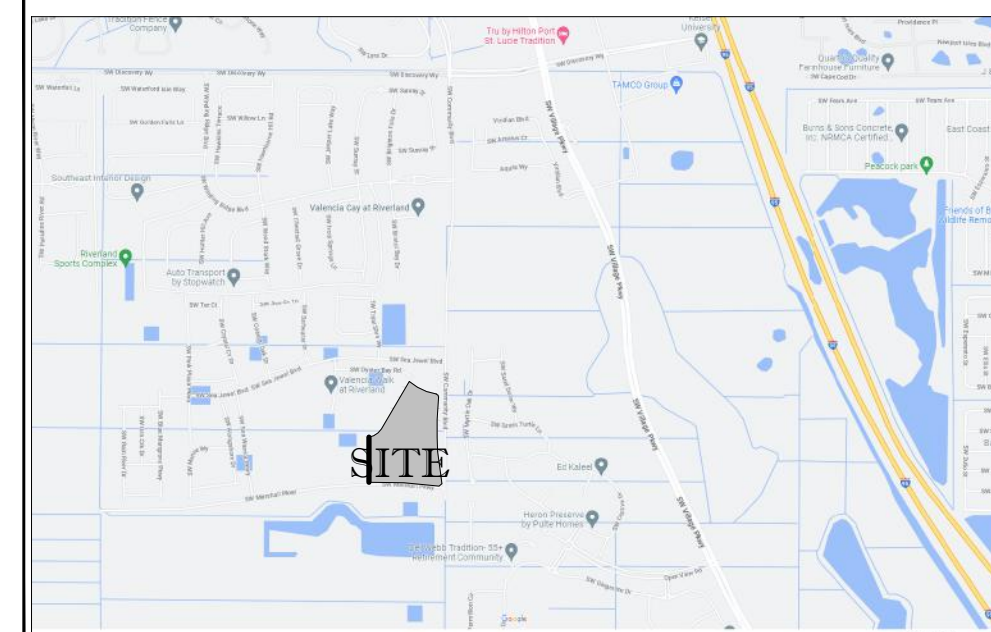


SITE DATA:

Site Data:	SF	Ac	%	Undeveloped		Impervious		Pervious				
				SF	Ac	SF	Ac	SF	Ac			
Tract 1	835,634	19.18	73%	273,942	6.29	24%	415,784	9.55	36%	146,657	3.37	13%
Tract 2	178,758	4.10	16%	168,940	3.88	15%	9,070	0.21	1%	-	-	-
Tract 3	76,096	1.75	7%	76,096	1.75	7%	-	-	-	-	-	-
Tract 4	51,085	1.17	4%	51,085	1.17	4%	-	-	-	-	-	-
Tract 5	NOT PART OF THIS SITE PLAN											
Total	1,141,573	26.21	100%	570,063	13.09	50%	424,854	9.75	37%	146,657	3.37	13%
Building Area	-	-	-	-	-	-	66,068	1.52	6%	-	-	-
VJA	-	-	-	-	-	-	322,798	7.41	28%	-	-	-
Sidewalks	-	-	-	-	-	-	35,988	0.83	3%	-	-	-
Landscape Area	-	-	-	-	-	-	-	-	-	146,657	3.37	13%
Usable open space	Required 5%: 28,576 SF			Provided			30,658 SF					

LOCATION MAP:



PROJECT CONTACTS:

CIVIL ENGINEER:
 THOMAS ENGINEERING GROUP
 840 SE OSCEOLA ST
 STUART, FLORIDA 34994
 (561) 203-7503
 bulmer@thomaseg.com

LANDSCAPE ARCHITECT:
 THOMAS ENGINEERING GROUP
 Michael Grosswirth
 mgrosswirth@Thomaseg.com

LAND SURVEYOR:
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 Lake Worth, FL 33467
 Perry White
 2581 Metrocentre Boulevard Suite3
 West Palm Beach, FL 33407
 Bryan G Kelly
 561-478-7848

DEVELOPER:
 Riverland Commercial Associates I, LLC
 1600 Sawgrass Corporate Parkway
 Suite 400
 Sunrise, FL 33323
 Michael Friedman
 mike.friedman@gcommercial.com

ARCHITECT:
 Fisher and Associates, LLC
 John Messina
 johnm@fisherarchitects.com

PARKING CALCULATIONS:

Building	Area (SF)	Parking Rate	Standard Parking		Accessible Parking		Total Parking	
			Required	Provided	Required	Provided	Required	Provided
Retail A	48,868	1 Space/250SF	195	239	7	8	202	247
Retail A 101	2,100	1 Space/250SF	8	8	1	1	9	9
Neighborhood Commercial Shared parking (Future)	-	-	-	-	39	-	39	-
Total Building A	50,968	-	204	286	8	9	292	256
Retail B	6,179	1 Space/250SF	25	-	-	-	25	-
Restaurant A	4,876	1 Space/250SF	20	-	-	-	20	-
Outdoor seating B	500	1 Space/250SF	2	-	-	-	2	-
Building B Storage	205	1 Space/250SF	1	-	-	-	1	-
Total Building	11,760	-	47	47	3	4	51	-
Restaurant C	3,860	1 space/ 100 SF	39	-	-	-	39	-
Outdoor Seating C	500	1 space/ 100 SF	5	-	-	-	5	-
Total Restaurant C	4,360	-	44	44	2	2	46	-
Future Tenant Spaces	-	-	-	-	66	-	66	-
Total			294	443	13	15	458	

DRAINAGE STATEMENT:

1. THE STORMWATER MANAGEMENT SYSTEM FOR THIS PROJECT IS PART OF THE OVERALL RIVERLAND /KENNEDY DRI. THERE ARE THREE EXISTING 36" STORMWATER STUBS ALONG THE WEST PROPERTY LINE THAT THE PROPOSED DEVELOPMENT WILL CONNECT TO. THE PROJECT WILL FOLLOW THE CRITERIA FROM THE MASTER SYSTEM. WATER QUALITY AND QUANTITY HAS BEEN PROVIDED FOR IN THE MASTER SYSTEM.

ENVIRONMENTAL STATEMENT:

1. THERE IS NO ENVIRONMENTAL ASSESSMENT REQUIRED; THE EXISTING LAND WAS MASS-GRADED AND CLEARED PRIOR TO THE SUBMITTAL OF THIS SITE PLAN.

TRAFFIC STATEMENT:

67,068 SF - Proposed Site Plan
 ITE Land Use Code: 821
 Daily: 6,337 tpd
 AM Peak Hour of Generator: 474 pht (246 In, 228 Out)
 PM Peak Hour of Generator: 652 pht (319 In, 333 Out)

130,000 SF - Full Buildout
 ITE Land Use Code: 821
 Daily: 11,418 tpd
 AM Peak Hour of Generator: 918 pht (477 In, 441 Out)
 PM Peak Hour of Generator: 1264 pht (619 In, 645 Out)

LEGAL DESCRIPTION:

TRACTS 1 THRU 4 AS RECORDED IN PLAT BOOK 120 PAGES 21 TO 24 LYING IN SECTION 21, TOWNSHIP 37 SOUTH, RANGE 39 EAST, CITY OF PORT ST LUCIE, ST LUCIE COUNTY, FLORIDA.

CONTAINING 26,207 ACRES, MORE OR LESS

LEGEND:

- PROPOSED 2' WIDE FOUNDATION PEA GRAVEL
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED MULTI-MODAL ASPHALT PAVEMENT
- PROPOSED PARKING SPACE COUNT
- PROPOSED HANDICAP PARKING SPACE COUNT

SITE NOTES:

1. ALL PAVEMENT DIMENSIONS SHOWN ARE SHOWN TO EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. OPEN SPACE DIMENSIONS ARE SHOWN TO BACK OF CURB
2. ALL RADIUS DIMENSIONS ARE 3' UNLESS OTHERWISE NOTED.
3. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," LATEST EDITION, AND CITY OF PSL LAND DEVELOPMENT CODE.
4. FREE STANDING SIGNAGE SHOWN ONLY FOR REPRESENTATIONAL PURPOSES, AND SHALL BE PERMITTED SEPARATELY FROM THIS APPLICATION (SEE CHAPTER 155 (SIGN CODE) CITY OF PORT ST LUCIE LAND DEVELOPMENT REGULATIONS).
5. ALL WORK WITHIN R.O.W. SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND THE DESIGN STANDARDS (LATEST EDITION).
6. MAINTENANCE OF TRAFFIC PLAN FOR WORK ZONES SHALL BE IN CONFORMANCE WITH ALL APPLICABLE INDEXES OF THE FDOT DESIGN STANDARDS.
7. ANY DAMAGED SIDEWALK OR CURB WITHIN THE R.O.W. SHALL BE REMOVED AND REPLACED.
8. ALL SIDEWALKS SHALL COMPLY WITH FDOT STANDARD INDEXES AND BE CONSTRUCTED OF A MINIMUM 4" THICK 3,000 PSI CONCRETE OR 6" THICK 3,000 PSI CONCRETE WITH W 4 x W 4, 6" x 6" REINFORCING MESH AT ALL DRIVEWAYS AND L.M.A.E'S ANY TRUNCATED DOMES SHALL BE INSTALLED PER FDOT INDEXES
9. ALL DISTURBED AREAS WITHIN THE R.O.W. WILL BE SODDED.
10. ALL PROHIBITED EXOTIC PLANT SPECIES SHALL BE REMOVED FROM THE SITE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. PERPETUAL MAINTENANCE IS REQUIRED TO PROHIBIT THE REESTABLISHMENT OF INVASIVE EXOTIC SPECIES WITHIN PRESERVATION AREAS AND PLANTED LANDSCAPE OR LAKE LITTORAL AREAS AS PROVIDED ON THE PLANS APPROVED WITH THE DEVELOPMENT ORDER.
11. THE PROPERTY OWNER, CONTRACTOR AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT OF WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (g).
12. NO LANDSCAPING OTHER THAN GRASSES SHALL BE LOCATED WITHIN 10' OF A CITY UTILITY LINE OR APPURTENANCE. ALL OTHER UTILITIES SHALL BE A MINIMUM OF 5' HORIZONTAL FROM CITY MAINS FOR PARALLEL INSTALLATIONS AND A MINIMUM OF 18" BELOW CITY MAINS.
13. NO LANDSCAPING SHALL BE PLACED IN A MANNER THAT WOULD CREATE CONFLICTS WITH THE INTENDED OPERATION OF ANY EXISTING UTILITY.
14. PROPOSED LOCATION OF STORAGE TANK(S) AT THE SUBJECT SITE IS NOT WITHIN 500 FEET OF ANY EXISTING COMMUNITY WATER SUPPLY WELL, NOT WITHIN 500 FEET OF ANY NON-TRANSIENT, NON COMMUNITY WATER SUPPLY WELL, AND NOT WITHIN 100 FEET OF ANY EXISTING POTABLE WATER SUPPLY WELL.
15. PAINT STRIPING IN ALL PARKING LOT AND PAVEMENT AREAS SHOULD BE CONSTRUCTED WITH A PAINT PRODUCT THAT PROVIDES A HIGH SLIP-RESISTANT FINISH AND PREVENTS INDIVIDUALS FROM SLIPPING WHEN STEPPING ON THE STRIPING IN BOTH WET AND DRY CONDITIONS.

REVISIONS:

REV:	DATE:	COMMENT:	BY:
1	4-26-23	REV PER SPRCC COMMENTS	BU
2	6-23-23	REV PER SPRCC COMMENTS	BU
3	9-5-23	REV PER CITY COMMENTS	BU
4	10-19-23	REV PER CITY COMMENTS	BU



PROJECT No.:	FJ210017
DRAWN BY:	MUL
CHECKED BY:	BMU
CAD I.D.:	FJ210017-SP

SITE PLAN

FOR

RIVERLAND CENTER

RIVERLAND COMMERCIAL ASSOCIATES I, LLC

PORT SAINT LUCIE FLORIDA



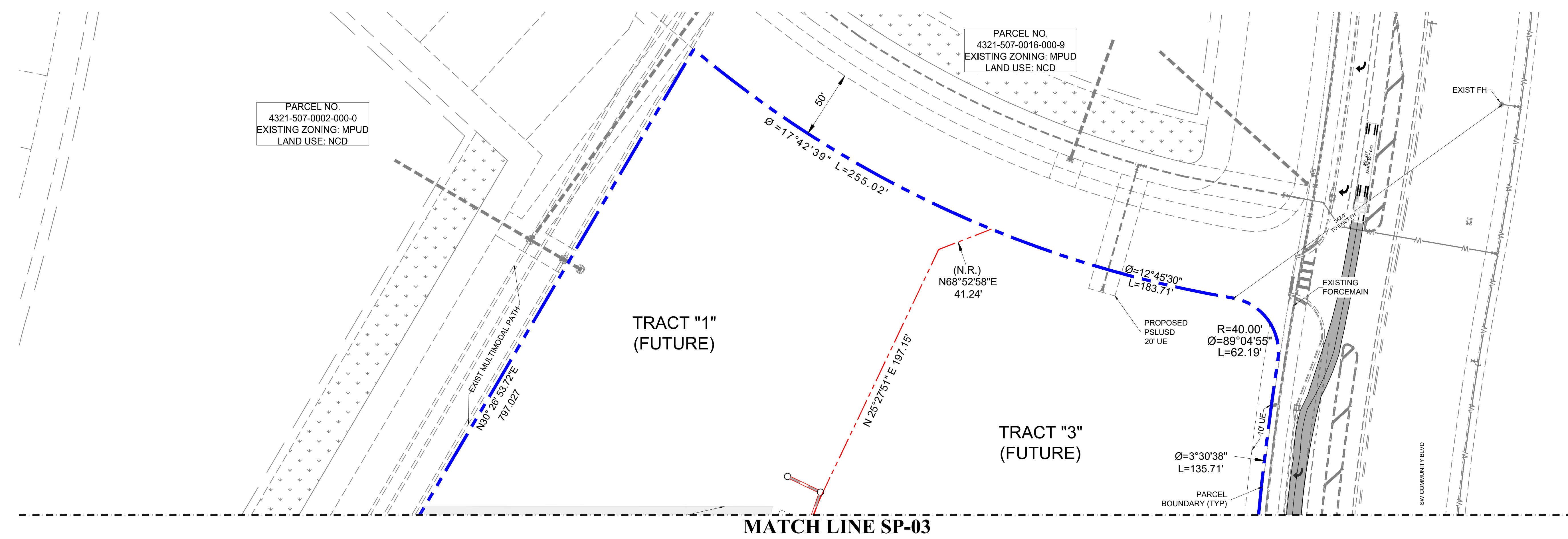
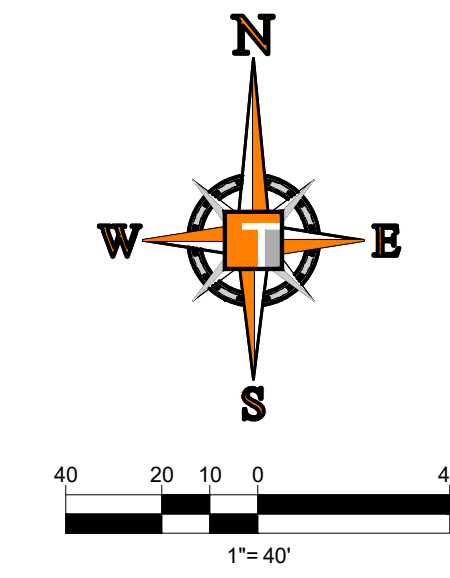
SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
SP-01

PORT ST. LUCIE PROJECT NO: P23-069

-SEE SHEET SP-5 FOR SITE DETAILS

PLUSD PROJECT NO: 5266K
 ELEVATIONS BASED ON NAVD 88



THOMAS
ENGINEERING GROUP

CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

1502 W. FLETCHER AVE
TAMPA, FL 33612
P: 813-279-4100
F: 813-279-4100

REV.	DATE	REVISIONS	BY:
1	4-26-23	REV PER SPRC COMMENTS	BU
2	6-23-23	REV PER SPRC COMMENTS	BU
3	9-5-23	REV PER CITY COMMENTS	BU
4	10-19-23	REV PER CITY COMMENTS	BU

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PROJECT No.:	FJ210017
DRAWN BY:	MJL
CHECKED BY:	BMU
CAD I.D.:	FJ210017-SP

PROJECT:

SITE PLAN

FOR

RIVERLAND CENTER

RIVERLAND COMMERCIAL ASSOCIATES I, LLC

PORT SAINT LUCIE
FLORIDA

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840 SE Osceola St.
Stuart, FL 34904
PH: (772) 888-3138

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BRANDON JEMER
No. 68345

PROFESSIONAL ENGINEER
November 15, 2023

FLORIDA LICENSE No. 68345
FLORIDA BUSINESS REGISTRATION No. 27528

SHEET TITLE:

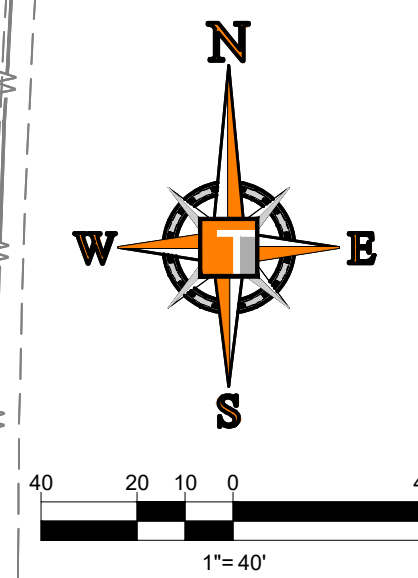
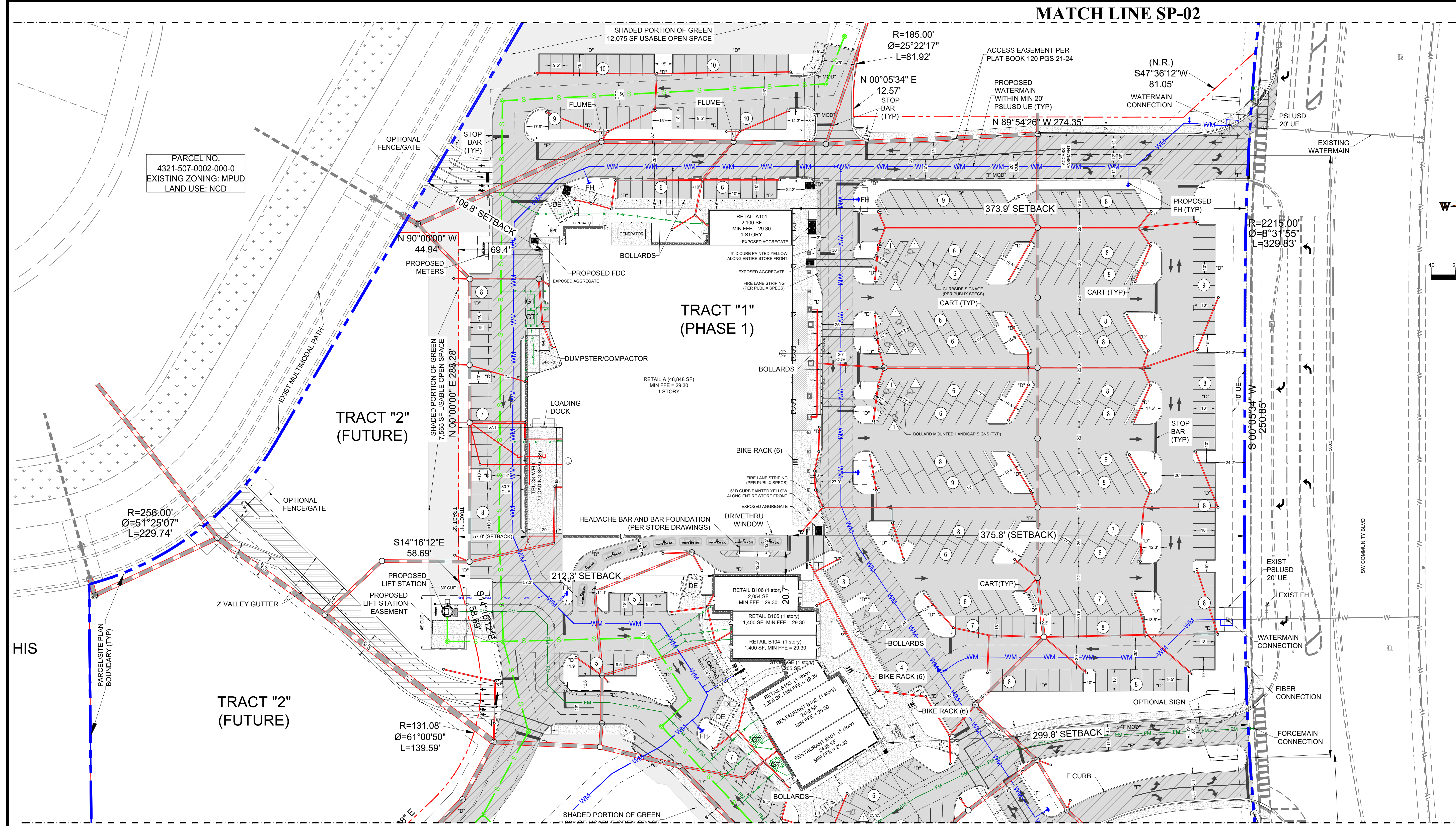
SITE PLAN

SHEET NUMBER:

SP-02

MATCH LINE SP-02

PARCEL NO. 4321-507-0002-000-0
EXISTING ZONING: MPUD
LAND USE: NCD



THOMAS
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CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

1500 W. FLETCHER AVE
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F: 813-379-4101

REV.	DATE	REVISIONS	BY
1	4-26-23	REV PER SPRC COMMENTS	BU
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3	9-5-23	REV PER CITY COMMENTS	BU
4	10-19-23	REV PER CITY COMMENTS	BU

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PROJECT No.: FJ210017
DRAWN BY: MJL
CHECKED BY: BMU
CAD I.D.: FJ210017-SP

PROJECT:

SITE PLAN

FOR

RIVERLAND CENTER

RIVERLAND COMMERCIAL ASSOCIATES I, LLC

PORT SAINT LUCIE
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BRANDON UEMER
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PROFESSIONAL ENGINEER
November 15, 2023

FLORIDA LICENSE No. 68345
FLORIDA BUSINESS AND PROFESSIONAL REGULATION BOARD No. 27528

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

SP-03

PORT ST. LUCIE PROJECT NO: P23-089

LEGEND:

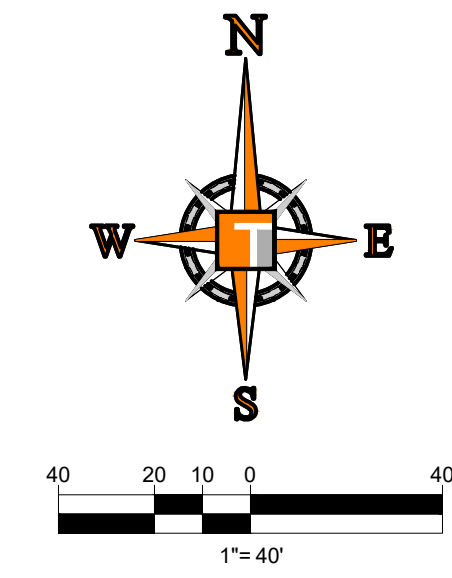
- PROPOSED 2' WIDE FOUNDATION PEA GRAVEL
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED MULTI MODAL ASPHALT PAVEMENT
- PROPOSED PARKING SPACE COUNT
- PROPOSED HANDICAP PARKING SPACE COUNT

-SEE SHEET SP-1 FOR ALL DATA AND STANDARD NOTES
-SEE SHEET SP-5 FOR STANDARD PARKING DETAIL

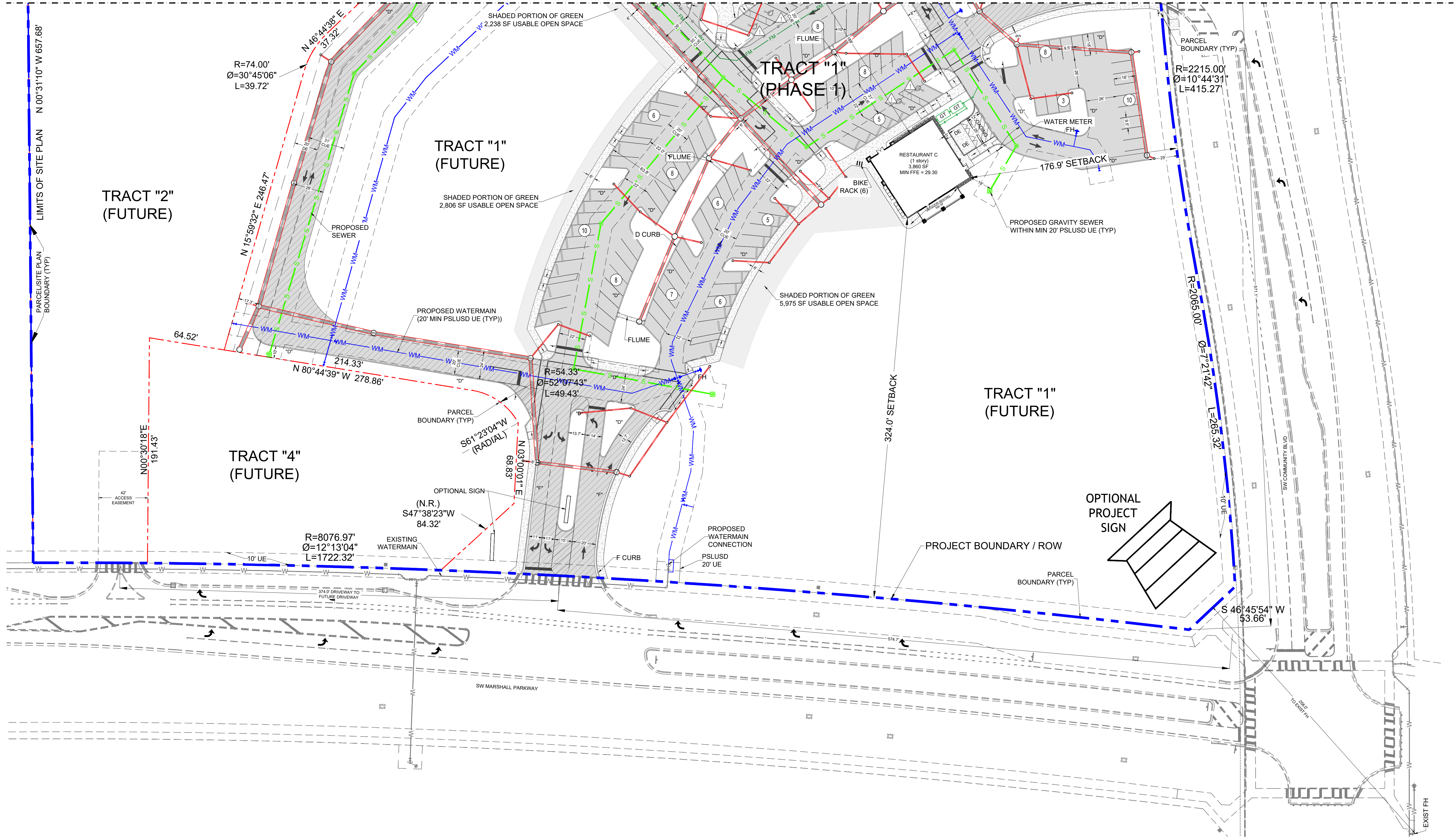
PSLUSD PROJECT NO: 5266K
ELEVATIONS BASED ON NAVD 88

LEGEND:

- PROPOSED 2' WIDE FOUNDATION PEA GRAVEL
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
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- PROPOSED HANDICAP PARKING SPACE COUNT



MATCH LINE SP-03



THOMAS ENGINEERING GROUP
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 1502 W. FLETCHER AVE
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 P: 813-379-4100
 F: 813-379-4100
 6500 NW 31st AVE
 TAMPA, FL 33309
 P: 954-262-7000

REVISIONS

REV.	DATE	REVISIONS	BY
1	4-26-23	REV PER SPRCC COMMENTS	BU
2	6-23-23	REV PER SPRCC COMMENTS	BU
3	9-5-23	REV PER CITY COMMENTS	BU
4	10-19-23	REV PER CITY COMMENTS	BU

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PROJECT No.:	FJ210017
DRAWN BY:	MJL
CHECKED BY:	BMU
CAD I.D.:	FJ210017-SP

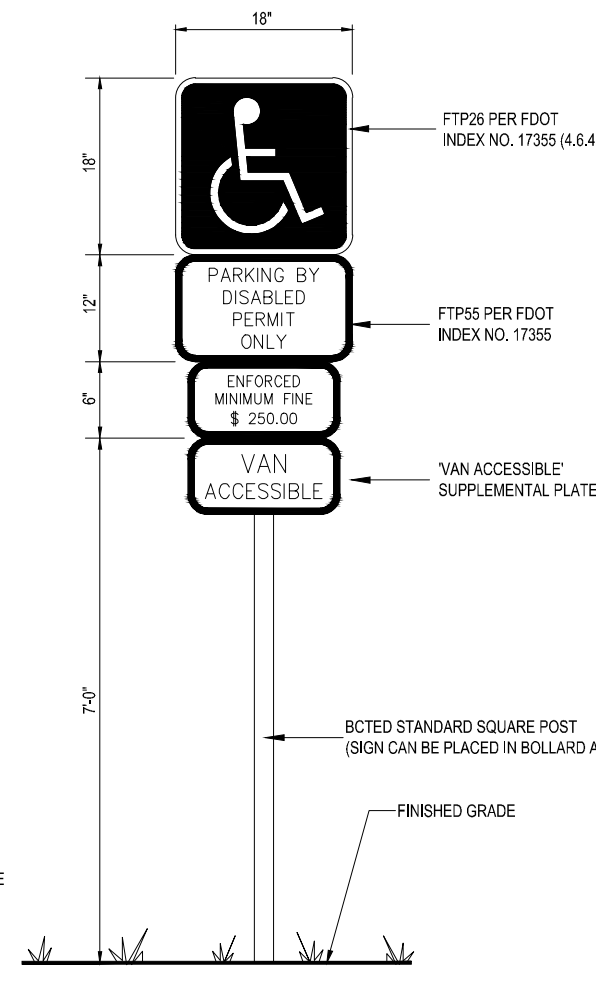
SITE PLAN
 FOR
RIVERLAND CENTER
 RIVERLAND COMMERCIAL ASSOCIATES I, LLC
 PORT SAINT LUCIE FLORIDA

THOMAS ENGINEERING GROUP
 840 SE Osceola St.
 Stuart, FL 34904
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BRANDON JEMER
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 November 15, 2023
 FLORIDA LICENSE No. 68345
 FLORIDA BUSINESS REGISTRATION No. 27528

SHEET TITLE:
SITE PLAN
 SHEET NUMBER:
SP-04
 PORT ST. LUCIE PROJECT NO: P23-069

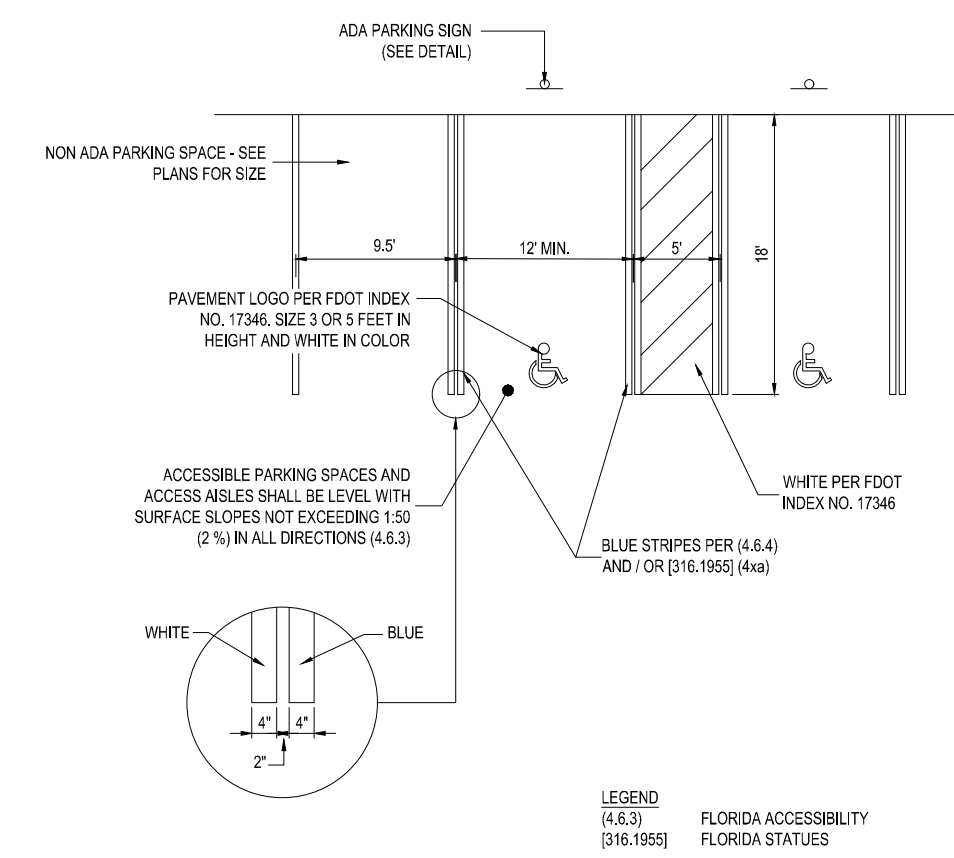
-SEE SHEET SP-1 FOR ALL DATA AND STANDARD NOTES
 -SEE SHEET SP-5 FOR STANDARD PARKING DETAIL
 PSLUSD PROJECT NO: 5266K
 ELEVATIONS BASED ON NAVD '88



NOTES
 1. HANDICAPPED SIGN WILL BE OF A D.O.T. (BLUE) COLOR. PAVEMENT BORDER LINES (ONE ON EACH SIDE) OF THE HANDICAPPED SPACE WILL BE OF A BLUE COLOR OF A QUALITY EQUIVALENT TO SUPER STRIPE TRAFFIC PAINT SOLD BY FOM VALLEY SYSTEM INC. OF CHRYSLER, PHONE 1-800-323-4710. SHALL BE STRIPED ON THE WEARING SURFACE OF EACH SPACE DESIGNED FOR THE HANDICAPPED SPACE.

1 ACCESSIBLE PARKING SIGN

SCALE: NONE

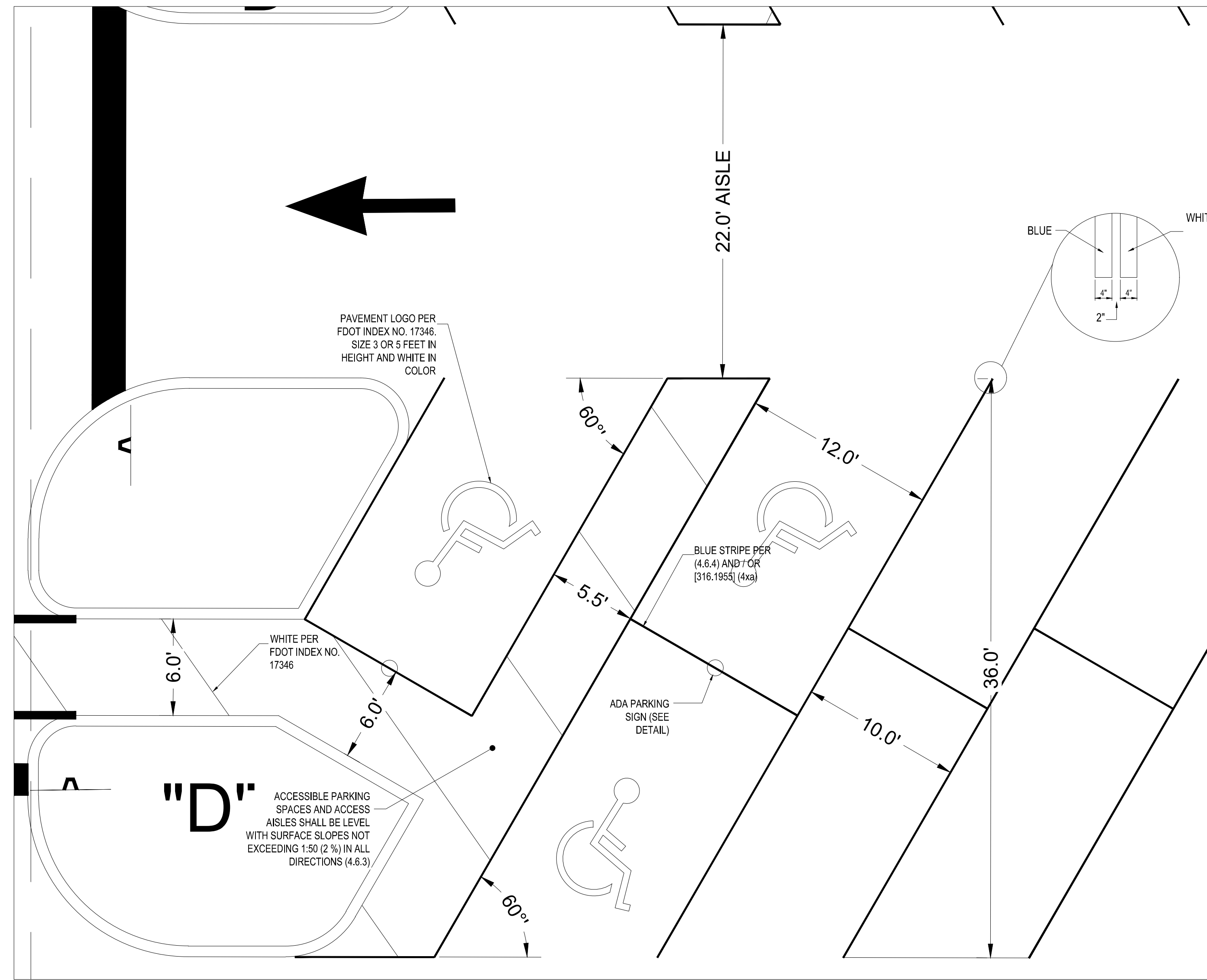
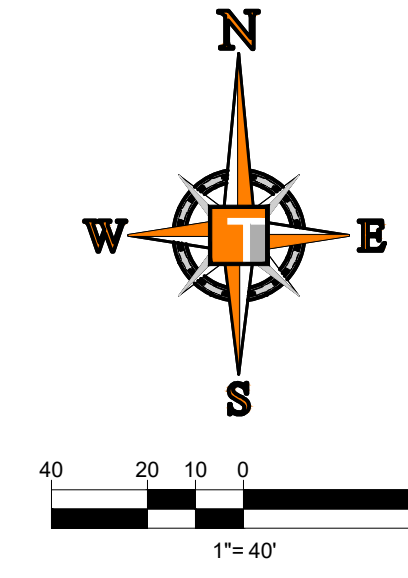


2 ACCESSIBLE PARKING SPACE - ADA COMPLIANT

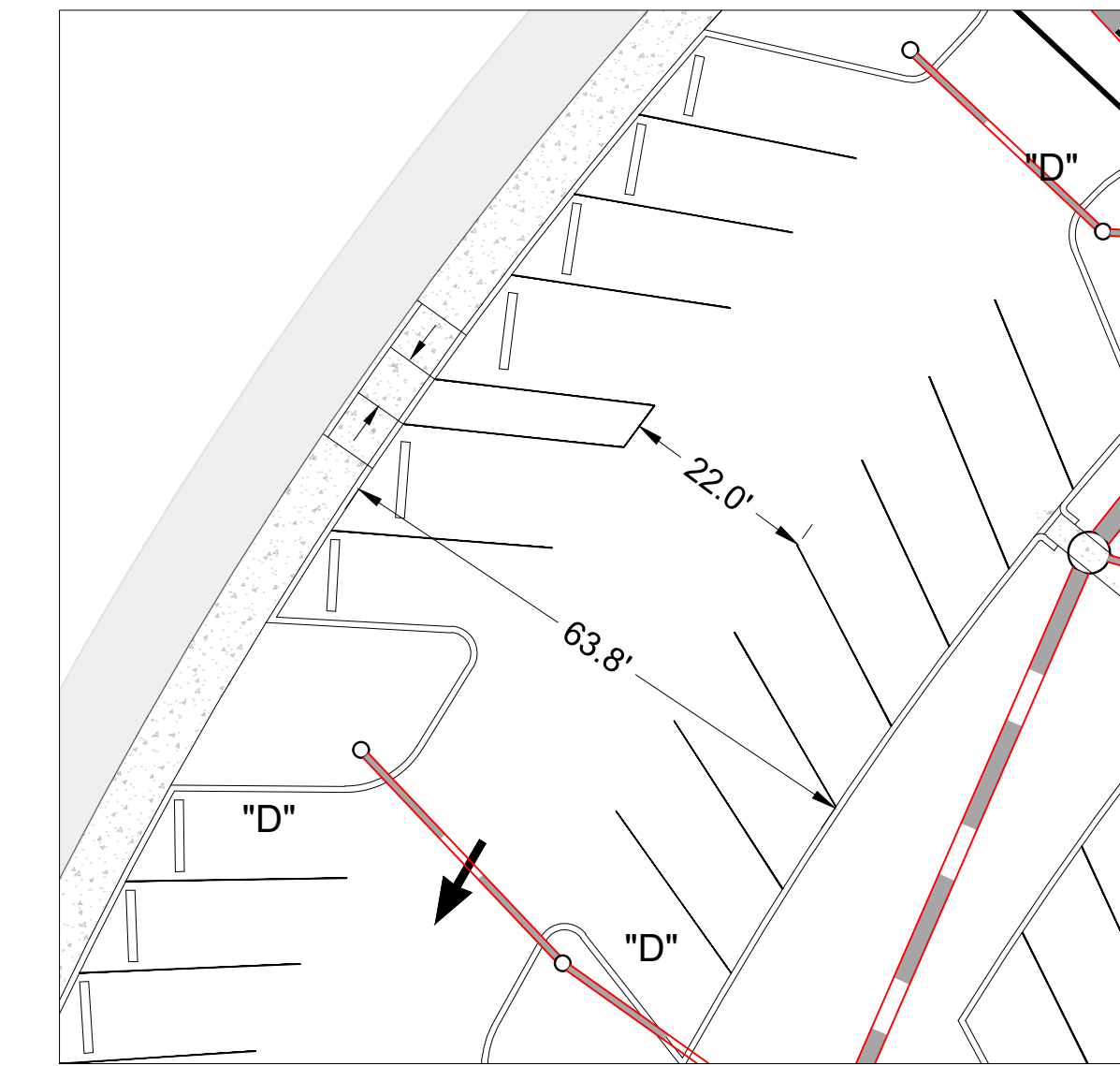
SCALE: NONE

LEGEND:

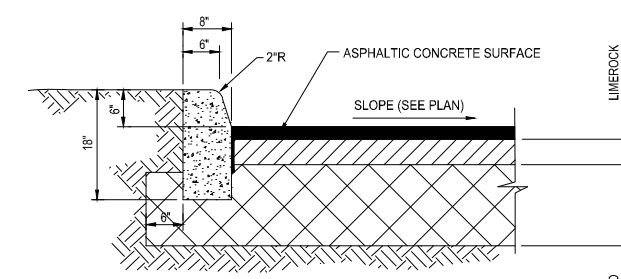
- PROPOSED 2' WIDE FOUNDATION PEA GRAVEL
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- PROPOSED MULTI-MODAL ASPHALT PAVEMENT
- PROPOSED PARKING SPACE COUNT
- PROPOSED HANDICAP PARKING SPACE COUNT



60° PARKING SPACES WITH NO WHEELSTOPS



60° PARKING SPACES WITH WHEELSTOPS



NOTE: CONTRACTOR TO ENSURE NO COLD JOINTS ARE CREATED DURING THE INSTALLATION PROCESS (GENERALLY HORIZONTAL). ANY CURB DETERMINED TO HAVE A COLD JOINT AFTER PLACEMENT SHALL BE REMOVED / REPLACED AT THE CONTRACTORS EXPENSE

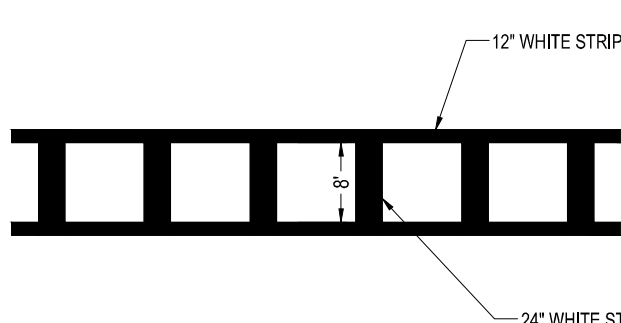
CONCRETE CURB (TYPE 'D') DETAIL

SCALE: NONE



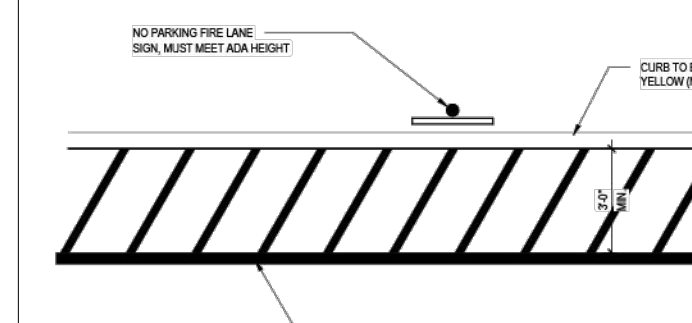
ONSITE PEDESTRIAN CROSSING STRIPING

SCALE: NONE



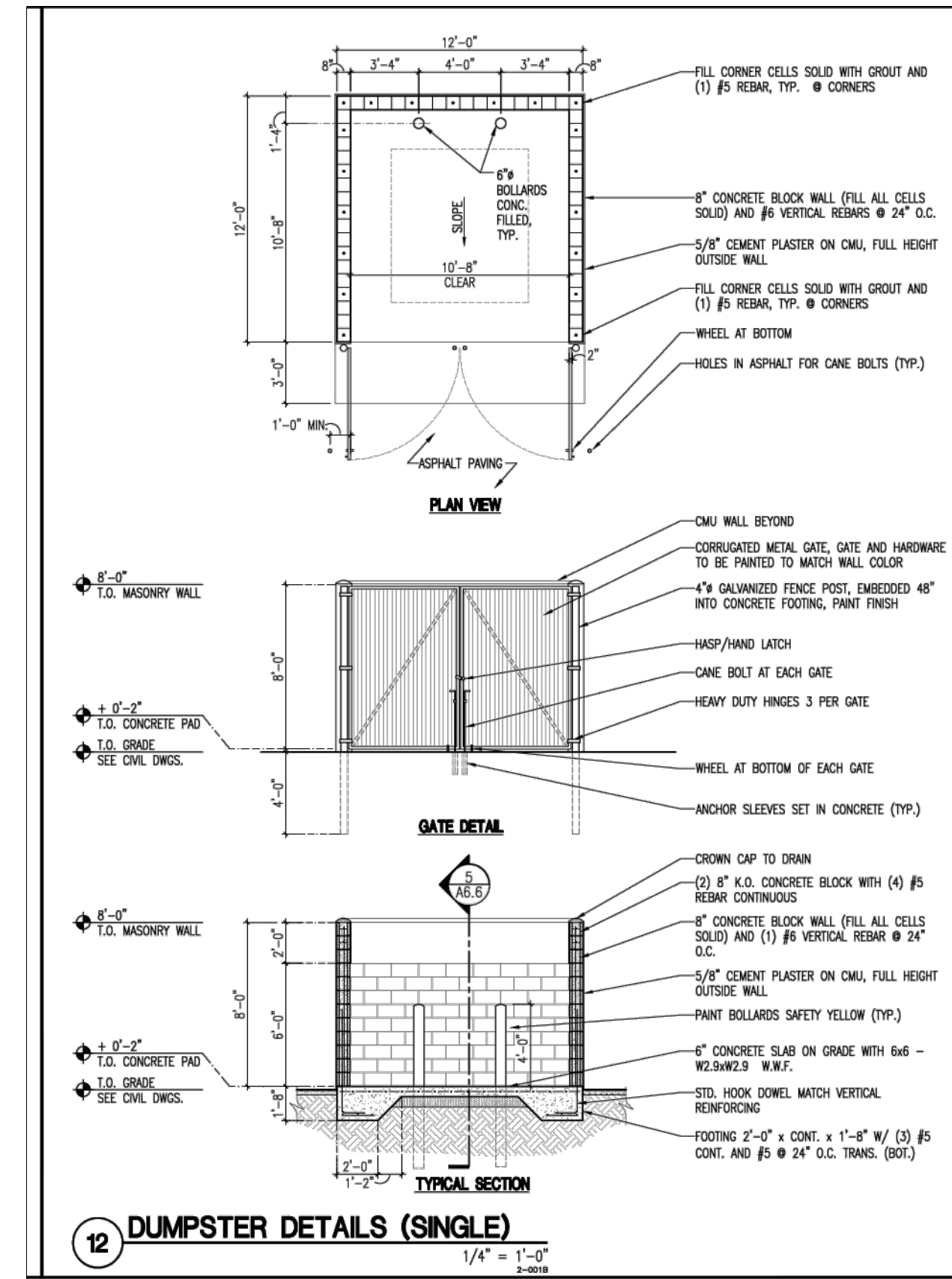
CITY ROW PEDESTRIAN ENHANCED CROSSING STRIPING

SCALE: NONE



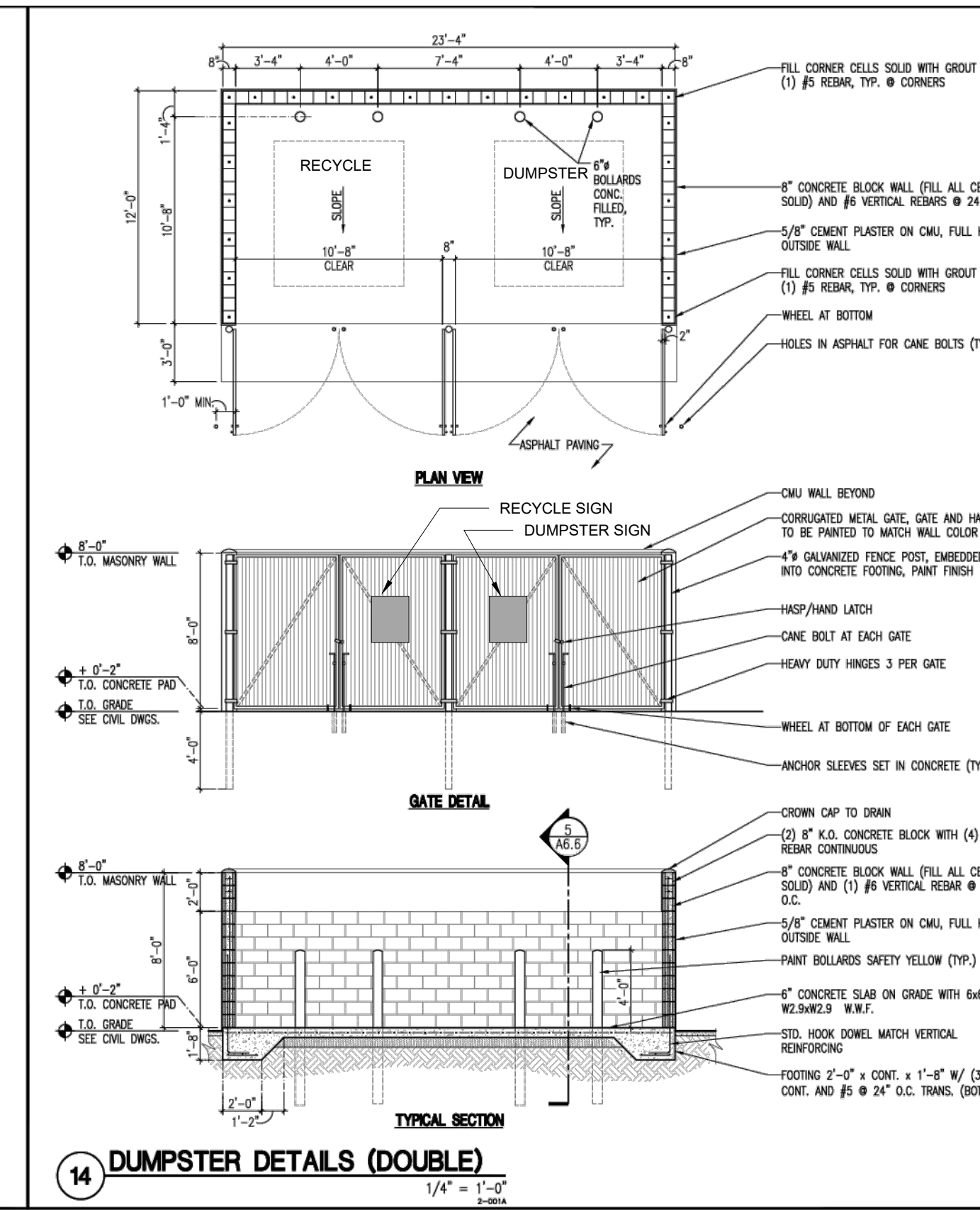
FIRE LANE STRIPING

SCALE: NONE



12 DUMPSTER DETAILS (SINGLE)

SCALE: 1/4" = 1'-0"



14 DUMPSTER DETAILS (DOUBLE)

SCALE: 1/4" = 1'-0"

DETAIL FOR SITE PLAN APPROVAL ONLY (NOT BUILDING PERMIT)

PLUSD PROJECT NO: 5266K
 ELEVATIONS BASED ON NAVD 88

THOMAS ENGINEERING GROUP
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 1502 W. FLETCHER AVE
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 P: 813-379-4100
 6500 NW 31st AVE
 SUITE 100
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 P: 954-202-7000

REV.	DATE	REVISIONS	BY
1	4-26-23	REV PER SPRC COMMENTS	BU
2	6-23-23	REV PER SPRC COMMENTS	BU
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PROJECT No.:	FJ210017
DRAWN BY:	MJL
CHECKED BY:	BMU
CAD I.D.:	FJ210017-SP

SITE PLAN
 FOR
RIVERLAND CENTER
 RIVERLAND COMMERCIAL ASSOCIATES I, LLC
 PORT SAINT LUCIE FLORIDA

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 FLORIDA BUSINESS REGISTRATION No. 27528

SITE PLAN DETAILS
 SHEET NUMBER:
SP-05
 PORT ST. LUCIE PROJECT NO: P23-069