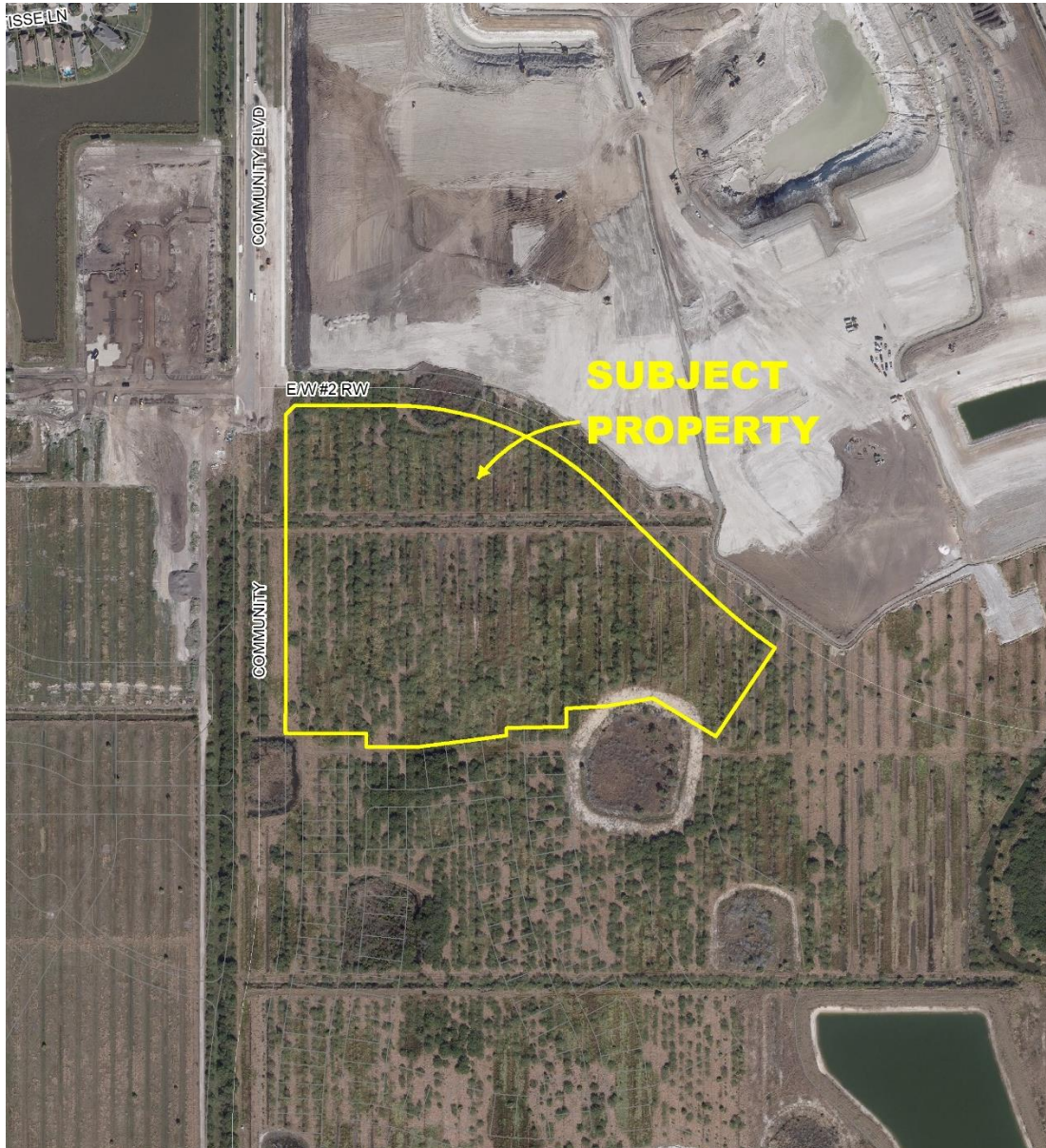




**Heron Preserve at Tradition Phase 2B  
Preliminary Subdivision Plat and Construction Plans  
P21-137**



Project Location Map

**SUMMARY**

Applicant's Request:	An application for a preliminary subdivision plat with construction plans
Applicant:	Kinan Husainy, PE of Kimley-Horn and Associates, Inc.

Property Owner:	Pulte Home Company, LLC
Location:	North of Marshall Parkway and South of the E/W 2 R-O-W, between Village Parkway and the Community Boulevard R-O-W.
Project Planner:	Anne Cox, Assistant Director of Planning and Zoning

**Project Description**

This preliminary subdivision plat includes 84 residential lots, private roads, open space tracts, and a water management tract.

**Previous Actions and Prior Reviews**

The Site Plan Review Committee recommended approval of the final subdivision plat and construction plans at their February 10, 2021 meeting.

**Location and Site Information**

Parcel Number:	4322-601-0011-000-6
Property Size:	22.77 acres
Legal Description:	A replat of Parcel 2B, Heron Preserve at Tradition Phase 2A.
Future Land Use:	NCD (New Community Development District)
Existing Zoning:	MPUD (Del Webb Master Planned Unit Development)
Existing Use:	Vacant land

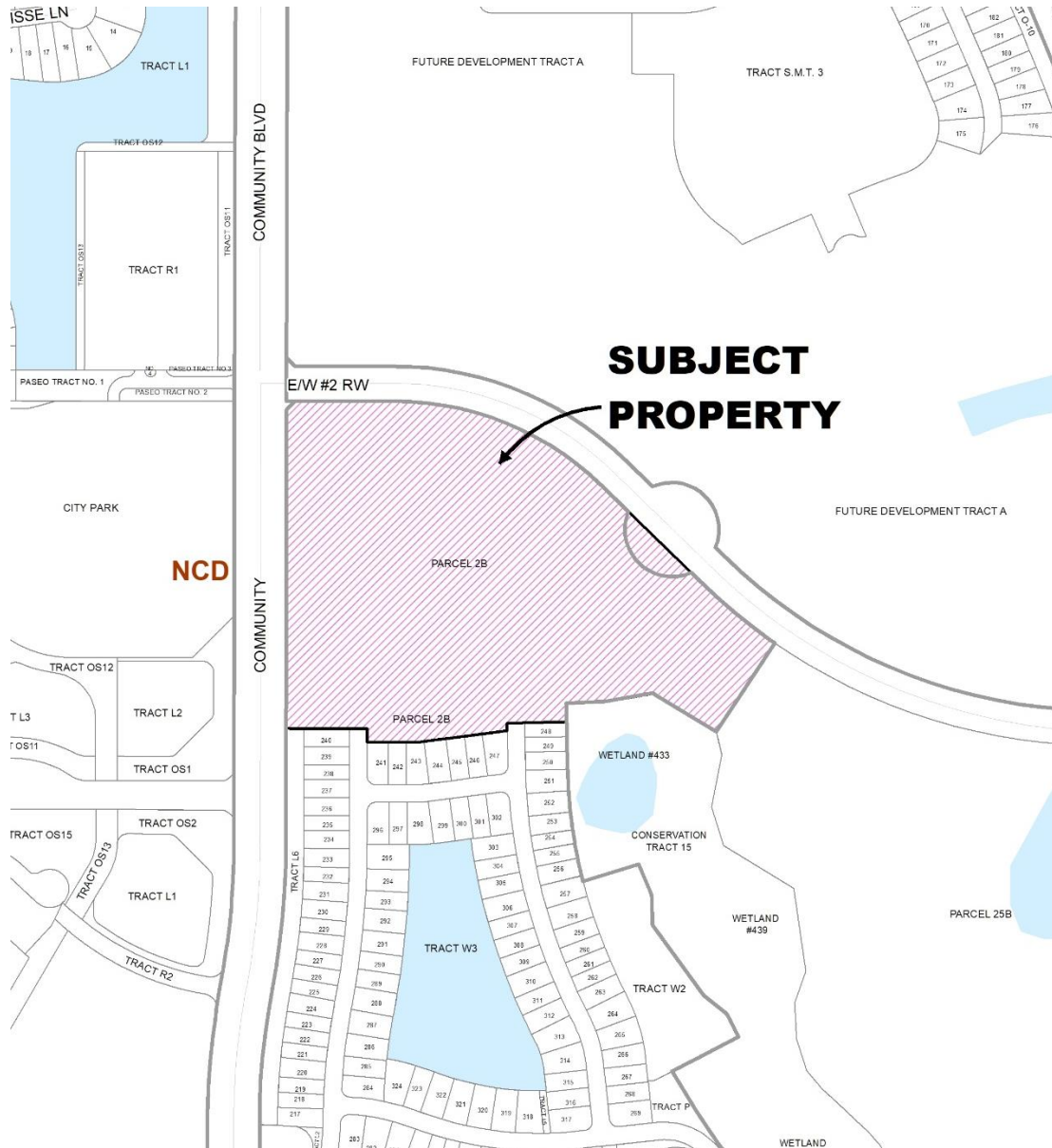
**Surrounding Uses**

Direction	Future Land Use	Zoning	Existing Use
North	NCD	MPUD	Residential under construction
South	NCD	MPUD	Residential
East	NCD	GU	Conservation Tracts and vacant land
West	NCD	GU	Vacant City park land

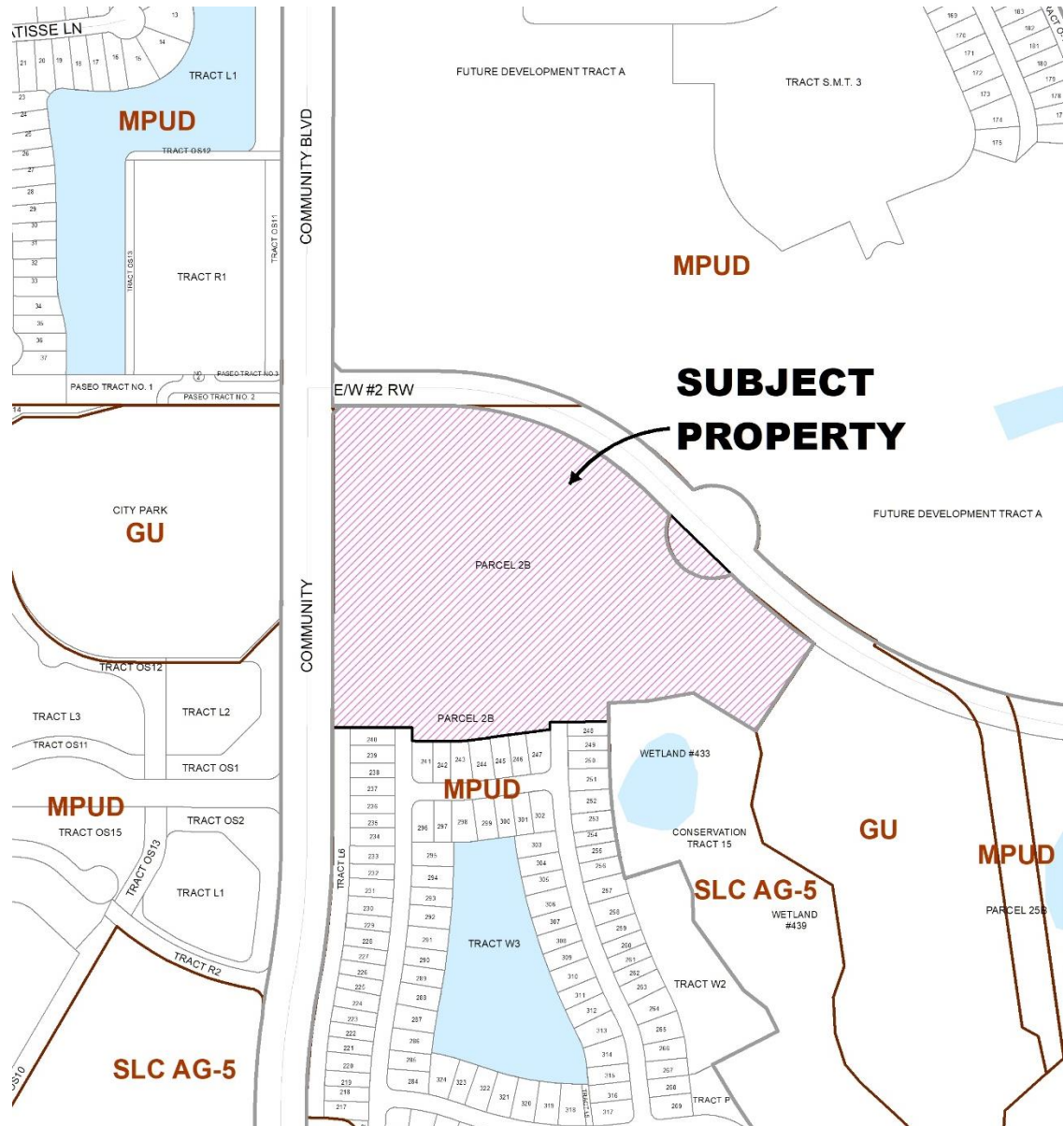
NCD (New Community Development District)

MPUD (Master Planned Unit Development)

GU (General Use)



Future Land Use Map



Zoning Map

## IMPACTS AND FINDINGS

### **CONCURRENCY REVIEW (CHAPTER 160)**

The project has been reviewed for compliance with the Southern Grove DRI development order and Chapter 160, City Code, regarding provision of adequate public facilities and documented as follows:

<b><i>Sanitary Sewer and Potable Water Facilities</i></b>	The City of Port St. Lucie Utility Systems Department will provide water and sewer service. The construction plans include the necessary water and sewer extensions to serve the development. A developer’s agreement with the City Utilities Department, that is consistent with the adopted level of service, is required prior to issuance of building permits.
<b><i>Traffic Circulation</i></b>	The applicant has submitted a trip generation analysis that indicates that this project will generate 886 average daily trips and 90 pm peak hour trips. Per the Southern Grove DRI development order, the DRI Biennial Report shall include a cumulative calculation of the trip generation for all approved development. Development order conditions are evaluated using the trip generation analyses to determine triggering of any transportation conditions. Public Works has reviewed the traffic analysis and the memo is attached.
<b><i>Parks and Recreation Facilities</i></b>	Per the DRI development order, a plan for the provision of neighborhood and community recreational sites and facilities has been submitted.
<b><i>Stormwater Management Facilities</i></b>	The project includes a paving and drainage plan that is in compliance with the adopted level of service.
<b><i>Solid Waste</i></b>	Solid waste impacts are measured and planned based on population projections on an annual basis. There is adequate capacity available.
<b><i>Public School Concurrency Analysis</i></b>	Per Policy 2.4.2 of the City’s Comprehensive Plan, this development will be exempt from public school concurrency, since it is proposed to be an age restricted community.

### **NATURAL RESOURCE PROTECTION (CHAPTER 157)**

The project has been reviewed for compliance with the requirements of Chapter 157, Natural Resource Protection Code, and documented as follows:

**Native Habitat/Tree Protection:** The plat contains no upland preserve or wetland conservation areas.

**Wildlife Protection:** Listed species surveys were required prior to clearing.

### **OTHER**

**Fire District:** The access location (external and internal) has been reviewed by the Fire District for safety purposes.

**Public Art (Chapter 162):** The public art requirement for this project has been satisfied by the installation of a sculpture at the southwest corner of Marshall and Village Parkway.

## **STAFF RECOMMENDATION**

The Site Plan Review Committee recommended approval of the final subdivision plat and construction plans at their meeting of February 10, 2021.