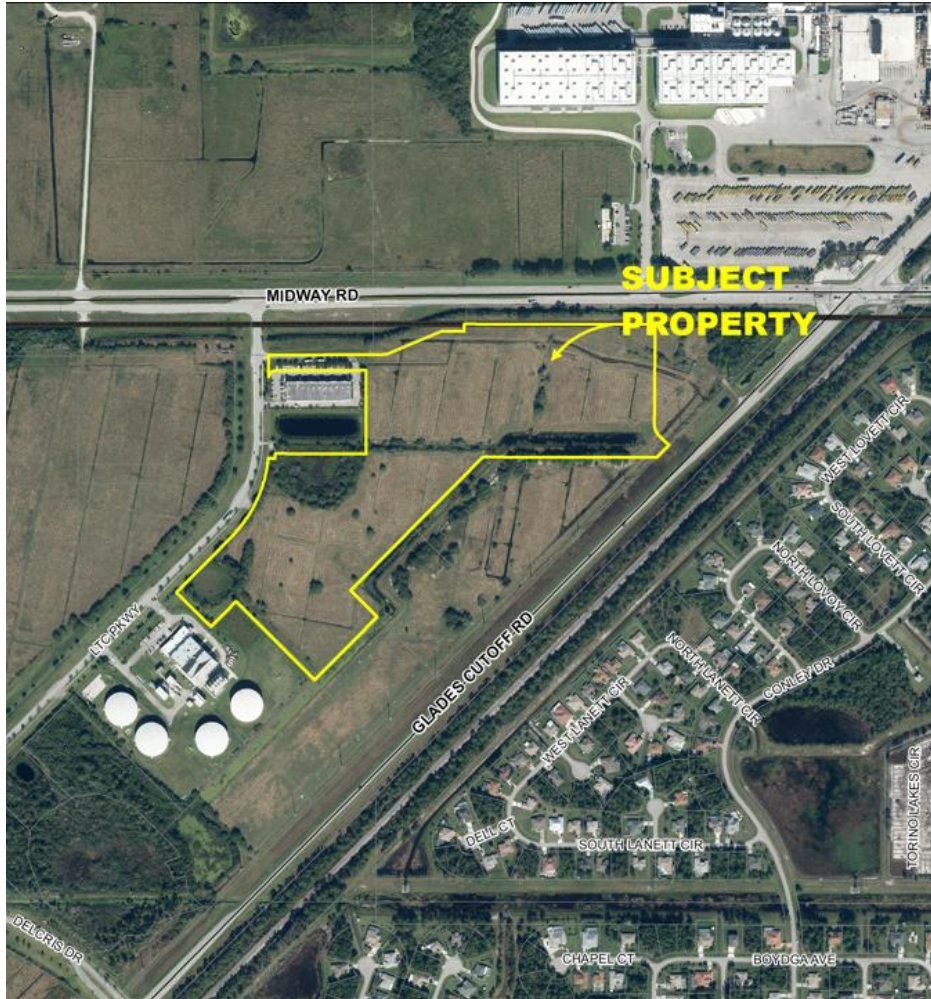




**LTC Ranch - Project Glades
 Major Site Plan
 P21-251**



Project Location Map

SUMMARY

Applicant's Request:	An application for site plan approval for a major site plan to construct a 354,200 square foot warehouse distribution facility in a series of two, one-story buildings.
Applicant:	Jordan Haggerty, Kimley Horn & Associates, Inc.
Property Owner:	LTC Ranch Joint Venture
Location:	Southeast corner of W Midway Road and LTC Parkway Boulevard
Project Planner:	Bethany L. Grubbs, Planner II

Project Description

An application for major site plan approval to construct a 354,200 square foot warehouse and distribution facility, comprised of two, one-story buildings. The site project provides for Building 1 at 161,700 square feet and Building 2 at 192,500 square feet. The proposed project is located within the LTC Ranch East PUD and DRI.

The proposed site plan depicts a Right-In/Right-Out access driveway on W Midway Road. Full access is provided on Glades Cut-Off Road. LTC Parkway provides one full access and two Right-In/Right-Out access driveways.

Previous Actions and Prior Reviews

The Site Plan Review Committee reviewed the proposed site plan at their meeting of January 12, 2022, and recommended approval.

Location and Site Information

Parcel Numbers:	3301-702-0006-000-0 & 3301-702-0018-000-7,3302-703-0019-000-4
Property Size:	32.68-acres
Legal Description:	Parcel 35 and parcel 34 of L.T.C. Ranch P.U.D. #2 together with a portion of Tract 7 of L.T.C. Ranch P.U.D. #2 as recorded in Plat Book 48, Page 2 of the Public Records of St. Lucie County, Florida.
Future Land Use:	CS (Service Commercial) CG (General Commercial), LI (Light Industrial), ROI (Residential/Office/Institutional)
Existing Zoning:	PUD (Planned Unit Development)
Existing Use:	Vacant land

Surrounding Uses

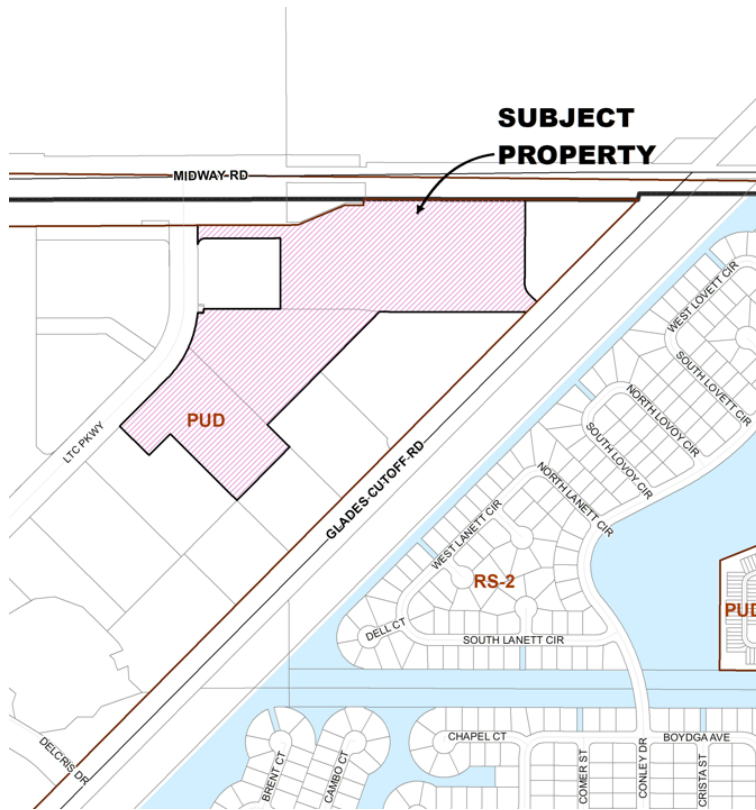
Direction	Future Land Use	Zoning	Existing Use
North	SLC	SLC	St. Lucie County
South	CS/LI/ROI/CG	PUD	Vacant Land
East	CS/LI/ROI/CG	RS-2	Single Family Residential Development
West	CS/CG	PUD	Commercial Warehouse and Vacant Land

CG/CS/LI/ROI/U: General Commercial/Service Commercial/Light Industrial/Residential, Office, Institutional/Utility

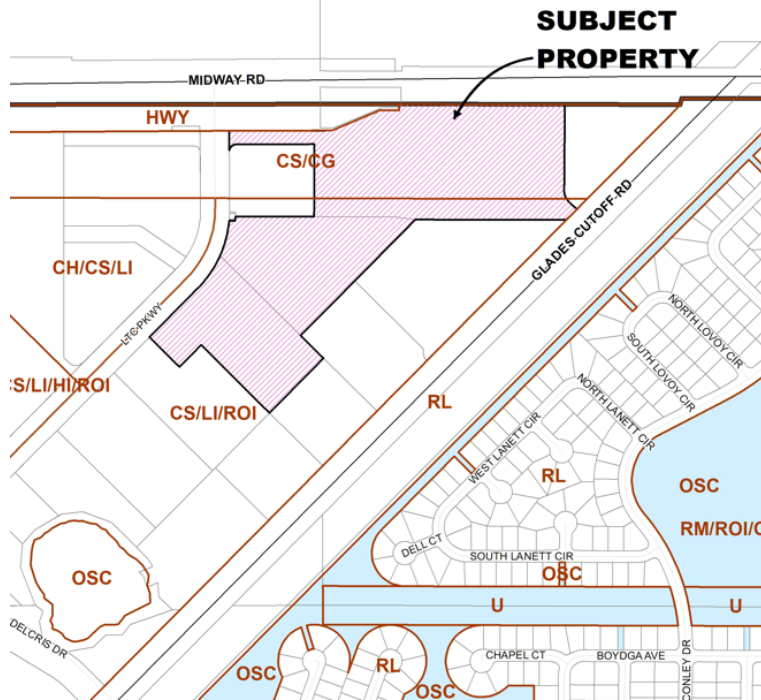
PUD: Planned Unit Development

RL: Residential Low Density

RS-2: Single Family Residential



Zoning Map



Land Use Map

IMPACTS AND FINDINGS

ZONING REVIEW: The project has been reviewed for compliance with Chapter 160, City Code, and LTC Ranch Development of Regional Impact Development Order regarding provision of adequate public facilities and documented as follows:

<i>CRITERIA</i>	<i>FINDINGS</i>
USE	An application for site plan approval for a major site plan to construct a 354,200 square foot warehouse distribution facility in a series of two, one-story buildings.
DUMPSTER ENCLOSURE	The site plan provides for two (2) dumpster enclosures to accommodate refuse and recycling collection.
ARCHITECTURAL DESIGN STANDARDS	The applicant has provided elevations demonstrating compliance with the Citywide Design Standards and the standards prescribed within the PUD.
STACKING REQUIREMENTS	Not applicable.
BUILDING HEIGHT	The proposed building height is 40 feet. The maximum building height allowed for the development is 75 feet.
SETBACKS	The proposed buildings meet the setback requirements per the approved PUD document.
PARKING	The development is required to have 327 parking spaces and 6 accessible spaces. The Applicant is proposing 332 spaces and 12 accessible spaces; therefore, meeting the minimum parking requirement.
BUFFER	The applicant is meeting the required landscape buffer by providing a ten (10) foot perimeter landscape buffer.

NATURAL RESOURCE PROTECTION (CHAPTER 157)

The Developer is required to preserve a minimum of 25% of open space within the DRI East Side. Open space shall include upland habitat and wetland preservation areas. Pursuant to existing conservation easements, the DRI East Side (and therein subject development) has already preserved the wetlands and uplands it is required to preserve, therein no further habitat preservation is required within the DRI East Side.

CONCURRENCY REVIEW (CHAPTER 160)

The project is subject to the provision of adequate public facilities and documented below.

<i>Sanitary Sewer and Potable Water Facilities</i>	The City of Port St. Lucie Utility Systems Department will provide water and sewer. A developer's agreement with the City Utilities Department, that is consistent with the adopted level of service, is required prior to issuance of building permits.
<i>Traffic Circulation</i>	A traffic impact analysis was submitted and approved by the Public Works Department. Please find the Public Works Memo attached under a separate heading.
<i>Parks and Recreation Facilities</i>	The LTC Ranch DRI East Side does not propose residential development and therein has no obligations to provide for parks and recreational facilities, as permitted within the LTC Ranch East PUD and DRI.

<i>Stormwater Management Facilities</i>	Paving and drainage plans that are in compliance with the adopted level of service standard will be required with detail plan submittal.
<i>Solid Waste</i>	Solid waste impacts are measured and planned based on population projections on an annual basis. There is adequate capacity available.
<i>Public School Concurrency Analysis</i>	Not applicable to non-residential development.

OTHER

Fire District: The access location (external and internal) has been reviewed by the Fire District for safety purposes.

Public Art (Chapter 162): This project is subject to Chapter 162 of the Code of Ordinances, Art in Public Places. All private development meeting the applicability requirements of Chapter 162 must elect one of three methods for providing public art within ninety (90) days of the issuance of the first building permit. The three options are artwork on site, fee in lieu of providing public art onsite, or a combination of artwork on site and payment in lieu.

STAFF RECOMMENDATION

The Site Plan Review Committee reviewed the request at their meeting of January 12, 2022, and recommended approval. The Planning and Zoning Department staff finds the request to be consistent with the direction and intent of the City’s Land Development Regulations and policies of the Comprehensive Plan and recommends approval.