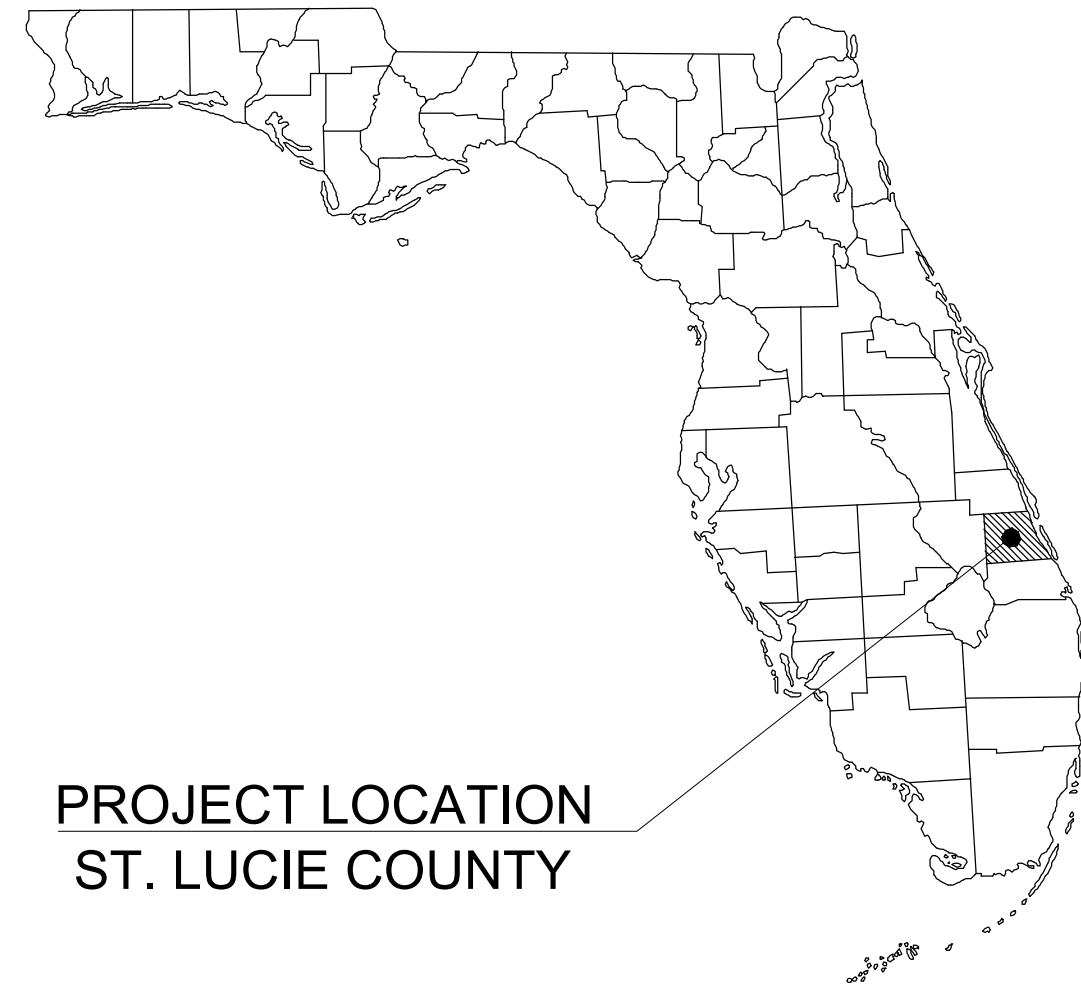


# SITE PLAN FOR WALGREENS AT SOUTHERN GROVE CITY OF PORT ST. LUCIE FLORIDA



PROJECT LOCATION  
ST. LUCIE COUNTY

**PROJECT TEAM:**

**DEVELOPER**  
THE MORGAN COMPANIES  
SCOTT FRIEDMAN  
5900 N. ANDREWS AVE, SUITE 410  
FT. LAUDERDALE, FL 33309  
TEL: (954) 637-2023

**SURVEYOR**  
CAULFIELD & WHEELER, INC.  
RONNIE L. FURNISS, PSM  
7900 GLADES RD, SUITE 100  
BOCA RATON, FL 33434  
TEL: (561) 392-1991

**ENGINEER**  
KIMLEY-HORN AND ASSOCIATES, INC.  
CHRIS HOLLEN, P.E.  
445 24TH STREET, SUITE 200  
VERO BEACH, FL 32960  
TEL: (772) 794-4067

**TRAFFIC**  
KIMLEY-HORN AND ASSOCIATES, INC. INC.  
ALEX MEMERING, P.E.  
189 SOUTH ORANGE, SUITE 1000  
ORLANDO, FL 32801  
TEL: (407) 815-3572

**LANDSCAPE ARCHITECT**  
KIMLEY-HORN AND ASSOCIATES, INC.  
KYLER DURHAM, PLA  
445 24TH STREET, SUITE 200  
VERO BEACH, FL 32960  
TEL: (772) 621-2758

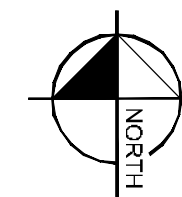
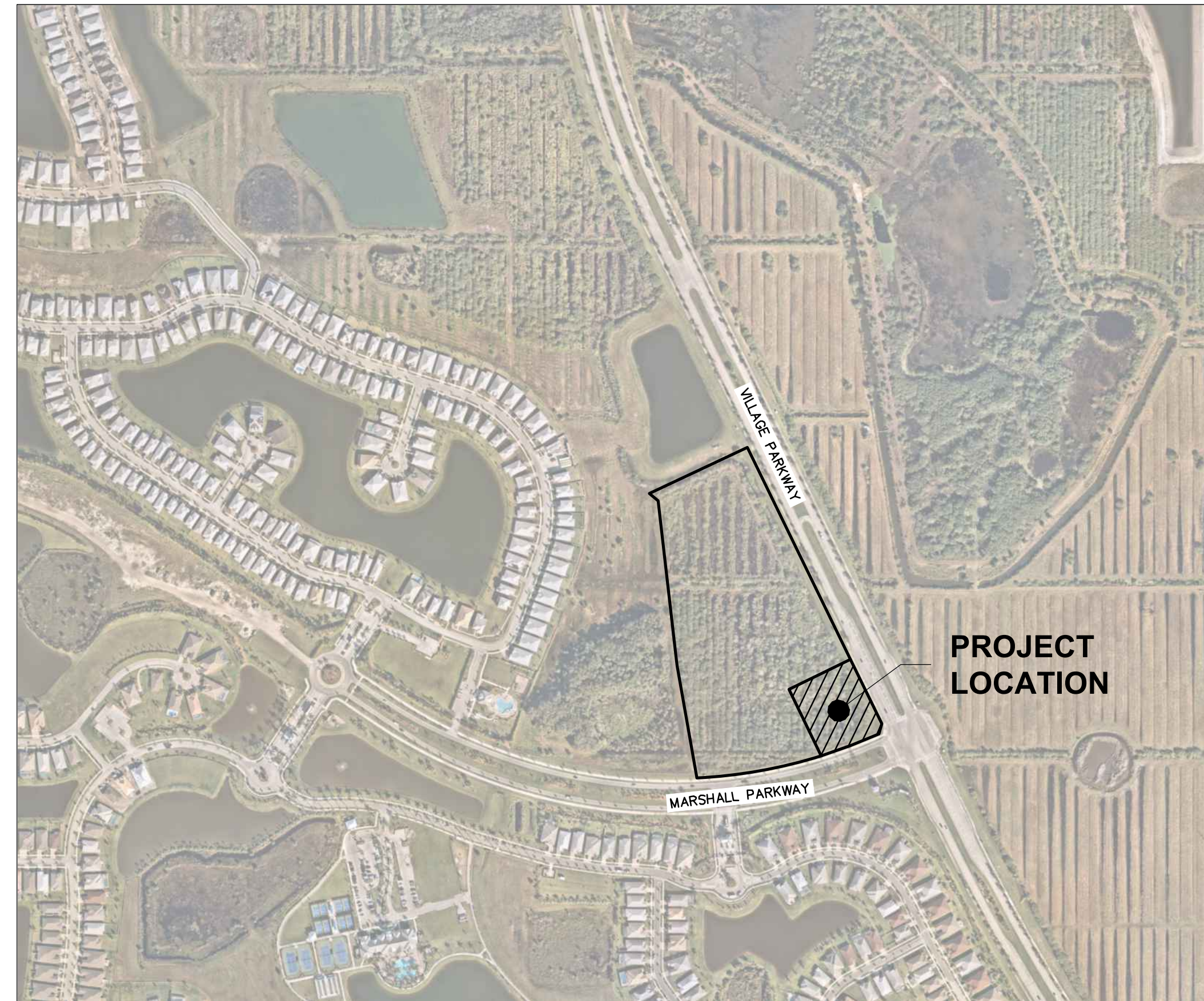
**ADDITIONAL GOVERNING AGENCIES CONTACTS:**

**PLANNING/ZONING**  
CITY OF PORT ST. LUCIE  
121 S.W. PORT ST. LUCIE BLVD  
PORT ST. LUCIE, FL 34984  
(772) 871-5212

**FIRE CHIEF**  
ST. LUCIE COUNTY FIRE DEPT.  
5160 N.W. MILNER DRIVE  
PORT ST. LUCIE, FL 34983  
(772) 621-3400

**STORMWATER**  
GLEN GAREAU  
S. FL. WATER MANAGEMENT DISTRICT  
3301 GUN CLUB ROAD  
WEST PALM BEACH, FL 33406  
(561) 686-8800

**ENGINEERING**  
COLT SCHWERDT  
CITY OF PORT ST. LUCIE  
121 S.W. PORT ST. LUCIE BLVD  
PORT ST. LUCIE, FL 34984  
(772) 871-5100



VICINITY MAP  
NOT TO SCALE

**PURCHASE AREA - LEGAL DESCRIPTION:**

TRADITION SG-11 PLAT (PB 124, PG 37)  
PARCEL B (1.784 ACRES)

KNOW ALL MEN BY THESE PRESENTS THAT MATTAMY PALM BEACH LLC, A DELAWARE LIMITED LIABILITY COMPANY, OWNER OF THE LAND SHOWN HEREON AS "TRADITION SG-11", BEING A REPLAT OF ALL OF PARCEL 250 ACCORDING TO THE PLAT OF SOUTHERN GROVE PLAT NO. 13, AS RECORDED IN PLAT BOOK 74, PAGE 10, PUBLIC RECORDS OF ST. LUCY COUNTY, FLORIDA, LYING IN SECTIONS 22 AND 27, TOWNSHIP 37 SOUTH, RANGE 39 EAST, THE CITY OF PORT ST. LUCIE, ST. LUCIE COUNTY, FLORIDA.

**TRAFFIC STATEMENT**

LAND USE	INTENSITY	DAILY TRIPS	TRAFFIC IMPACTS					
			AM PEAK HOUR		PM PEAK HOUR			
			TOTAL	IN	OUT	TOTAL	IN	OUT
LUC B81 - PHARMACY W/ DRIVE-THROUGH WINDOW	10 KSF	1,084	37	19	18	103	52	51

\*TRIP GENERATION WAS CALCULATED USING THE DATA FROM ITE'S TRIP GENERATION MANUAL, 11TH EDITION

THIS PROJECT UTILIZES THE FDOT STANDARD PLANS AND SPECIFICATIONS - 2023 THROUGH 2024.

THIS PROJECT UTILIZES THE CITY OF PORT ST. LUCIE ENGINEERING STANDARDS FOR LAND DEVELOPMENT, 1ST EDITION - DECEMBER 2020.

THIS PROJECT UTILIZES THE PSLUSD 2019 STANDARDS AND SPECIFICATIONS, EFFECTIVE DATE OF 01/01/2019.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

VERTICAL DATUM  
ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). SUBTRACT 1.47' FROM NAVD 29 ELEVATION TO GET THE NAVD 88 ELEVATION.



Know what's below.  
Call before you dig.

CITY OF PORT ST. LUCIE PROJECT # P 23-189  
PSLUSD PROJECT # 5436

**Sheet List Table**

Sheet Number	Sheet Title
C-000	COVER SHEET
C-100	SITE PLAN (ENLARGEMENT)
C-101	SITE PLAN
C-110	MISCELLANEOUS DETAILS

**Kimley»Horn**  
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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960  
PHONE: 772-794-4100  
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

LICENSED PROFESSIONAL  
CHRISTOPHER J. HOLLEN  
FLORIDA LICENSE NUMBER 74685

KHA PROJECT 147944001  
DATE 10/13/2023  
SCALE AS SHOWN  
DESIGNED BY RDB  
DRAWN BY RDB  
CHECKED BY C/JH DATE: \_\_\_\_\_

COVER SHEET

WALGREENS AT SOUTHERN GROVE  
PREPARED FOR THE MORGAN COMPANIES  
CITY OF PORT ST. LUCIE FLORIDA

SHEET NUMBER  
C-000

Plotted By: Tompkins, Shannon - Self-Southern Grove 11 - Layout-C-100 - SITE PLAN (ENLARGEMENT) - June 26, 2024 - 04:01:56pm - K:\VRB\DEV\147944001 - s911 commercial\CAD\plan\sh811 - 147944001.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and/or improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

**GENERAL NOTES:**

- HAZARDOUS WASTE DISPOSAL SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS
- ALL LANDSCAPE AREAS ADJACENT TO VEHICULAR USE AREAS SHALL BE CURBED OR PROTECTED BY CURB STOPS
- ALL BUILDING, PARKING AND ACCESS AREAS SHALL DOCUMENT COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT PRIOR TO THE ISSUANCE OF BUILDING PERMIT.
- SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES
- LANDSCAPING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 154 OF THE LANDSCAPE CODE OF THE CITY OF PORT ST. LUCIE
- NO LANDSCAPING OTHER THAN GRASSES SHALL BE LOCATED WITHIN 10' OF A CITY UTILITY LINE OR APPURTENANCE. ALL OTHER UTILITIES SHALL BE A MINIMUM OF 5' HORIZONTAL SEPARATION FROM CITY UTILITY MAINS FOR PARALLEL INSTALLATIONS AND A MINIMUM 18" BELOW CITY MAINS. (ALL MEASUREMENTS ARE TAKEN FROM OUTSIDE TO OUTSIDE)
- NO LANDSCAPING SHALL BE PLACED IN A MANNER THAT WOULD CREATE CONFLICTS WITH THE INTENDED OPERATION AND MAINTENANCE OF ANY EXISTING UTILITY.
- THIS APPLICATION IS NOT VESTED FOR ANY MUNICIPAL FEES. ALL FEES ARE CALCULATED AT TIME OF PAYMENT. THIS INCLUDES SPECIFICALLY IMPACT FEES, UPLAND PRESERVE FEES AND ANY ADMINISTRATIVE REVIEW FEES FOR CITY DEPARTMENTS. NO FEES ARE VESTED BASED ON DATE OF CITY COUNCIL APPROVAL.
- SIGNS ARE NOT PART OF THIS REVIEW AND SHALL BE PERMITTED SEPARATELY FROM THE APPLICATION. (SEE CHAPTER 155 (SIGN CODE) CITY OF PORT ST. LUCIE LAND DEVELOPMENT REGULATIONS.)
- THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (G)
- FENCE POSTS SHOULD AVOID UTILITY SERVICE LINES AT ALL TIMES
- UTILITY SERVICES CAN BE CONNECTED ONLY AFTER THE MAINS ARE INSTALLED AND TURNED OVER TO THE CITY.

**DRAINAGE STATEMENT:**

THE STORMWATER MANAGEMENT SYSTEM FOR THIS PROJECT IS PART OF THE SOUTHERN GROVE MASTER DRAINAGE SYSTEM AND IS DESIGNED TO BE CONSISTENT WITH THE CURRENT APPROVED CONCEPTUAL PERMIT. THE PROPOSED DRAINAGE SYSTEM CONSISTS OF AN ONSITE DRAINAGE SYSTEM THAT IS CONNECTED TO A CONVEYANCE SWALE THAT RUNS ALONG THE WESTERN PROPERTY LINE WHICH OUTFALLS TO EXISTING OFFSITE POND L23B.

**TRAFFIC STATEMENT:**

AN ANALYSIS OF THE TRAFFIC IMPACTS RESULTING FROM THE SG-11 COMMERCIAL PARCEL WITHIN THE SOUTHERN GROVE DRI HAS BEEN CONDUCTED. THE PROJECT IS LOCATED IN THE NORTHWEST CORNER OF THE SW VILLAGE PARKWAY AND OPEN VIEW ROAD INTERSECTION IN PORT ST. LUCIE. THE APPLICANT PROPOSES:

- 10,000 SQUARE FEET OF COMMERCIAL USE
- THE ANALYSIS WAS CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF PORT ST. LUCIE FOR A PROJECT WITHIN AN APPROVED DEVELOPMENT OF REGIONAL IMPACT (SOUTHERN GROVE DRI)
- THE PROPOSED PROJECT IS EXPECTED TO GENERATE THE FOLLOWING NET NEW EXTERNAL TRIPS:
  - 1,084 DAILY, 91 AM PEAK HOUR (46 IN/45 OUT), AND 112 PM PEAK HOUR (56 IN/56 OUT)

THE ANALYSIS SHOWS THAT THE ROADWAYS ARE PROJECTED TO OPERATE ACCEPTABLY WITH THE ADDITION OF THE PROPOSED DEVELOPMENT. BECAUSE THE PROJECT IS PART OF THE APPROVED SOUTHERN GROVE DRI, CONCURRENCY IS SATISFIED.

**ENVIRONMENTAL ASSESSMENT:**

THE SITE IS UNDEVELOPED, COMPRISED PREDOMINANTLY OF LANDS PREVIOUSLY CONVERTED TO CITRUS GROVES, WHICH ARE NO LONGER IN OPERATION.

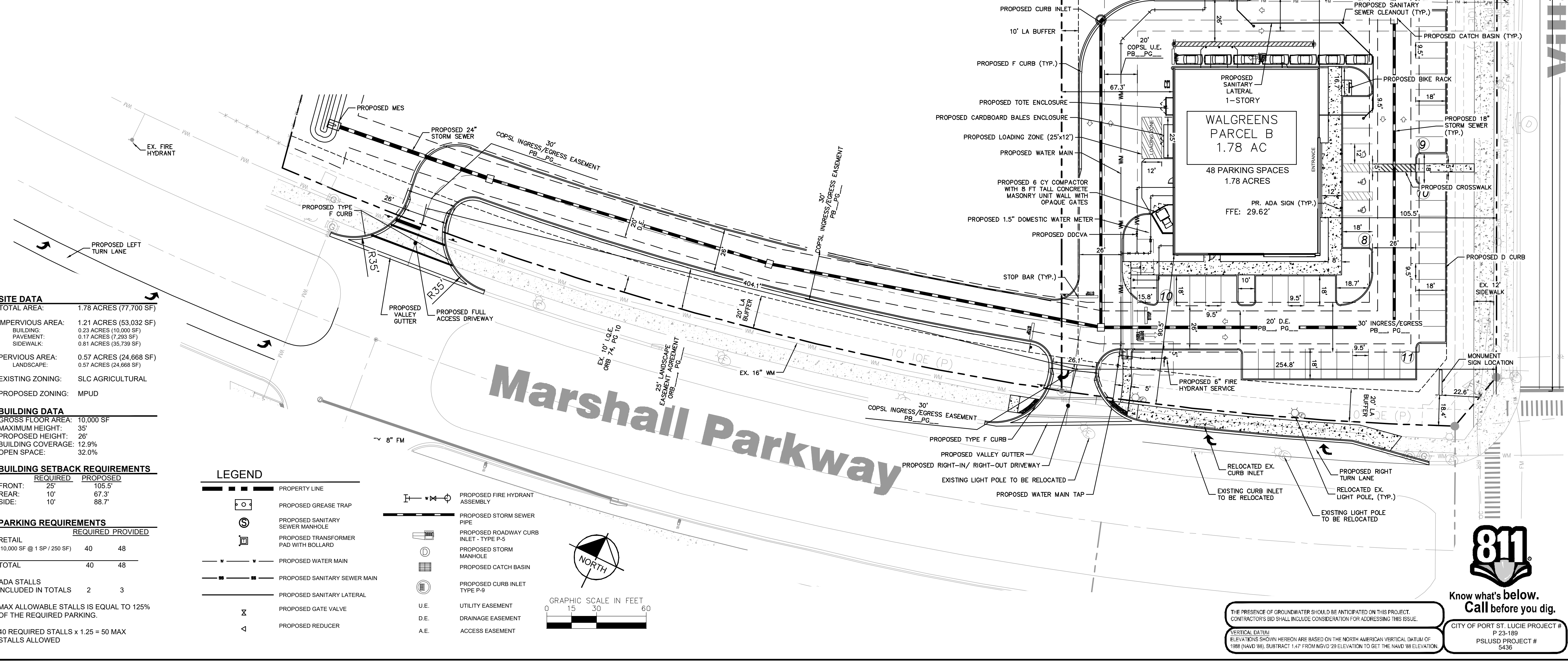
A REVIEW OF HISTORIC AERIAL IMAGERY INDICATES THAT THE PROPERTY HAS BEEN IN AGRICULTURAL USE FOR MORE THAN 20 YEARS. THE PATTERN OF DITCHES THAT WERE CONSTRUCTED FOR DRAINAGE AND IRRIGATION OF THE FORMER CITRUS GROVE REMAIN IN PLACE ON THE SITE. SURFACE WATER AND VEGETATION INDICATIVE OF WET AREAS WAS OBSERVED BUT THE SUBJECT SITE IS NOT DESCRIBED ON THE U.S. FISH AND WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY INTERACTIVE DATABASE AS A MAPPED WETLAND AREA.

**LEGAL DESCRIPTION:**

TRADITION SG-11 PLAT (PB \_\_\_ PG \_\_\_)

PARCEL B (1.784 ACRES)

PARCEL A  
TRADITION SG-11  
PB 124, PG 37  
13.79 AC



**SITE DATA**

TOTAL AREA:	1.78 ACRES (77,700 SF)
IMPERVIOUS AREA:	1.21 ACRES (53,032 SF)
BUILDING:	0.23 ACRES (10,000 SF)
PAVEMENT:	0.17 ACRES (7,293 SF)
SIDEWALK:	0.81 ACRES (35,739 SF)
PERVIOUS AREA:	0.57 ACRES (24,668 SF)
LANDSCAPE:	0.57 ACRES (24,668 SF)
EXISTING ZONING:	SLC AGRICULTURAL
PROPOSED ZONING:	MPUD

**BUILDING DATA**

GROSS FLOOR AREA:	10,000 SF
MAXIMUM HEIGHT:	35'
PROPOSED HEIGHT:	26'
BUILDING COVERAGE:	12.9%
OPEN SPACE:	32.0%

**BUILDING SETBACK REQUIREMENTS**

REQUIRED	PROPOSED
FRONT:	25' / 105.5'
REAR:	10' / 67.3'
SIDE:	10' / 88.7'

**PARKING REQUIREMENTS**

REQUIRED	PROVIDED
RETAIL (10,000 SF @ 1 SP / 250 SF)	40 / 48
TOTAL	40 / 48

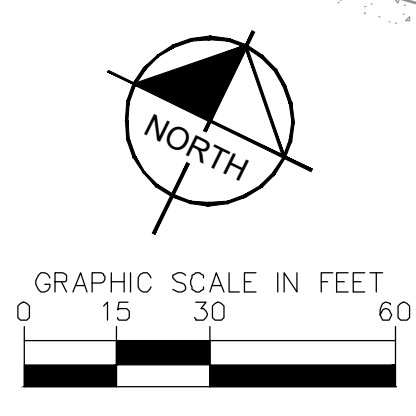
ADA STALLS INCLUDED IN TOTALS 2 3

MAX ALLOWABLE STALLS IS EQUAL TO 125% OF THE REQUIRED PARKING.

40 REQUIRED STALLS x 1.25 = 50 MAX STALLS ALLOWED

**LEGEND**

- — — — — PROPERTY LINE
- — — — — PROPOSED GREASE TRAP
- — — — — PROPOSED SANITARY SEWER MANHOLE
- — — — — PROPOSED TRANSFORMER PAD WITH BOLLARD
- — — — — PROPOSED WATER MAIN
- — — — — PROPOSED SANITARY SEWER MAIN
- — — — — PROPOSED SANITARY LATERAL
- — — — — PROPOSED GATE VALVE
- — — — — PROPOSED REDUCER
- — — — — PROPOSED FIRE HYDRANT ASSEMBLY
- — — — — PROPOSED STORM SEWER PIPE
- — — — — PROPOSED ROADWAY CURB INLET - TYPE P-5
- — — — — PROPOSED STORM MANHOLE
- — — — — PROPOSED CATCH BASIN
- — — — — PROPOSED CURB INLET TYPE P-9
- — — — — UTILITY EASEMENT
- — — — — DRAINAGE EASEMENT
- — — — — ACCESS EASEMENT



WILSON PARKWAY

238P

REVISIONS

DATE

BY

**Kimley»Horn**

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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960  
PHONE: 772-794-4100  
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT 147944001

DATE 10/13/2023

SCALE AS SHOWN

DESIGNED BY RDE

DRAWN BY RDE

CHECKED BY CJH

DATE

**WALGREENS AT SOUTHERN GROVE**

PREPARED FOR THE MORGAN COMPANIES

CITY OF PORT ST. LUCIE FLORIDA

SITE PLAN (ENLARGEMENT)

SHEET NUMBER C-100

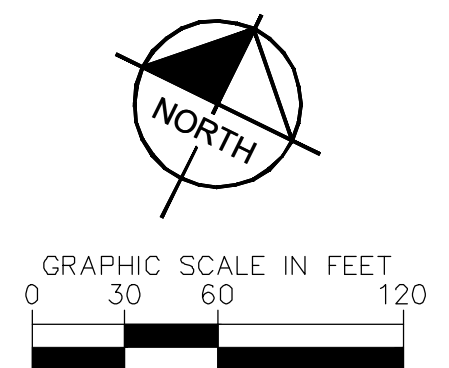
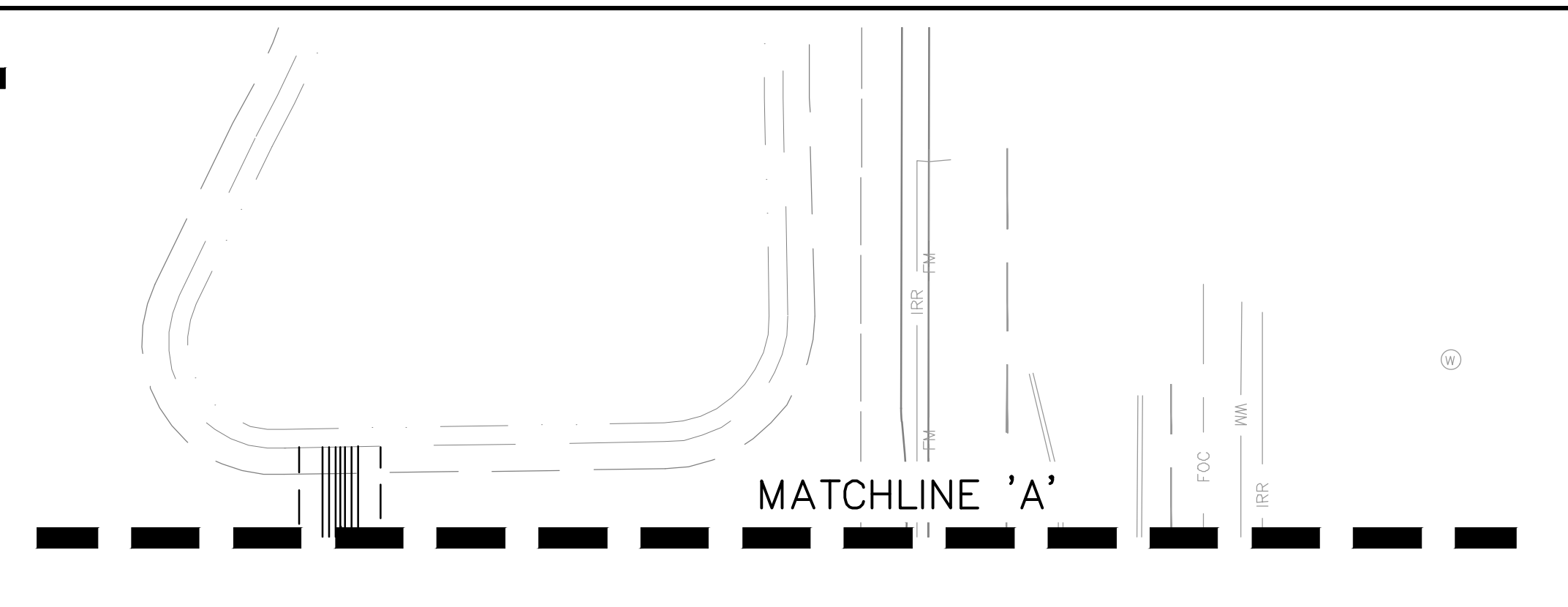
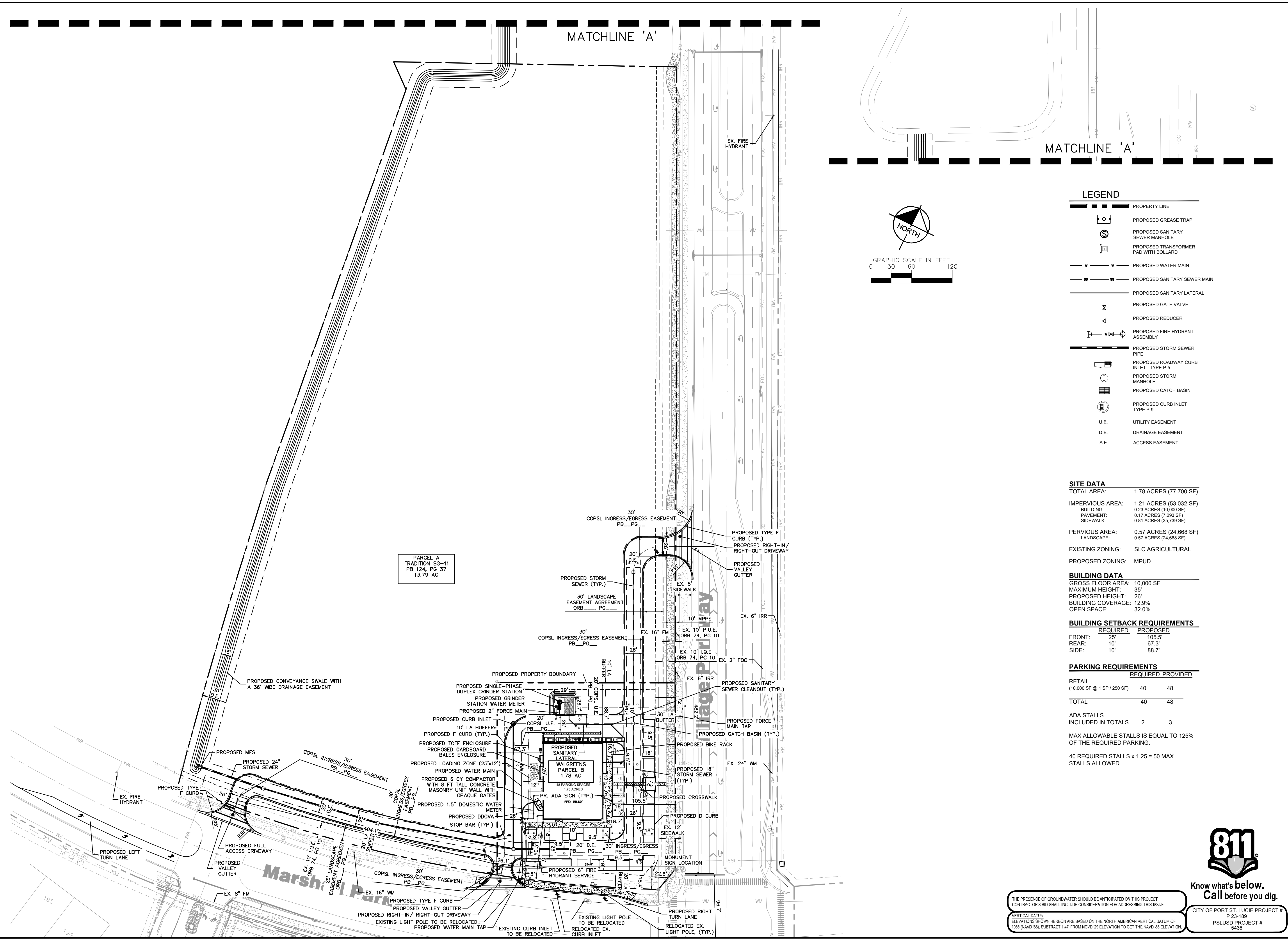
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VERTICAL DATUM: ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1985 (NAVD 85). SUBTRACT 1.47 FEET FROM NAVD 85 ELEVATION TO GET THE NAVD 98 ELEVATION.

Know what's below.  
Call before you dig.

CITY OF PORT ST. LUCIE PROJECT # P 23-189  
PSLUSD PROJECT # 5436

Plotted By: Tompays, Shannon Sheet: S01-SOUTHERN GROVE 11 Layout: C-101 SITE PLAN June 26, 2024 04:02:01 PM K:\VRB\_LDEV\147944001 - 811 Commercial\CAD\plan\sheet\C-100 SITE PLAN - 147944001.dwg  
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**LEGEND**

- PROPERTY LINE
- PROPOSED GREASE TRAP
- ⊙ PROPOSED SANITARY SEWER MANHOLE
- ⊞ PROPOSED TRANSFORMER PAD WITH BOLLARD
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER MAIN
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- U.E. UTILITY EASEMENT
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IMPERVIOUS AREA:	1.21 ACRES (53,032 SF)
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LANDSCAPE:	0.57 ACRES (24,668 SF)
EXISTING ZONING:	SLC AGRICULTURAL
PROPOSED ZONING:	MPUD

**BUILDING DATA**

GROSS FLOOR AREA:	10,000 SF
MAXIMUM HEIGHT:	35'
PROPOSED HEIGHT:	28'
BUILDING COVERAGE:	12.9%
OPEN SPACE:	32.0%

**BUILDING SETBACK REQUIREMENTS**

	REQUIRED	PROPOSED
FRONT:	25'	105.5'
REAR:	10'	67.3'
SIDE:	10'	88.7'

**PARKING REQUIREMENTS**

	REQUIRED	PROVIDED
RETAIL (10,000 SF @ 1 SP / 250 SF)	40	48
TOTAL	40	48

ADA STALLS INCLUDED IN TOTALS 2 3  
 MAX ALLOWABLE STALLS IS EQUAL TO 125% OF THE REQUIRED PARKING.  
 40 REQUIRED STALLS 1 x 1.25 = 50 MAX STALLS ALLOWED



Know what's below. Call before you dig.

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 VERTICAL DATUM: ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). SUBTRACT 1.47' FROM NAVD 88 ELEVATION TO GET THE NAVD 98 ELEVATION.

CITY OF PORT ST. LUCIE PROJECT # P 23-189  
 PSLUSD PROJECT # 5436

No.	REVISIONS	DATE	BY

**Kimley»Horn**  
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 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960  
 PHONE: 772-794-4100  
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

LICENSED PROFESSIONAL  
 CHRISTOPHER J. HOLLEN  
 FLORIDA LICENSE NUMBER 74685  
 DATE: \_\_\_\_\_  
 CHECKED BY: C/JH

**SITE PLAN**

**WALGREENS AT SOUTHERN GROVE**  
 PREPARED FOR THE MORGAN COMPANIES  
 CITY OF PORT ST. LUCIE, FLORIDA  
 SHEET NUMBER C-101

**GENERAL NOTES**

**CONCRETE:**  
PAD SHALL BE A MINIMUM OF 3,000 P.S.I. AIR ENTRAINED CONCRETE 6" THICK WITH #4 BARS X 12" O.C. EACH WAY. SURFACE TO RECEIVE BROOM FINISH, AND SHALL BE FLAT EXCEPT FOR WASH (1.66 PERCENT MAXIMUM).

**COMPACTOR:**  
ARCHITECT SHALL SEND COMPACTOR INSTALLER ENCLOSURE LAYOUT DRAWINGS FOR REVIEW TO COORDINATE CLEARANCES.  
COMPACTOR IS INSTALLED BY WALGREENS COMPACTOR EQUIPMENT INSTALLER, ASSIGNED TO STATES LISTED BELOW.

CONTRACTOR TO COORDINATE WITH WALGREENS COMPACTOR MANUFACTURER: HARMONY ENTERPRISES, INC., 704 MAIN AVE NORTH, HARMONY, MN 55939, (888)474-2253 FOR ALL LOCATIONS WITHIN THE UNITED STATES.  
CONTRACTOR TO COORDINATE WITH WALGREENS COMPACTOR MANUFACTURER: J.V. MANUFACTURING, INC., P.O. BOX 229, SPRINGDALE, AR 72765, (800)754-4290 FOR LOCATIONS IN PUERTO RICO.

**ELECTRICAL POWER:**  
ELECTRICAL CONTRACTOR TO PROVIDE POWER FOR 5 HP, 3 PHASE, 60HZ MOTOR 4'-0" A.F.F. AND 30A WEATHER PROOF LOCKABLE DISCONNECT SWITCH LOCATED ON EXTERIOR WALL WITHIN 4'-0" OF COMPACTOR. FINAL CONNECTION AND CONTROL WIRING BY COMPACTOR INSTALLER.

**CMU ENCLOSURE AND METAL GATES:**  
CMU ENCLOSURES TO HAVE STUCCO EXTERIOR, PAINTED TO MATCH EIFS ON BUILDING.

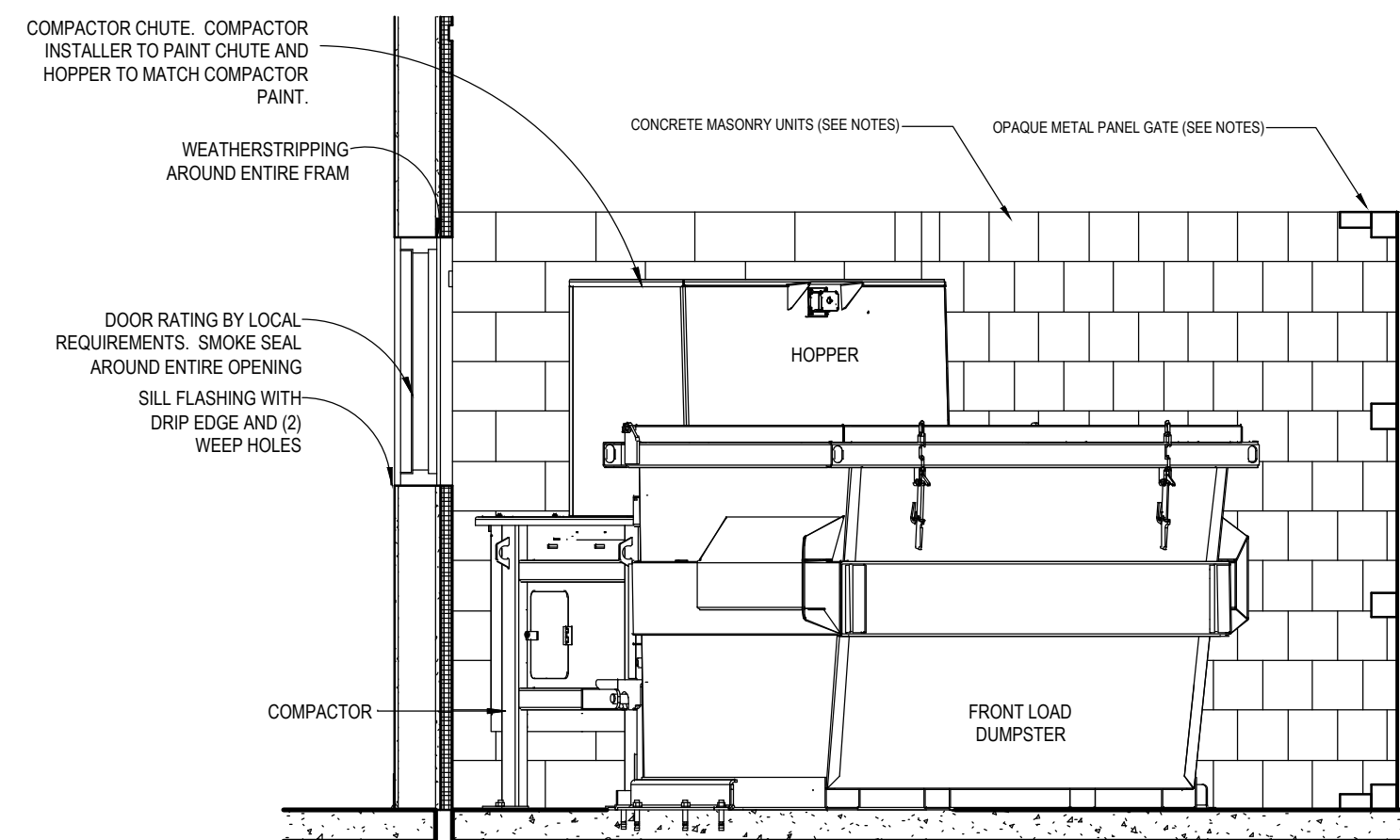
METAL GATES TO BE 16 GA FORM DECK PANELS WELDED TO 2-1/2" X 2-1/2" TUBE STEEL FRAMED WITH 6" Ø STEEL HINGE POSTS. COLLAR HINGES (TAP & ADD GREASE FITTING AT EACH HINGE- GREAS HINGES AFTER PAINTING).

INDUSTRIAL GRADE CANE DROP BOLTS (FOR HOLD OPEN AND SECURE CLOSE POSITIONS) WITH PADLOCK HASP BOLTED TO STEEL FRAME.

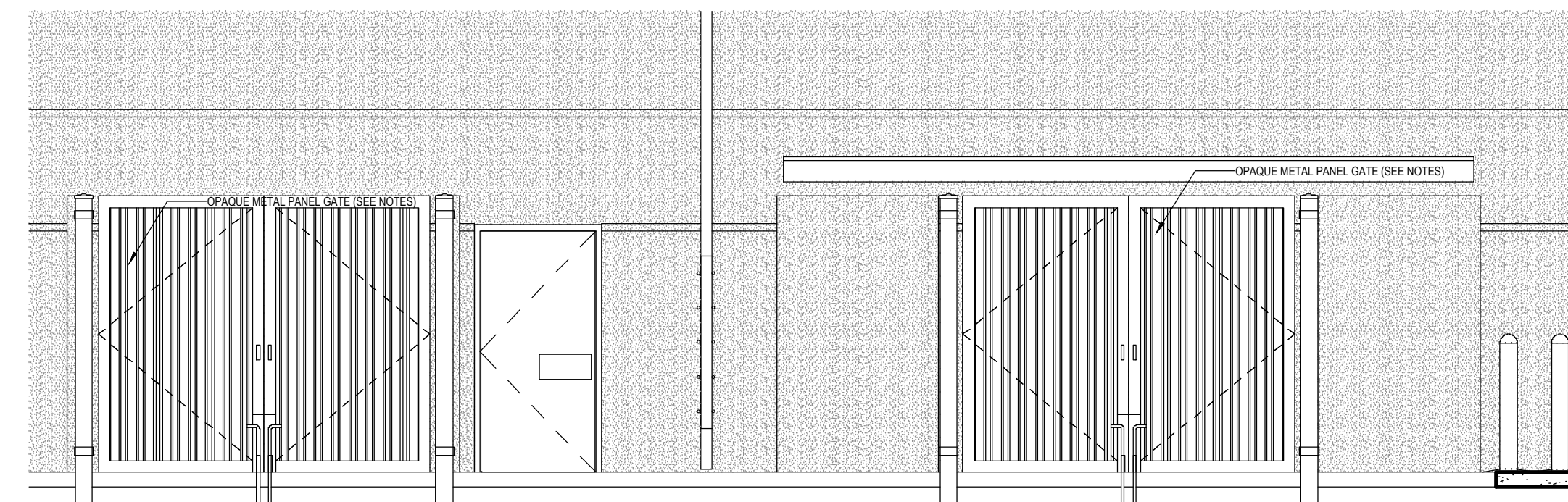
A 12"W X 18"H SIGN LABELED "AUTHORIZED PERSONNEL ONLY - NO TRESPASSING" SHALL BE PLACED ON EXTERIOR SIDE OF ENCLOSURE, BY WALGREENS CONTRACTOR. MOUNT SIGN PLUMB AND AT 5'-0" ABOVE CONCRETE PAD TO BOTTOM OF SIGN WITH CORROSION AND TAMPER RESISTANT FASTENERS.

CLEAR "TUFTEX POLYCARB" OR STANDING SEAM METAL ROOF PANEL OVER TREATED WOOD FRAMING, FASTENED TO AND CANTILEVERED FROM BUILDING, SHALL BE PROVIDED OVER TOTE STORAGE.

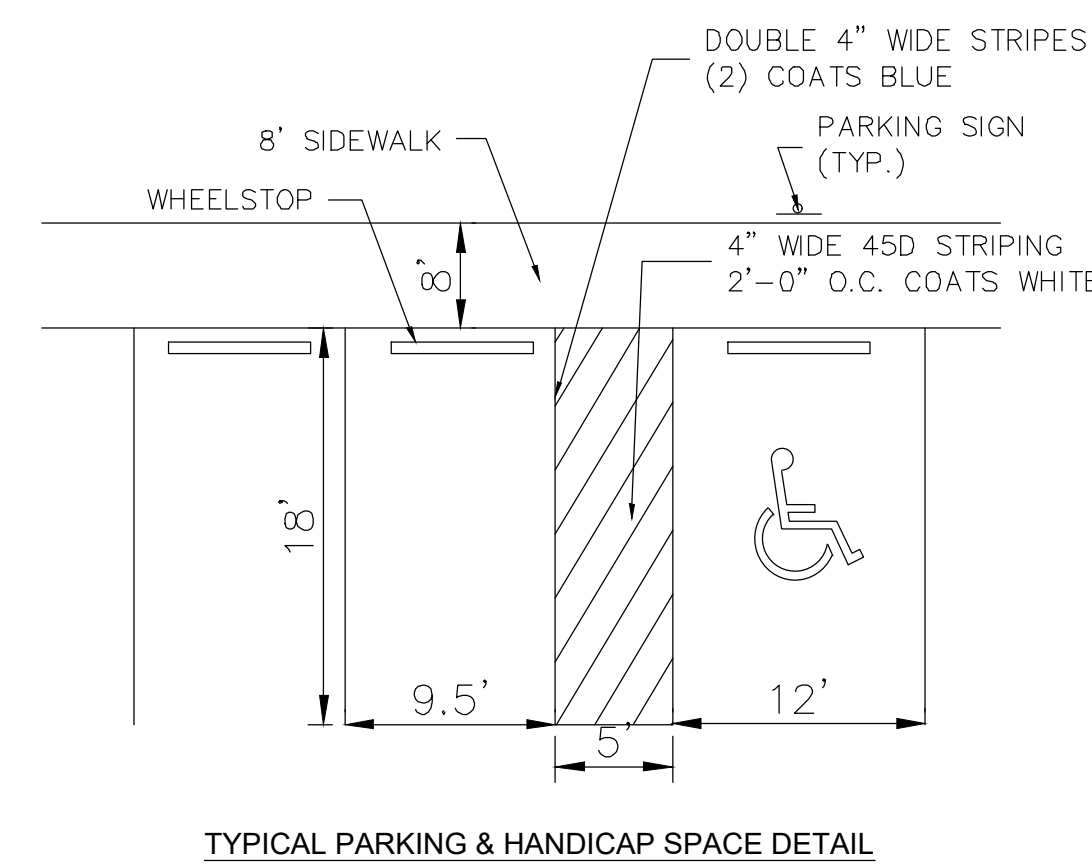
**ENCLOSURES:**  
ENCLOSURE INSIDE DIMENSIONS ARE TO MEET OR EXCEED ALL MINIMUM CLEARANCES PRESCRIBED IN THESE DETAILS. MASONRY MUST BE CONTAINED IN ENCLOSURE AREA AS DEFINED BY HATCHED AREA.



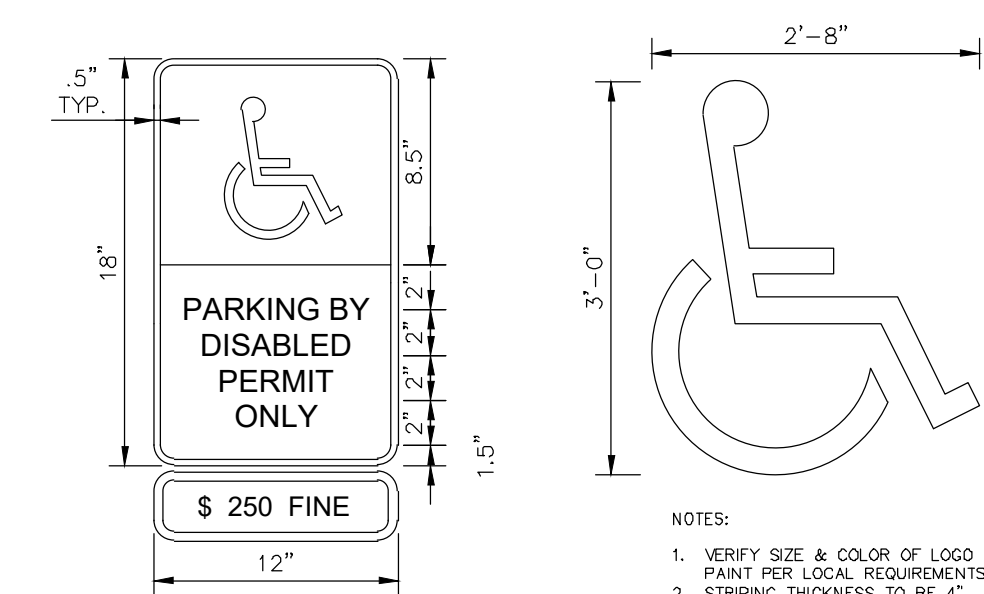
**6 Section at Compactor**  
SCALE: N.T.S.



**3 Tote Enclosure Elevation and Cardboard/Bale Enclosure Elevation**  
SCALE: N.T.S.



**TYPICAL PARKING & HANDICAP SPACE DETAIL**  
N.T.S.



NOTES:

1. SIGN PER FTP-25
2. ALL LETTERS ARE 1" SERIES C.
3. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
4. BOTTOM PORTION OF SIGN SHALL HAVE REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.

**ACCESSIBLE SIGN**  
N.T.S.

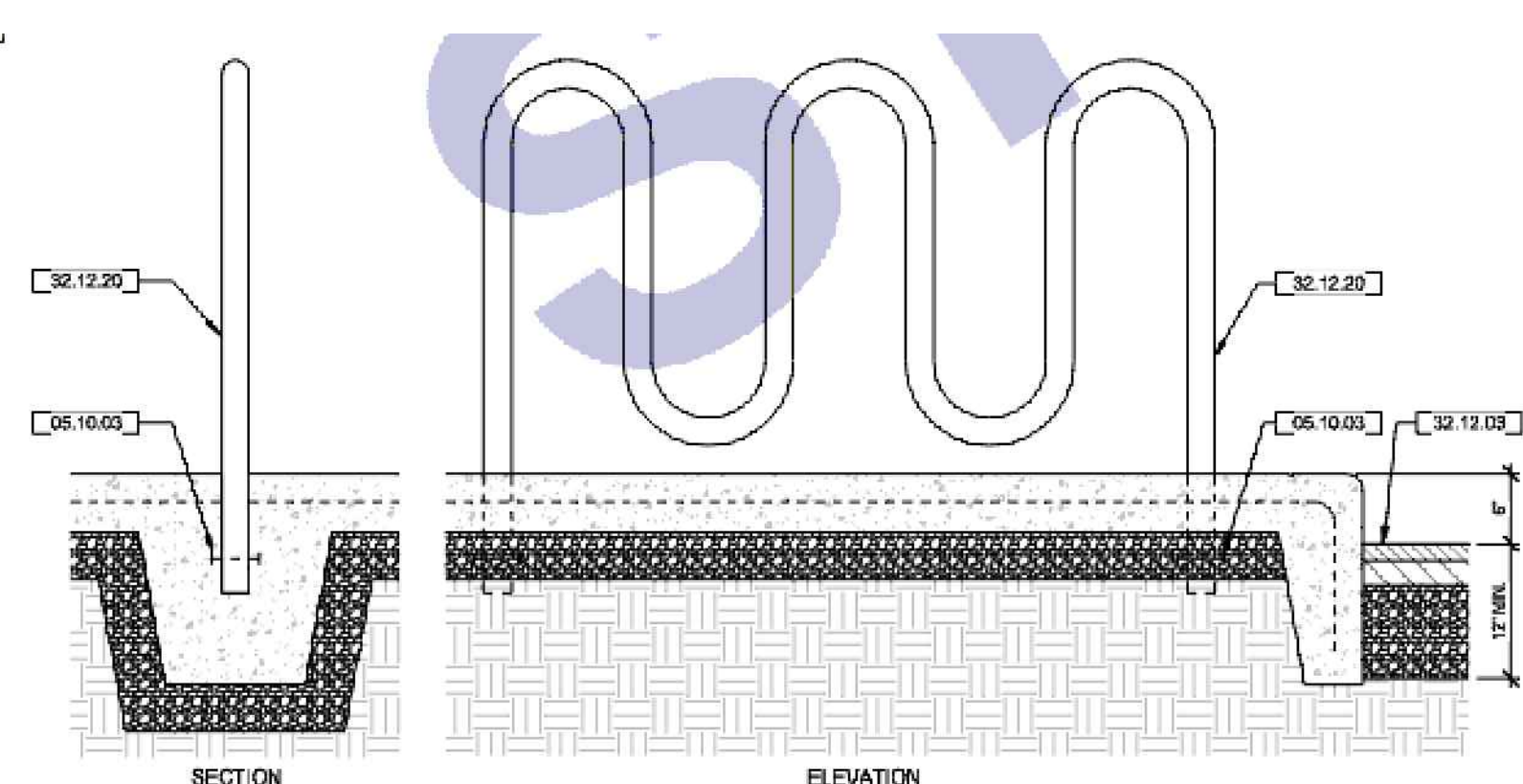
**ACCESSIBLE STALL STRIPING**  
N.T.S.



Know what's below.  
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CITY OF PORT ST. LUCIE PROJECT # P 23-189  
PLSUSD PROJECT # 5436

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**4 Section at Bike Rack**  
SCALE: 1" = 4'-0"

32.12.20	HOT DIPPED GALVANIZED HEAVY DUTY TUBULAR STEEL BIKE RACK SET IN THICKENED SLAB WITH 6" MINIMUM COVER ALL AROUND (SEE SPECIFICATIONS).
05.10.03	3/8" Ø x 6" ANCHOR ROD THROUGH POST.

Plotted By: Tamayo, Shannon. Sheet Set: SOUTHERN GROVE 11. Layout: C-110 MISCELLANEOUS DETAILS - June 26, 2024. 04:02:08pm. K:\WRB\_DEW\147944001 - 1011 commercial\CAD\plansheets\C-110 MISCELLANEOUS DETAILS.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

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PHONE: 772-794-4100  
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LICENSED PROFESSIONAL  
CHRISTOPHER J. HOLLEN  
FLORIDA LICENSE NUMBER  
74685  
DATE: \_\_\_\_\_

KHA PROJECT  
DATE  
SCALE AS SHOWN  
DESIGNED BY  
DRAWN BY  
CHECKED BY

**MISCELLANEOUS DETAILS**

**WALGREENS AT SOUTHERN GROVE**  
PREPARED FOR  
**THE MORGAN COMPANIES**  
FLORIDA  
CITY OF PORT ST. LUCIE

SHEET NUMBER  
**C-110**