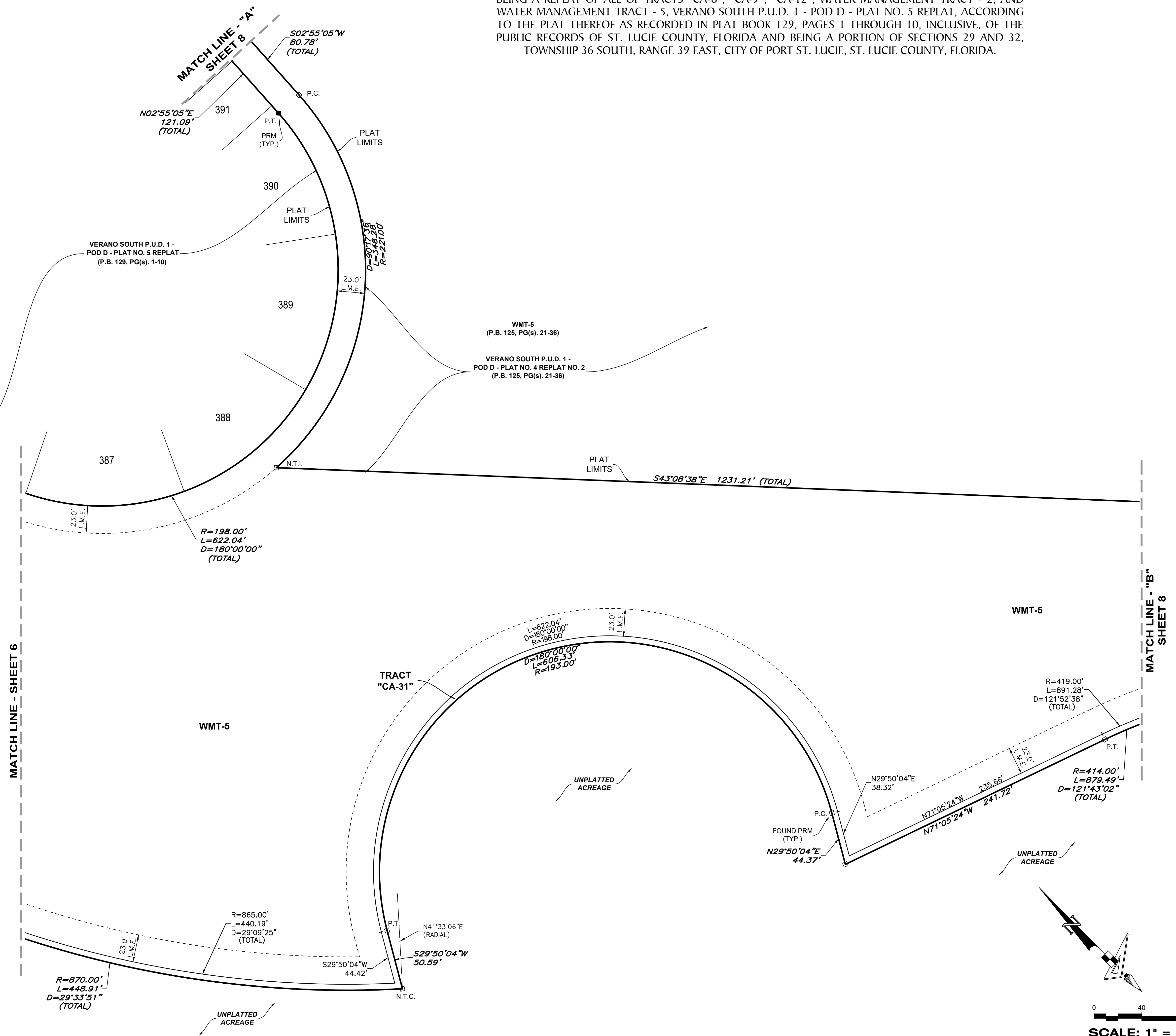
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**KEY MAP**

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PSLUSD # P24-048  
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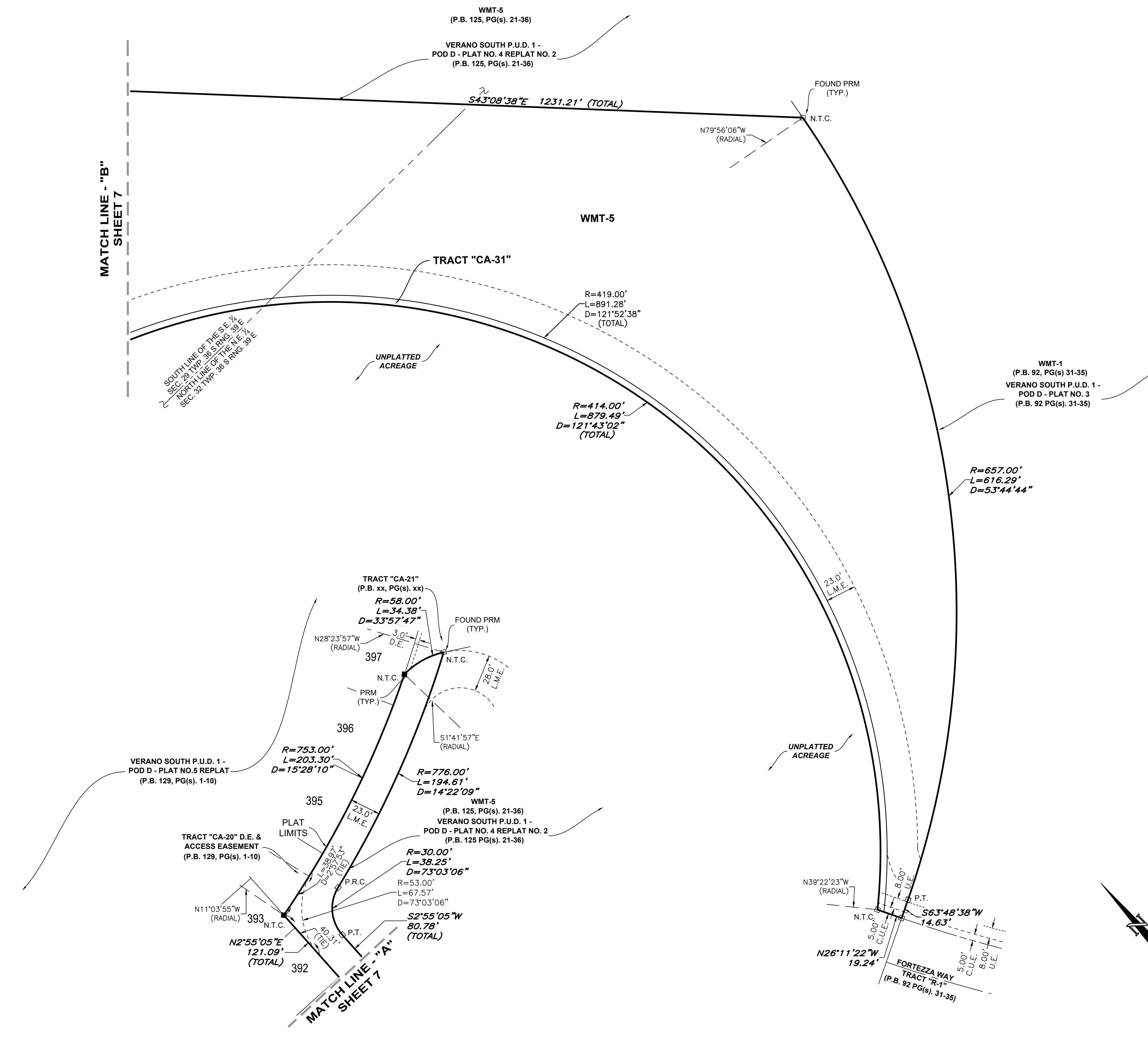
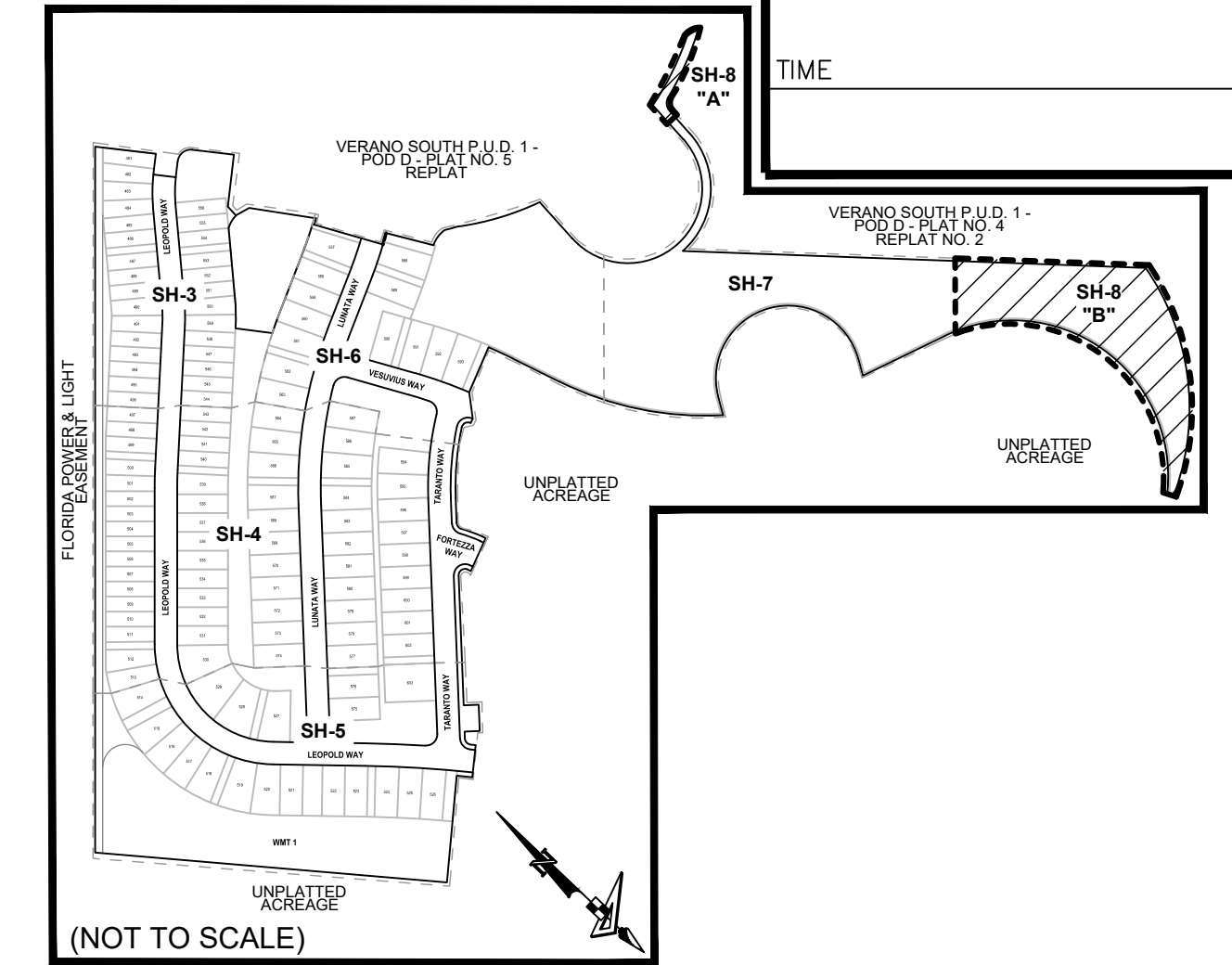
**SHEET 07 OF 08 SHEETS**

DRAWN BY: WALTER AND PATRICIA VERANO SOUTH POD D PLAT NO. 6 PLAT NO. 5 AND 6 PLAT NO. 5 WMT-5 FILED BY: SERGIO MACHADO ON: 12/28/2024 11:59 AM LAST SAVED BY: SERGIO ON: 12/28/2024 11:59 AM

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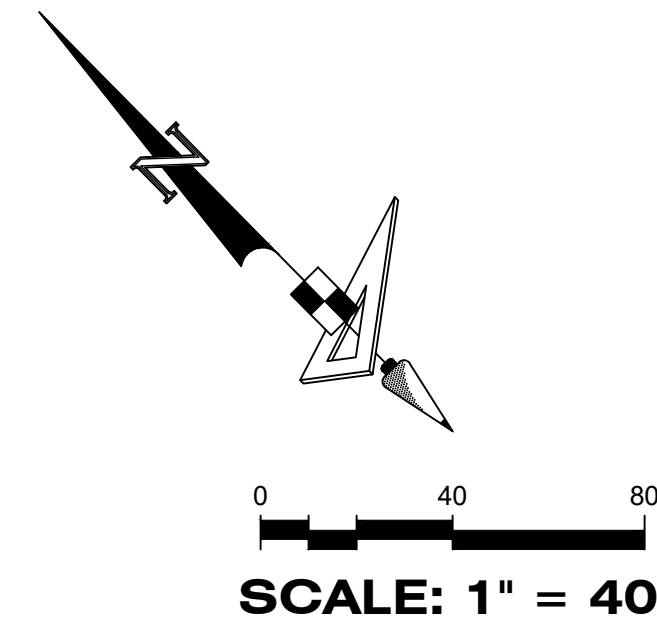
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