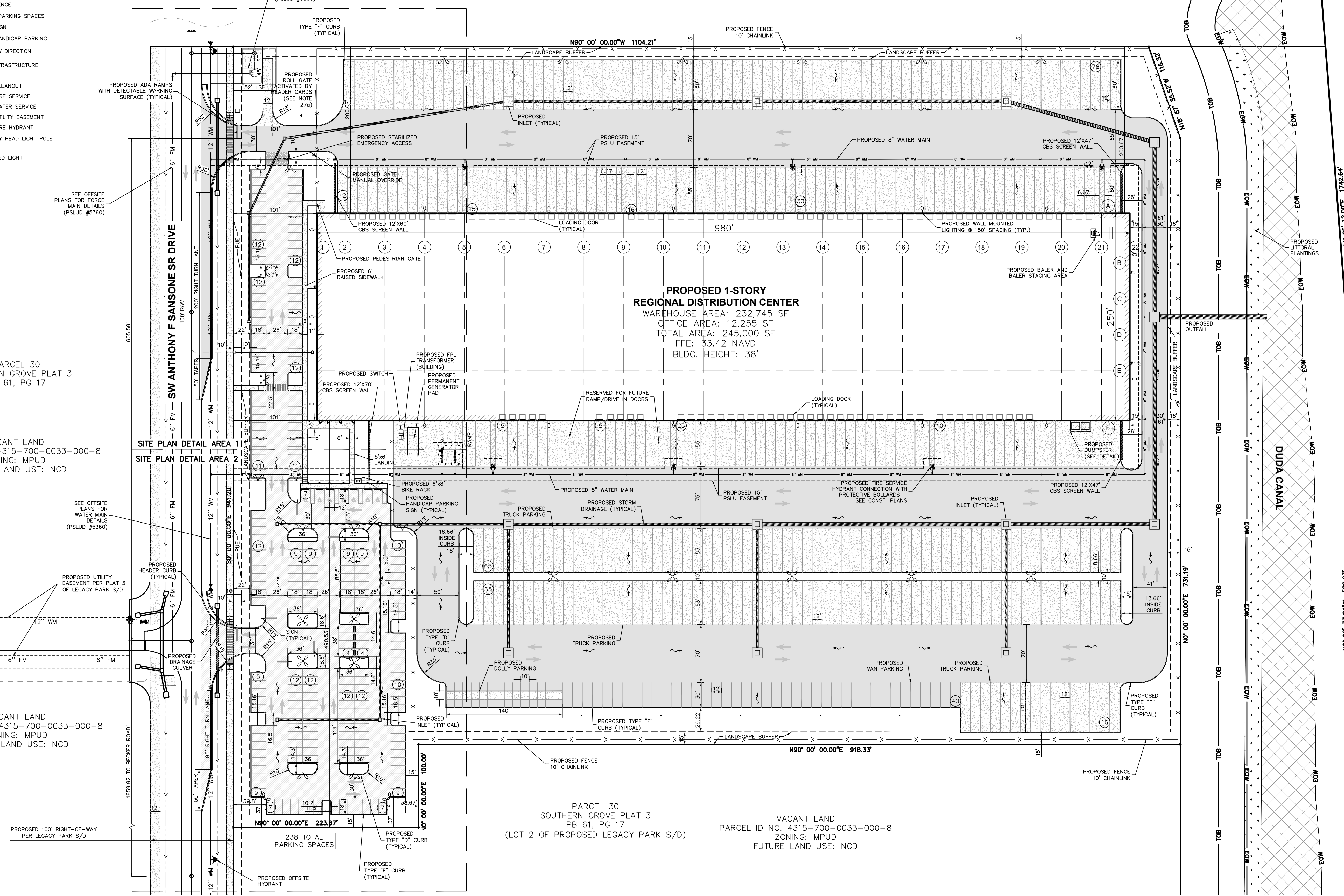
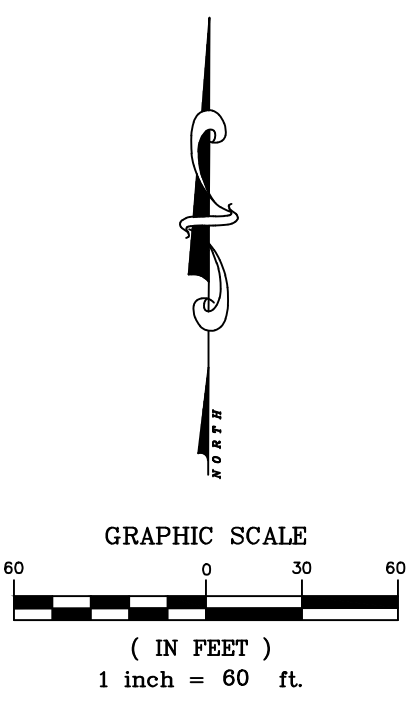
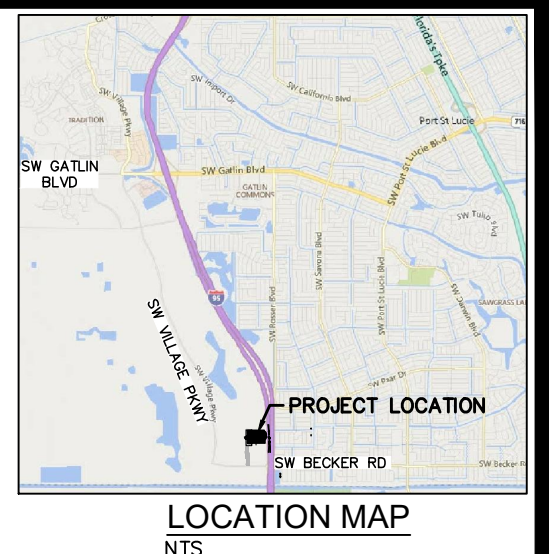


- LEGEND**
- HEAVY DUTY ASPHALT PAVING
 - LIGHT DUTY ASPHALT PAVING
 - CONCRETE PAVING
 - PROJECT BOUNDARY
 - PROPOSED FENCE
 - NUMBER OF PARKING SPACES
 - PROPOSED SIGN
 - PROPOSED HANDICAP PARKING
 - TRAFFIC FLOW DIRECTION
 - DRAINAGE INFRASTRUCTURE
 - FLOW ARROW
 - PROPOSED CLEANOUT
 - PROPOSED FIRE SERVICE
 - PROPOSED WATER SERVICE
 - PROPOSED UTILITY EASEMENT
 - PROPOSED FIRE HYDRANT
 - 2 AND 4 WAY HEAD LIGHT POLE (30' HEIGHT)
 - WALL MOUNTED LIGHT

PARCEL 30
SOUTHERN GROVE PLAT 3
PB 61, PG 17
(TRACT A OF PROPOSED LEGACY PARK S/D)

VACANT LAND
PARCEL ID NO. 4315-700-0033-000-8
ZONING: MPUD
FUTURE LAND USE: NCD



**PROPOSED 1-STORY
REGIONAL DISTRIBUTION CENTER**
WAREHOUSE AREA: 232,745 SF
OFFICE AREA: 12,255 SF
TOTAL AREA: 245,000 SF
FFE: 33.42 NAVD
BLDG. HEIGHT: 38'

SITE PLAN DETAIL AREA 1
SITE PLAN DETAIL AREA 2

238 TOTAL
PARKING SPACES




RAMP TO BECKER ROAD

P:\Proj-2020\20-127 Arco Murray\Eng\20-127 Warehouse Base.dwg Plotted: 11/25/2020 9:00 AM By: ZACH MCLUW

PSLUD FILE No. 5360A
CITY OF PSL PROJECT No. P20-181
JAMES P. TERPENING JR., P.E. FL. REG. NO. 24276

COMPUTER FILE REF.	FIELD BK./PG.



**CULPEPPER &
TERPENING INC**

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PHONE 772-464-3537 • FAX 772-466-9497 • www.ct-eng.com
STATE OF FLORIDA BOARD OF PROFESSIONAL
ENGINEERS AUTHORIZATION NO. 4286

- REVISIONS -		BY	DATE
REVISED PER SPRC COMMENTS FROM 10/14/20	ZM	10/27/20	
REVISED PER SPRC COMMENTS FROM 11/4/20	ZM	11/12/20	

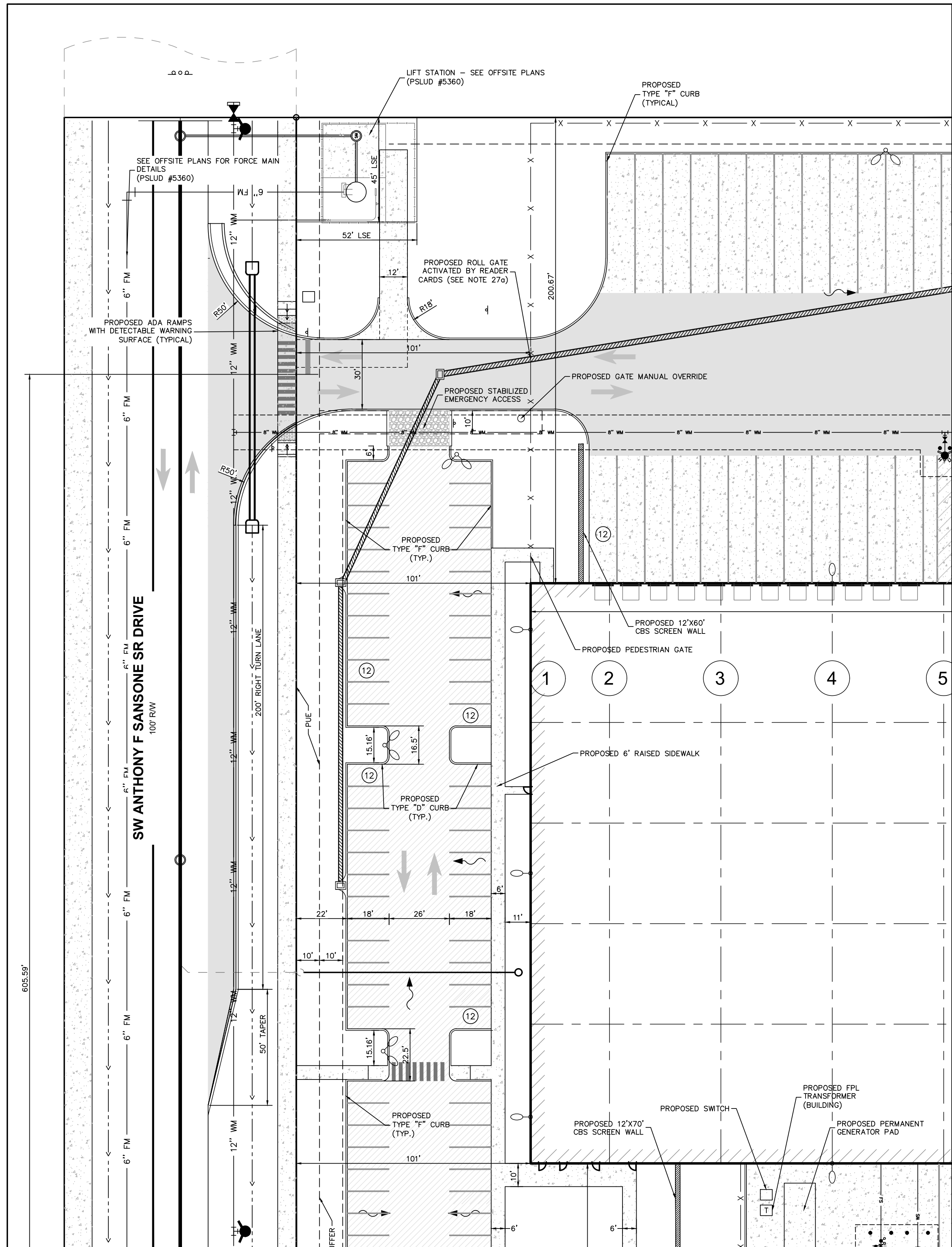
	BY	DATE
DESIGNED	JPT	9-16-20
CALCS.		
DRAWN	RN	9-16-20
DETAILED	RN	9-16-20
CHECKED	DJM	9-16-20
APPROVED	JPT	9-16-20

LEGACY - SITE 1

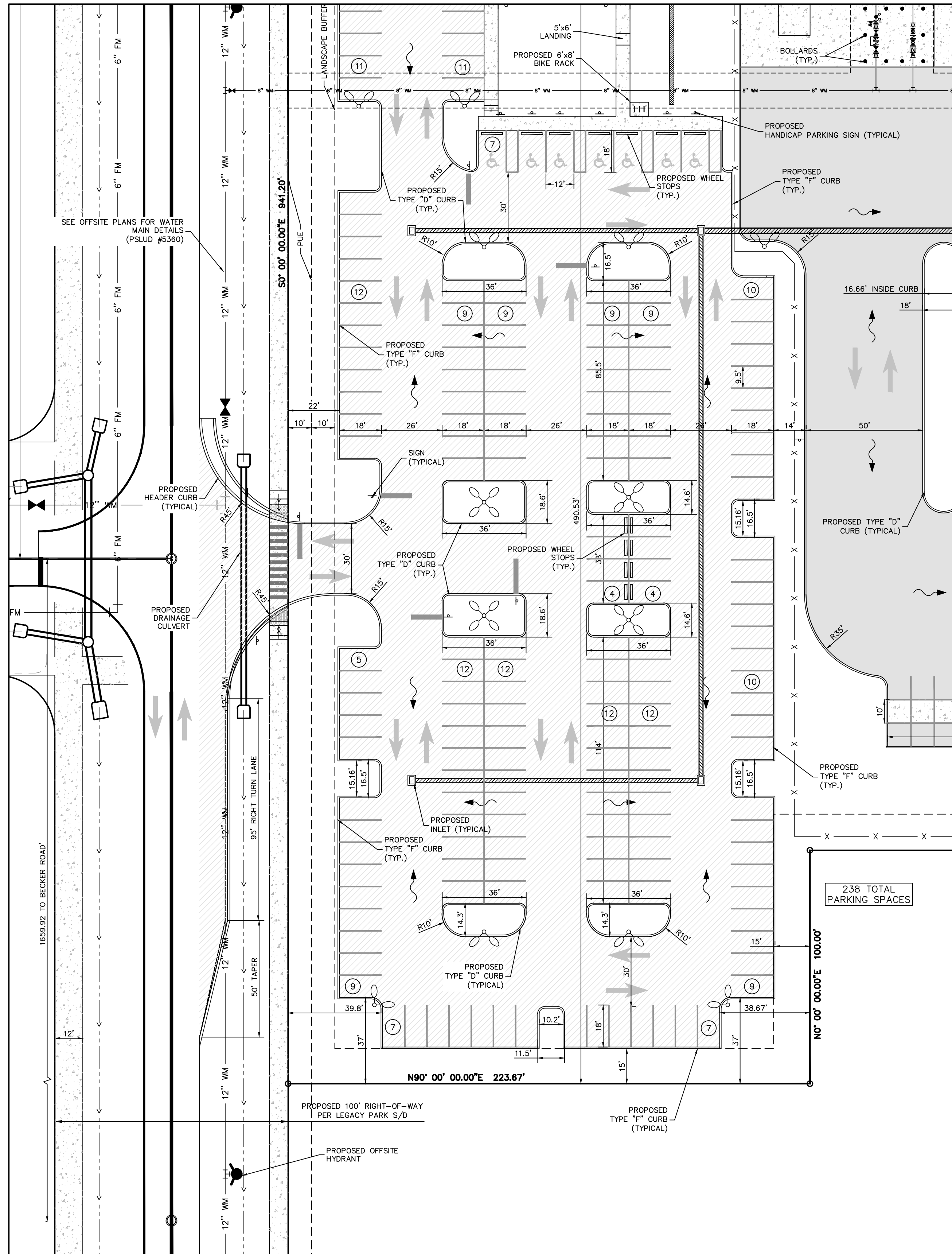
SITE PLAN

DATE: 2020-11-24
HORIZ. SCALE: 1"=60'
VERT. SCALE: NA
JOB No. 20-127
SHEET 1 of 3

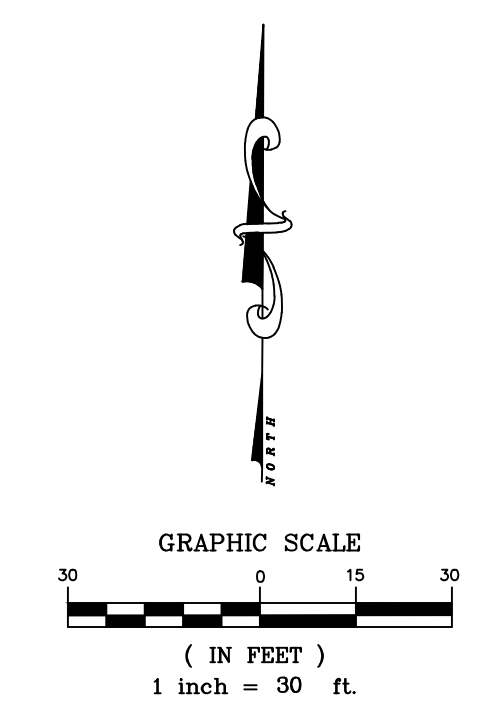
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SITE PLAN DETAIL AREA 1
1"=30'



SITE PLAN DETAIL AREA 2
1"=30'



- LEGEND**
- HEAVY DUTY ASPHALT PAVING
 - LIGHT DUTY ASPHALT PAVING
 - CONCRETE PAVING
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- REVISIONS -

REVISION	BY	DATE
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DESIGNED	BY	DATE
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DRAWN	RN	9-16-20
DETAILED	RN	9-16-20
CHECKED	DJM	9-16-20
APPROVED	JPT	9-16-20

LEGACY - SITE 1

SITE PLAN DETAIL AREAS

DATE: 2020-11-24
HORIZ. SCALE: 1"=30'
VERT. SCALE: NA
JOB No. 20-127
SHEET 2 of 3

SITE DATA TABLE

Owner:
Port St Lucie Governmental Finance Corp
121 SW Port St Lucie Blvd.
Port St Lucie, FL 34984
Phone: (772) 871-5212

Applicant:
ARCO Murray
4849 Greenville Ave., #1460
Dallas, Texas 75206
Phone: (214) 377-6681
www.arcomurray.com

Engineer / Surveyor:
Culpepper & Terpening, Inc.
2980 South 25th Street
Fort Pierce, FL 34981
Phone: (772) 464-3537
Fax: (772) 464-9497
www.ct-eng.com

Landscaper Architect:
Not required for Site Plan Review

Owners Representatives:
Culpepper & Terpening, Inc.
2980 South 25th Street
Fort Pierce, FL 34981
Phone: (772) 464-3537
Fax: (772) 464-9497
www.ct-eng.com

Architect:
GMA Architects
900 North Rock Hill Road
St. Louis, Missouri 31119
Phone: (314) 822-5191
Fax: (314) 963-0714
www.gma-architects.com

- Project Name:**
Legacy - Site 1
- Location:**
East side of SW Anthony F. Sansone SR Drive 1/4 mile north of SW Becker Road
- Project Description:**
A 245,000 Sq Ft Distribution Center
- Sec/Town/Range:**
Section 34/ Range 37S/ Township 39E
- Map ID:**
43/35N
- Parcel ID Numbers:**
4315-700-0033-000-8 (part of)
- Gross Site Area:**
22.52 acres (proposed development tract)
980,928 sq feet (approximate)
- Zoning:**
MPUD -- Tradition Regional Business Park @ Southern Grove 22.52 ac
- Land Use:**
NCD -- New Community District 22.52 ac
- Building Data:**

Setbacks (feet)	Required	Provided
Front	25	101.0
Rear	15	61.0
Side (north)	15	200.67
Side (south)	15	375.53

(Minimum setbacks are per Tradition Regional Business Park @ Southern Grove MPUD, Section 5)
- Development Schedule:**

Start	4th Qtr 2020
Complete	4th Qtr 2021
- Flood Zone:**
The project site is located in Flood Zone X. According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map Number 12111-C0400 J. (2/16/2012 - not printed)
- Site Coverage:**

Impervious	SF	ACRE	%Basin
Buildings	245000	5.62	25%
Pavement	589865.96	13.54	60%
Sidewalk	3675.71	0.08	0%
Total Impervious	838541.47	19.25	85%
Pervious	SF	ACRE	%Basin
Open Space	142396.11	3.27	15%
Total Pervious	142396.11	3.27	15%
Total	980937.58	22.52	100%

- Open Space:**
Common Open Space areas within the Tradition Regional Business Park @ Southern Grove MPUD are as provide for in the Master Site Plan for the overall project site. Individual project sites are not required to provide additional open space towards meeting this common area objective.
- Building Hgt.:**
Maximum Bldg. Hgt. 38 feet (proposed)
- Utility Service:**

Water Service	Port St. Lucie	Electric Service	FPL
Sewage Service	Port St. Lucie	Cable Service	Blue Stream
Re-Use Water	n/a		

17.) Fire Services:
Fire Hydrants are provided at the project property line. An series of on-site fire hydrants are provided in a looped system around the the proposed building as indicated on the project site plan.

18.) Site Lighting:
Site lighting shall be provided in accord with City Codes and Standards. No lighting shall be directed off-site. Site lighting to be provided by a combination of wall mounted and poled fixtures. Parking lot (auto) lighting shall be at an average of 2.0ft Candles; Parking lot (truck court and parking) shall be an average of 1.5ft Candles. Site lighting to be LED fixtures.

19.) Refuse Collection:
Trash and solid waste is collected by approved City of Port St. Lucie Service provider.

20.) Parking Required:
In accord with the Tradition Regional Business Park @ Southern Grove MPUD, the required parking for a Warehouse and Distribution Use activity is .75/spaces per 1,000 sq. feet of building area (gross area). (Ref., Tradition Regional Business Park @ Southern Grove MPUD, Section 5)

Building Area (1000 sf):	245	sq. ft
Parking Ratio (.75/1000 sf)	0.75	spaces/ 1000 sf
Required Parking	184	spaces (minimum)

Parking Provided:

Standard Spaces	231	Spaces
Handicapped	7	Spaces
Total	238	

22.) Site Drainage:
The stormwater management system for the overall project area (Tradition Regional Business Park @ Southern Grove MPUD), is governed by the Southern Grove, South Florida Water Management District Permit No. 56-02531-p (as may be amended). The project sites within the TRBPK MPUD shall provide a minimum dry pre-treatment volume of 1/2 inch of runoff prior to discharge into the master surface water management system unless, at the time of application for construction approval alternative assurances are provided that hazardous materials will not enter the project's surface water management system in accordance with Section 5.2.2(a) of the SFWMD Basis of Review.

Therefore, the conceptual stormwater system for this project site provides for the introduction of a series of interconnected stormwater catch basis located throughout the project site that serve to collect the surface stormwater and direct it to the adjacent, on site, water body locally referred to as the 'Duda Canal', which is part of the overall Southern Grove Master Stormwater system. The Duda Canal is subject to a proposed SFWMD permit revision would provide for both water quality treatment and attenuation storage in this area as opposed to having separate dry pretreatment and wet storage areas on the project site.

23.) Traffic Statement
Trip generation is based upon Institute of Transportation Engineers (ITE) Code 156 (10th edition) - High Cube Parcel Hub Warehouse.

	average rate	project sf	trips
Weekday Daily Trips:	7.75/1000 SF	245,300	1901.08
AM Peak:	88/1000 SF	245,300	215.86
PM Peak:	71/1000 SF	245,300	174.16

24.) Hazardous Waste Statement:
Any and all hazardous or toxic materials generated or used or stored on site shall be disposed of in accordance with all local, state, and federal Regulations

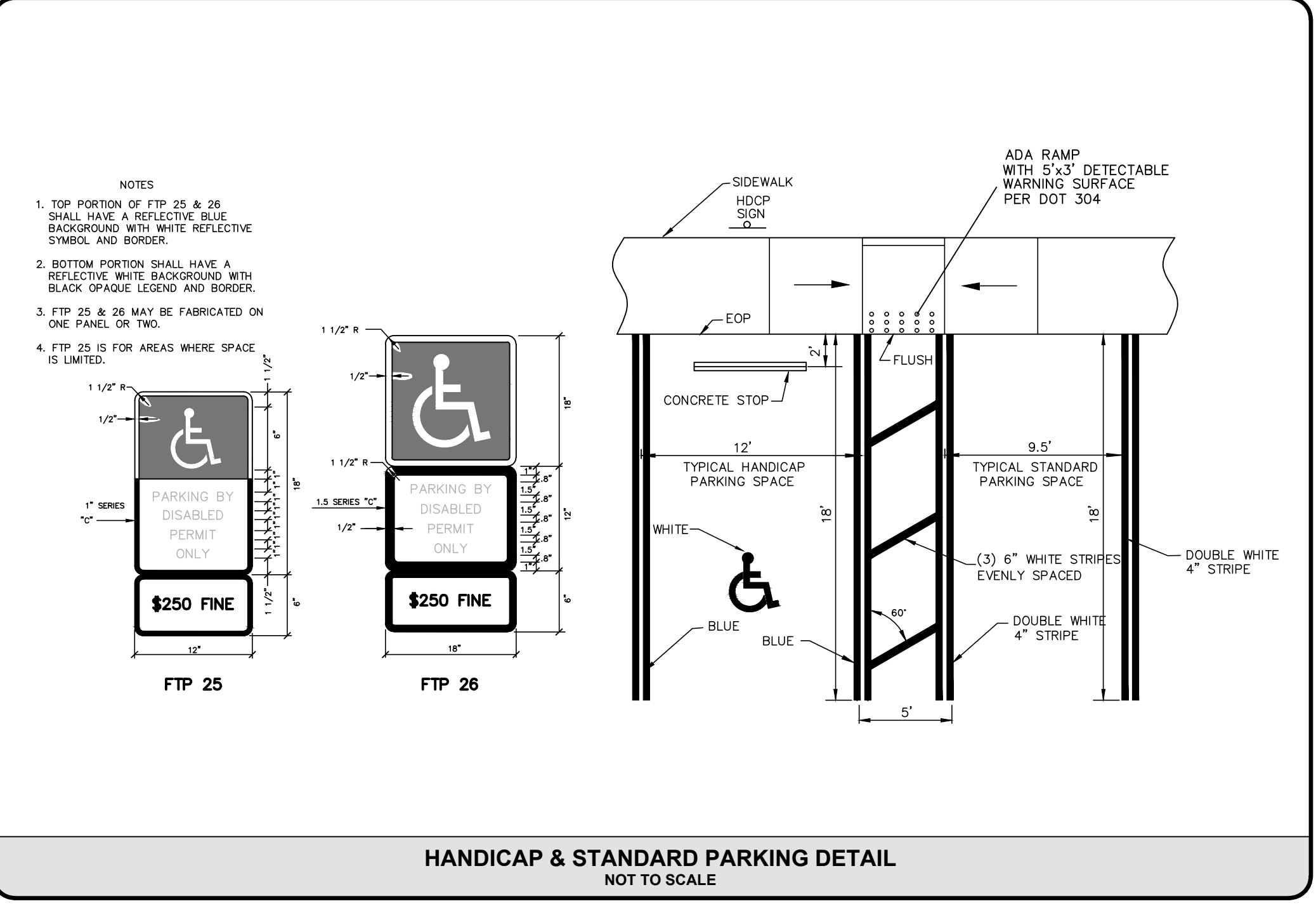
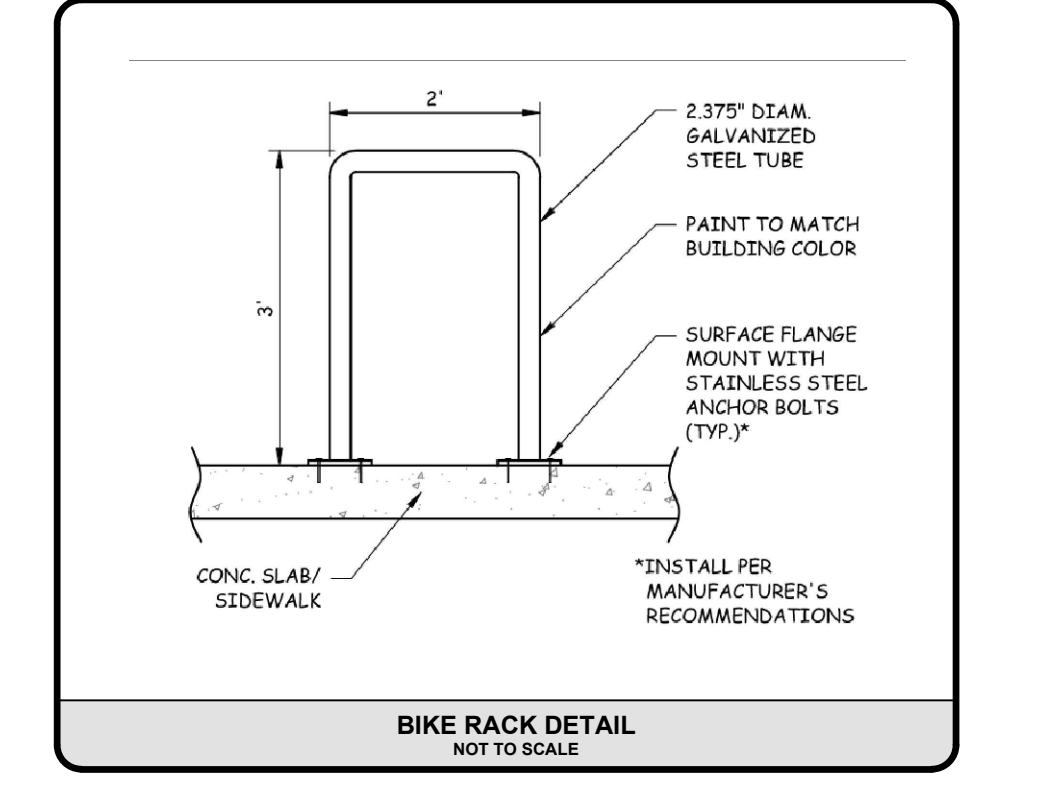
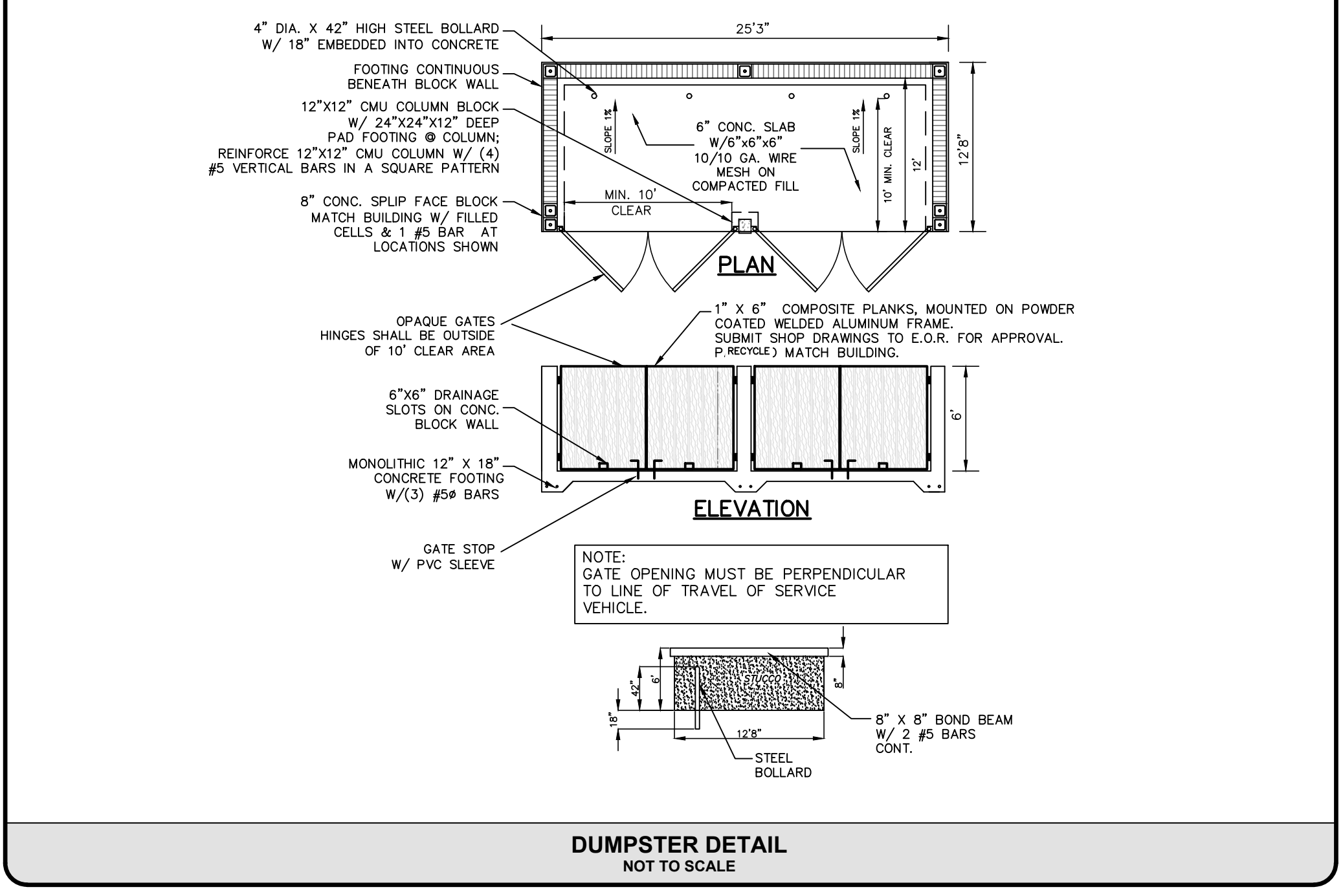
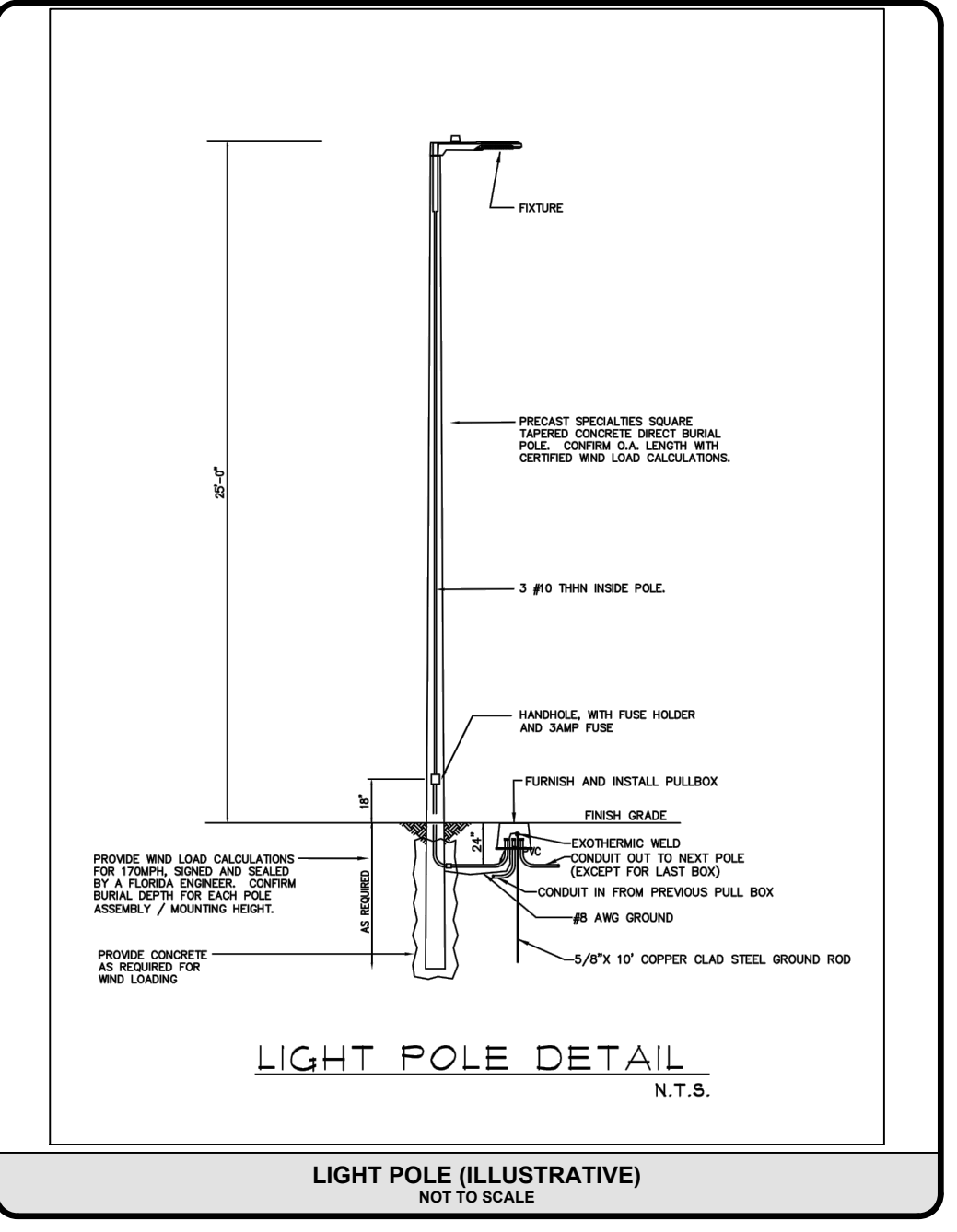
25.) Wellfield Protection Ordinance:
This project is not located in a public water supply wellfield protection zone.

26.) Environmental Statement:
This site was included in the overall Southern Grove DRI and environmental items were addressed as part of that development review process. The project site is currently vacant. According to the environmental summary assessment from October 2020, there are no environmentally sensitive lands or regulated wetlands on site. No wildlife, or evidence of wildlife, including that from the list of state and federally protected species, rare, threatened, endangered, or species of special concern was observed on the property. No portions of the property appear to be environmentally sensitive.

Description	Found (Yes/No)	Agency Contact Information	Management Plan (Yes/No)	Relocation Plan (Yes/No)
Wetlands	Yes		*Yes	*Yes
Rare Habitat	No			
Threatened Species	Yes		No	No
Endangered Species	No			
Species of Special Concern	No			
Invasive/Exotic Vegetation	Yes		N/A	N/A

*See existing permits: SFWMD 56-01544-P, 56-0279-P, and 56-02531-P / USACE SAJ-2006

27.) General Notes:
a.) All truck deliveries will be through the project north access. Truck deliveries are scheduled by the facility operator so that no trucks will be permitted to stage in the adjacent street right-of-way. Truck access gates are to be security codes so only authorized entry is permitted.
b.) The property owner, contractor, and authorized representatives shall provide pickup, removal, and disposal of litter within the project limits and shall be responsible for maintenance of the area from the edge of pavement to the property line within the City's right-of-way in accordance with City Code, Section 41.08 (g).



Legal Description
Being a parcel of land lying in a portion of Parcel 30, according to the plat of SOUTHERN GROVE PLAT NO. 3, as recorded in Plat Book 61, Page 17, Public Records of St. Lucie County, Florida, more particularly described as follows;

Commence at the Southeast corner of said Parcel 30; thence along the East line of Parcel 30 the following 6 courses and distances; thence commencing at a curve to the right, of which the radius point lies South 88°49'04\"/>

Thence North 90°00'00\"/>

Containing 22.519 acres, more or less.

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PLSLUD FILE No. 5360A
CITY OF PSL PROJECT No. P20-181

LEGACY - SITE 1

SITE PLAN NOTES AND DETAILS

DATE: 2020-10-19
HORIZ. SCALE: NA
VERT. SCALE: NA
JOB No. 20-127
SHEET 3 of 3

COMPUTER FILE REF.	FIELD BK./PG.

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