

## **CASHMERE TOWNHOMES**

### **PLANNED UNIT DEVELOPMENT APPLICATION**

**CITY OF PORT ST. LUCIE (PROJECT # P21-024)**

**Revised April 13, 2002**

On behalf of:

**FAR 2, LLC  
201 EAST LAS OLAS BLVD  
SUITE 1900  
FORT LAUDERDALE, FL 33301**



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**LIST OF EXHIBITS**

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**PROJECT PROFESSIONALS**

DEVELOPER/PROPERTY OWNER:	FAR 2, LLC 201 East Las Olas Blvd, Suite 1900 Fort Lauderdale, FL 33301 Contact: Blaz Kovacic, P.E. (954) 940-4944
AGENT/DEVELOPMENT CONSULTANT:	MANAGED LAND ENTITLEMENTS 3710 Buckeye Street, Suite 100 Palm Beach Gardens, Florida 33410 Contact: Michael Sanchez, AICP (561) 568-8045 <a href="mailto:michael@mylandentitlements.com">michael@mylandentitlements.com</a>
SURVEYOR:	ENGINEERING DESIGN & CONSTRUCTION, INC. 10250 SW Village Parkway, Suite 201 Port St. Lucie, FL 34987 Contact: Mike Owen (772) 462-2455

## **INTRODUCTION**

FAR 2, LLC (the “Applicant”) is respectfully requesting approval from the City of Port St. Lucie (the “City”) of a Planned Unit Development (the “PUD”) application to allow for the development of a 72-unit townhome project (the “Project”) on a 9.09-acre property located at the southeast corner of the intersection of NW Cashmere Boulevard and Old Inlet Drive (the “Property”).

Concurrently with this application, the Applicant has submitted applications to the City of a Future Land Use Map Amendment and an amendment to the St. Lucie West Development of Regional Impact (the “DRI”) to change the land use designation of the Property from Commercial General (CG) to Medium Density Residential (RM) in support of the PUD application.

The subject PUD Application is being presented to the City in accordance with the PUD Zoning District Standards and Application requirements contained in the City’s Zoning Code.

## **PROPERTY BACKGROUND**

The Property is located within the DRI which consists of approximately 4,614 acres on the north and south sides of St. Lucie West Boulevard on the east side of Interstate 95. The DRI was originally approved by the City in April of 1989 by way of Resolution 89-R18. The DRI approval has been amended several times since the original approval.

The Property is vacant and has never been developed. In February of 2007, the City approved a site plan consisting of a mixed-use commercial project comprising approximately 70,806 square feet of office space and 37,116 square feet of retail space (107,922 total square feet of commercial space) in five (5) buildings ranging from two (2) to three (3) buildings. Said approval was amended in August of 2007 to address phasing, buffering and conditions. The approved commercial project was never constructed.

## EXHIBIT 1

### PUD APPLICATION

**City of Port St. Lucie**  
Planning & Zoning Department  
121 SW Port St. Lucie Boulevard  
Port St. Lucie, FL 34984  
(772) 871-5212

### FOR OFFICE USE ONLY

Planning Dept. \_\_\_\_\_  
Date Received \_\_\_\_\_  
Fee & Receipt # \_\_\_\_\_

Refer to "Fee Schedule" for application fee. Make checks payable to the "City of Port St. Lucie". Fee is nonrefundable. All items on this application should be addressed, otherwise it cannot be processed. Attach proof of ownership i.e., two copies of deed or contract for purchase. Please type or print clearly in **BLACK** ink.

### PROPERTY OWNER:

Name: FAR 2, LLC  
Address: 201 East Las Olas Boulevard, Suite 1900, Fort Lauderdale, Florida 33301  
Telephone No.: (954) 940-4944


### AGENT OF OWNER (if any):

Name: Michael Sanchez/Managed Land Entitlements  
Address: 3710 Buckeye Street, Suite 100, Palm Beach Gardens, Florida 33410  
Telephone No.: (561) 568-8045; michael@mylandentitlements.com

### PROPERTY INFORMATION

Legal Description: See attached legal description.  
Parcel I.D. No.: 3419-576-0001-000-2 & 3419-576-0002-000-9

Where there are conflicts between the requirements of the general provisions of this chapter or other applicable codes of the city and the requirements established by official action upon a specific PUD, the latter requirements shall govern.

  
\_\_\_\_\_  
Signature of Owner

2-14-22  
\_\_\_\_\_  
Date

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facilities is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

Procedure  
Section 158.175(B)

**AGENT CONSENT LETTER**

PROJECT NAME: CASHMERE TOWNHOMES

PARCEL ID: 3419-576-0001-000-2 & 3419-576-0002-000-9

BEFORE ME THIS 14<sup>th</sup> DAY OF February, 2022, PERSONALLY APPEARED Andrew Meran MANAGER OF FAR 2, LLC ("OWNER") OWNER OF THE ABOVE-REFERENCED PROPERTY, WHO BEING DULY SWORN, DEPOSES AND AFFIRMS THE FOLLOWING:

I hereby give CONSENT to MANAGED LAND ENTITLEMENTS, LLC, to act on the Owner's behalf to submit or have submitted applications and all required materials and documents and to attend and represent the Owner at all meetings and public hearings pertaining to all City, County and State permits for completion of the project indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application for a Planned Unit Development.

FAR 2, LLC

By: AM

Printed Name: Andrew Meran, VP

Manager

**NOTARY PUBLIC INFORMATION:**

STATE OF FLORIDA  
COUNTY OF BROWARD

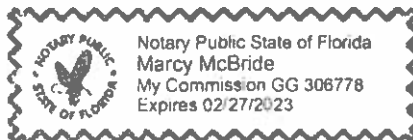
The foregoing instrument was acknowledged before me this 14<sup>th</sup> day of February 2022 by Andrew Meran (name of person acknowledging). He/she is personally known to me or has produced (type of identification) \_\_\_\_\_ as identification and did did not take an oath (circle correct response).

Marcy McBride  
(Name - type, stamp or print clearly)

Marcy McBride  
(Signature)

My Commission Expires on: 2-27-23

**NOTARY'S SEAL OR STAMP**



## EXHIBIT 2

### PUD APPLICATION CHECKLIST

1. Statement of Unified Control of the entire area within the proposed PUD is attached as Exhibit 3.
2. The Cashmere Boulevard Residential Development project is a proposed townhome development.
3. Please see Exhibit 4 for the General Standards established for this Planned Unit Development. General site information is provided in Exhibit 5. The proposed development uses, maximum building heights, minimum setbacks and other development regulations are provided in Exhibit 6.
4. The Conceptual PUD Plan for the Project is attached as Exhibit 9 of this submittal package.
5. The proposed request for the change in zoning from General Commercial (CG) to Planned Unit Development (PUD) will be a reduction in overall intensity and will have a de minimis impact on public facilities as demonstrated in the Project Narrative/Justification Statement provided with this submittal.

## EXHIBIT 3

January 25, 2022

Ms. Teresa Lamar-Samo  
Interim Director of Planning and Zoning  
City of Port St. Lucie  
121 S.W. Port St. Lucie Boulevard  
Port St. Lucie, Florida 34984

Re: CASHMERE BOULEVARD RESIDENTIAL DEVELOPMENT  
PUD REZONING APPLICATION

Dear Ms. Lamar/Samo:

This letter is submitted as confirmation of United Control for the properties that comprise the above-referenced project (the "Properties") in compliance with the City of Port St. Lucie Zoning and Land Development Regulations. FAR 2, LLC is the owner of record of the Properties pursuant to the Amendment to Deed recorded in Official Record Book 4094, Page 2217 of the Official Records of St. Lucie County, Florida, a copy of which is attached to this application.

Should you have any questions or require additional information, please do not hesitate to contact me at (561) 568-8045.

Best regards,

FAR 2, LLC

By:



Michael Sanchez  
Authorized Agent

## **EXHIBIT 4**

### **GENERAL STANDARDS FOR DISTRICT ESTABLISHMENT**

1. The area of the Cashmere Boulevard Residential Planned Unit Development (the “PUD”) is 9.09 acres, exceeding the 2.0-acre minimum for the establishment of a PUD within the City.
2. The PUD is located at the southwest corner of the intersection of Cashmere Boulevard and Old Inlet Drive within the City. One (1) access point is proposed for the development along Cashmere Boulevard.
3. The PUD will have stormwater management provided by a master stormwater management system operated by the St. Lucie West Services District. The stormwater system design will be submitted for review and approval by the South Florida Water Management District as part of a request for a modification to Environmental Resource Permit No. 56-00573-S-197 issued on January 10, 2008 for the previously approved project on the Property.
4. The PUD will be supplied with water and wastewater Services by the St. Lucie West Services District and will abide by and comply with all applicable ordinances, policies, specifications and regulatory agencies governing such service. Furthermore, the PUD will accept reclaimed water for irrigation from St. Lucie West Services District.
5. The physical characteristics of the Property comprise primarily of native upland habitat. In order to provide for a viable project and since the Property does not abut any other native upland areas, the Applicant is proposing to mitigate for the native upland preservation requirements as per Section 157.06(E) of the City’s Zoning and Land Development Regulations.
6. The PUD application is consistent with the City’s Comprehensive Land Use Plan.

## **EXHIBIT 5**

### **SITE INFORMATION**

**I. TOTAL ACREAGE**

9.09 acres

**II. WETLANDS IMPACTS**

There are no wetlands present on the Property.

**III. NATIVE HABITAT**

The physical characteristics of the Property comprise primarily of native upland habitat. In order to provide for a feasible project and since the Property does not abut any other native upland areas, the Applicant is proposing to mitigate for the native upland preservation requirements as per Section 157.06(E) of the City's Zoning and Land Development Regulations.

**IV. PROPOSED USE**

72 townhome units

## EXHIBIT 6

### PROPOSED DEVELOPMENT STANDARDS

#### 1. PURPOSE

The purpose of this PUD is to establish an area of integrated and compatible land use and services. The following standards shall be met in developing the PUD:

#### 2. PERMITTED USES

- a. Townhome dwellings
- b. Community recreation facilities such as pools, clubhouse, gazebos, playgrounds, dog park, passive recreation, pickleball courts, etc. so long as such uses are solely for the use of the residents of the Cashmere Townhomes community.
- c. Accessory Uses. As set forth in Section 158.217 of the City's Zoning Code.

#### 3. DENSITY

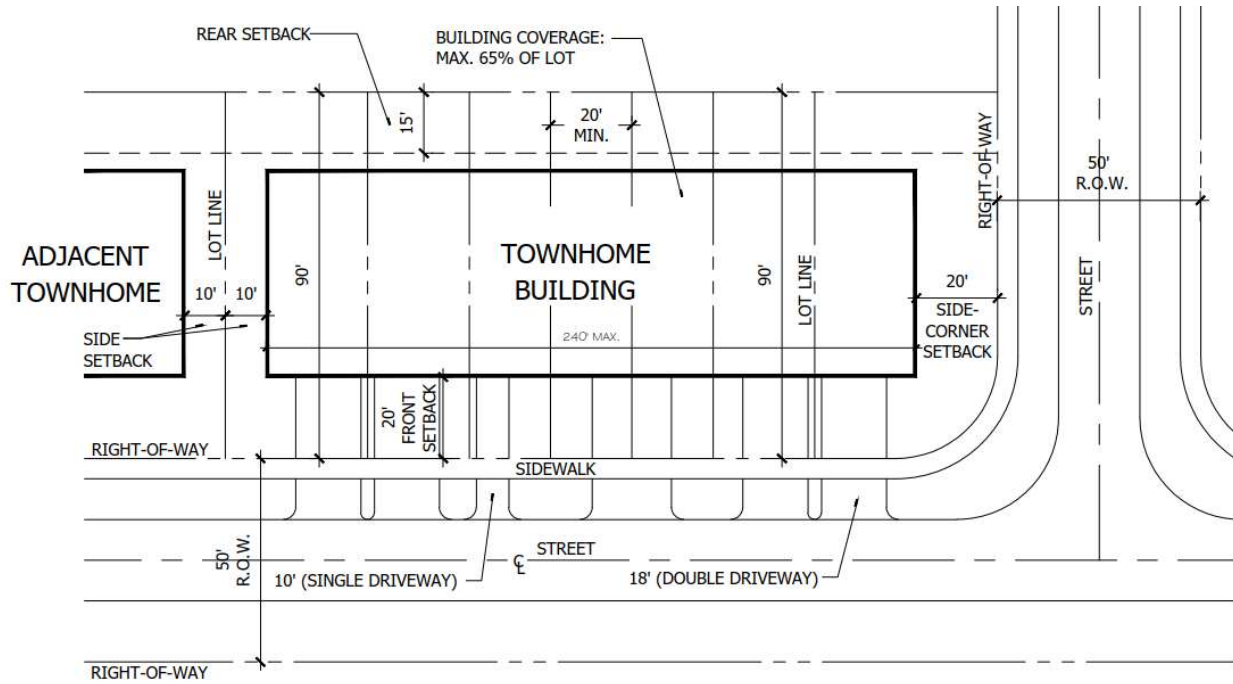
Maximum Density: 11 DU/AC (per Comprehensive Plan Policy 1.1.4.10)

#### 4. DEVELOPMENT STANDARDS

- a. Minimum Townhome Lot Area: 1,800 SF
- b. Minimum Townhome Lot Width: 20 feet
- c. Minimum Open Space (over entire project): 50%
  - i. Sidewalks and passive recreational areas may count towards the open space requirement.
- d. Minimum Recreation Area per Unit: 500 SF
- e. Maximum Building Height: Two (2) stories and 30 feet (as measured per the City's Land Development Regulations).
- f. Minimum Setbacks
  - i. Front: 20 feet
  - ii. Rear: 15 feet (3 feet for screen enclosures)
  - iii. Side (end unit not facing street): 10 feet
  - iv. Side facing street: 20 feet
- g. Maximum Building Coverage/Lot: 65%
- h. Minimum Building Separation: 20 feet
- i. Maximum Building Length: 240 feet
- j. Maximum Units per Building: Eight (8) units
- k. Minimum Driveway width
  - i. Single Driveway: 10 feet
  - ii. Double Driveway: 18 feet
- l. Minimum Living Area (including garage area)
  - i. Two (2) bedroom homes: 1,600 SF

ii. Three (3) bedroom homes: 1,750 SF

**TYPICAL LOT/SETBACK DETAIL**



**5. PARKING**

- a. Minimum Parking: Two (2) spaces per home provided within townhome lot (garage parking and driveway parking included).
- b. Guest Parking (additional): One space per five (5) units

**6. LANDSCAPING**

- a. Landscaping shall comply with Chapter 154 of the City’s Land Usage Code including the townhouse lot landscape standards contained in Section 154.03.
- b. Street trees shall be provided along the internal rights-of-way where possible.
- c. A perimeter fence is required along the south and east property lines in lieu of an opaque wall provided that landscaping is provided on the outside of the fence that provides sufficient screening to preserve the views from the residential properties on the south and east sides of the stormwater lake. The perimeter fence shall be a decorative aluminum fence.

**7. MAINTENANCE OF COMMON AREAS AND AMENITIES**

Common areas and amenities shall be properly maintained by the Property Owners' Association of the townhome development and kept in clean, working, orderly and aesthetically pleasing condition.

## **8. STORMWATER SYSTEMS**

The PUD will be provided stormwater attenuation through the St. Lucie West Services District Master System. The St. Lucie West Service District owns and maintains the master stormwater system to serve the site.

## **9. SITE/EXTERIOR LIGHTING**

Where artificial outdoor lighting is provided, it shall be designed and arranged so that no source of the lighting will be a visible nuisance to adjoining property used or zoned for a residential purpose. In addition, the lighting shall be designed and arranged so as to shield public streets and highways and all adjacent properties from direct glare or hazardous interference of any kind.

## **10. MISCELLANEOUS**

- a. Ground-mounted air conditioning units shall be located away from the public right-of-way whenever possible and shall be screened with landscaping.
- b. Sidewalk interconnectivity shall be provided to community amenity areas by sidewalks and crosswalks with a minimum width of five (5) feet.

## **11. ROADWAYS/DRIVEWAYS**

The PUD will request a full access driveway to Cashmere Boulevard which is owned and maintained by the City of Port St. Lucie.

## **12. ARCHITECTURAL DESIGN GUIDELINES**

- a. **Applicability.**
  - i. The architectural design guidelines shall apply to the Cashmere Townhomes project in lieu of the Citywide design standards.
- b. **General.**
  - i. An overall unified architectural character and image shall be created by the use of common elements such as consistent forms, colors, materials, and details.
    1. Similar architectural composition and treatment shall be provided on all sides of each building.
    2. Accessory buildings shall be constructed of compatible materials, color, and character as the principal building.
- c. **Roofline**
  - i. The roofline along each elevation shall incorporate a minimum of one design feature each from the sections below. The same features are not required on each elevation:
    1. Primary Roof Design Element

- a. Articulated parapet along 30 percent of the roof line for each elevation.
    - i. Maximum spacing between articulation = 100 feet.
  - b. Pitched roof with minimum 12-inch overhanging eaves.
  - c. Two or more plane breaks or slopes per façade elevation.
  - d. Any combination of the above.
- i. Secondary Roof Treatment
    - 1. Decorative roof details, such as dormers, cupolas, rafter tails, balconies, terraces, or exposed beams.
    - 2. Cornices with decorative moldings.
    - 3. Pediments, porticos, architectural features at entryways, or decorative towers.
- d. **Façade**
- i. The front, side, and rear façades shall incorporate recesses, projections, and architectural elements such as columns, arches, etc., as provided below:
    - 1. Recesses/Projections
      - a. Façades greater than 50 feet in length shall incorporate recesses and projections a minimum of 12 inches in depth along a minimum of 20 percent of the total length of the façade. The recesses or projections shall be distributed along the façade with a maximum spacing of 100 feet between each recess or projection.
    - 2. Walls
      - a. Blank walls shall not exceed 15 feet in height or 20 feet in length. Control and expansion joints shall constitute a blank wall, unless used in a decorative pattern with varied materials or textures and spaced a maximum of ten feet on center. Relief and reveal depth shall be a minimum of three-quarters of an inch.
    - 3. Exterior Treatment
      - a. The exterior treatment shall consist of a minimum of two different building materials, textures, or finishes at a ratio of a maximum of 80 percent for the primary treatment and a minimum of 20 percent for the secondary treatment.
    - 4. Fenestration Details
      - a. Architectural features or details such as, windows, awnings, covered arcades, sills, shutters, reliefs, trims, columns, pilasters, quoins, reveals, cornices, horizontal banding, arches, decorative vents, and/or accent tile, shall be integrated into the façade to avoid the appearance of a blank wall.
    - 5. Colors and Materials
      - a. Colors and materials shall be considered to achieve architectural compatibility with architecture in the surrounding area and to complement structures within the Cashmere Townhomes development.

## EXHIBIT 7

### LEGAL DESCRIPTION

A parcel of land being a portion of St. Lucie West Plat No. 178, recorded in Plat Book 49, Pages 3 and 4, Public Records of St. Lucie County, Florida, and being more particularly described as follows:

Being all of said St. Lucie West Plat No. 178, less all of the right-of-way of old Inlet Drive as shown on said St. Lucie West Plat No. 178

#### ALSO KNOWN AS:

A portion of the plat of ST. LUCIE WEST PLAT NO. 178, according to the plat thereof, as recorded in Plat Book 49, Pages 3 and 4, of the Public Records of St. Lucie County, Florida, being more particularly described as follows:

Beginning at the Northeast Corner of the plat of THE CASCADES AT ST. LUCIE WEST - PHASE FIVE, ST. LUCIE WEST PLAT NO. 157, according to the plat thereof, as recorded in Plat Book 41, Pages 37, 37A-37L of the Public Records of St. Lucie County, Florida, said point being further described as being the Northwest Corner of MAGNOLIA LAKES AT ST. LUCIE WEST - PHASE TWO "B", ST. LUCIE WEST PLAT NO. 161, according to the plat thereof, as recorded in Plat Book 42, Pages 12, 12A and 12B, of the Public Records of St. Lucie County, Florida, thence North 90°00'00" West, along the North Line of said THE CASCADES AT ST. LUCIE WEST- PHASE FIVE, ST. LUCIE WEST PLAT NO. 157 and along the South Line of said plat of ST. LUCIE WEST PLAT NO. 178, a distance of 386.88 feet to a point on the East Right-of-Way Line of Old Inlet Drive, as shown on said plat of ST. LUCIE WEST PLAT NO. 178; thence North 00°06'25" West, along said East Right-of-Way line, a distance of 64.68 feet to the Point of Curvature of a circular curve to the right; thence Northerly and Easterly, along the arc of said curve, along said Right-of-Way Line, having a radius of 200.00 feet, through a central angle of 53°07'48", an arc distance of 185.46 feet to the Point of Reverse Curvature to circular curve to the left, said point being further described as being on the Southerly Right-of-Way Line of N.W. Cashmere Boulevard, as shown on said plat of ST. LUCIE WEST PLAT NO. 178; thence Easterly and Northerly, along the arc of said curve, along said Southerly Right-of-Way Line, having a radius of 200.00 feet, through a central angle of 31°33'46", an arc distance of 110.18 feet to the Point of Reverse Curvature of a circular curve to the right; thence Northerly and Easterly, along the arc of said curve, along the said Southerly Right-of-Way Line, having a radius of 100.00 feet, through a central angle of 57°46'09", an arc distance of 100.83 to the Point of Tangency; thence North 79°13'43" East, along said Southerly Right-of-Way Line, a distance of 316.45 feet to the Point of Curvature of a circular curve to the right; thence Northerly, Easterly and then Southerly, along the arc of said curve, along said South Right-of-Way Line, having a radius of 1090.00 feet, through a central angle of 28°51'53", an arc distance of 549.12 to the Northeast corner of said plat of ST. LUCIE WEST PLAT NO. 178; thence South 18°05'35" West, along the East Line of said plat of ST. LUCIE WEST PLAT NO. 178, a distance of 315.23 feet; thence South 00°38'09" East, along the East Line of said plat of ST. LUCIE WEST PLAT NO. 178, a distance of 97.90 feet to the Southeast corner of said plat of ST. LUCIE WEST PLAT NO. 178, said point being further described as being on the North Line of said plat of MAGNOLIA LAKES AT ST. LUCIE WEST - PHASE TWO "B", ST. LUCIE WEST PLAT NO. 161; thence North 90°00'00" West, along the South Line of the plat of said ST. LUCIE WEST PLAT NO. 178 and along the said North Line of MAGNOLIA LAKES AT ST. LUCIE WEST - PHASE TWO "B", ST. LUCIE WEST

PLAT NO. 161, a distance of 589.23 feet to the Northeast Corner of the plat of THE CASCADES AT ST. LUCIE WEST - PHASE FIVE, ST. LUCIE WEST PLAT NO. 157 and the Point of Beginning of this description.

Said lands situate, lying and being in St. Lucie County, Florida.

Containing 395,900.39 square feet or 9.089 acres, more or less.

**EXHIBIT 8**

**BINDING PUD AGREEMENT**

The Property, as described on Exhibit 7, is under the unified control of the undersigned petitioner who agrees to (1) proceed with the proposed development according to the provisions of the City of Port St. Lucie PUD Zoning Regulations; and (2) provide such agreements, contracts, deed restrictions and sureties as are acceptable to the City of Port St. Lucie for the completion of the development in accordance with the plan approved by the City. Said petitioner shall be responsible for the continuing operations and maintenance of the Property, and such responsibilities are not to be provided or maintained at public expense. The petitioner further agrees to bind all successors in title to the commitments made herein.

IN WITNESS WHEREOF, this Binding PUD Agreement is being executed this 14<sup>th</sup> day of February, 2022.

Signed, sealed and delivered:  
In the presence of:

FAR 2, LLC  
a Florida limited liability company

Marcy McBride  
Print Name Marcy McBride

BY: Andrew Meran  
Print Name Andrew Meran  
Its VP

Blaze Kovacic  
Print Name BLAZE KOVACIC

**NOTARY PUBLIC INFORMATION:**

STATE OF FLORIDA  
COUNTY OF BROWARD

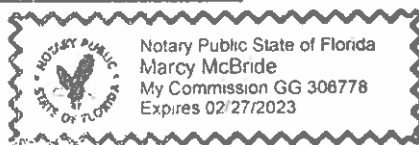
The foregoing instrument was acknowledged before me this 14<sup>th</sup> day of February, 2022 by Andrew Meran (name of person acknowledging). He/she is personally known to me or has produced (type of identification) \_\_\_\_\_ as identification and did take an oath (circle correct response).

Marcy McBride  
(Name - type, stamp or print clearly)

Marcy McBride  
(Signature)

My Commission Expires on: 2-27-23

**NOTARY'S SEAL OR STAMP**



**EXHIBIT 9**

**PUD CONCEPTUAL MASTER PLAN**

