

EXISTING LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- ▒ ASPHALT PAVEMENT
- ▒ CONCRETE
- EDGE OF PAVEMENT
- ⊕ CENTERLINE OF ROAD
- OHW OVERHEAD ELECTRIC SERVICE
- CHAIN LINK FENCE
- STM STORM LINE
- FPL EASEMENT
- ▒ CONCRETE BLOCK WALL
- SIGN / CROSSWALK SIGNAL
- ⊕ FIRE HYDRANT
- ⊕ METAL LIGHT POLE
- ⊕ WOOD POWER POLE
- ⊕ CONCRETE LIGHT POLE
- ⊕ MONITORING WELL
- ⊕ CABLE BOX
- ⊕ CATCH BASIN
- ⊕ SPOT ELEVATION
- ⊕ SANITARY SEWER MANHOLE
- ⊕ WATER VALVE
- ⊕ GUY ANCHOR
- ⊕ HAND HOLE

PROPOSED LEGEND

- ▒ HEAVY DUTY CONCRETE PAVEMENT
- ▒ CONCRETE SIDEWALK
- TYPE "D" CURB
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER LINE
- STEEL PICKET FENCE
- STEEL PICKET FENCE
- ⊕ ELECTRIC TRANSFORMER W/ BOLLARDS
- ⊕ PARKING COUNT
- ▒ PARKING STRIPING
- ▒ SIGN
- ▒ RAMP
- ▒ ASPHALT PAVEMENT

TRAFFIC STATEMENT

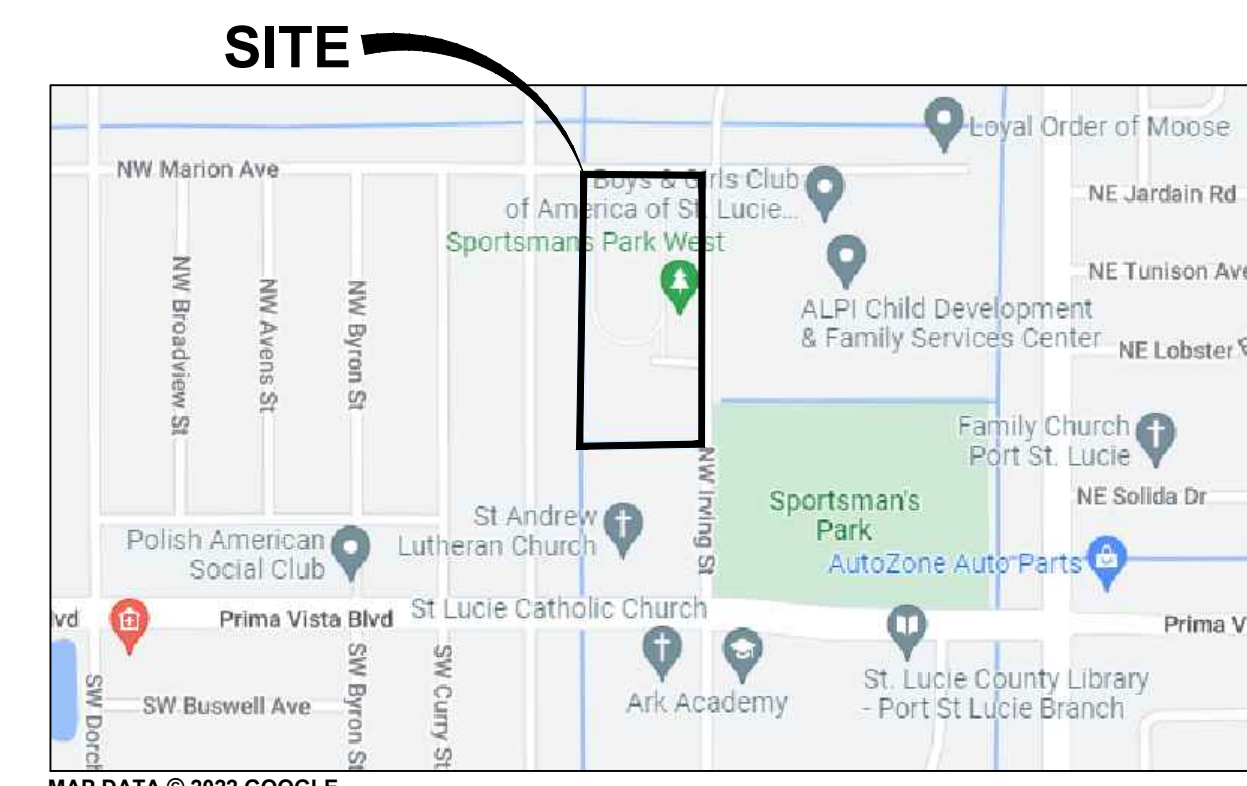
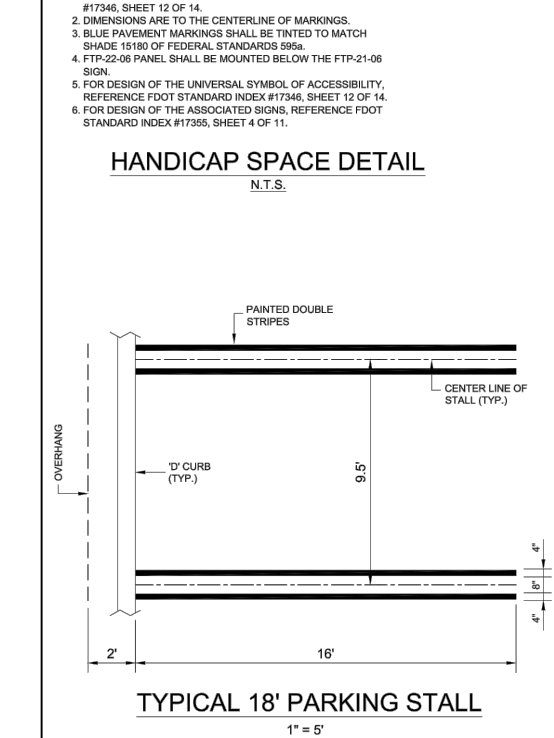
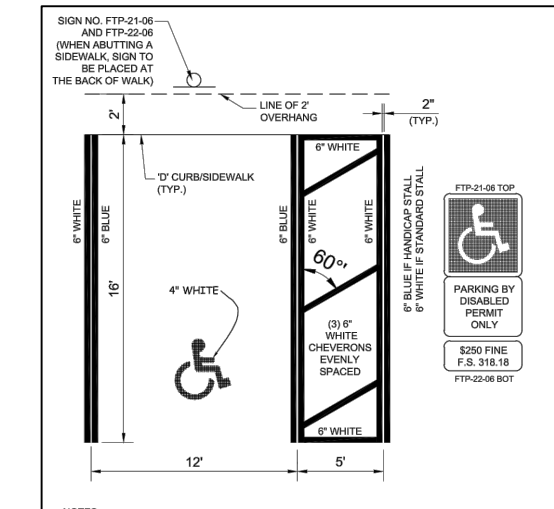
THE PROPOSED SITE ALTERATIONS CONSIST OF ADDING A STORAGE BUILDING TO SUPPORT THE PARK FACILITIES AND OPERATIONS. ADDITIONAL TRAFFIC GENERATION IS NOT ANTICIPATED

DRAINAGE STATEMENT

THE PROPOSED SITE ALTERATIONS CONSIST OF ADDING A 3,205 SQUARE FOOT BUILDING TO AN EXISTING SITE. THE BUILDING IS REPLACING AN EXISTING WOOD SHED AND CANOPY. THE PROPOSED IMPROVEMENTS WILL NOT INCREASE THE AMOUNT OF IMPERVIOUS AREA OR ALTER THE EXISTING DRAINAGE CONDITIONS OF THE SITE. SITE IS IN FLOOD ZONE X PER FEMA MAP 120287.

ABBREVIATIONS

CONC. ELEV.	CONCRETE ELEVATION
EX.	EXISTING
O.R.B. NUMBER	OFFICIAL RECORD BOOK NUMBER
NO. RW	RIGHT OF WAY
TY.	TYPICAL



CITY OF PORT ST LUCIE PARKING DETAIL
NO SCALE

APPROVED BY CITY OF PORT ST. LUCIE
SITE PLAN REVIEW COMMITTEE
CONDITIONS: YES NO
DATE: 4-27-2022

GENERAL SITE NOTES

- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURBING SHALL BE PER THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX 520.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL REGULATIONS AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR EXACT BUILDING LOCATION AND DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL REFER TO SPECIFICATIONS AND GEOTECHNICAL REPORT DETAILS FOR PAVING DESIGN AND PROPER MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE UNTIL WORK IS ACCEPTED BY THE OWNER.
- ALL SIGNS SHALL BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT, ALL SIGNS SHALL BE INSTALLED AND MOUNTED PER FDOT STANDARD INDEX 700-010.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT, INCLUDING PROPER TRAFFIC CONTROL DEVICES AND/OR PERSONNEL AS REQUIRED. THIS INCLUDES BOTH VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH MUTCD AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX 102-613, 102-616, AND 102-660.
- ALL CURB RAMPS SHALL HAVE DETECTABLE WARNINGS PER FDOT STANDARD INDEX 522.
- ALL ADA STRIPING AND SIGNAGE SHALL BE FDOT STANDARD INDEX 711 AND 700.
- ALL UNPAVED DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE SOODED.
- ALL PLANS SUBMITTED FOR PERMITTING SHALL MEET THE COUNTY'S CODES AND THE APPLICABLE BUILDING CODES IN EFFECT AT THE TIME OF PERMIT APPLICATION.
- MOT PER FDOT DESIGN STANDARD INDEX 102-612, 102-613 & 102-615.
- TOP PER FDOT STANDARD INDEX 102-660 AND 102-616.
- DAMAGED SIDEWALK AND/OR CURB AND GUTTER SHALL BE RESTORED WITH FULL FLAGS 4" THICK, USING EXPANSION MATERIAL AND TACTILE FOR HANDICAP RAMPS. (INDEX 522)
- ASPHALT SHALL BE SAW CUT BEFORE REMOVING SHOULDER OR GUTTER TO PREVENT DAMAGE TO THE EXISTING ASPHALT. DAMAGE TO THE NEW ASPHALT PAVEMENT WILL INCLUDE THE MILLING AND RESURFACING OF A 50-FOOT ARE ON EITHER SIDE OF THE DAMAGE PLUS FULL LANE RESTORATION.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH CITY OF PORT ST. LUCIE STANDARDS.
- THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (G).

LEGAL DESCRIPTION

TRACT C:
A PARCEL OF LAND LYING IN SECTION 29, TOWNSHIP 36 SOUTH, RANGE 40 EAST, CITY OF PORT ST. LUCIE, ST. LUCIE COUNTY, FLORIDA, BEING FURTHER DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LINE OF MARION AVENUE AND THE EASTERLY LINE OF THAT CERTAIN DRAINAGE RIGHT-OF-WAY LYING EASTERLY OF BLOCK 127 AS SHOWN ON THE PLAT OF PORT ST. LUCIE SECTION TWENTY SEVEN AS RECORDED IN PLAT BOOK 14, AT PAGE 5 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE N89°41'30"E, ALONG THE EASTERLY PROLONGATION OF THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID MARION, FOR A 370.00 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET; THENCE EASTERLY, SOUTHEASTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE HAVING A CENTRAL ANGLE OF 90° FOR 39.27 FEET TO A POINT OF TANGENCY; THENCE S0°18'30"E FOR 915.00 FEET; THENCE S89°41'30"W FOR 395.00 FEET; THENCE N°18'30"W, ALONG SAID EASTERLY LINE OF THAT SAID CERTAIN DRAINAGE RIGHT-OF-WAY LINE (ALSO BEING A PORTION OF THE EASTERLY BOUNDARY LINE OF THE SAID PLAT OF PORT ST. LUCIE SECTION TWENTY SEVEN), FOR 940.00 FEET TO THE POINT OF BEGINNING, SAID LAND SITUATE, LYING AND BEING IN THE CITY OF PORT ST. LUCIE, ST. LUCIE COUNTY, FLORIDA, AND CONTAINING 8.52 ACRES MORE OR LESS.

ENGINEERS | PLANNERS | SCIENTISTS
CONSTRUCTION MANAGERS
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Fort Lauderdale, FL 33309 • 954.776.1616 • www.kci.com

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CLIENT: CITY OF PORT ST. LUCIE

REV	DATE	DESCRIPTION
1	7/13/2022	2ND SITE PLAN

DATE: JULY 12, 2022
SCALE: DESIGNED BY B.R.
DRAWN BY B.R.
CHECKED BY R.M.Z.

SPORTSMAN PARK WEST STORAGE AND MAINTENANCE BUILDING
CITY OF PORT ST. LUCIE
348 SW IRVING ST., PORT ST. LUCIE, FLORIDA 34983

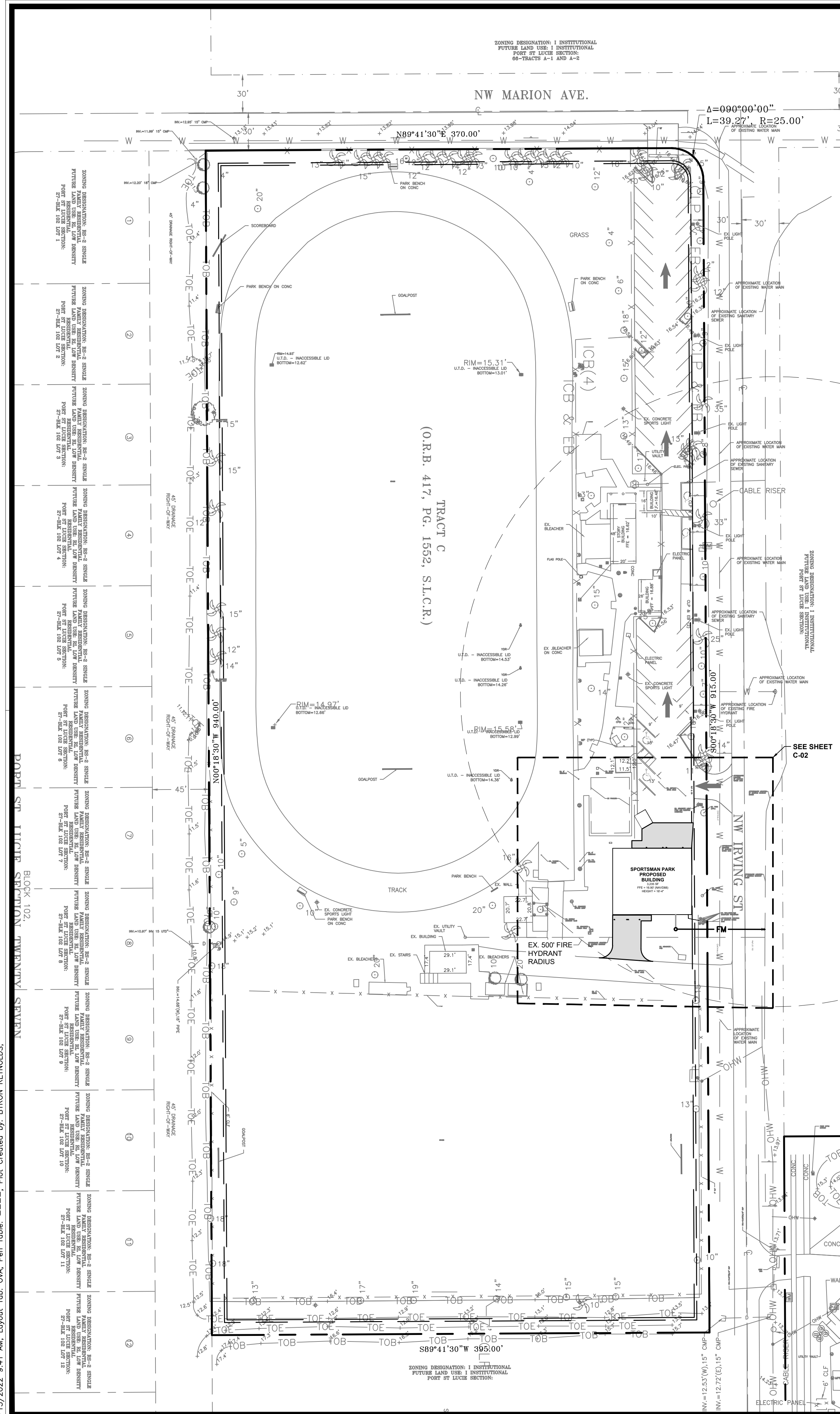
SITE PLAN

SHEET NO. **C-02**
PROJECT NO. 482200210.00

ROBERT Z. LUCIA
PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 17931
STATE OF FLORIDA
REGISTRATION NUMBER: 17931

CITY OF PORT ST. LUCIE PROJECT NUMBER: P05-203-A1
PSLUSD NUMBER: 5001-18A

7/13/2022 9:41 AM; Layout Tab; SP; Pen Table: ---; Plot Created by: BYRON REYNOLDS;



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- CABLE BOX
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- WATER VALVE
- GUY ANCHOR
- HAND HOLE
- TREE

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ABBREVIATIONS

CONC. ELEV.	CONCRETE ELEVATION
EX. O.R.B. NO.	EXISTING OFFICIAL RECORD BOOK NUMBER
R.W. TYP.	RIGHT OF WAY TYPICAL

SITE PLAN TABULAR DATA - CITY OF PORT ST LUCIE

APPLICATION NAME	SPORTSMAN PARK WEST STORAGE AND MAINTENANCE BUILDING
PARCEL CONTROL NUMBER	3429-112-0005-000-5
EXISTING LAND USE DESIGNATION	OPEN SPACE RECREATION
EXISTING ZONING	OSR - OPEN SPACE RECREATIONAL
EXISTING USE	UTILITY STORAGE YARD
PROPOSED USE	UTILITY STORAGE BUILDING
WATER AND WASTEWATER SERVICE PROVIDER	CITY OF PORT ST. LUCIE

SITE AREA

AREA	SF	ACRES	%
TOTAL PROPOSED GROSS SITE AREA	7,234	0.17	2.00
ADDITIONAL ACQUIRED LOTS	N/A	0.00	-
ROW ABANDONMENT AREA	N/A	0.00	-
VEHICULAR USE AREA (VUA) TOTAL	21,690	0.50	5.87
IMPERVIOUS SURFACE AREA (MAX. 50%)	58,211	1.34	15.70
PERVIOUS SURFACE AREA (MIN 25%)	284,031	6.52	76.52
TOTAL EXISTING SITE AREA	371,166	8.52	100

BUILDING DATA

AREA	SF	ACRES
TOTAL GROSS FLOOR AREA	3,235	0.07
TOTAL ENCLOSED BUILDING COVERAGE	3,235	0.07
FLOOR AREA RATIO (FAR) = 0.11		
HEIGHT	FT	STORIES
BUILDING HEIGHT	16'-4"	1
NUMBER OF STORIES	-	1
STRUCTURE LENGTH	52'-8"	

BUILDING SETBACKS*

DIRECTION	REQUIRED	PROPOSED
NORTH (FRONT)	10 FT	555.30 FT
EAST (SIDE CORNER)	10 FT	12.10 FT
SOUTH (REAR)	10 FT	332.00 FT
WEST (SIDE)	25 FT	319.00 FT

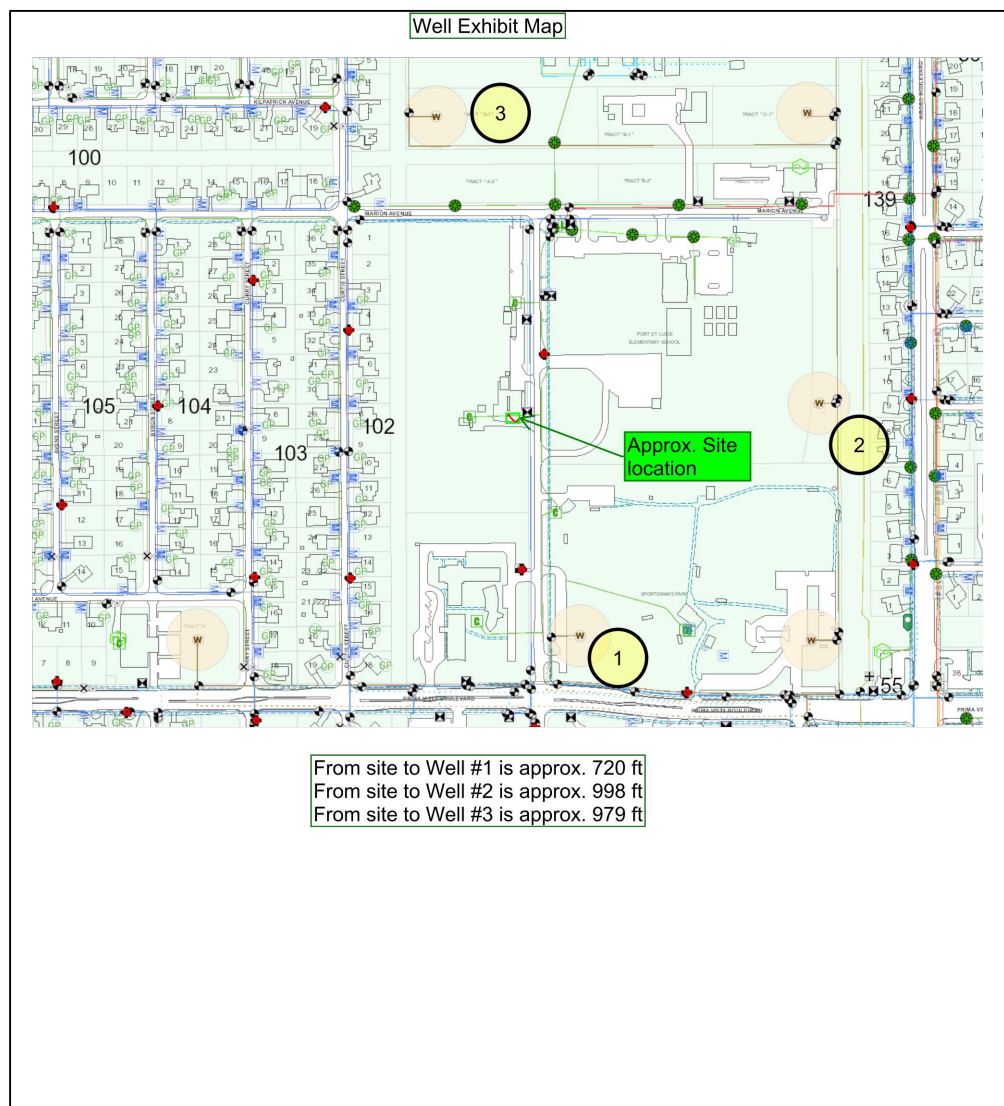
PARKING**

DIRECTION	REQUIRED	PROPOSED
NORTH (FRONT)	10 FT	555.30 FT
EAST (SIDE CORNER)	10 FT	12.10 FT
SOUTH (REAR)	10 FT	332.13 FT
WEST (SIDE)	25 FT	320.35 FT

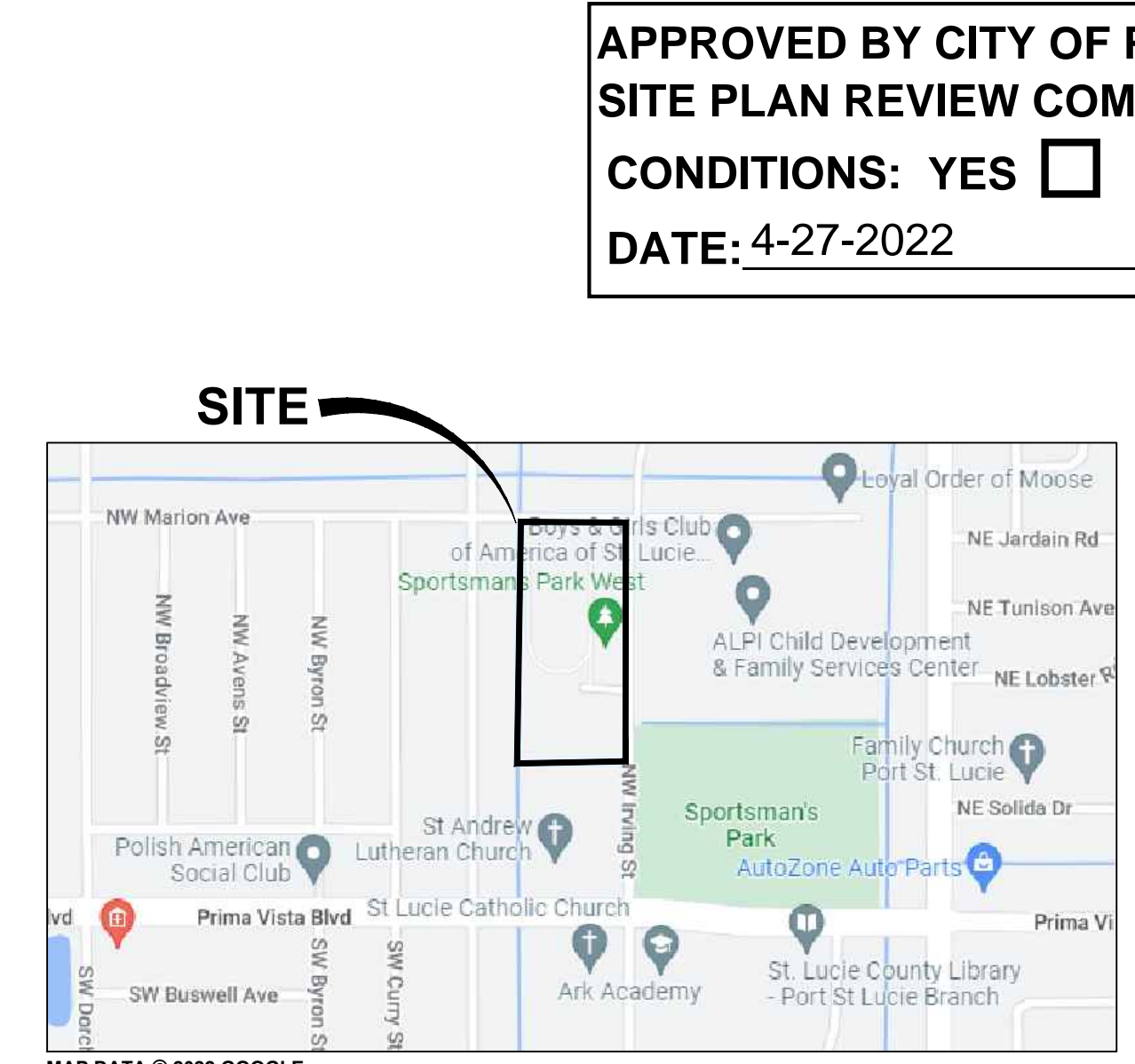
LANDSCAPE BUFFERS***

DIRECTION	REQUIRED	PROPOSED
NORTH	10 FT	555.55 FT
EAST	10 FT	12.10 FT
SOUTH	10 FT	332.13 FT
WEST	10 FT	320.35 FT

* BUILDING SETBACK REQUIREMENTS PER CITY OF PORT ST LUCIE MUNICODER SECTION 158.100.(I)
 ** PARKING RATIO PER CITY OF PORT ST LUCIE MUNICODER SECTION 158.227.(I),(1)
 *** LANDSCAPE BUFFER REQUIREMENTS PER CITY OF PORT ST LUCIE MUNICODER SECTION 154.00.(C),(1),(a)



EXISTING WELL EXHIBIT
NO SCALE



LOCATION MAP
1" = 500'

APPROVED BY CITY OF PORT ST. LUCIE SITE PLAN REVIEW COMMITTEE
 CONDITIONS: YES NO
 DATE: 4-27-2022

811
 Know what's Below.
 Call before you dig.
 1-800-252-1166

GRAPHIC SCALE
 0 25 50 100 200
 1" = 50'

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ROBERT ZUCCARO, P.E. (17931) ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

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 Fort Lauderdale, FL 33309 • 954-776-1616 • www.kci.com

KCI
 CERTIFICATE OF AUTHORIZATION NO. 4898

CLIENT: CITY OF PORT ST. LUCIE, FLORIDA

REV	DATE	DESCRIPTION
1	7/13/2022	2ND SITE PLAN

DATE: JULY 12, 2022
 SCALE: 1:50
 DESIGNED BY: B.R.
 DRAWN BY: B.R.
 CHECKED BY: R.M.Z.

SPORTSMAN PARK WEST STORAGE AND MAINTENANCE BUILDING
 CITY OF PORT ST. LUCIE
 348 SW IRVING ST., PORT ST. LUCIE, FLORIDA 34983

OVERALL SITE PLAN

SHEET NO. **C-03**
 PROJECT NO. 482200210.00

ROBERT ZUCCARO
 LICENSE NO. 17931
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

ROBERT ZUCCARO
 DATE: 7/13/2022
 REGISTRATION NUMBER: 17931

CITY OF PORT ST. LUCIE PROJECT NUMBER: P05-203-A1
 PLSUD NUMBER: 5001-18A