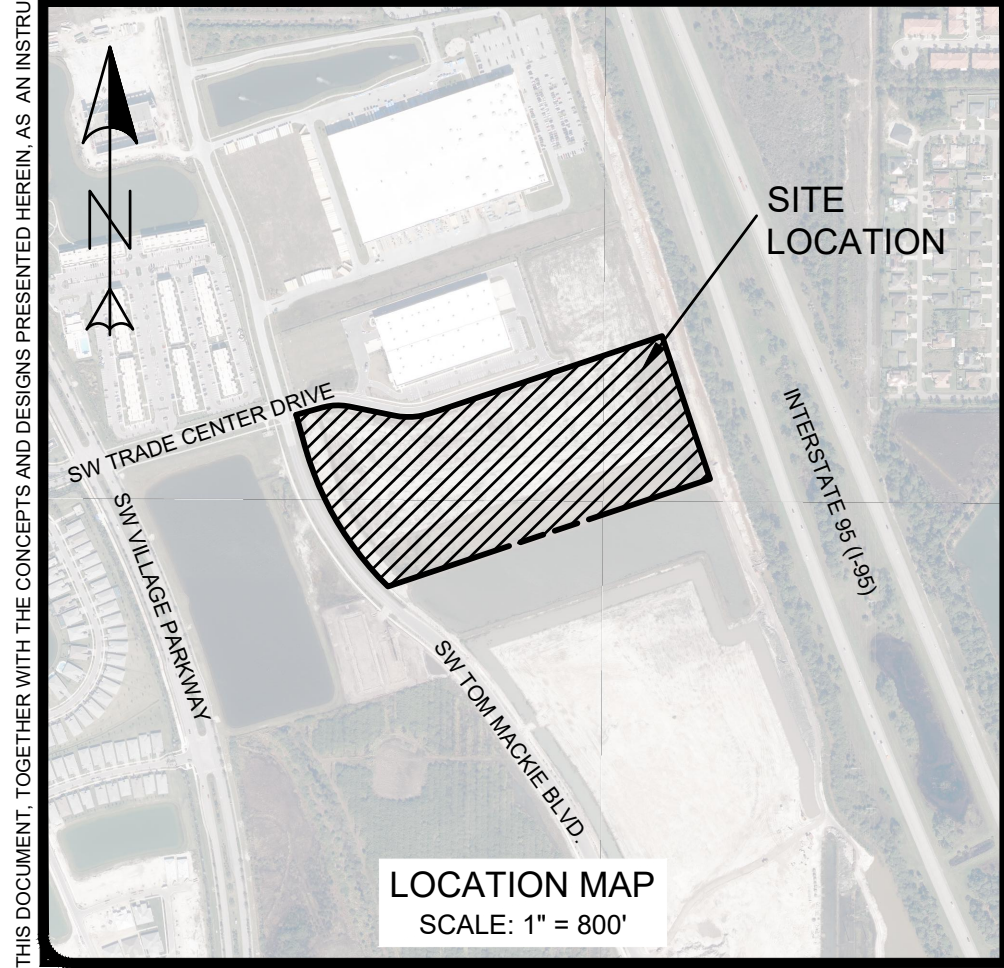
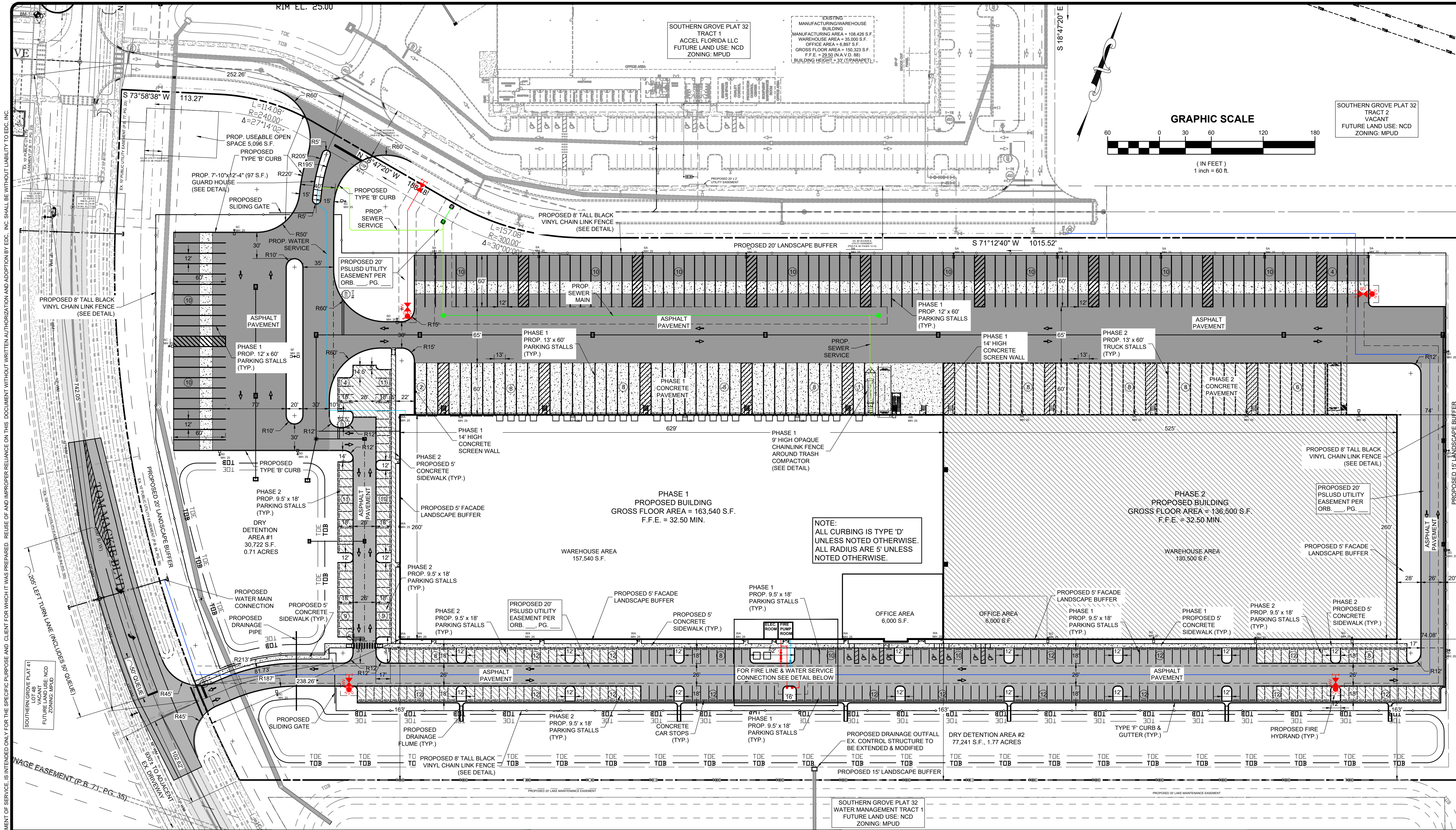
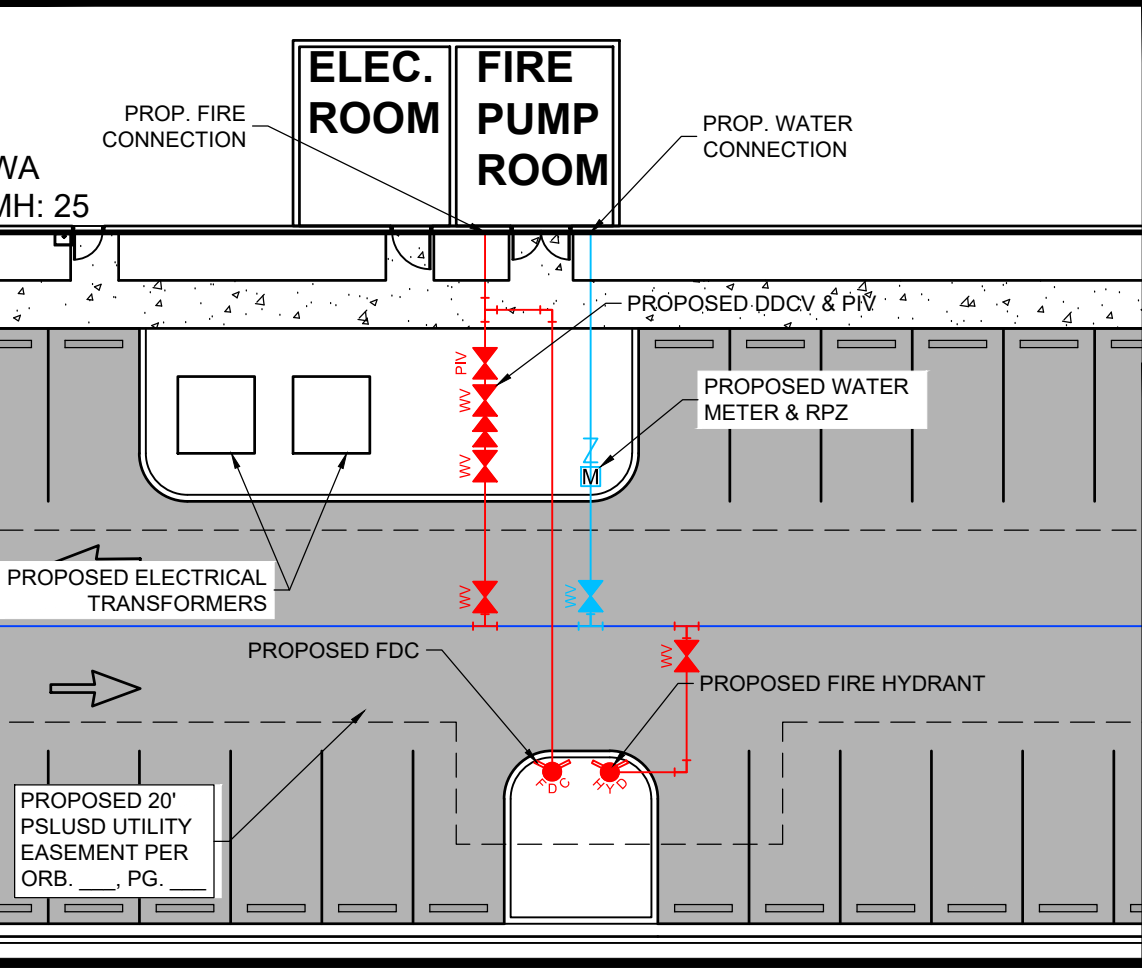




- SITE PLAN NOTES:**
1. THIS APPLICATION IS NOT VESTED FOR ANY MUNICIPAL FEES. ALL FEES ARE CALCULATED AT TIME OF PAYMENT. THIS INCLUDES SPECIFICALLY IMPACT FEES, UPLAND PRESERVE FEES, AND ANY ADMINISTRATIVE REVIEW FEES FOR CITY DEPARTMENTS. NO FEES ARE VESTED BASED ON DATE OF CITY COUNCIL APPROVAL.
 2. LIGHTS SHALL BE SHIELDED TO DIRECT ANY GLARE AWAY FROM ADJACENT PROPERTIES OR STREETS & WILL CONFORM WITH CHAPTER 158.221 OF THE PSL CITY CODE.
 3. TREES WILL BE PRESERVED AND/OR MITIGATED IN ACCORDANCE WITH SEC. 153.16 OF THE LANDSCAPE CODE.
 4. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW, UNLESS OTHERWISE PERMITTED THROUGH AN APPROVED VARIANCE FROM PSL.
 5. THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08(g).
 6. ALL PERMANENT MONUMENT SIGNS SHALL BE REVIEWED SEPARATELY AND RECEIVE PLAN APPROVAL BY THE PLANNING AND ZONING AND BUILDING DEPARTMENTS PER CHAPTER 155.
 7. PERIMETER FENCING TO BE 8' TALL BLACK VINYL CHAIN LINK FENCE W/ MOTOR-OPERATED GATES.



STORMWATER DRAINAGE BASIN INFORMATION: (2020)

SOUTHERN GROVE - BASIN B (SFVMD PERMIT ERP #56-02531-P)
CONTROL ELEVATION = 24.00 NAVD
MIN ROAD CROWN ELEVATION = 27.00 NAVD
MIN FINISHED FLOOR ELEVATION = 28.50 NAVD
PERIMETER GRADE ELEVATION =

ALL ELEVATIONS SHOWN OR REFERENCED WITHIN THESE PLANS ARE BASED UPON N.A.V.D. '88. TO CONVERT FROM N.A.V.D. '88 TO N.G.V.D. '29, ADD 1.50' TO N.A.V.D. '88 ELEVATIONS TO GET N.G.V.D. '29 ELEVATIONS.

LEGEND			
	EXISTING METER		EX. OAK TREE TO REMAIN # - TREE TAG
	PROPOSED METER		EX. PALM TREE TO REMAIN # - TREE TAG
	PROPOSED SIGN		EX. PINE TREE # - TREE TAG
	BLOCK NUMBER		EX. OAK TREE TO BE REMOVED. # - TREE TAG.
	MITRED END SECTION		EX. PALM TREE TO BE REMOVED. # - TREE TAG.
	HANDICAP STALL		EX. PINE TREE TO BE REMOVED. # - TREE TAG.
	LIGHT FIXTURE TAG HEIGHT OF FIXTURE.		
	PARKING STALL TAG # OF STALLS		

NEAREST FIRE HYDRANT LOCATIONS
WITHIN 1,000 FT. OF SITE

APPROX. DISTANCE PER GOOGLE MAPS

1. (2) HYDRANTS ON THE WEST OF THE PROPERTY ON THE WEST SIDE OF TOM MACKIE BLVD.
2. NORTH SIDE OF PROPERTY SOUTH SIDE OF ACCESS DRIVEWAY.

77± FEET
10± FEET

PSL PROJECT NO.
P24-190
PSLUSD FILE NO.
5444

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INTERIOR DESIGNERS

10250 SW VILLAGE PARKWAY
SUITE 201
PORT SAINT LUCIE, FL 34987
772-462-2455

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9835
L.B. CERTIFICATE OF AUTHORIZATION 8098

DESIGNED BY: RMT
DRAWN BY: RMT
FILE NAME: 24-258 (01-07-2025) - (P. 04/04)
1-SITE PLAN
LAYOUT
SCALE: 1" = 60'
DATE: 20 DECEMBER 2024

REVISION COMMENTS

01/09/2025 1400:285 LEFT TURN LANE TO SITE PLAN
12-23-2024 REVISED SITE PLAN & DETAILS PER SIRC COMMENTS (11-26-2024)

FLORIDA

PROJECT KING
TOM MACKIE BLVD.
SITE PLAN
PORT ST. LUCIE

EDC
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ENVIRONMENTAL & LAND PLANNERS
INTERIOR DESIGNERS

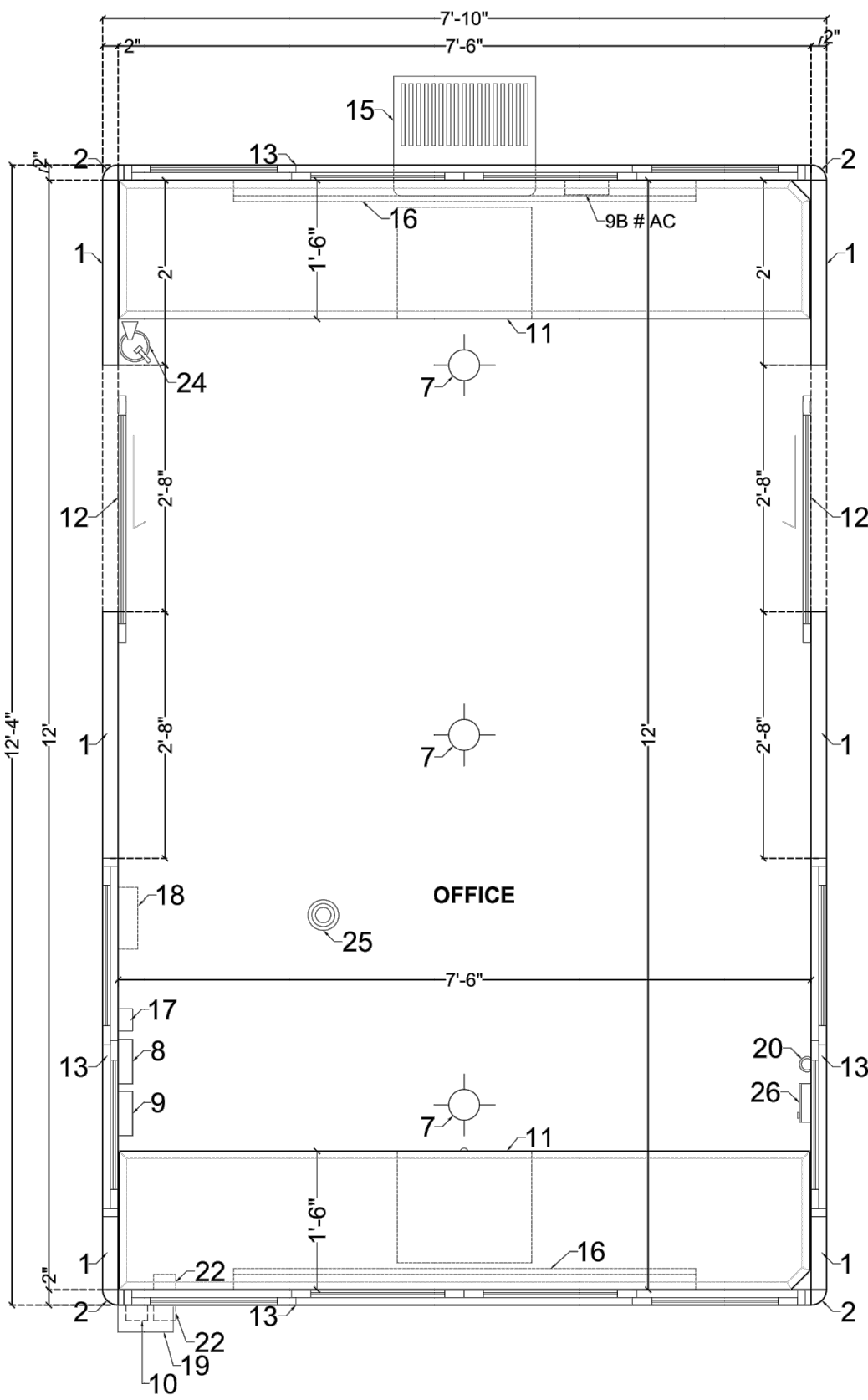
10250 SW VILLAGE PARKWAY - SUITE 201
PORT SAINT LUCIE, FL 34987
772-462-2455

24-258

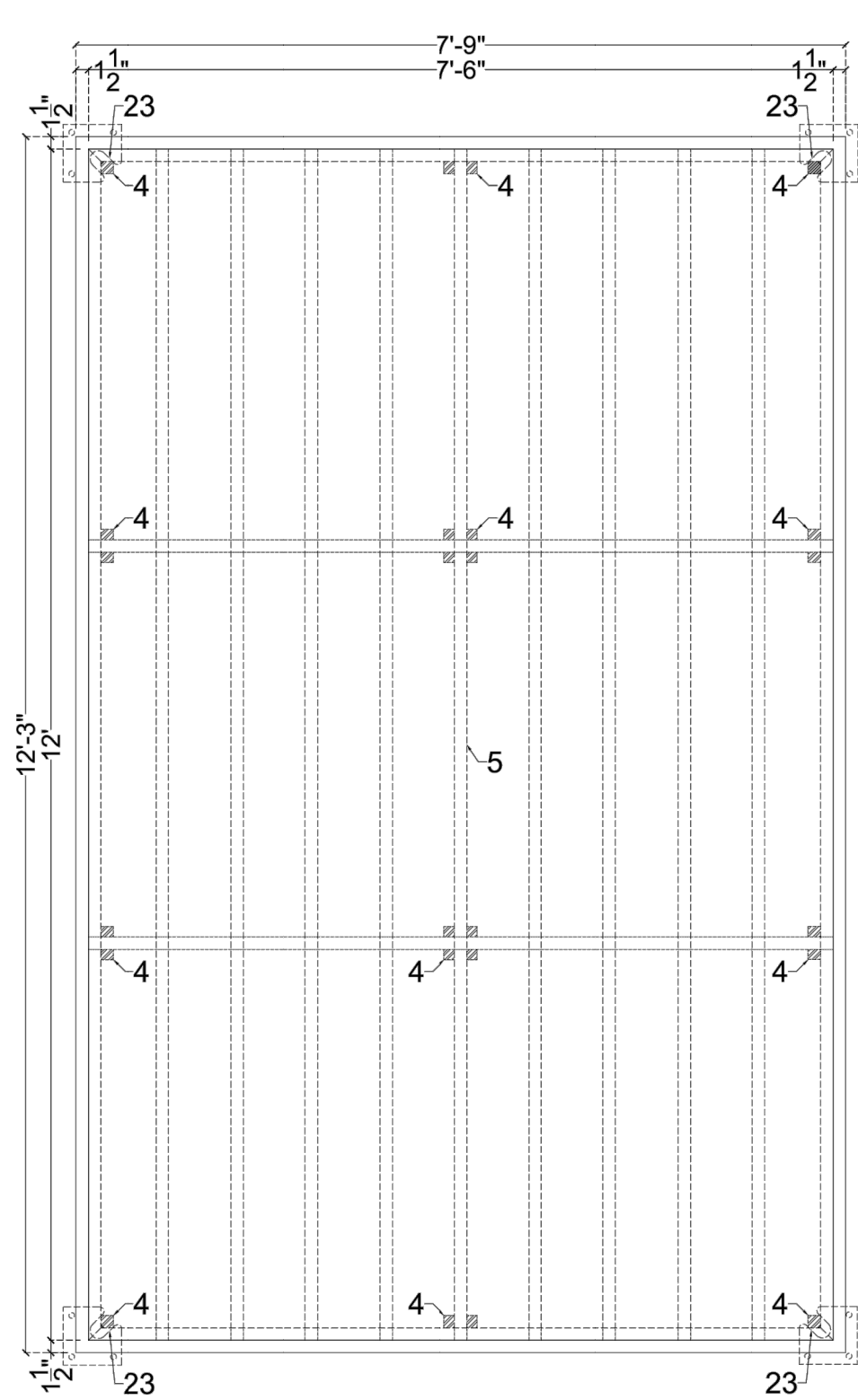
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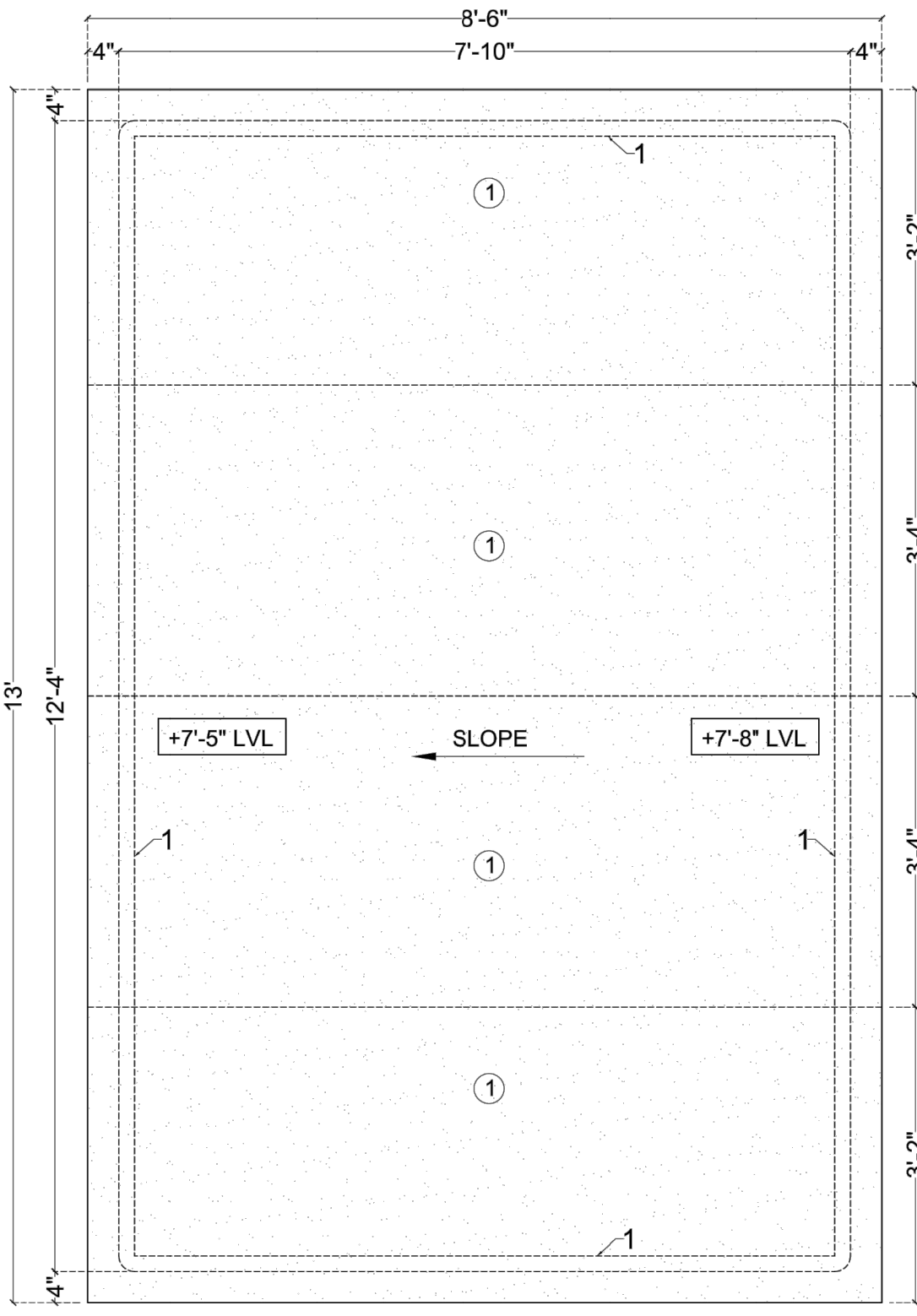
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY EDC, INC. SHALL BE WITHOUT LIABILITY TO EDC, INC.



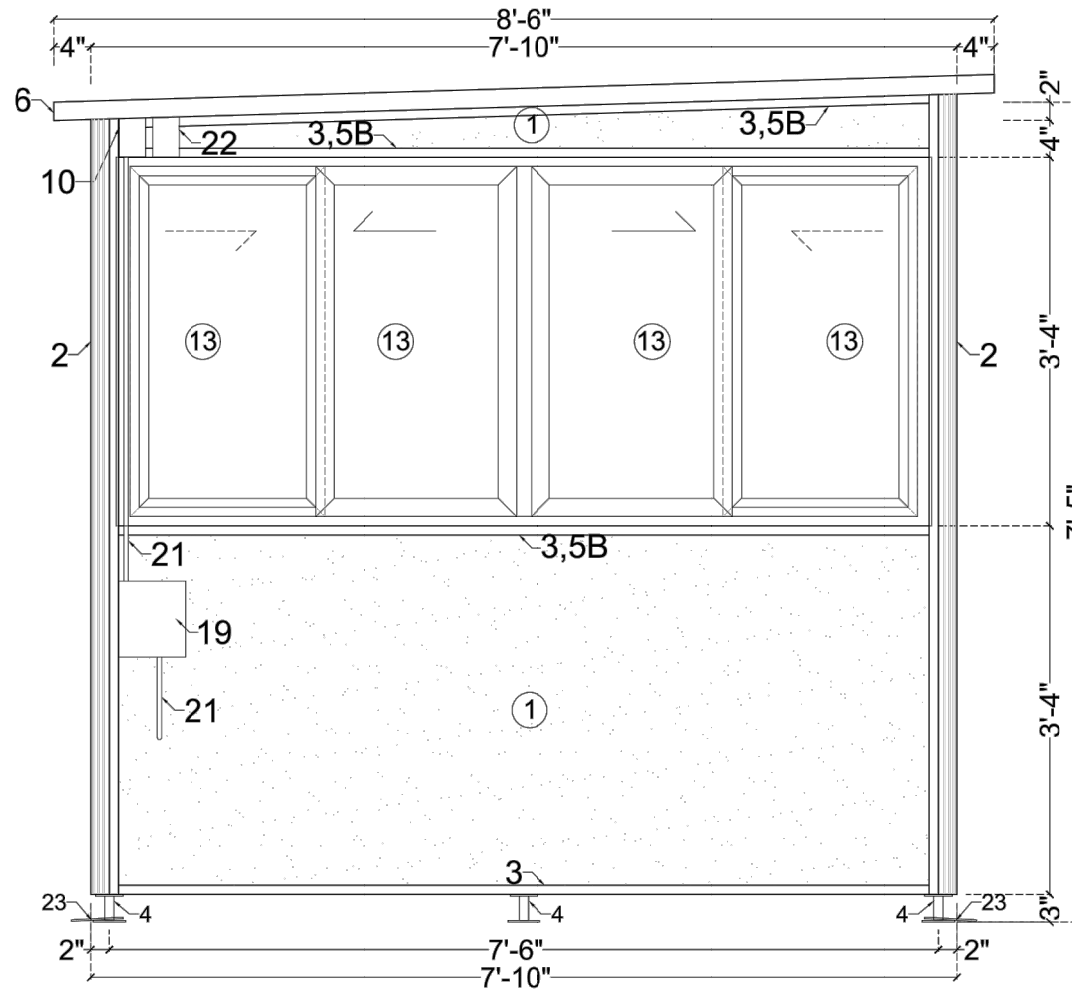
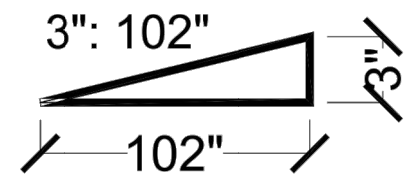
1 FLOOR PLAN



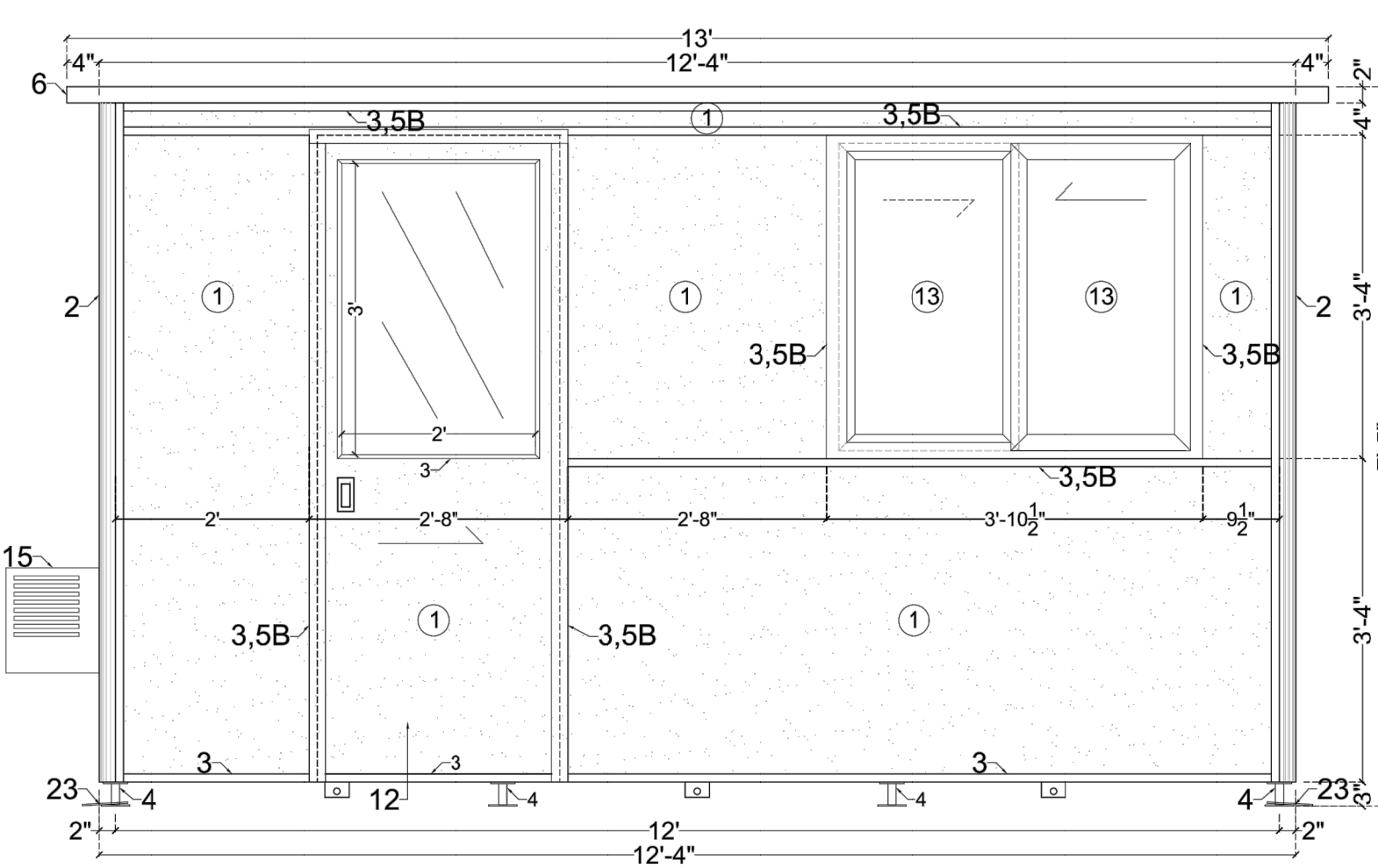
2 FLOOR FRAMING



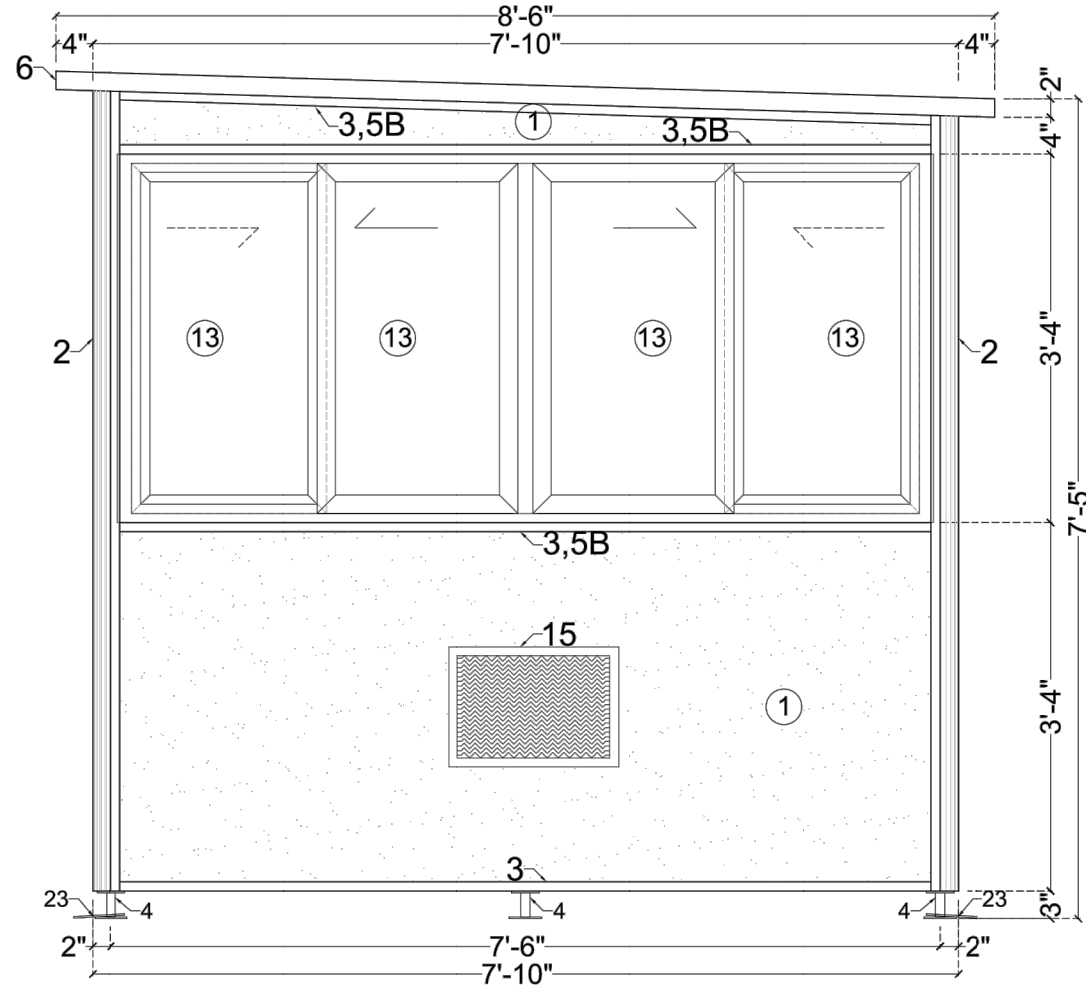
3 ROOF PLAN



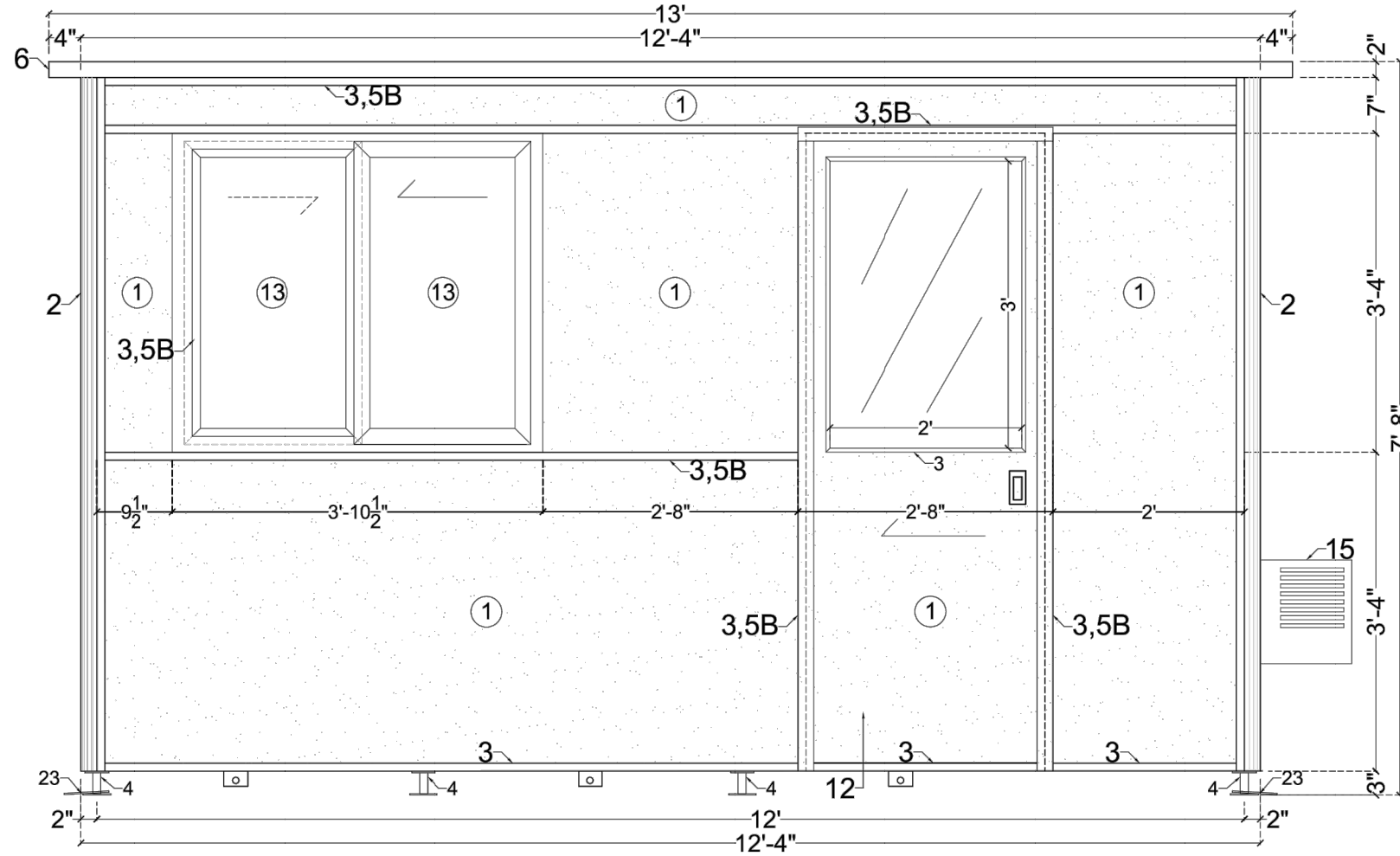
4 LEFT ELEVATION



5 REAR ELEVATION



6 RIGHT ELEVATION



7 FRONT ELEVATION

8' X 12' CUSTOM BOOTH



13338 Midvale Road Waynesboro, PA 17268
Tel. (844) 992 6684 www.guardianbooth.com

LEGEND:

- (1500)(WRAP8X12)_ SANDWICH PANEL-ALUMINUM FRAME WITH 2" DOUBLE LAYER ISOPIANO PANELS AND R-10 XPS FORM INSULATION (WRAPPED) (WALL - 148 SQ.FT.) (ROOF - 94 SQ.FT.)
- (4100)_ CORNER COLUMN
- (4001)_ C-CHANNEL
- (9001)_ LEGS
- (S8X12F) BASE-FRAME-WELDED 1.5" X 1.5" X 0.05" SQUARE STEEL TUBING, COVERED WITH 0.12" THK. DIAMOND FLOOR PLATE
- (S8X12R)_ PITCH ROOF WITH 4" OVERHANG
- (3101)_ INTERIOR LIGHTING
- (2305)_ LIGHT SWITCH
- (2303)_ QUAD OUTLET
- 9B. SINGLE OUTLET
- (EXTJUNCTIONBOX)_ EXTERIOR ELECTRICAL CONNECTION BOX
- (DESK5)_ DESK WITH DRAWER (18" DEEP) (2X)
- (7003)(TINT8X12)_ 32" SLIDING DOOR WITH FIXED GLASS (2x) (15% BLACK TINTED)(EMBEDDED HANDLE (42" MAX. HT.)
- (9403-04, 01)(TINT8X12)_ SLIDING WINDOW (15% BLACK TINTED)
- (TINT8X12)_ FIXED WINDOW (15% BLACK TINTED)
- (9105)_ WALL MOUNTED AC (15000 BTU)
- (B8X6)_ ELECTRIC BASEBOARD HEATER (2x1250 WATT)
- (2302)_ THERMOSTAT
- (3402)_ CIRCUIT BREAKER PANEL RATED 125 AMP MAIN LUG (8 SPACE)(LC008DF)
- (2323)_ ELECTRICAL DISCONNECT SWITCH (60 AMP)
- (11010)_ WALL MOUNTED FLASHLIGHT
- (2403)_ CONDUIT
- (11001)_ DATA PORT & PHONE LINE
- (BRACKETS)_ ANCHORING BRACKET
- (11009)_ FIRE EXTINGUISHER
- (11008)_ SMOKE DETECTOR
- (11011)_ FIRST AID KIT

NOTE:

- DO NOT SCALE THE DRAWING, FOLLOW ONLY FIGURED DIMENSIONS.
- ALL DIMENSIONS GIVEN IN THIS DRAWING ARE IN FEET & INCH
- EXTERIOR TO BE WRAP WITH VINYL

The foundation and anchorage was not included in the analysis. The structure was analyzed assuming it has been properly anchored to a foundation. It is the responsibility of the customer to design the foundation and booth anchorage per their specific site and jurisdictional requirements.

R4	09/04/2023	AS / CLIENT COMMENT	SANDEEP
R3	08/23/2023	BOOTH SIZE UPDATE	SANDEEP
R2	08/18/2023	ADD EXTRA DOOR	SANDEEP
R1	08/18/2023	ADD EXTRA DOOR	SANDEEP
NO.	DATE	DESCRIPTION	DRAWN BY

PROJECT : 11333_8' X12'_CUSTOM BOOTH

CLIENT : ARCO DESIGN BUILD

DRAWING TITLE :

FLOOR PLAN, FLOOR FRAMING,
ROOF PLAN & ELEVATIONS

WORKING DRAWING

DRG.NO. : 1 OF 3
DRAWN BY : SANDEEP KUMAR
DESIGN BY : DANIEL

DATE : 04/26/2023
SCALE : 1/4" = 1'
PROJECT NO. : #11333

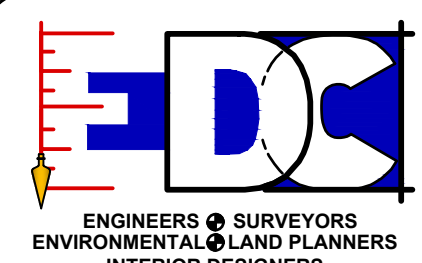
APPROVED :

APPROVED

R3

PSL PROJECT NO.
P24-190
PSLUSD FILE NO.
5444

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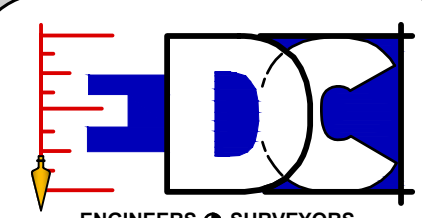
DESIGNED BY	RFV
DRAWN BY	RFV
FILE NAME	24-258 (01-07-2025) - CP.dwg
3. SITE DETAILS	LAYOUT
SCALE	1" = 6'
DATE	20 DECEMBER 2024

REVISION COMMENTS
01/09/2025 ADD 2ND LEFT TURN LANE TO SITE PLAN
12/20/2024 REVISED SITE PLAN & DETAILS PER SIRC COMMENTS (11-26-2024)

PROJECT KING
TOM MACKIE BLVD.
SITE PLAN DETAILS

FLORIDA

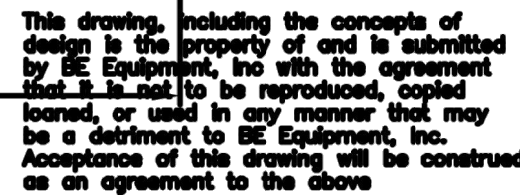
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24-258

3 OF 4



4 OF 4