DESCRIPTION

BEING A REPLAT OF ALL OF TRACTS "CA-8", "CA-9", "CA-12", WATER MANAGEMENT TRACT - 2, AND WATEF MANAGEMENT TRACT - 5, VERANO SOUTH P.U.D. 1 - POD D - PLAT NO. 5 REPLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 129, PAGES 1 THROUGH 10, INCLUSIVE, OF THE PUBLIC RECORDS OF ST LUCIE COUNTY, FLORIDA AND BEING A PORTION OF SECTIONS 29 AND 32 TOWNSHIP 36 SOUTH, RANGE 39 EAST CITY OF PORT ST. LUCIE, ST. LUCIE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT CANAL NUMBER C-24. AS SHOWN ON THE RIGHT-OF-WAY MAP FOR SAID CANAL C-24, CHECKED DATED 11/25/58 AND REVISED ON 02/23/59 AND THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF THE FLORIDA EAST COAST RAILWAY COMPANY "FT. PIERCE CUT-OFF" TRACK AS SHOWN ON THE RIGHT-OF-WAY MAPS PAGES V.3D/6 AND V.3D/7, DATED FEBRUARY 1, 1960 WITH "TRACK CORRECT" REVISION DATED 04/28/67; THENCE S.43°08'38"E., ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY LINE OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT CANAL NUMBER C-24, A DISTANCE OF 660.46 FEET TO A POINT ON THE SOUTHEASTERLY LINE OF THE FLORIDA POWER AND LIGHT EASEMENT, AS RECORDED IN OFFICIAL RECORDS BOOK 348, PAGE 993 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, THENCE S.44°46'02"W., ALONG SAID SOUTHEASTERLY LINE OF THE FLORIDA POWER AND LIGHT EASEMENT, A DISTANCE OF 1932.16 FEET TO THE NORTHWESTERLY CORNER OF VERANO SOUTH P.U.D.1 - POD D - PLAT NO. 5 REPLAT, AS RECORDED IN PLAT BOOK 129, PAGES 1 THROUGH 10, INCLUSIVE, OF SAID PUBLIC RECORDS, ALSO BEING THE **POINT OF BEGINNING**; THENCE S.38°31'21"E., A DISTANCE OF 162.30 FEET TO A POINT OF INTERSECTION WITH THE NORTHWESTERLY RIGHT-OF-WAY LINE OF S.42°34'17"W., A DISTANCE OF 344.85 FEET; THENCE S.47°25'42"E., A DISTANCE OF 40.00 FEET; THENCE TRACT "R-1", ALSO KNOWN AS LEOPOLD WAY OF SAID PLAT, SAID POINT ALSO BEING A POINT ON THE SOUTHEASTERLY LINE OF TRACT "CA-9" OF SAID PLAT; THENCE S.51°28'39"W., ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE AND SAID SOUTHEASTERLY LINE, A DISTANCE OF 55.65 FEET; THENCE S.38°31'21"E., DEPARTING SAID NORTHWESTERLY RIGHT-OF-WAY LINE AND SAID SOUTHEASTERLY LINE, A DISTANCE OF 60.00 FEET TO A POINT OF INTERSECTION WITH THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF SAID TRACT "R-1", ALSO KNOWN AS LEOPOLD WAY, SAID POINT ALSO BEING A POINT ON THE NORTHWESTERLY LINE OF TRACT "CA-8" OF SAID PLAT; THENCE BY THE FOLLOWING THREE (3) COURSES BEING ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE OF SAID TRACT "R-1", LEOPOLD WAY, AND ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID TRACT "R-1" AS KNOW AS PIACENZA WAY; 1) THENCE N.51°28'39"E., A DISTANCE OF 42.89 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTH, WITH A RADIUS OF 35.00 FEET; 2) THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE. THROUGH A CENTRAL ANGLE OF 90°00'00", A DISTANCE OF 54.98 FEET TO A POINT OF TANGENCY; 3) THENCE S.38°31'21"E., A DISTANCE OF 111.64 FEET TO THE MOST NORTHEASTERLY CORNER OF TRACT "CA-12" OF SAID PLAT, ALSO BEING THE MOST NORTHWESTERLY LINE OF LOT 371 OF SAID PLAT; THENCE S.51°28'39"W. DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE OF SAID TRACT "R-1" AND ALONG THE MOST SOUTHEASTERLY LINE OF SAID TRACT "CA-12" AND SAID MOST NORTHWESTERLY LINE, A DISTANCE OF 139.25 FEET TO THE MOST SOUTHEASTERLY CORNER OF SAID TRACT "CA-12", ALSO BEING THE MOST NORTHWESTERLY CORNER OF SAID LOT 371; THENCE S.02°25'17"W. DEPARTING SAID MOST SOUTHEASTERLY LINE OF SAID TRACT "CA-12" AND SAID MOST NORTHWESTERLY LINE OF SAID LOT 371, AND ALONG THE SOUTHERLY LINE OF SAID LOT 371, A DISTANCE OF 31.83 FEET TO A POINT OF INTERSECTION WITH THE NORTHEASTERLY LINE OF WATER MANAGEMENT TRACT - 2 OF SAID PLAT; THENCE BY THE FOLLOWING TWO (2) COURSES BEING ALONG SAID NORTHEASTERLY LINE OF WATER MANAGEMENT TRACT - 2; 1) THENCE S.74°44'07"E., A DISTANCE OF 40.80 FEET; 2) THENCE S.36°21'57"E., A DISTANCE OF 179.92 FEET TO MOST SOUTHEASTERLY CORNER OF SAID WATER MANAGEMENT TRACT - 2, ALSO BEING THE MOST NORTHEASTERLY CORNER OF TRACT "CA-11" OF SAID PLAT, ALSO BEING A POINT OF NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE NORTHWEST, WITH A RADIUS OF 815.00 FEET AND A RADIAL BEARING OF N.30°22'10"W., AT SAID INTERSECTION; THENCE SOUTHWESTERLY, DEPARTING SAID NORTHEASTERLY LINE OF WATER MANAGEMENT TRACT - 2 AND ALONG THE MOST NORTHWESTERLY LINE OF SAID TRACT "CA-11" AND ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 01°14'30", A DISTANCE OF 17.66 FEET TO A POINT OF NON-TANGENT INTERSECTION, ALSO BEING THE MOST NORTHWESTERLY CORNER OF SAID TRACT "CA-11"; THENCE S.29°07'40"E., DEPARTING SAID MOST NORTHWESTERLY LINE OF SAID TRACT "CA-11" AND ALONG THE MOST WESTERLY LINE OF SAID TRACT "CA-11" AND IT'S EXTENSION THEREOF, A DISTANCE OF 190.00 FEET A POINT ON THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID TRACT "R-1", AS KNOW AS LUNATA WAY ALSO BEING A POINT OF NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE NORTHWEST, WITH A RADIUS OF 1005.00 FEET AND A RADIAL BEARING OF N.29°07'40"W., AT SAID INTERSECTION; THENCE NORTHEASTERLY, ALONG SAID SOUTHEAST RIGHT-OF-WAY LINE OF TRACT "R-1", AND THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 01°48'09", A DISTANCE OF 31.61 FEET TO A POINT OF NON-TANGENT INTERSECTION, ALSO BEING THE MOST NORTHWESTERLY CORNER OF TRACT "CA-14" OF SAID PLAT; THENCE S.30°55'49"E., DEPARTING SAID SOUTHEAST RIGHT-OF-WAY LINE AND ALONG THE WESTERLY LINE OF SAID TRACT "CA-14", A DISTANCE OF 130.21 FEET TO A POINT ON THE NORTHERLY LINE OF WATER MANAGEMENT TRACT - 5, OF SAID PLAT; ALSO BEING A POINT OF NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE SOUTHEAST, WITH A RADIUS OF 81.00 FEET AND A RADIAL BEARING OF S.26°42'14"E., AT SAID INTERSECTION; THENCE BY THE FOLLOWING TWENTY-FIVE (25) COURSES BEING ALONG SAID WATER MANAGEMENT TRACT - 5; 1) THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 36°07'20", A DISTANCE OF 51.07 FEET TO A POINT OF NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE NORTHEAST, WITH A RADIUS OF 305.00 FEET AND A RADIAL BEARING OF N.32°44'58"E., AT SAID INTERSECTION: 2) THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 03°45'30", A DISTANCE OF 20.01 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, WITH A RADIUS OF 76.00 FEET; 3) THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 13°04'58", A DISTANCE OF 17.35 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE TO THE 5. THE CITY UTILITY EASEMENTS (C.U.E.), AS SHOWN HEREON IS A UTILITY EASEMENT WHICH IS HEREBY NORTHEAST, WITH A RADIUS OF 753.00 FEET; 4) THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 17°14'55", A DISTANCE OF 226.69 FEET TO A POINT OF NON-TANGENT INTERSECTION; 5) THENCE S.02°55'05"W., A DISTANCE 129.84 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST, WITH A RADIUS OF 198.00 FEET; 6) THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 180°00'00", A DISTANCE OF 622.04 FEET TO A POINT OF TANGENCY; 7) THENCE N.02°55'05"E., A DISTANCE OF 121.09 FEET TO A POINT OF NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE NORTHWEST, WITH A RADIUS OF 753.00 FEET AND A RADIAL BEARING OF N.11°03'55"W., AT SAID INTERSECTION: 8) THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 15°28'10". A DISTANCE OF 203.30 FEET TO A POINT OF NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO PROPERTY OWNERS ASSOCIATION, INC., ITS SUCCESSORS OR ASSIGNS, SHALL OWN, MAINTAIN, REPAIR, AND THE SOUTHWEST, WITH A RADIUS OF 58.00 FEET AND A RADIAL BEARING OF S.01°41'57"E., AT SAID INTERSECTION; REPLACE ANY PERMITTED IMPROVEMENTS OVER THE UTILITY EASEMENT, WHICH ARE NOT PRECLUDED BY THE 9) THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 33°57'47". A FOREGOING, WHICH MAY BE DAMAGED OR DESTROYED BY THE CITY. ITS SUCCESSORS OR ASSIGNS. DESIGNEES DISTANCE OF 34.38 FEET TO A POINT OF NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE OR CONTRACTORS IN THE CONSTRUCTION, OPERATION, MAINTENANCE OF, OR ACCESS TO, THE CITY'S FACILITIES. NORTHWEST, WITH A RADIUS OF 776.00 FEET AND A RADIAL BEARING OF N.28°23'57"W., AT SAID INTERSECTION; 10) THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 14°22'09", A DISTANCE OF 194.61 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHEAST, WITH A RADIUS OF 30.00 FEET; 11) THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 73°03'06", A DISTANCE OF 38.25 FEET TO A POINT A OF TANGENCY; 12) THENCE S.02°55'05"W., A DISTANCE OF 80.78 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST, WITH A RADIUS OF 221.00 FEET: 13) THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 90°17'36" A DISTANCE OF 348.28 FEET TO A POINT OF NON-TANGENT INTERSECTION; 14) THENCE S.43°08'38"E., A DISTANCE OF 1231.21 FEET TO A POINT OF NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE NORTHWEST, WITH A RADIUS OF 657.00 FEET AND A RADIAL BEARING OF N.79°56'06"W., AT SAID INTERSECTION: 15) THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 53°44'44", A DISTANCE OF N.26°11'22" W., A DISTANCE OF 19.24 FEET TO A POINT OF NON-TANGENT INTERSECTION WITH A CURVE CONCAVE FACILITIES AND EQUIPMENT. THERE SHALL BE NO OTHER PUBLIC OR PRIVATE UTILITY FACILITIES INSTALLED IN TO THE SOUTHWEST, WITH A RADIUS OF 414.00 FEET AND A RADIAL BEARING OF N.39°22'23"W., AT SAID ON, OVER, UNDER, OR ACROSS THE EASEMENT AREA WITHOUT THE CITY'S WRITTEN PERMISSION. THERE SHALL INTERSECTION; 18) THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF BE NO IMPROVEMENTS OF ANY KIND INCLUDING, BUT NOT LIMITED TO, LANDSCAPING CONSTRUCTED WITHIN THE 121°43'02", A DISTANCE OF 879.49 FEET TO A POINT OF TANGENCY; 19) THENCE N.71°05'24"W., A DISTANCE OF 241.72 BOUNDARIES OF THE EASEMENT AREA WHICH WOULD RESTRICT THE OPERATION AND MAINTENANCE OF, OR FEET; 20) THENCE N.29°50'04"E., A DISTANCE OF 44.37 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, WITH A RADIUS OF 193.00 FEET; 21) THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 180°00'00", A DISTANCE OF 606.33 FEET TO A POINT OF TANGENCY; 22) THENCE S.29°50'04"W., A DISTANCE OF 50.59 FEET TO A POINT OF NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE NORTHEAST, WITH A RADIUS OF 870.00 FEET AND A RADIAL BEARING OF N.41°33'06"E., AT SAID INTERSECTION; 23) THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 29°33'51", A DISTANCE OF 448.91 FEET TO A POINT OF TANGENCY; 24) THENCE N.18°53'02"W., A DISTANCE OF 138.01 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, WITH A RADIUS OF 1330.00 FEET; 25) CONTRACTORS WILL REMOVE SAID IMPROVEMENTS WITHOUT LIABILITY OR RESPONSIBILITY OR COST TO THE THENCE NORTHWESTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 03°05'51", A CITY. THE CITY OF PORT ST. LUCIE SHALL NOT BE RESPONSIBLE FOR ANY MAINTENANCE OBLIGATIONS FOR SAID DISTANCE OF 71.90 FEET TO A POINT OF NON-TANGENT INTERSECTION; THENCE S.68°01'07"W. DEPARTING THE EASEMENTS EXCEPT AS SHALL RELATE TO THE SERVICING OF SUCH PUBLIC UTILITIES BY THE CITY OF PORT ST. WESTERLY BOUNDARY OF SAID WATER MANAGEMENT TRACT - 5, A DISTANCE OF 130.00 FEET; THENCE LUCIE. S.37°15'08"W., A DISTANCE OF 70.49 FEET; THENCE S.69°49'52"W., A DISTANCE OF 13.00 FEET TO A POINT OF NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE SOUTHWEST, WITH A RADIUS OF 17.00 FEET AND A 7. THE DRAINAGE EASEMENTS (D.E.), AS SHOWN HEREON, ARE HEREBY DEDICATED ON A NON-EXCLUSIVE BASIS FOREGOING CERTIFICATE OF DEDICATION, WHO 🗆 IS PERSONALLY KNOWN TO ME OR 🗆 HAS PRODUCED RADIAL BEARING OF S.69°49'52"W., AT SAID INTERSECTION; THENCE NORTHWESTERLY, ALONG THE ARC OF SAID TO THE VERANO PROPERTY OWNERS ASSOCIATION, INC., FOR DRAINAGE AND ACCESS PURPOSES, AND SHALL BE CURVE, THROUGH A CENTRAL ANGLE OF 103°02'36", A DISTANCE OF 30.57 FEET TO A POINT OF COMPOUND THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION. ITS SUCCESSORS AND/OR ASSIGNS. CURVATURE OF A CURVE CONCAVE TO THE SOUTHEAST, WITH A RADIUS OF 753.90 FEET; THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 14°13'02", A DISTANCE OF 187.07 FEET TO A POINT OF TANGENCY:

DESCRIPTION (CONTINUED):

VON. THENCE S.42°34'17"W., A DISTANCE OF 68.01 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE CERTIFICATE OF OWNERSHIP AND DEDICATION (CONTINUED): NORTHEAST, WITH A RADIUS OF 17.00 FEET; THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CURVE. -JCIE SABL "HROUGH A CENTRAL ANGLE OF 72°04'28", A DISTANCE OF 21.38 FEET TO A POINT OF REVERSE CURVATURE OF A LOCATION MAP CURVE CONCAVE TO THE SOUTHWEST, WITH A RADIUS OF 398.00 FEET; THENCE SOUTHEASTERLY, ALONG THE 8. THE PRIVATE STREETS RIGHTS-OF-WAY, TRACT "R-1", AS SHOWN HEREON. ARE HEREBY DEDICATED TO THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 08°32'19", A DISTANCE OF 59.31 FEET TO A POINT OF No Scale VERANO PROPERTY OWNERS ASSOCIATION, INC., FOR INGRESS AND EGRESS, ACCESS, STORMWATER AND TANGENCY; THENCE S.20°57'52"E., A DISTANCE OF 10.00 FEET; THENCE S.69°02'08"W., A DISTANCE OF 96.00 FEET; UTILITY PURPOSES (INCLUDING CATV), AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID THENCE N.20°57'52"W., A DISTANCE OF 9.19 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE ASSOCIATION, ITS SUCCESSORS AND / OR ASSIGNS. A NON-EXCLUSIVE INGRESS, EGRESS, DRAINAGE SOUTHWEST, WITH A RADIUS OF 17.00 FEET; THENCE NORTHWESTERLY, ALONG THE ARC OF SAID CURVE. MAINTENANCE AND UTILITY EASEMENT OVER ALL SUCH PRIVATE STREETS RIGHTS-OF-WAY IS DEDICATED TO THROUGH A CENTRAL ANGLE OF 116°27'51", A DISTANCE OF 34.56 FEET TO A POINT OF TANGENCY; THENCE VERANO # 5 COMMUNITY DEVELOPMENT DISTRICT, A COMMUNITY DEVELOPMENT DISTRICT ESTABLISHED IN ACCORDANCE WITH CHAPTER 190, FLORIDA STATUTES (DISTRICT # 5), ACTING BY AND UNDER DELEGATED NOTE S.42°34'18"W., A DISTANCE OF 70.00 FEET; THENCE N.47°25'42"W., A DISTANCE OF 40.00 FEET; THENCE S.42°34'18"W. AUTHORITY FROM, AND RECEIVING SUCH DEDICATION FOR THE USE AND BENEFICIAL OWNERSHIP OF, THE A DISTANCE OF 18.27 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE EAST. WITH A RADIUS OF DISTRICT (AS DEFINED IN THE BELOW - DESCRIBED DISTRICT INTERLOCAL AGREEMENT) IN WHICH THE PLATTED 17.00 FEET: THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CURVE. THROUGH A CENTRAL ANGLE OF 81°59'39". THIS PLAT HAS BEEN REVIEWED FOR COMFORMITY TO CHAPTER 177, PART 1 FLORIDA STATUTES BY LANDS LIE, IN ACCORDANCE WITH THE AMENDED AND RESTATED DISTRICT INTERLOCAL AGREEMENT DATED APRIL PROFESSIONAL SURVEYOR AND MAPPER EMPLOYED BY OR UNDER CONTRACT WITH THE CITY OF PORT ST A DISTANCE OF 24.33 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST. 9, 2015, AND RECORDED AT OFFICIAL RECORDS BOOK 3733, PAGES 2535 THROUGH 2556, OF THE PUBLIC RECORDS WITH A RADIUS OF 3253.00 FEET; THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A LUCIE OF ST. LUCIE COUNTY, FLORIDA, AS SUPPLEMENTED (DISTRICT INTERLOCAL AGREEMENT). TOGETHER WITH THE CENTRAL ANGLE OF 00°14'22", A DISTANCE OF 13.59 FEET TO A POINT OF NON-TANGENT INTERSECTION; THENCE RIGHT BUT NOT THE OBLIGATION TO MAINTAIN THE STREETS, DRAINAGE AND STORMWATER FACILITIES AND S.50°49'00"W., A DISTANCE OF 86.00 FEET TO A POINT OF NON-TANGENT INTERSECTION WITH A CURVE CONCAVE UTILITIES LOCATED OR TO BE LOCATED WITHIN SUCH RIGHTS-OF-WAY. AN EASEMENT OVER AND UNDER SUCH TO THE SOUTHWEST, WITH A RADIUS OF 3167.00 FEET AND A RADIAL BEARING OF S.50°49'00"W., AT SAID STREETS, RIGHTS-OF-WAY AS SHOWN HEREON IS ALSO RESERVED IN FAVOR OF THE CITY OF PORT ST. LUCIE INTERSECTION; THENCE NORTHWESTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF FOR ACCESS BY SERVICE AND EMERGENCY VEHICLES, AND THE INSTALLATION AND MAINTENANCE OF, PUBLIC 00°45'05", A DISTANCE OF 41.53 FEET TO A POINT OF NON-TANGENT INTERSECTION; THENCE S.50°03'56"W., A UTILITY FACILITIES, INCLUDING BUT NOT LIMITED TO, WATER AND WASTEWATER LINES AND APPURTENANT DISTANCE OF 284.79 FEET; THENCE N.40°22'55"W., A DISTANCE OF 938.68 FEET TO A POINT ON THE SAID FACILITIES. THE CITY OF PORT ST. LUCIE SHALL HAVE THE RIGHT BUT NOT THE RESPOSIBILITY FOR ANY SOUTHEASTERLY LINE OF THE FLORIDA POWER AND LIGHT EASEMENT; THENCE N.44°46'02"E., ALONG SAID MAINTENANCE OBLIGATIONS FOR SAID EASEMENT AREA OR SUCH PRIVATE STREETS, RIGHT-OF-WAY, ETC. SOUTHEASTERLY LINE, A DISTANCE OF 1876.78 FEET TO THE POINT OF BEGINNING EXCEPT AS SHALL RELATE TO THE SERVICING OF SUCH PUBLIC UTILITIES BY THE CITY OF PORT ST. LUCIE. LANDS CONTAINING: 2,291,187 SQUARE FEET OR 52.598 ACRES, MORE OR LESS.

STATE OF FLORIDA COUNTY:

KNOW ALL MEN BY THESE PRESENTS THAT VERANO DEVELOPMENT, LLC. OWNERS OF THE LAND DESCRIBED AND PLATTED HEREIN AS VERANO SOUTH P.U.D. 1 - POD D - PLAT NO. 6, HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DO HEREBY DEDICATE AS FOLLOWS:

1. THE UTILITY EASEMENTS (U.E.), AS SHOWN HEREON, ARE HEREBY DEDICATED ON A NON-EXCLUSIVE BASIS TO FLORIDA POWER AND LIGHT COMPANY, ITS SUCCESSORS AND ASSIGNS, AS PRIVATE UTILITY EASEMENTS FOR THE PURPOSE OF INSTALLATION AND MAINTENANCE OF UNDERGROUND ELECTRIC UTILITIES ONLY, AND NOT DISTRICT #5 SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO MAINTAIN ANY PORTION OF THE DRAINAGE FOR VIDEO COMMUNICATION OR OTHER PURPOSES SYSTEM WITHIN THIS PLAT, INCLUDING LAKES, DRAINAGE EASEMENTS AND THE DRAINAGE FACILITIES LOCATED THEREIN

2. THE UTILITY EASEMENTS (U.E.), AS SHOWN HEREON, ARE HEREBY DEDICATED ON A NON-EXCLUSIVE BASIS TO HOME TOWN CABLE TV. LLC. ITS SUCCESSORS AND ASSIGNS. FOR THE PURPOSE OF INSTALLATION AND THE CITY OF PORT ST. LUCIE SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO CONSTRUCT AND MAINTAIN MAINTENANCE OF UNDERGROUND TELEPHONE CABLE, INTERNET, SECURITY LINES AND OTHER ANY PORTION OF THE DRAINAGE SYSTEM WITHIN THESE TRACTS AND EASEMENTS WHICH IS ASSOCIATED WITH DRAINAGE FROM CITY RIGHTS-OF-WAY. TELECOMMUNICATION SERVICES.

3. THE UTILITY EASEMENTS (U.E.), AS SHOWN HEREON, ARE HEREBY DEDICATED ON A NON-EXCLUSIVE BASIS TO 11. THE STORMWATER MANAGEMENT TRACTS WMT-1, WMT-2, AND WMT-5, AS SHOWN HEREON ARE HEREBY THE VERANO PROPERTY OWNERS ASSOCIATION, INC., ITS SUCCESSORS AND ASSIGNS, FOR THE PURPOSE OF DEDICATED TO THE VERANO PROPERTY OWNERS ASSOCIATION, INC., FOR STORM WATER MANAGEMENT AND INSTALLATION AND MAINTENANCE OF UNDERGROUND TELEPHONE CABLE, INTERNET, SECURITY LINES AND OTHER MAINTENANCE PURPOSES, AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION, ITS TELECOMMUNICATION SERVICES.

4. THE UTILITY EASEMENTS (U.E.), AS SHOWN HEREON, ARE HEREBY DEDICATED IN FAVOR OF THE CITY OF PORT OWNERSHIP OF, THE DISTRICT IN WHICH THE PLATTED LANDS LIE. ST.LUCIE. FLORIDA, ITS SUCCESSORS AND/OR ASSIGNS, FOR ACCESS TO, AND INSTALLATION AND MAINTENANCE OF PUBLIC UTILITY FACILITIES. INCLUDING BUT NOT LIMITED TO, WATER AND WASTEWATER LINES AND APPURTENANT FACILITIES, THE CITY OF PORT ST. LUCIE SHALL NOT BE RESPONSIBLE FOR ANY MAINTENANCE 12. THE LAKE MAINTENANCE EASEMENTS (L.M.E.) AS SHOWN HEREON ARE HEREBY DEDICATED TO THE VERANO OBLIGATIONS FOR SAID EASEMENT EXCEPT AS SHALL RELATE TO THE SERVICING OF SUCH PUBLIC UTILITIES BY PROPERTY OWNERS ASSOCIATION, INC., IT'S SUCCESSORS AND/OR ASSIGNS FOR STORM WATER MAINTENANCE AND ACCESS PURPOSES AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION, ITS THE CITY OF PORT ST. LUCIE. SUCCESSORS AND/OR ASSIGNS.

DEDICATED TO THE CITY OF PORT ST. LUCIE ("CITY"), ITS SUCCESSORS, AGENTS, EMPLOYEES, CONTRACTORS, DESIGNEES, AND ASSIGNS, A GENERAL INGRESS/EGRESS EASEMENT OVER AND ACROSS ITS DRIVEWAYS PARKING, COMMON OR OPEN AREAS FOR ACCESS TO, OPERATION MODIFICATIONS, INSTALLATION OF OR IN WITNESS WHEREOF, VERANO DEVELOPMENT, LLC., A DELAWARE LIMITED LIABILITY COMPANY, HAS CAUSED MAINTENANCE OF, PUBLIC UTILITIES FACILITIES, INCLUDING BUT NOT LIMITED TO, WATER AND WASTEWATER THESE PRESENTS TO BE SIGNED BY ITS MANAGER THIS DAY OF . 2025. LINES. APPURTENANT FACILITIES AND EQUIPMENT. THERE SHALL BE NO OTHER PUBLIC OR PRIVATE UTILITY FACILITIES INSTALLED IN, ON, OVER, UNDER, OR ACROSS THE EASEMENT AREA WITHOUT THE CITY'S WRITTEN PERMISSION. THERE SHALL BE NO IMPROVEMENTS OF ANY KIND INCLUDING, BUT NOT LIMITED TO, LANDSCAPING MENT LLC., CONSTRUCTED WITHIN THE BOUNDARIES OF THE EASEMENT AREA WHICH WOULD RESTRICT THE OPERATION AND TED LIABILITY COMPANY MAINTENANCE OF, OR WHICH MAY IN ANY MANNER RESULT IN HARM TO, THE CITY'S FACILITIES. VERANO GROUP, LLC, A FLORIDA LIMITED IY. ITS SOLE MANAGER THE CITY, ITS SUCCESSORS OR ASSIGNS, SHALL HAVE THE RIGHT TO REQUIRE THE REMOVAL OF ANY IMPROVEMENTS, WHICH ARE CONSTRUCTED IN VIOLATION OF THE CONDITIONS SET FORTH ABOVE. IF VIOLATING IMPROVEMENTS ARE NOT REMOVED UPON REQUEST, THE CITY, ITS SUCCESSORS OR ASSIGNS, DESIGNEES OR CONTRACTORS WILL REMOVE SAID IMPROVEMENTS WITHOUT LIABILITY OR RESPONSIBILITY OR COST TO THE ADDRESS CITY. THE CITY OF PORT ST. LUCIE SHALL NOT BE RESPONSIBLE FOR ANY MAINTENANCE OBLIGATIONS FOR SAID EASEMENTS EXCEPT AS SHALL RELATE TO THE SERVICING OF SUCH PUBLIC UTILITIES BY THE CITY OF PORT ST. LUCIE.

6. THE LIFT STATION EASEMENT (L.S.E.), AS SHOWN HEREON IS A UTILITY EASEMENT WHICH IS HEREBY DEDICATED TO THE CITY OF PORT ST. LUCIE ("CITY"), ITS SUCCESSORS, AGENTS, EMPLOYEES, CONTRACTORS, DESIGNEES AND ASSIGNS, A GENERAL INGRESS/EGRESS EASEMENT OVER AND ACROSS ITS DRIVEWAYS, PARKING, COMMON OR OPEN AREAS FOR ACCESS TO, OPERATION MODIFICATIONS, INSTALLATION OF OR MAINTENANCE OF, PUBLIC 616.29 FEET TO A POINT OF TANGENCY; 16) THENCE S.63°48'38"W., A DISTANCE OF 14.63 FEET; 17) THENCE UTILITIES FACILITIES. INCLUDING BUT NOT LIMITED TO, WATER AND WASTEWATER LINES, APPURTENANT (PRINT NAME OF WITNESS) ADDRESS WHICH MAY IN ANY MANNER RESULT IN HARM TO, THE CITY'S FACILITIES. THE CRESSWIND TREASURE COAST PROPERTY OWNERS ASSOCIATION, INC., ITS SUCCESSORS AND ASSIGNS, SHALL OWN, MAINTAIN, REPAIR, AND REPLACE ANY PERMITTED IMPROVEMENTS OVER THE UTILITY EASEMENT, WHICH ARE NOT PRECLUDED BY THE FOREGOING, WHICH MAY BE DAMAGED OR DESTROYED BY THE CITY, ITS SUCCESSORS OR ASSIGNS, DESIGNEES OR CONTRACTORS IN THE CONSTRUCTION, OPERATION, MAINTENANCE OF, OR ACCESS TO, THE CITY'S FACILITIES. THE CITY, ITS SUCCESSORS OR ASSIGNS, SHALL HAVE THE RIGHT TO REQUIRE THE REMOVAL OF ANY IMPROVEMENTS, WHICH ARE CONSTRUCTED IN VIOLATION OF THE CONDITIONS SET FORTH ABOVE. IF VIOLATING STATE OF FLORIDA IMPROVEMENTS ARE NOT REMOVED UPON REQUEST, THE CITY, ITS SUCCESSORS OR ASSIGNS, DESIGNEES OR COUNTY:

VERANO SOUTH P.U.D. 1 - POD D - PLAT NO. 6

BEING A REPLAT OF ALL OF TRACTS "CA-8", "CA-9", "CA-12", WATER MANAGEMENT TRACT - 2, AND WATER MANAGEMENT TRACT - 5, VERANO SOUTH P.U.D. 1 - POD D - PLAT NO. 5 REPLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 129. PAGES 1 THROUGH 10. INCLUSIVE. OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA AND BEING A PORTION OF SECTIONS 29 AND 32, TOWNSHIP 36 SOUTH, RANGE 39 EAST, CITY OF PORT ST. LUCIE, ST. LUCIE COUNTY, FLORIDA

CERTIFICATE OF OWNERSHIP AND DEDICATION

9. COMMON AREA TRACTS "CA-1" THROUGH "CA-32", AS SHOWN HEREON, ARE HEREBY DEDICATED TO VERANO PROPERTY OWNERS ASSOCIATION, INC., FOR OPEN SPACE, LANDSCAPE, AND STORM WATER MANAGEMENT PURPOSES, AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION, ITS SUCCESSORS AND/OR ASSIGNS. AN ACCESS AND MAINTENANCE EASEMENT OVER TRACTS "CA-1" THROUGH "CA-32" AS SHOWN HEREON, IS HEREBY DEDICATED TO DISTRICT #5, ACTING BY AND UNDER DELEGATED AUTHORITY FROM, AND RECEIVING SUCH DEDICATION FOR THE USE AND BENEFICIAL OWNERSHIP OF, THE DISTRICT IN WHICH THE PLATTED LANDS LIE.

10. THE DRAINAGE EASEMENTS AND UTILITY EASEMENTS SHOWN OR DESCRIBED HEREON ARE DEDICATED ON A NON-EXCLUSIVE BASIS TO DISTRICT #5, ACTING BY AND UNDER DELEGATED AUTHORITY FROM, AND RECEIVING SUCH DEDICATION FOR THE USE AND BENEFICIAL OWNERSHIP OF, THE DISTRICT IN WHICH THE PLATTED LANDS LIE, FOR THE PURPOSE OF PROVIDING ROADWAYS, UTILITIES, AND WATER MANAGEMENT

SUCCESSORS AND/OR ASSIGNS, AN ACCESS AND MAINTENANCE EASEMENT OVER STORM WATER MANAGEMENT TRACT WMT-1, WMT-2, AND WMT-5, AS SHOWN HEREON, IS HEREBY DEDICATED TO DISTRICT #5, ACTING BY AND UNDER DELEGATED AUTHORITY FROM, AND RECEIVING SUCH DEDICATION FOR THE USE AND BENEFICIAL

WITNESS	A DELAWARE LIMIT
	BY: THE KOLTER G LIABILITY COMPAN
(PRINT NAME OF WITNESS)	-

WITNESS

DEDICATION ACKNOWLEDGMENT

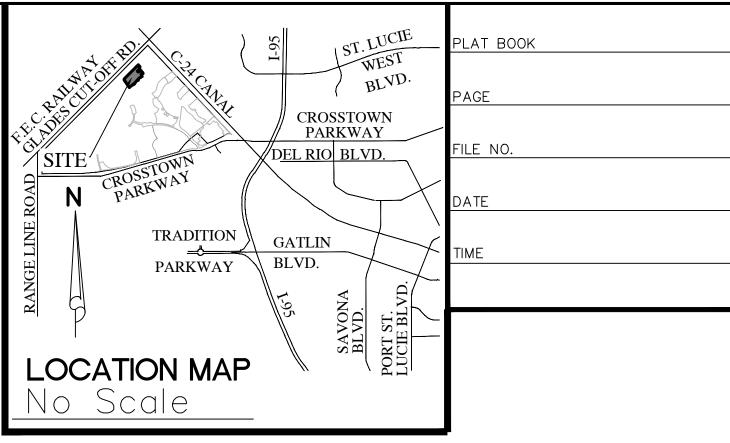
THE FOREGOING CERTIFICATE OF DEDICATION WAS ACKNOWLEDGED BEFORE ME BY MEANS OF 🗆 PHYSICAL PRESENCE OR
ONLINE NOTARIZATION THIS DAY
OF , 2025, BY MANAGER OF THE KOLTER GROUP, LLC., A FLORIDA LIMITED LIABILTY COMPANY, SOLE MANAGER OF VERANO DEVELOPMENT LLC., A DELAWARE LIMITED LIABILITY COMPANY, ON BEHALF OF THE COMPANY, WHO EXECUTED THE AS IDENTIFICATION.

MY COMMISSION EXPIRES:

NOTARY PUBLIC

PRINT NAME





SURVEYOR'S NOTES:

1. BEARINGS SHOWN ARE BASED ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF S.F.W.M.D. CANAL C-24, AS SHOWN ON THE RIGHT-OF-WAY MAP OF CANAL C-24, CHECKED DATE 11-25-58 AND REVISED 2-23-59, WHICH BEARS SOUTH 43°08'38" EAST. ALL BEARINGS BEING RELATIVE THERETO.

2. NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT.

3. NOTICE: THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY

SURVEYOR & MAPPER'S CERTIFICATE

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF . SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF: THAT PERMANENT REFERENCE MONUMENTS ("P.R.M.S" HAVE BEEN PLACED AS REQUIRED BY LAW, AND THAT PERMANENT CONTROL POINTS ("P.C.P.S"). AND MONUMENTS ACCORDING TO SEC. 177.091(9), F.S., WILL BE SET UNDER THE GUARANTEES POSTED WITH THE CITY COUNCIL OF PORT ST. LUCIE FOR THE REQUIRED IMPROVEMENTS; AND, FURTHER, THAT THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND THE ORDINANCES OF THE CITY OF PORT ST. LUCIE, FLORIDA, THIS DAY OF , 2025.

> GARY A. RAGER, P.S.M. LICENSE NO. LS4828 STATE OF FLORIDA

THIS INSTRUMENT PREPARED BY GARY A. RAGER, P.S.M. LS4828 STATE OF FLORIDA. GEOPOINT SURVEYING, INC. 4152 WEST BLUE HERON BOULEVARD, SUITE 106, RIVIERA BEACH, FLORIDA 33404. CERTIFICATE OF AUTHORIZATION NO. LB7768





ACCEPTANCE OF DEDICATION

STATE OF FLORIDA

COUNTY:

VERANO PROPERTY OWNERS ASSOCIATION, INC., HEREBY ACCEPTS THE DEDICATIONS OF UTILITY EASEMENTS (U.E.), CITY UTILITY EASEMENT (C.U.E.), DRAINAGE EASEMENTS (D.E.), LAKE MAINTENANCE EASEMENTS (L.M.E.), TRACT "R-1", WATER MANAGEMENT TRACTS WMT-1, WMT-2, AND WMT-5, AND COMMON AREA TRACTS "CA-1" THROUGH "CA-32" DEDICATED AS SHOWN HEREON, AND HEREBY ACCEPTS ITS MAINTENANCE OBLIGATIONS FOR SAME AS STATED HEREON, DATED THIS ___ DAY OF _____, 2025.

	VERANO PROPERTY OWNERS ASSOCIATION, IN A FLORIDA CORPORATION NOT FOR PROFIT
WITNESS	BY:
(PRINT NAME OF WITNESS)	NAME:
	TITLE:

WITNESS

(PRINT NAME OF WITNESS)

ACKNOWLEDGMENT TO ACCEPTANCE OF DEDICATIONS

STATE OF FLORIDA COUNTY:

THE FOREGOING ACCEPTANCE OF DEDICATION WAS ACKNOWLEDGED BEFORE ME BY MEANS OF D PHYSICAL PRESENCE OR
ONLINE NOTARIZATION THIS DAY OF _____, 2025, BY OF VERANO PROPERTY OWNERS ASSOCIATION, INC., A FLORIDA CORPORATION NOT FOR PROFIT, WHO □ IS PERSONALLY KNOWN TO ME OR □ HAS PRODUCED ______ AS IDENTIFICATION.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

PRINT NAME:

VERANO SOUTH P.U.D. 1 - POD D - PLAT NO. 6

BEING A REPLAT OF ALL OF TRACTS "CA-8", "CA-9", "CA-12", WATER MANAGEMENT TRACT - 2, AND WATER MANAGEMENT TRACT - 5, VERANO SOUTH P.U.D. 1 - POD D - PLAT NO. 5 REPLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 129, PAGES 1 THROUGH 10, INCLUSIVE, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA AND BEING A PORTION OF SECTIONS 29 AND 32, TOWNSHIP 36 SOUTH, RANGE 39 EAST, CITY OF PORT ST. LUCIE, ST. LUCIE COUNTY, FLORIDA.

ACCEPTANCE OF DEDICATION

STATE OF FLORIDA COUNTY:_____

THE VERANO #5 COMMUNITY DEVELOPMENT DISTRICT, FORMERLY KNOWN AS MONTAGE RESERVE #5 COMMUNITY DEVELOPMENT DISTRICT, A COMMUNITY DEVELOPMENT DISTRICT ESTABLISHED IN ACCORDANCE WITH CHAPTER 190, FLORIDA STATUTES (DISTRICT #5), ACTING BY AND UNDER DELEGATED AUTHORITY FROM, AND RECEIVING SUCH DEDICATION FOR THE USE AND BENEFICIAL OWNERSHIP OF SUCH OF THE DISTRICTS (AS DEFINED IN THE ABOVE DESCRIBED DISTRICT INTERLOCAL AGREEMENT) IN WHICH THE PLATTED LANDS LIE, IN ACCORDANCE WITH THE DISTRICT INTERLOCAL AGREEMENT.

1. ACCEPTS THE DEDICATIONS OF CITY UTILITY EASEMENTS (C.U.E.), UTILITY EASEMENTS, MAINTENANCE EASEMENTS, DRAINAGE EASEMENTS, AND INGRESS, AND EGRESS EASEMENTS SHOWN OR DESCRIBED HEREON AND SPECIFICALLY DEDICATED TO THE DISTRICT #5 FOR THE PURPOSE OF PROVIDING UTILITIES. DRAINAGE AND SURFACE WATER MANAGEMENT BUT DOES NOT ACCEPT ANY OTHER RIGHT-OF-WAY EASEMENT, TRACT OR ANY OTHER INTEREST IN REAL ESTATE OTHERWISE DEDICATED TO THE PUBLIC.

2. ACCEPTS A NON-EXCLUSIVE, INGRESS, EGRESS, DRAINAGE, MAINTENANCE AND UTILITY EASEMENT OVER ALL WATER MANAGEMENT TRACTS AND COMMON AREA TRACTS AS SHOWN OR DESCRIBED HEREON.

3. CONSENTS TO THE PLATTING OF THE LANDS DESCRIBED HEREON

THE RECORDING IN THE OFFICE OF THE COUNTY CLERK OF ST. LUCIE COUNTY, FLORIDA OF THE WITHIN PLAT SHALL TERMINATE, WITH RESPECT TO THE LANDS EMBRACED, HEREBY, ALL OBLIGATIONS OF DEDICATION, BUT NOT THE OBLIGATION OF COMPLETION SET FORTH IN THAT CERTAIN AGREEMENT TO DEDICATE AND COMPLETE PUBLIC INFRASTRUCTURE, DATED AS OF JUNE 30, 2015, AND RECORDED IN OFFICIAL RECORDS BOOK 3762, PAGE 2389 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. DATED THIS ____ DAY OF _____, 2025.

ATTEST:	VERANO #5 COMMUNITY DEVELOPMENT DISTRICT
BY:	BY:
NAME:	NAME:
TITLE:	TITLE:

ACKNOWLEDGMENT TO ACCEPTANCE OF DEDICATIONS

STATE OF FLORIDA COUNTY:

THE FOREGOING ACCEPTANCE OF DEDICATION WAS ACKNOWLEDGED BEFORE ME BY MEANS OF D PHYSICAL PRESENCE OR □ ONLINE NOTARIZATION THIS DAY ____ OF ____ , 2025, BY OF DISTRICT # 5. WHO I IS PERSONALLY KNOWN TO ME OR I HAS PRODUCED AS IDENTIFICATION.

MY COMMISSION EXPIRES:

NOTARY PUBLIC

PRINT NAME:

MORTGAGEE'S CONSENT

STATE OF TEXAS COUNTY OF HARRIS

THE UNDERSIGNED HEREBY CERTIFIES THAT IT IS THE HOLDER OF CERTAIN MORTGAGES UPON THE PROPERTY DESCRIBED HEREON AND DOES HEREBY JOIN IN AND CONSENT TO THE DEDICATION OF THE LAND DESCRIBED IN SAID DEDICATION BY THE OWNERS THEREOF AND AGREES THAT ITS MORTGAGE WHICH IS RECORDED IN OFFICIAL RECORD BOOK 3754, PAGE 1167, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, SHALL BE SUBORDINATED TO THE DEDICATION SHOWN HEREON.

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS AND ITS CORPORATE SEAL TO BE AFFIXED HEREON BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS THIS ___ DAY OF _____, 2025.

TEXAS CAPITAL BANK, A TEXAS STATE BANK

WITNESS

WITNESS

(PRINT NAME OF WITNESS)

TITLE:

(PRINT NAME OF WITNESS)

CITY PORT ST	CLER THE C	

ACKNOWLEDGMENT

STATE OF TEXAS COUNTY OF HARRIS

THE FOREGOING MORTGAGEE CONSENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF
PHYSICAL PRESENCE ____, 2025, BY OR 🗆 ONLINE NOTARIZATION THIS DAY ____ OF ____ , TEXAS CAPITAL BANK, A TEXAS STATE BANK, WHO 🗆 IS PERSONALLY KNOWN TO ME OR 🗆 HAS PRODUCED AS IDENTIFICATION

MY COMMISSION EXPIRES:

TITLE CERTIFICATION

STATE OF FLORIDA COUNTY:

THE UNDERSIGNED SECTION177.041(2),

(A.) THE RECORD DEVELOPMENT

(B.) ALL MORTGAGE

APPROVAL OF CITY COUNCIL

STATE OF FLORIDA COUNTY OF ST. LUCIE

CITY COUNCIL CITY OF PORT ST. L

SHANNON M. MARTIN, MAYOR

FLORIDA.

CERTIFICATION OF APPROVAL CLERK OF THE CIRCUIT COURT

STATE OF FLORIDA COUNTY OF ST. LUCIE

MICHELLE R. MILLER CLERK OF THE CIRCUIT COURT ST. LUCIE COUNTY, FLORIDA

CROSSTOWN N CROSSTOWN N CROSSTOWN N CROSSTOWN N CROSSTOWN N CROSSTOWN N CROSSTOWN N CROSSTOWN N CROSSTOWN DEL RIO BLVD. CROSSTOWN N CROSSTOWN CROSSTOWN N CROSSTOWN CROSSTOWN N CROSSTOWN CRONN CROSSTOWN CROSSTOWN C	
No Scale	

PLAT BOOK

PAGF

FILE NO.

) A TF

NOTARY PUBLIC

PRINT NAME:

E UNDERSIGNED,	, DULY LICENSED IN THE STATE OF FLORI	DA, PURSUANT TO
CTION177.041(2), FLORIDA STATUTES, DOES HE	REBY CERTIFY THAT, BASED ON TIT	LE REPORT BY
, DATED AS OF THE	DAY OF 2025:	
) THE RECORD TITLE TO THE LANDS AS DESCR	BED AND SHOWN HEREON IS IN THE I	NAME OF VERANO
DEVELOPMENT, LLC., THE ENTITY EXECUTING THE	EDICATION.	
) ALL MORTGAGES ARE NOT SATISFIED OR RELE	ASED OF RECORD, ENCUMBERING THE	LANDS DESCRIBED
HEREON ARE LISTED AS FOLLOWS: OFFICIAL RECO	RD BOOK 3754, PAGE 1167	

(C.) PURSUANT TO THE FLORIDA STATUTE SECTION 197.192, ALL TAXES HAVE BEEN PAID THROUGH THE YEAR 2024. (D.) ALL ASSESSMENTS AND OTHER ITEMS HELD AGAINST SAID LAND HAVE BEEN SATISFIED.

(E.) THERE ARE ENCUMBRANCES OF RECORD BUT THOSE ENCUMBRANCES DO NOT PROHIBIT THE CREATION OF THE SUBDIVISION DEPICTED BY THIS PLAT.

DATED: THIS _____ DAY OF ______, 2025. BY: _____

NAME:

TITLE:

THE CITY OF PORT ST. LUCIE HEREBY ACCEPTS THE DEDICATIONS TO THE CITY, AS SHOWN HEREON AND CERTIFIES THAT THIS PLAT OF VERANO SOUTH P.U.D. 1 - POD D - PLAT NO. 6 HAS BEEN OFFICIALLY APPROVED FOR RECORDING BY THE CITY COUNCIL OF PORT ST. LUCIE, FLORIDA, THIS _____ DAY OF ____ , 2025.

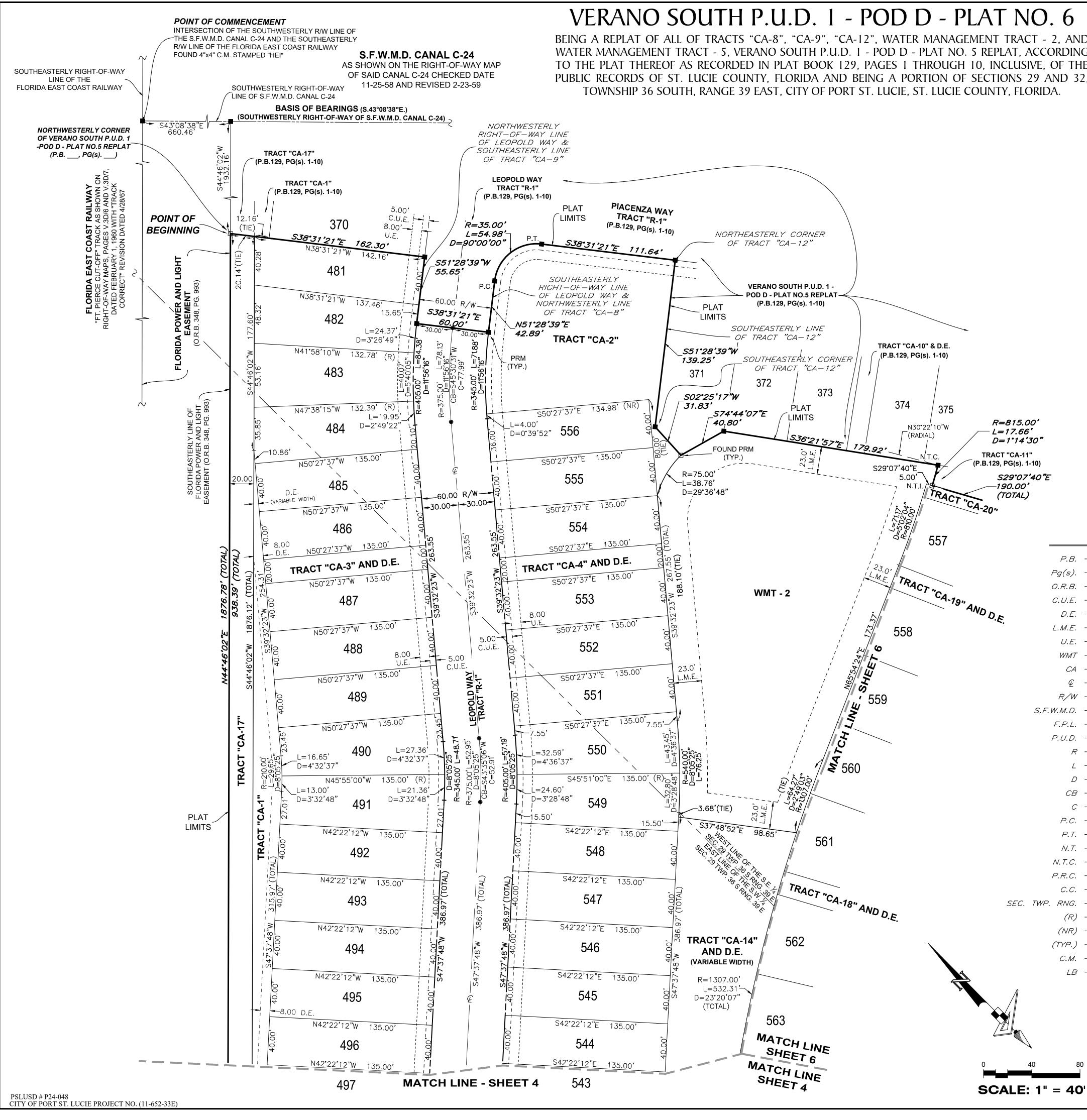
ATTEST:

SALLY WALSH, CITY CLERK

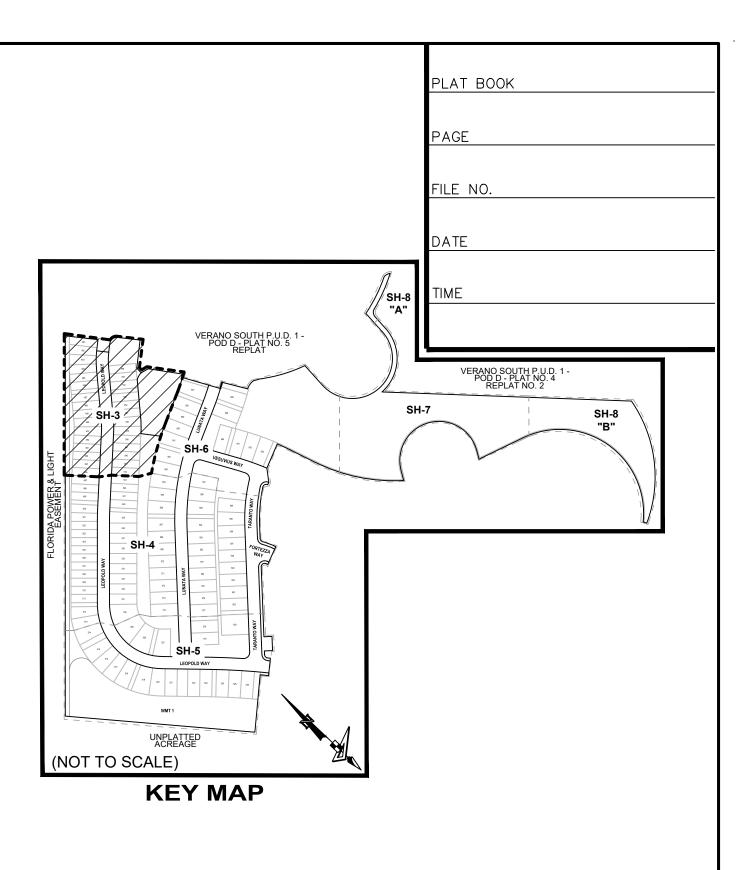
THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY TO CHAPTER 177, PART 1, FLORIDA STATUTES, BY A PROFESSIONAL SURVEYOR AND MAPPER EMPLOYED OR UNDER CONTRACT WITH THE CITY OF PORT ST. LUCIE,

I, MICHELLE R. MILLER , CLERK OF THE CIRCUIT COURT OF ST. LUCIE COUNTY, FLORIDA, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN EXAMINED, AND THAT IT COMPLIES IN FORM WITH ALL THE REQUIREMENTS OF THE LAWS OF FLORIDA PERTAINING TO MAPS AND PLATS, AND THAT THIS PLAT HAS BEEN FILED FOR RECORD IN PLAT BOOK ____, PAGE(S) ______ OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, THIS _____ DAY





BEING A REPLAT OF ALL OF TRACTS "CA-8", "CA-9", "CA-12", WATER MANAGEMENT TRACT - 2, AND WATER MANAGEMENT TRACT - 5, VERANO SOUTH P.U.D. 1 - POD D - PLAT NO. 5 REPLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 129, PAGES 1 THROUGH 10, INCLUSIVE, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA AND BEING A PORTION OF SECTIONS 29 AND 32,



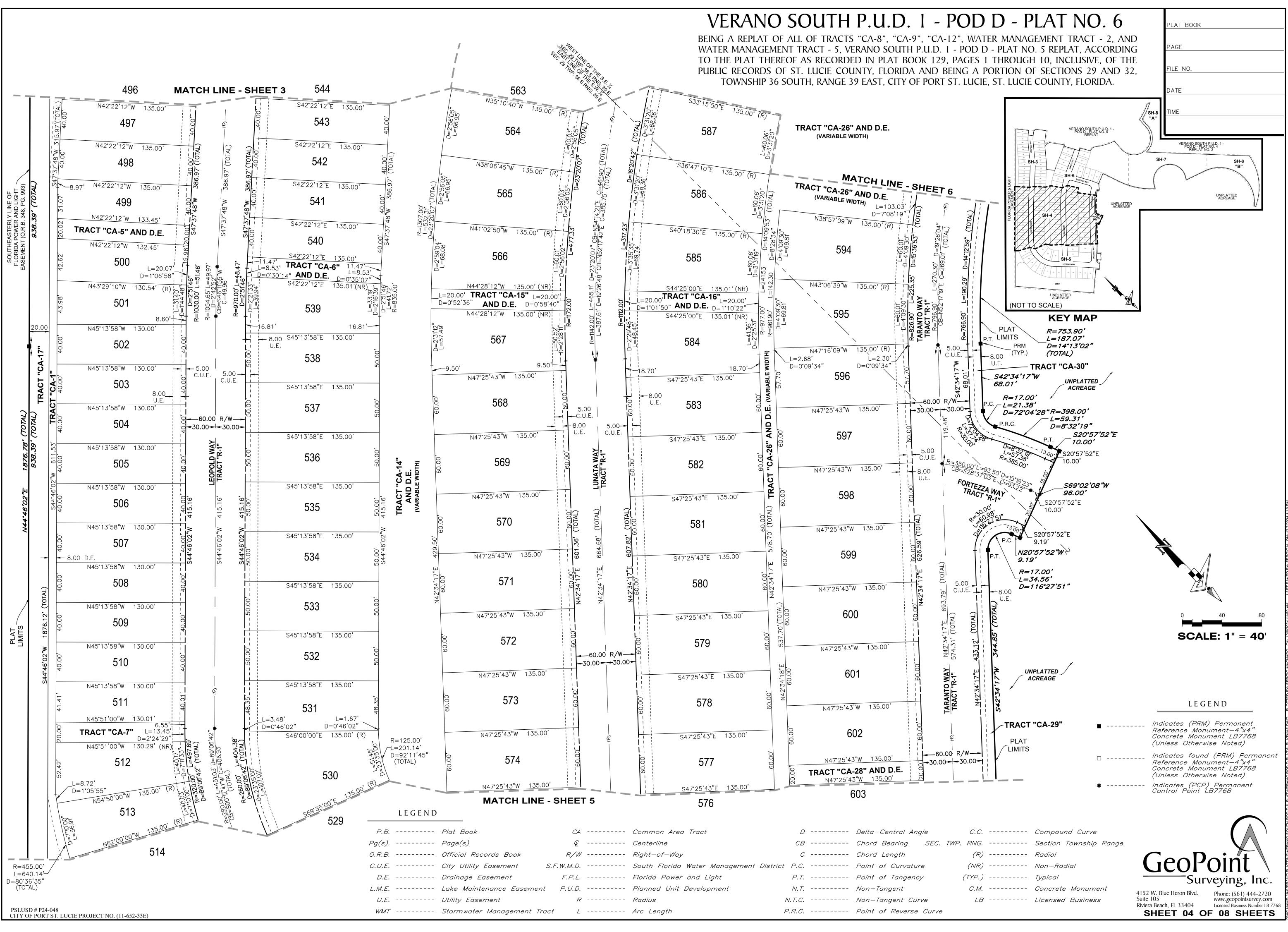
LEGEND

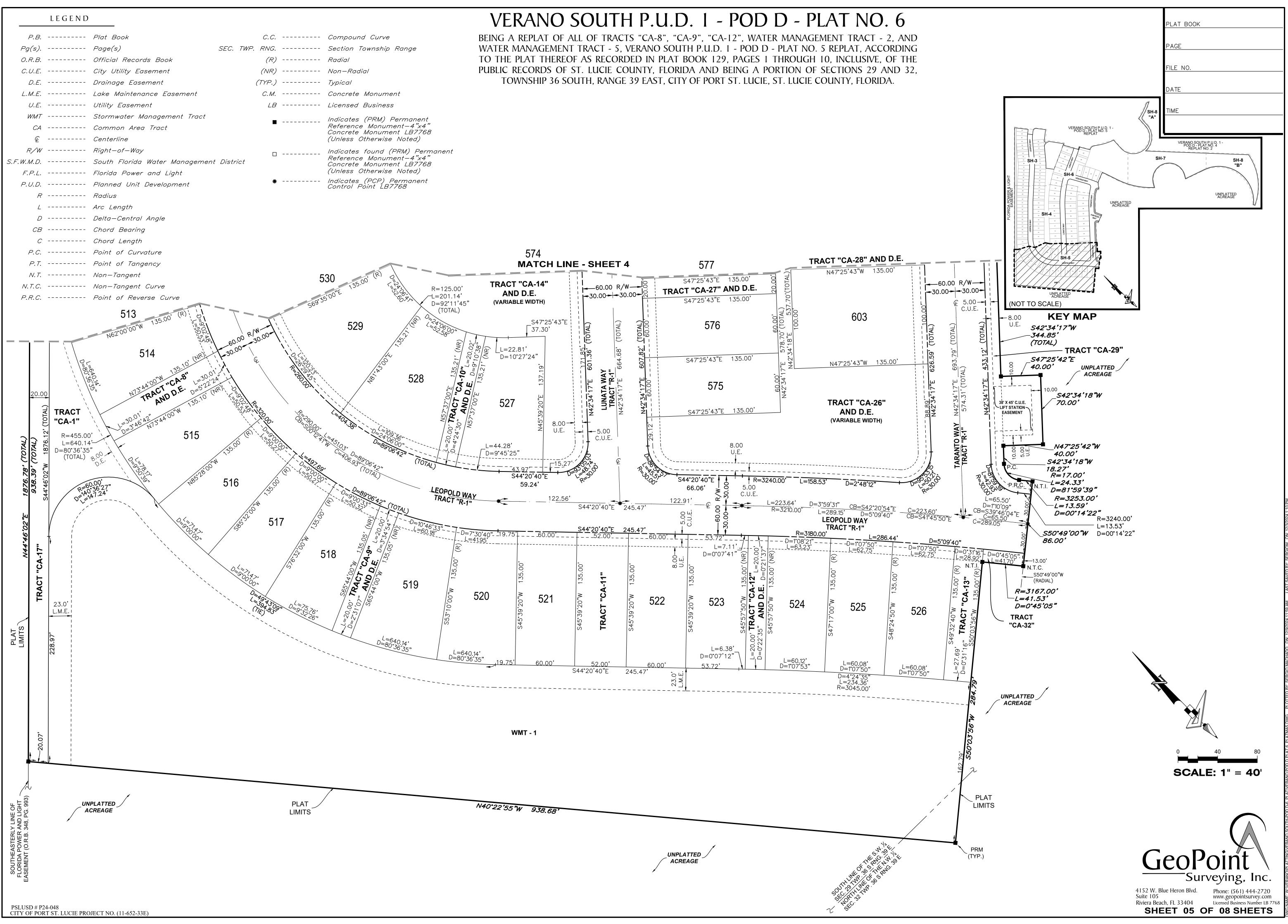
P.B.	 Plat Book
g(s).	 Page(s)
. <i>R.B</i> .	 Official Records Book
.U.E.	 City Utility Easement
D.E.	 Drainage Easement
. <i>M.E</i> .	 Lake Maintenance Easement
U.E.	 Utility Easement
WMT	 Stormwater Management Tract
СА	 Common Area Tract
Ę	 Centerline
R/W	 Right—of—Way
M.D.	 South Florida Water Management District
. <i>P.L</i> .	 Florida Power and Light
.U.D.	 Planned Unit Development
R	 Radius
L	 Arc Length
D	 Delta-Central Angle
CB	 Chord Bearing
С	 Chord Length
<i>P.C.</i>	 Point of Curvature
P.T.	 Point of Tangency
N. T.	 Non-Tangent
I.T.C.	 Non-Tangent Curve
.R.C.	 Point of Reverse Curve
С.С.	 Compound Curve
RNG.	 Section Township Range
(R)	 Radial
(NR)	 Non-Radial
TYP.)	 Typical
С.М.	 Concrete Monument
LB	 Licensed Business

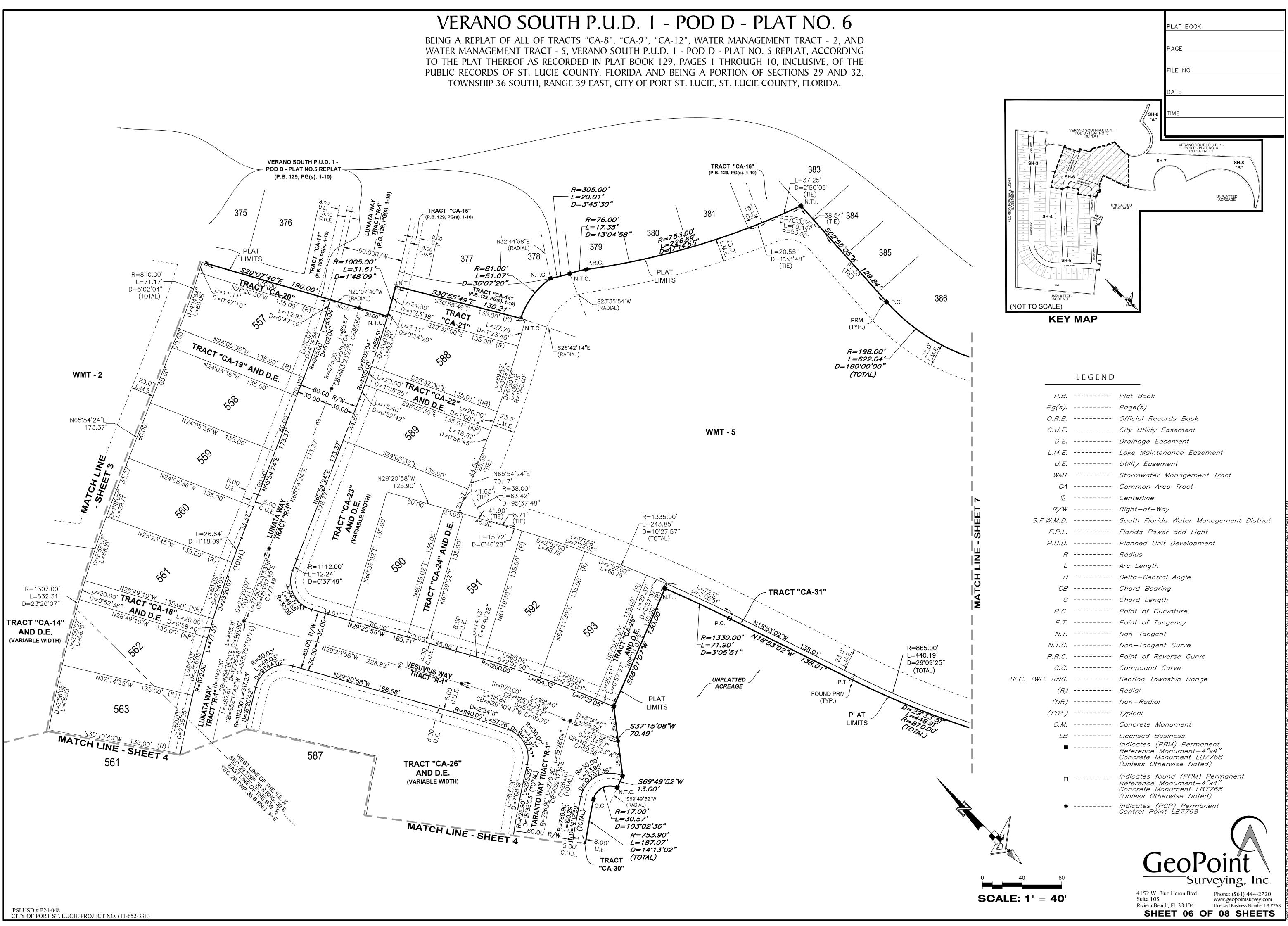
■ ----- Indicates (PRM) Permanent Reference Monument-4"x4" Concrete Monument LB7768 (Unless Otherwise Noted)

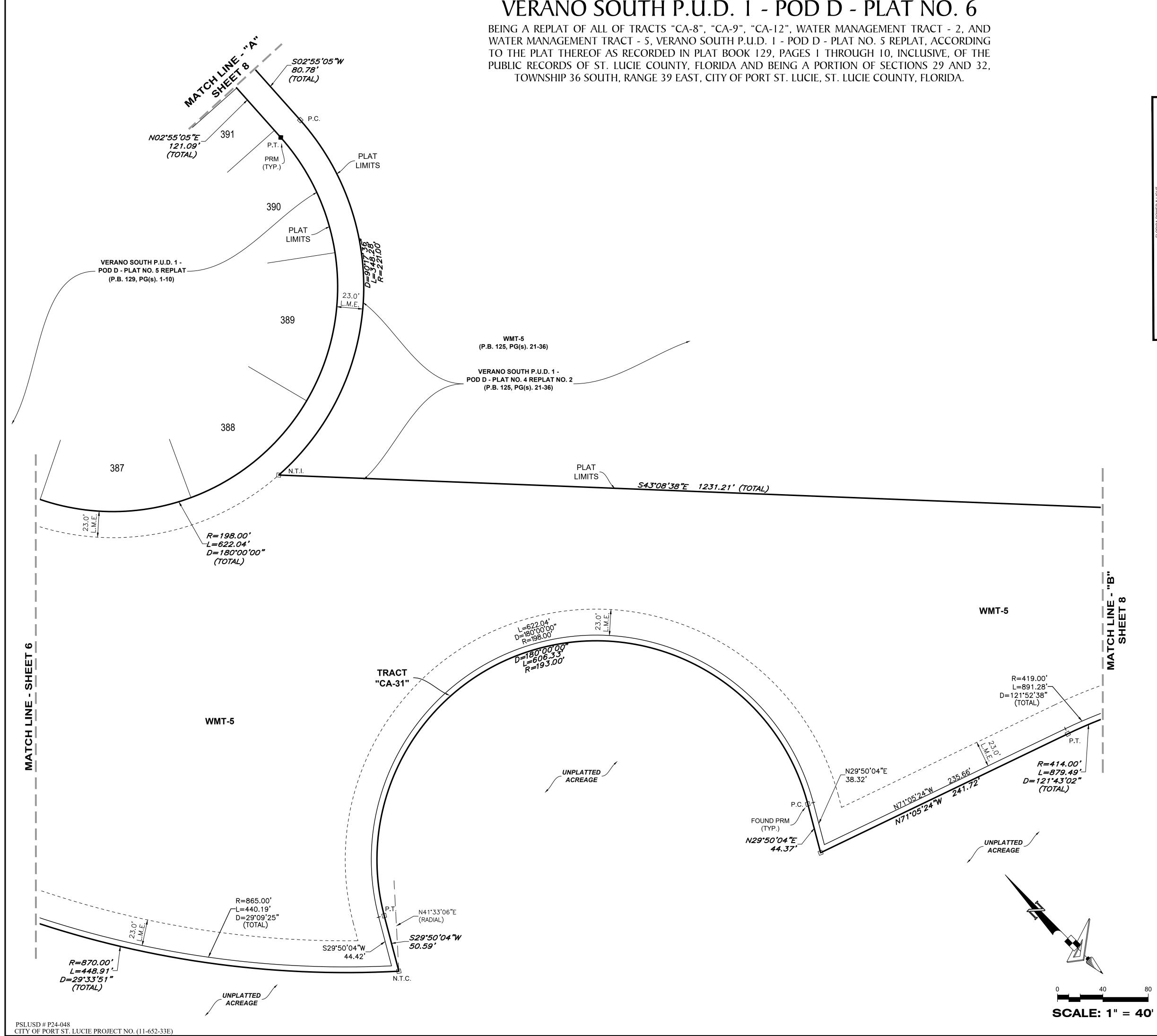
□ ----- Indicates found (PRM) Permanent Reference Monument-4"x4" Concrete Monument LB7768 (Unless Otherwise Noted) ----- Indicates (PCP) Permanent Control Point LB7768



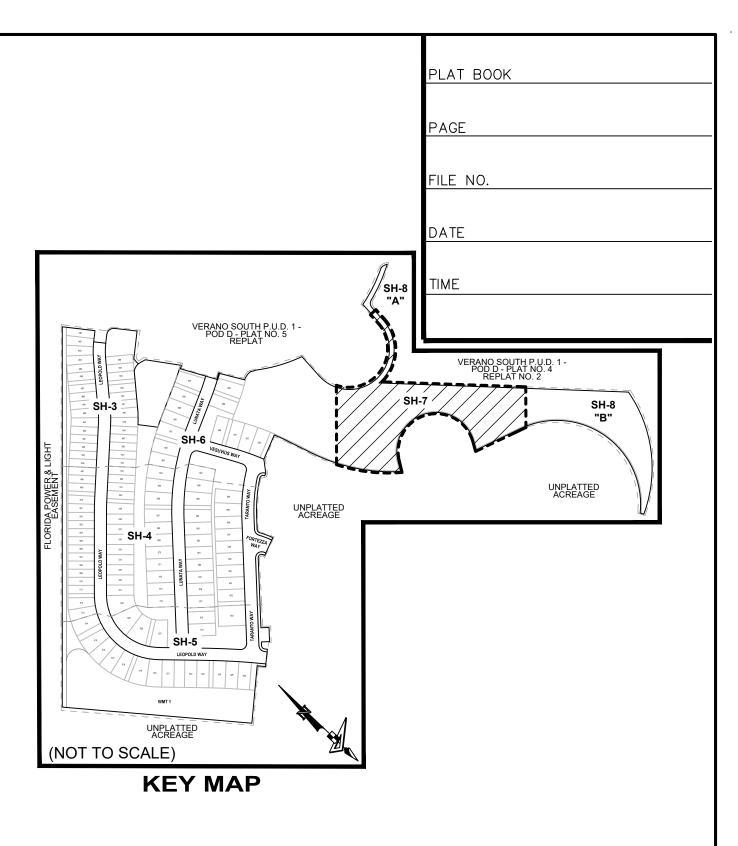




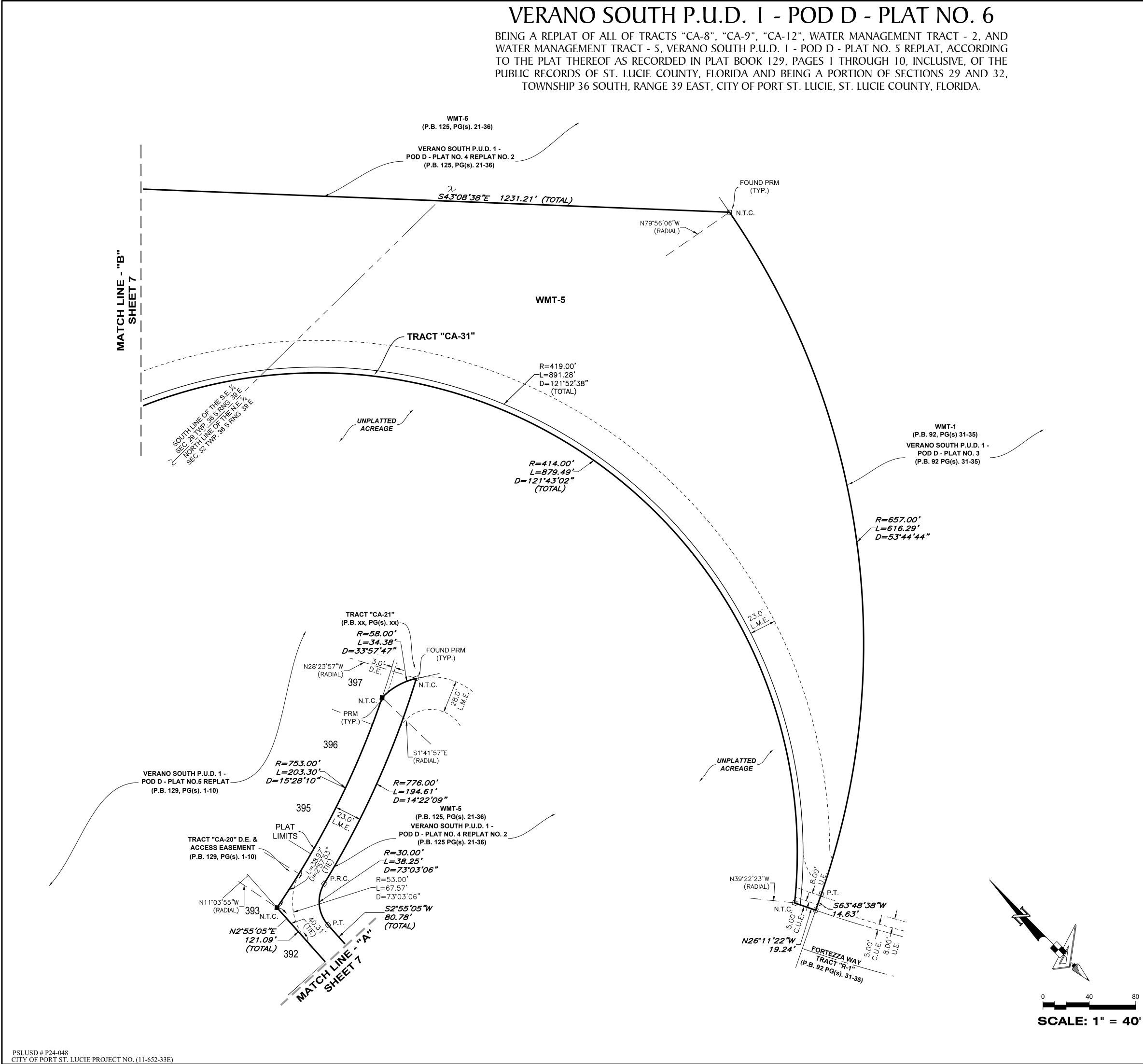


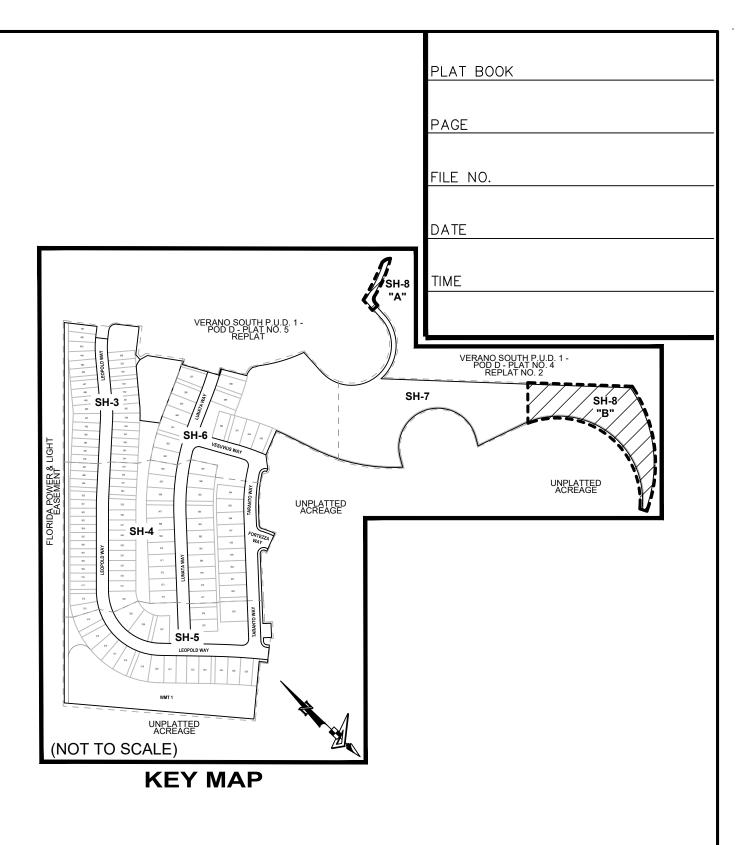


VERANO SOUTH P.U.D. 1 - POD D - PLAT NO. 6



P.B Plat Book	
Pg(s) Page(s)	
O.R.B Official Records Book	
C.U.E City Utility Easement	
D.E Drainage Easement	
L.M.E Lake Maintenance Ease	ement
U.E Utility Easement	
WMT Stormwater Managemer	nt Tract
CA Common Area Tract	
€ Centerline	
R/W Right-of-Way	
S.F.W.M.D South Florida Water Mo	anagement District
F.P.L Florida Power and Ligh	nt
P.U.D Planned Unit Developm	ent
R Radius	
L Arc Length	
D Delta-Central Angle	
CB Chord Bearing	
C Chord Length	
P.C Point of Curvature	
P.T Point of Tangency	
N.T Non-Tangent	
N.T.C Non-Tangent Curve	
P.R.C Point of Reverse Curve	2
C.C Compound Curve	
SEC. TWP. RNG Section Township Rang	е
(R) Radial	
(NR) Non-Radial	
(TYP.) Typical	
C.M Concrete Monument	
LB Licensed Business	
■ Indicates (PRM) Perma Reference Monument-4 Concrete Monument LB	4"x4" 27768
(Unless Otherwise Note Indicates found (PRM) Reference Monument—4 Concrete Monument LB (Unless Otherwise Note	Permanent 4" _× 4" 27768
• Indicates (PCP) Perma Control Point LB7768	•
Control Pòint LB7768	\frown
	oint
Sur	veying, Inc.
4152 W. Blue Heron Blvd. Suite 105 Riviera Beach, FL 33404	Phone: (561) 444-2720 www.geopointsurvey.com Licensed Business Number LB 7768 DF 08 SHEETS





	LEGEND	
<i>P.B.</i>		Plat Book
г.b. Pg(s).		Page(s)
, g(3). O.R.B.		Official Records Book
		City Utility Easement
D.E.		Drainage Easement
L.M.E.		Lake Maintenance Easement
U.E.		Utility Easement
WMT		Stormwater Management Tract
CA		Common Area Tract
Ę		Centerline
_		Right-of-Way
S.F.W.M.D.		
		Florida Power and Light
		Planned Unit Development
R		Radius
L		Arc Length
D		Delta–Central Angle
СВ		Chord Bearing
С		Chord Length
<i>P.C.</i>		Point of Curvature
P.T.		Point of Tangency
N. T.		Non-Tangent
N. T. C.		Non-Tangent Curve
<i>P.R.C.</i>		Point of Reverse Curve
<i>C.C.</i>		Compound Curve
SEC. TWP. RNG.		Section Township Range
(R)		Radial
(NR)		Non-Radial
(TYP.)		Typical
С.М.		Concrete Monument
LB		Licensed Business
•		Indicates (PRM) Permanent Reference Monument—4"x4" Concrete Monument LB7768 (Unless Otherwise Noted)
		Indicates found (PRM) Permanent Reference Monument–4"x4" Concrete Monument LB7768 (Unless Otherwise Noted)
۲		Indicates (PCP) Permanent Control Point LB7768
		GeoPoint

⁻Surveying, Inc.

Riviera Beach, FL 33404 SHEET 08 OF 08 SHEETS

4152 W. Blue Heron Blvd. Suite 105

Phone: (561) 444-2720 www.geopointsurvey.com Licensed Business Number LB 7768