

SITE PLAN

FOR

GRECO PARK

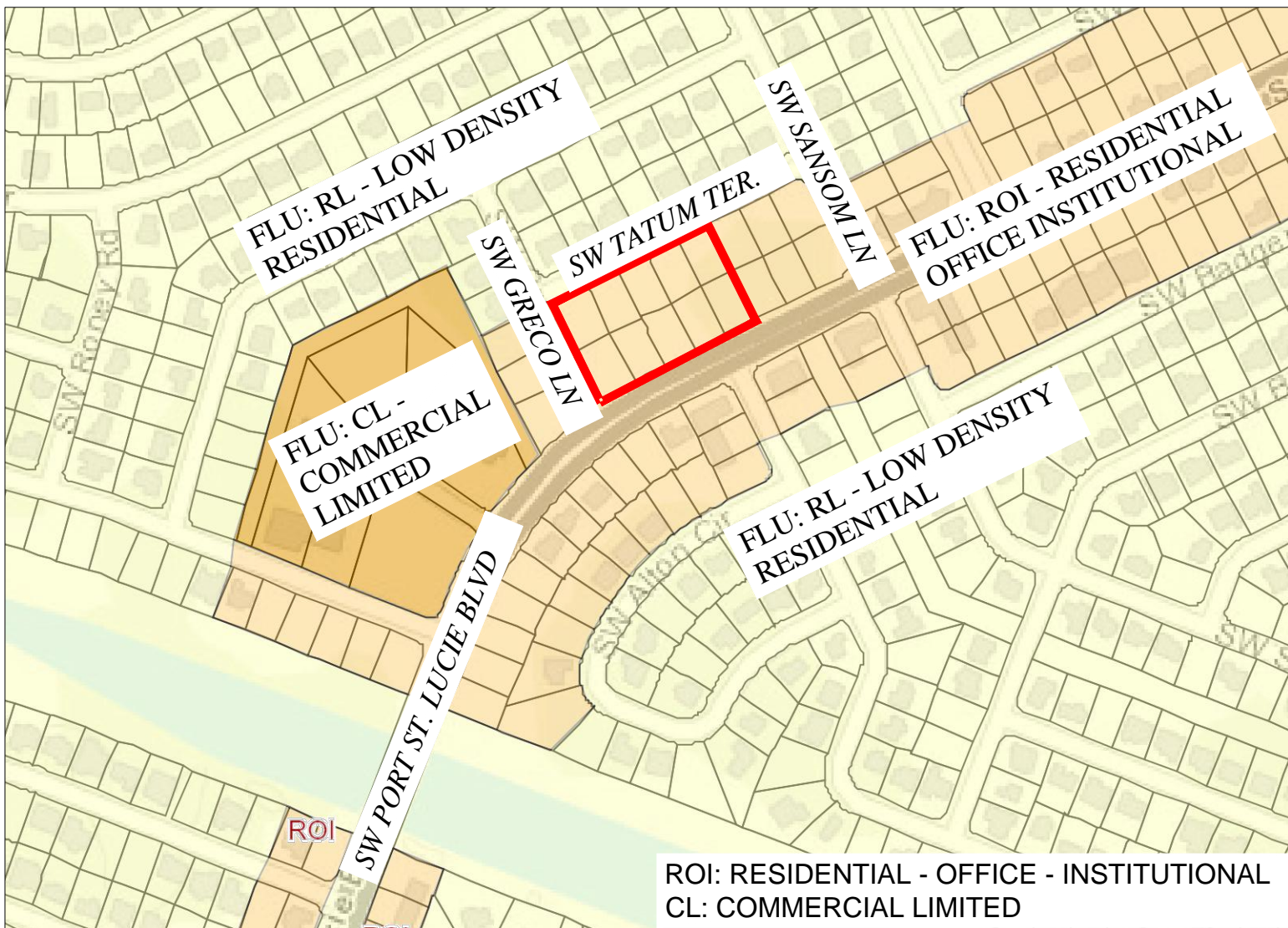
PREPARED FOR:
GRECO PARK 18, LLC

PROPERTY ADDRESS:
2491 SW GRECO LN.
PORT ST. LUCIE, FL 34953



SITE LOCATION

1 IN = 2,000 FT



FLU MAP

Legal Description (Written by Surveyor)

PARCEL 1:

LOT 1, 2, 3, 4, 5, 12, 13, 14, 15 AND 16, BLOCK 1282, PORT ST. LUCIE SECTION TWELVE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 12, PAGE 55, 55A THROUGH 55G, OF THE PUBLIC RECORD OF ST. LUCIE COUNTY, FLORIDA.

CONTAINING 2.371 ACRES MORE OR LESS.

PARCEL 2:

TOGETHER WITH THE NON-EXCLUSIVE EASEMENT RIGHT(S) AS CREATED BY CERTAIN CROSS ACCESS EASEMENT AGREEMENT, RECORDED APRIL 21, 2016 IN OFFICIAL RECORDS BOOK 3860, PAGE 266, AS AMENDED BY FIRST AMENDMENT TO CROSS ACCESS EASEMENT AGREEMENT RECORDED JUNE 2, 2016 IN OFFICIAL RECORD BOOK 3875, PAGE 176, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL ID No:
3420-555-0744-000-1



ZONING MAP

Sheet List Table

Sheet Number	Sheet Title
C-1.0	COVER
C-2.0	SITE PLAN
C-3.0	SITE DETAILS

DEVELOPER/OWNER:

GRECO PARK 18, LLC
800 SE 4TH AVENUE
SUITE 618
HALLANDALE BEACH, FL 33009
FREDDY BOULTON

ARCHITECT:

TI ARCHITECTURE, INC.
3000 HIGH RIDGE ROAD, BAY #4
BOYNTON BEACH, FL 33426
HAROLD TUTTLE

ENGINEER:

STORYBOOK DEVELOPMENT SERVICES, LLC
5931 BRICK COURT, SUITE 168
WINTER PARK, FL 32792
JOSE A. CHAVES P.E.

LANDSCAPE ARCHITECT:

COTLEUR & HEARING
1934 COMMERCE LANE, SUITE 1
JUPITER, FL
PH 407-758-9456
DONALDSON E. HEARING, PLS, ASLA, LEED

SURVEYORS:

EDC
10250 VILLAGE PARKWAY, UNIT 201
PORT ST. LUCIE, FL 34987
MICHAEL T. OWEN

PROJECT N°: P23-071
LMD REZONE PROJ. N°: P22-337
SEU PROJ. N°: P22-338
PSLUSD PROJ. N°: 5292

STORYBOOK DEVELOPMENT SERVICES, LLC
CERTIFICATE OF AUTHORIZATION NO. 33749
JOSE A. CHAVES
JOSE@STORYBOOKTEAM.COM
321-246-8811

JOSE A. CHAVES STATE OF FLORIDA,
PROFESSIONAL ENGINEER, LICENSE NO. 78518

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REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

GRECO PARK
SITE PLAN
COVER

PORT ST. LUCIE, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE: 02/27/2025
PROJECT No.: P2022_021
DRAWN BY: JAC
CHECKED BY: JAC
SCALE: NA
SHEET: C-1.0

SITE DATA

1. PROPOSED USE: RESTAURANT, RETAIL, PROFESSIONAL OR PERSONAL SERVICE USES CONDUCTED WHOLLY WITHIN AN ENCLOSED BUILDING, INCLUDING THE RETAIL SALES OF BEER AND WINE FOR OFF AND INCIDENTAL ON PREMISES CONSUMPTION IN ACCORDANCE WITH CHAPTER 110, BUT NOT INCLUDING CONVENIENCE/GAS SALES. THESE USES SHALL EXCEED FIFTY PERCENT (50%) OF THE BUILDING'S GROSS FLOOR AREA AND EXCEED 5,000 SQUARE FEET.
2. FUTURE LAND USE: RESIDENTIAL, OFFICE AND INSTITUTIONAL (ROI)
3. ZONING: LMD (Rezone No. P22-337)
(SEU No. P22-338)
4. SITE AREA:
- | | ACRES | SF | % |
|---------------------------------------|---------|-----------|------|
| GROSS SITE AREA ¹ | 2.29 AC | 99,835 SF | 100% |
| TOTAL IMPERV. AREA (MAX ALLOWED 80%): | 1.57 AC | 68,193 SF | 68% |
| BUILDING COVERAGE (TOTAL): | 0.39 AC | 17,025 SF | 17% |
| PAVEMENT & SIDEWALK COVERAGE: | 1.18 AC | 51,168 SF | 51% |
| TOTAL PERVIOUS AREA: | 0.73 AC | 31,641 SF | 32% |
| DRY POND AREA: | 0.26 AC | 11,413 SF | 11% |
| OTHER PERVIOUS AREAS: | 0.47 AC | 20,228 SF | 21% |
5. INTENSITY*:
- MAX ALLOWED FAR: 40.0% - 39,934 SF
- PROVIDED FAR : 17.1% - 17,025 SF
- *(GROSS BLDG AREA / GROSS SITE AREA)
6. PHASING: PROJECT WILL BE DEVELOPED IN ONE (1) PHASE
7. PARKING: PER SHOPPING CENTER REQUIREMENTS SEC. 158.221 (C) (22)
- REQUIRED:
- 1 SPACES PER 200 SF
(17,025 SF)/(200 SF)*1 SPACES
86 PARKING SPACES
- 4 SPACES REQUIRED TO MEET ADA STANDARDS.
- PROVIDED:
- 82 STANDARD SPACES
4 ADA COMPATIBLE SPACES
86 TOTAL PARKING SPACES

8. BUILDING SETBACKS	REQUIRED	PROVIDED
-NORTH	25 FT	83.0 FT
-EAST	25 FT	39.3 FT
-SOUTH	25 FT	95.0 FT
-WEST	25 FT	62.7 FT

9. LANDSCAPE BUFFER	REQUIRED	PROVIDED
-NORTH*	10 FT	15 FT
-EAST	10 FT	10 FT
-SOUTH	15 FT	15 FT
-WEST	10 FT	10 FT

*PROPERTY HAS A DEPTH LESS THAN 260 FEET (EXISTING - 250 FEET), REQUIRING A LANDSCAPE BUFFER THAT IS AT LEAST 10 FEET IN DEPTH (LDC 154.02 (C) 3 d.2). THE PROPOSED 15 FT NORTHERN LANDSCAPE BUFFER IS PROSE AS 5 FT OUTSIDE OF THE WALL, AND 10 FT INSIDE OF THE WALL. THE 10 FEET IN SIDE OF THE WALL WILL BE WITHIN THE DRY DETENTION POND BOTTOM.

10. BUILDING HEIGHTS:	35 FT
MAXIMUM -	
PROVIDED -	27 FT (ONE STORY MAX)

11. BICYCLE PARKING: BICYCLE PARKING WILL BE PROVIDED PER THE CITY'S LAND DEVELOPMENT CODE AND WILL BE LOCATED WITHIN 100 FT OF THE BUILDING'S MAIN ENTRANCE.

12. SITE LIGHTING: SITE LIGHTING SHALL MEET THE CITY'S LAND DEVELOPMENT CODE AND CITY WIDE DESIGN STANDARDS. ALL OUTDOOR LIGHTING SHALL BE SHIELDED FROM ADJACENT PROPERTIES AND ROADWAYS.

13. LIFT STATION, DUMPSTER ENCLOSURES, AND/OR AT GRADE MECHANICAL EQUIPMENT WILL INCLUDE LANDSCAPE SCREENING TO MEET THE CITY'S LAND DEVELOPMENT CODE.

14. POTABLE WATER AND SANITARY SEWER WILL BE PROVIDED BY THE CITY OF PORT ST. LUCIE

15. STORMWATER MANAGEMENT - A DRY DETENTION SYSTEM SHALL BE USED TO PROVIDE THE REQUIRED STORMWATER MANAGEMENT PRIOR TO DISCHARGING TO THE EXISTING STORMWATER CONVEYANCE SYSTEM ALONG SW TATUM TERRACE (LIMITED TO 0.5 cfs/Acre).

16. TRAFFIC STATEMENT: TRAFFIC IMPACT STATEMENT PREPARED BY MACKENZIE ENGINEERING AND PLANNING, INC. DATED FEBRUARY 17, 2023, STATES THAT THIS PROJECT WILL GENERATE THE FOLLOWING NEW NET EXTERNAL TRIPS: 581 DAILY, 25 AM PEAK HOUR, AND 70 PM PEAK HOUR. IT FURTHER RECOMMENDS THAT A 285 - EASTBOUND U - TURN LANE AT THE ASTER ROAD & PORT ST. LUCIE BLVD. INTERSECTION. IT CONCLUDES THAT THIS ACCESS WILL REQUIRE CITY AND FDOT APPROVAL.

17. ENVIRONMENTAL STATEMENT: UPLAND AREAS BASED ON ENVIRONMENTAL ASSESSMENT PROVIDED BY EDC, INC.

UPLAND PRESERVE REQUIREMENTS		
PROJECT AREA:	99,835 SF	(2.29 AC)
EXISTING UPLANDS:	99,835 SF	(2.29 AC)
REQ. UPLAND PRESERVE: (99,835 SF * 0.25) =	24,959 SF	(0.57 AC)

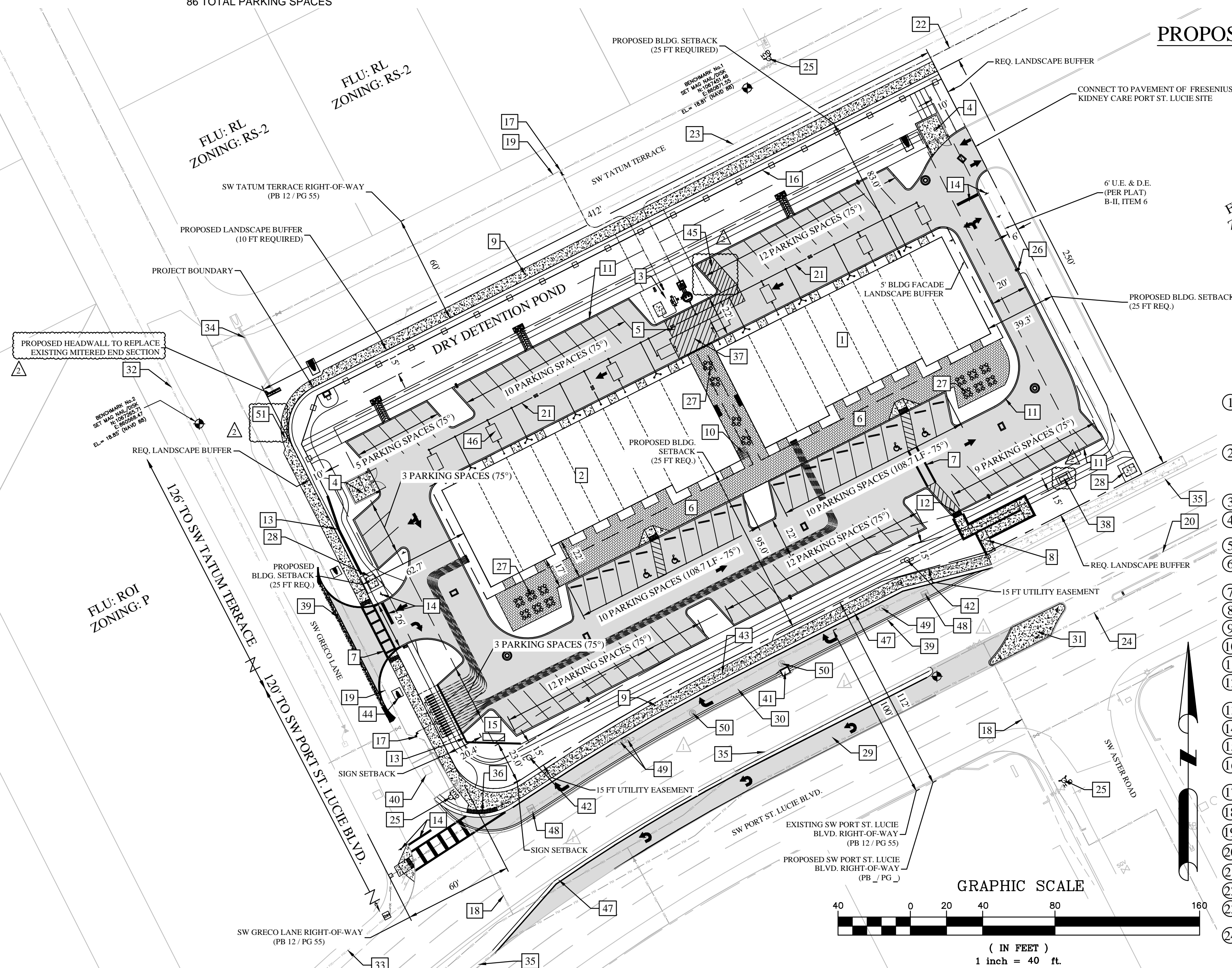
MITIGATION REQUIRED: UPLAND PRESERVE AREA WILL BE MITIGATED BY PAYMENT INTO THE CITY'S CONSERVATION TRUST FUND PURSUANT TO SECTION 157.06(E)(3) PORT ST. LUCIE CODE OF ORDINANCE.

18. HAZARDOUS WASTE: ANY AND ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

19. WELLFIELD PROTECTION ORDINANCE: THE SUBJECT PARCEL IS NOT LOCATED WITHIN 1,000 FT OF A PUBLIC SUPPLY WELL.

NOTES:
1. GROSS SITE AREA REPRESENTS THE EXISTING SITE AREA OF 2.37 AC MINUS THE ROW DEDICATION AREA OF 0.08 AC.

PROPOSED IMPROVEMENTS

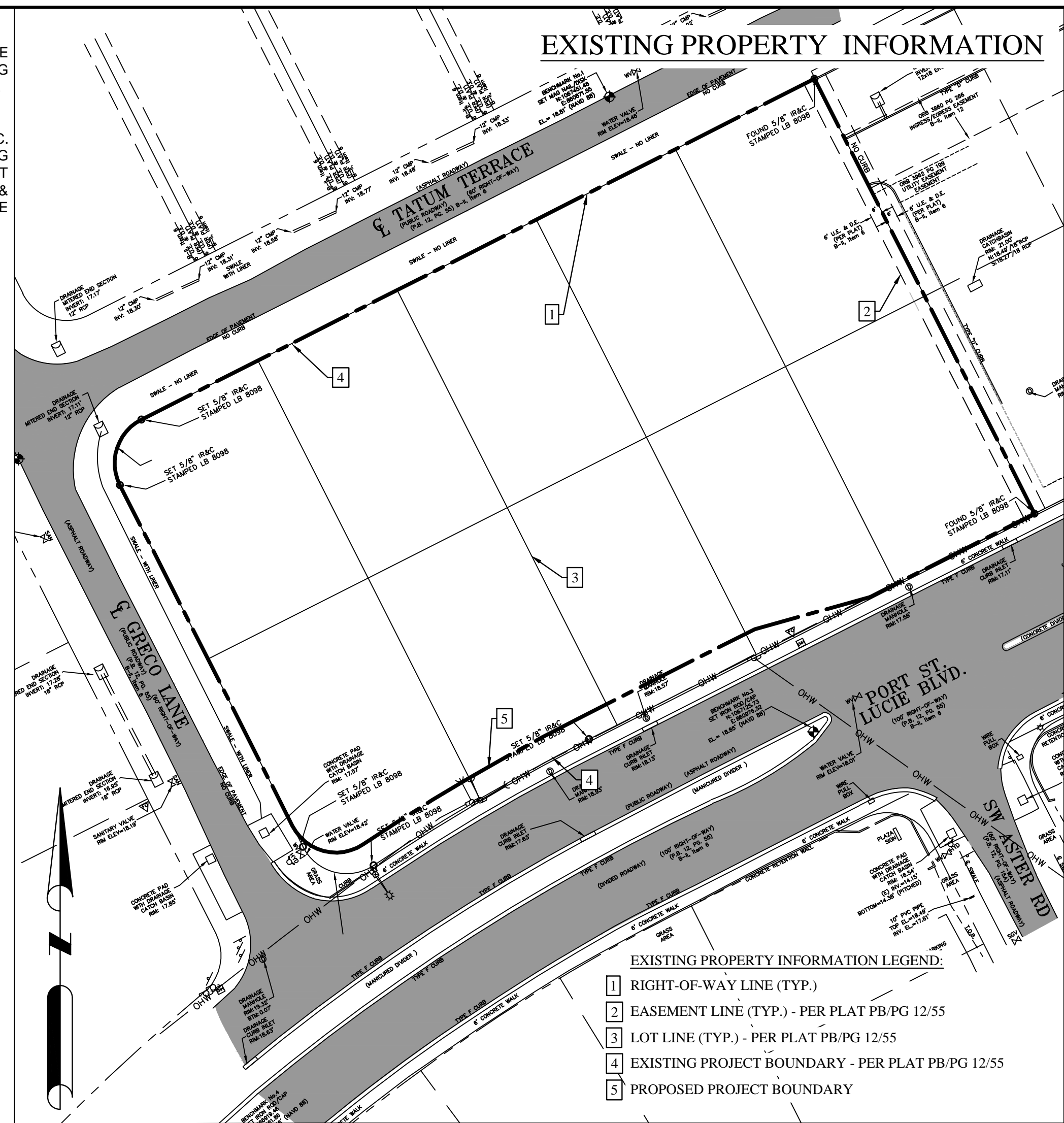


PROPOSED IMPROVEMENTS LEGEND:

- PROPOSED BUILDING 1 - 8,100 SF (ONE STORY); MIN. FFE - 23.50 (NAVD); USES: RETAIL / RESTAURANT / PERSONAL / PROFESSIONAL SERVICES.
- PROPOSED BUILDING 2 - 8,925 SF (ONE STORY); MIN. FFE - 23.50 (NAVD); USES: RETAIL / RESTAURANT / PERSONAL / PROFESSIONAL SERVICES.
- PROPOSED GRINDER STATION AREA
- PROPOSED DUMPSTER ENCLOSURE FOR REFUSE AND RECYCLING
- PROPOSED GRINDER STATION TRUCK ACCESS (45' x 10')
- PROPOSED PAVER SIDEWALK W/ COMMERCIAL GRADE OUTDOOR SLIP RESISTANT TILE.
- PROPOSED PEDESTRIAN 5' CROSSWALK STRIPING
- PROPOSED 5' CONCRETE SIDEWALK
- PROPOSED 6' CONCRETE SIDEWALK
- PROPOSED BICYCLE PARKING
- PROPOSED TYPE D CURB (TYP.)
- PROPOSED TYPE D CURB - FLUSH W/ EOP (AT EACH PROPOSED CROSS WALK END)
- PROPOSED KEYSTONE WALL (OR APPROVED EQUAL)
- PROPOSED STOP SIGN AND STOP BAR (TYP. - 3 TOTAL)*
- PROPOSED MONUMENT SIGN
- PROPOSED PERIMETER WALL (SEE DETAIL)
- PROPOSED POTABLE WATER SERVICE
- EXISTING 8" POTABLE WATER MAIN
- EXISTING 6" POTABLE WATER MAIN
- EXISTING 16" POTABLE WATER MAIN
- PROPOSED 6" SANITARY SEWER SERVICE.
- PROPOSED 2.5" SANITARY SEWER FORCE MAIN
- EXISTING 2.5" SANITARY SEWER LOW PRESSURE FORCE MAIN
- EXISTING 8" SANITARY SEWER FORCE MAIN

- APPROX. LOCATION OF NEAREST FIRE HYDRANT WITHIN 1,000 FEET OF PROPERTY PER CITY OF PORT ST. LUCIE GIS INFORMATION (EXIST FH)
- PROPOSED STREET LIGHT LOCATION (PHOTOMETRIC DESIGN BY ALERS ENGINEERING GROUP, LLC) (TYP.)
- BENCHES AND TABLES SHOWN AS REFERENCE. SEE BUILDING PLANS FOR DETAILS
- PROPOSED TRANSFORMER PAD
- PROPOSED EAST BOUND U-TURN LANE (SEE DETAIL)
- PROPOSED RIGHT-TURN LANE (SEE DETAIL)
- PROPOSED RAISED CURB ISLAND (SEE DETAIL)
- EXISTING 2" LPM
- EXISTING 2" FOC
- EXISTING 12" RCP
- EXISTING TYPE-F CURB
- PROPOSED ADA DETECTABLE WARNING STRIP (AT EACH PROPOSED CROSS WALK END)
- PROPOSED 12'x25' LOADING ZONE
- PROPOSED ART AREA
- PROPOSED FDOT DROP CURB
- EXIST. CONCRETE PAD WITH DRAINAGE CATCH BASING RIM: 17.57' TO REMAIN
- PROPOSED GUTTER INLET TYPE V OVER EXISTING STRUCTURE. RIM EL: 18.13'
- PROPOSED POWER POLE NEW LOCATION (BY OTHERS)
- PROPOSED RELOCATED FIBER OPTIC CABLE REROUTE
- THE CITY OF PORT ST. LUCIE SURVEY CREW TO DETERMINE CULVERT SIZE AND MES. MATERIAL AND ELEVATION FOR DRIVEWAY CULVERTS LOCATED IN THE CITY'S RIGHT OF WAY.
- DESIGNATED GRINDER STATION MAINTENANCE PARKING
- PROPOSED GREASE INTERCEPTOR
- PROPOSED FDOT TYPE F CURB
- FOC HANDHOLE TO BE RELOCATED
- FPL POLES TO BE RELOCATED
- ADJUST MANHOLE TOP
- PROPOSED 4" CONCRETE SIDEWALK

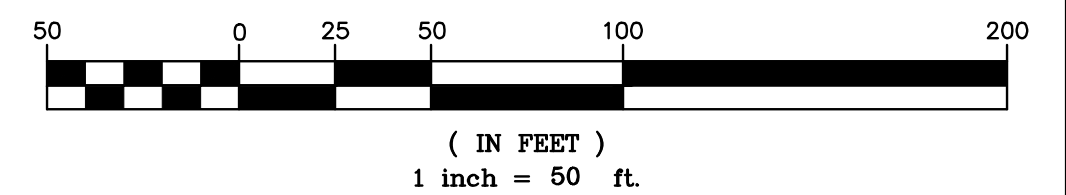
EXISTING PROPERTY INFORMATION



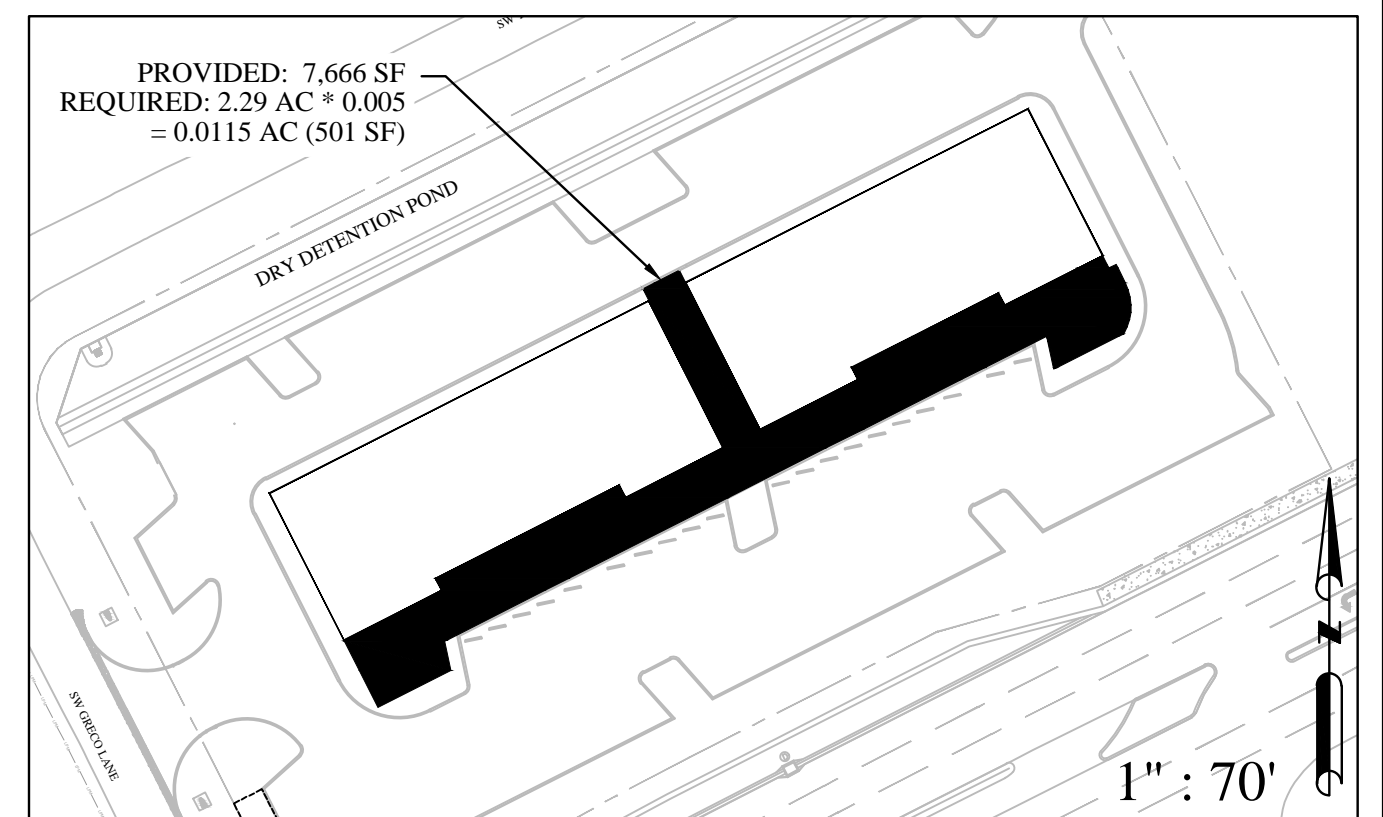
EXISTING PROPERTY INFORMATION LEGEND:

- RIGHT-OF-WAY LINE (TYP.)
- EASEMENT LINE (TYP.) - PER PLAT PB/PG 12/55
- LOT LINE (TYP.) - PER PLAT PB/PG 12/55
- EXISTING PROJECT BOUNDARY - PER PLAT PB/PG 12/55
- PROPOSED PROJECT BOUNDARY

GRAPHIC SCALE



USABLE OPEN SPACE



*ALL STRIPING AND SIGNAGE TO BE PER FDOT STANDARDS AND SPECIFICATIONS

PROJECT N°: P23-071
LMD REZONE PROJ. N°: P22-337
SEU PROJ. N°: P22-338
PSLUSD PROJ. N°: 5292

STORYBOOK DEVELOPMENT SERVICES, LLC
CERTIFICATE OF AUTHORIZATION NO. 33749
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REVISIONS		DATE		DESCRIPTION	
DATE	BY	DATE	BY	DESCRIPTION	
01/09/2023	JAC			CHANGES DUE TO CITY COMMENTS	
02/27/2025	JAC			CHANGES DUE TO CITY COMMENTS	

GRECO PARK
SITE PLAN
SITE PLAN

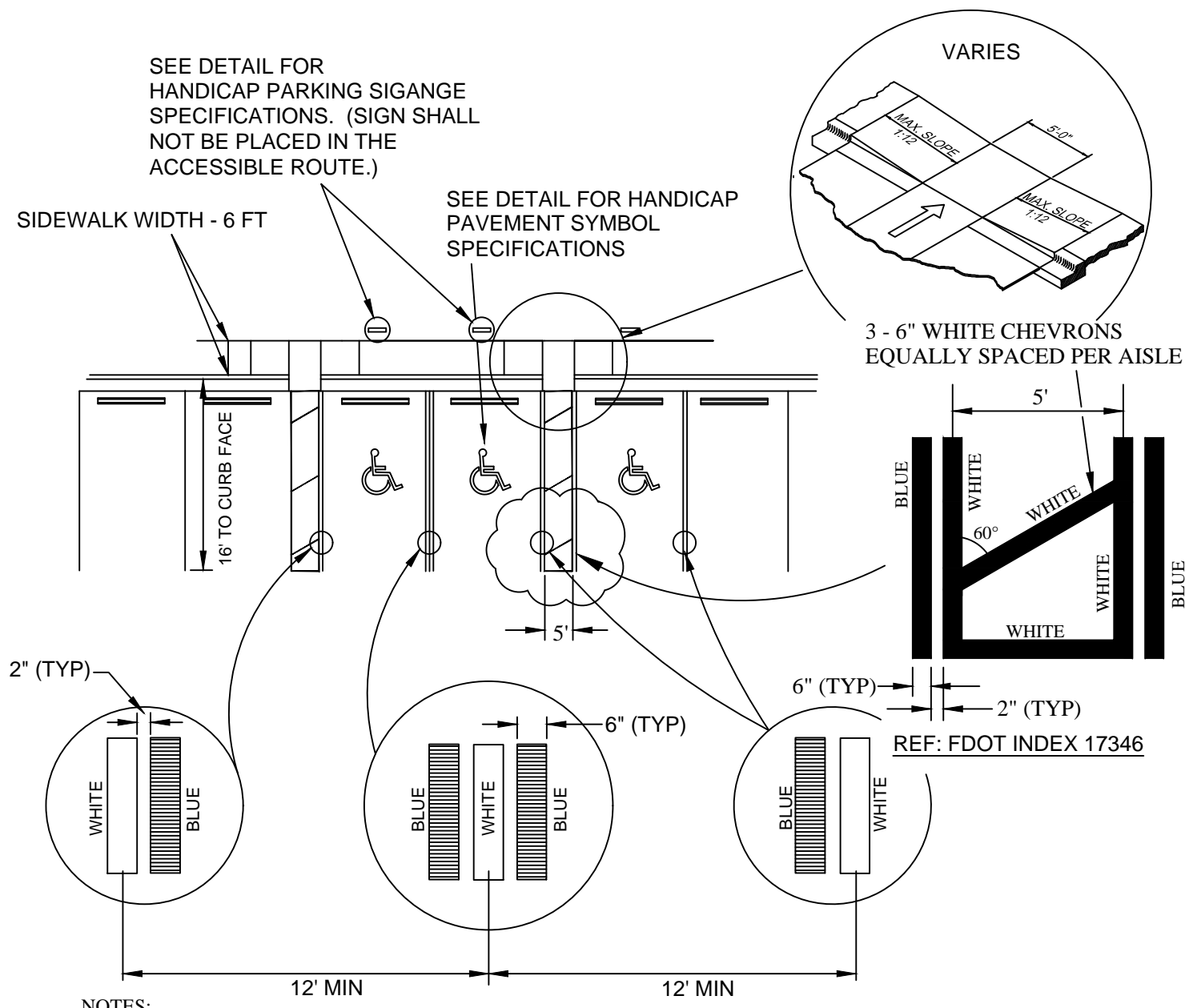
PORT ST. LUCIE, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE: 02/27/2025
PROJECT No.: P2022_021
DRAWN BY: JAC
CHECKED BY: JAC
SCALE: VARIES
SHEET: C-2.0

Accessible Parking Spaces

Accessible parking spaces shall be provided in accordance with the current Florida Accessibility Code, Americans with Disabilities Act and any applicable Fair Housing Act requirements, including the following notes:

- Any commercial real estate property owner offering parking for the general public shall provide specially designed and marked motor vehicle parking spaces for the exclusive use of physically disabled persons who have been issued parking permits pursuant to state law.
- All spaces shall have an accessible curb-ramp or curb-cut to allow access to the building served. It shall be located so that users will not be compelled to wheel behind parked vehicles.

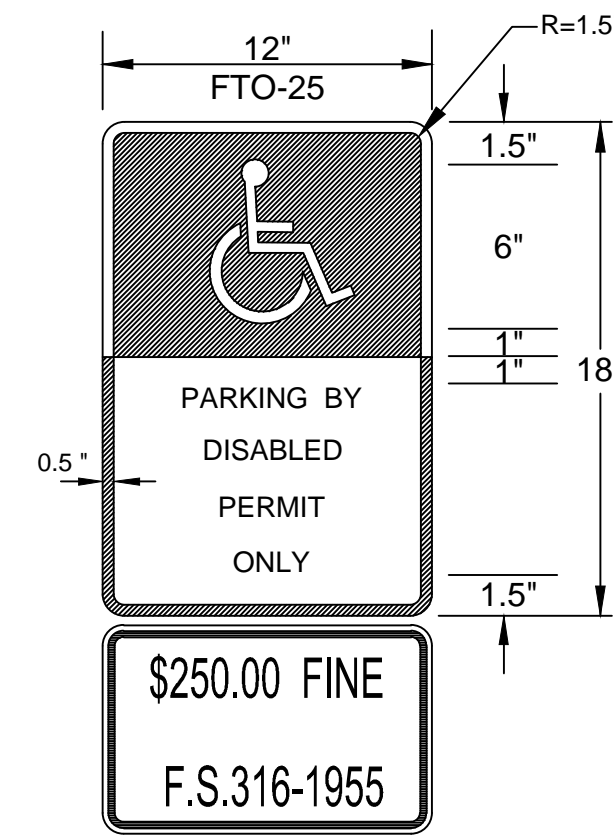


NOTES:

- EACH ACCESSIBLE PARKING SPACE SHALL BE CONSPICUOUSLY STRIPED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT, ABOVE-GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, AND THE CAPTION "PARKING BY DISABLED PERMIT ONLY". SUCH SIGNS SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE. ALL DISABLED PARKING SPACES MUST BE SIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE DEPARTMENT OF TRANSPORTATION.
- PARKING SPACE WIDTH AND ACCESS AISLES SHALL BE MEASURED FROM CENTER OF WHITE STRIPE TO CENTER OF WHITE STRIPE.
- WHERE CURBING EXISTS PARALLEL TO STALL, BLUE LINE SHALL BE REQUIRED ADJACENT TO CURB (WHITE LINE WILL NOT BE REQUIRED).
- CURB RAMPS CONSTRUCTED ON EXISTING SITES OR FACILITIES MAY HAVE SLOPES AND RISES AS ALLOWED IN ADA 4.1.6 (3) (a) IF SPACE LIMITATIONS PROHIBIT THE USE OF A 1:12 SLOPE OR LESS.

TYPICAL PAVEMENT SYMBOL FOR HANDICAP PARKING (N.T.S.)

TYPICAL HANDICAP PARKING SIGNAGE

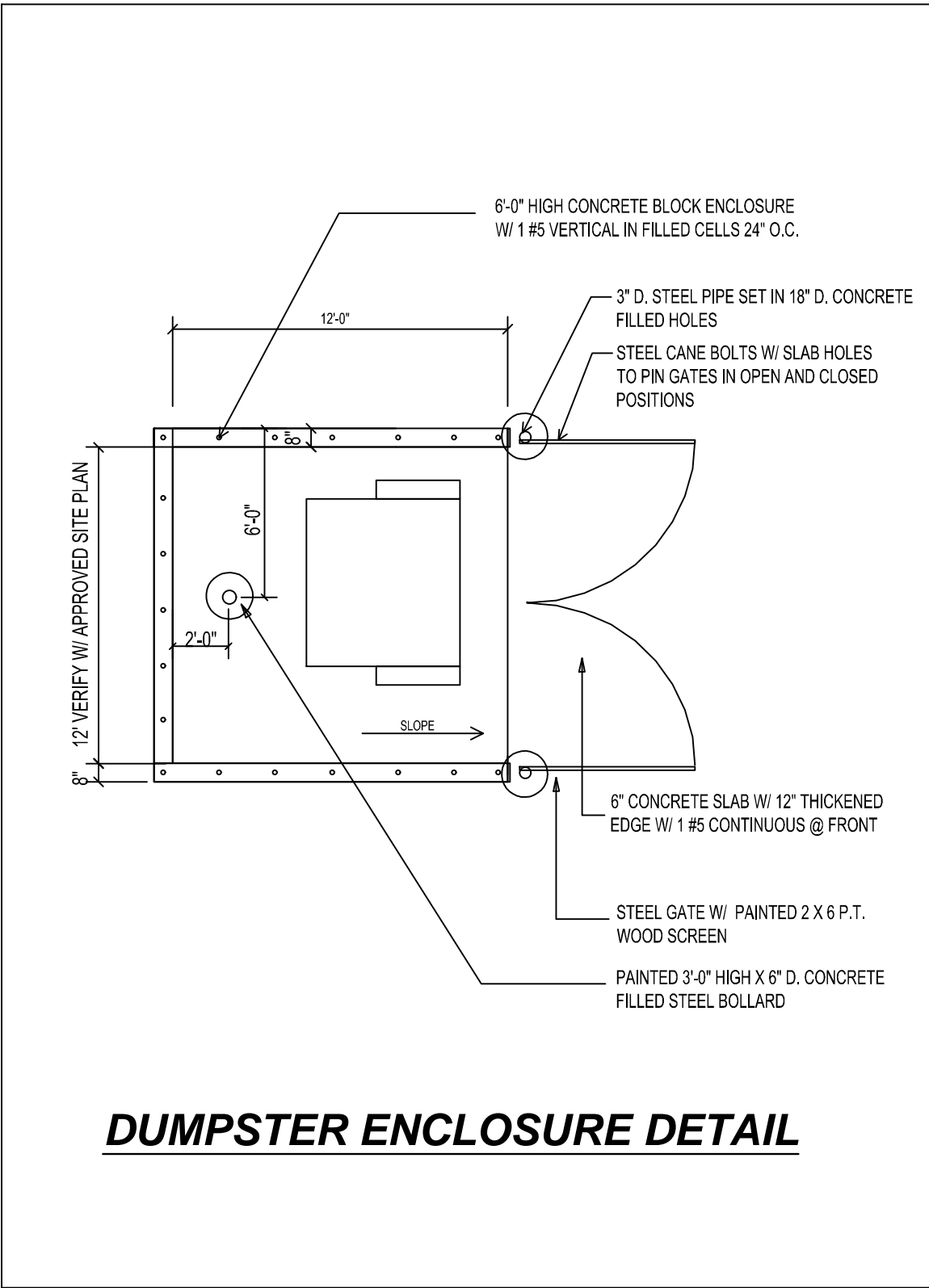


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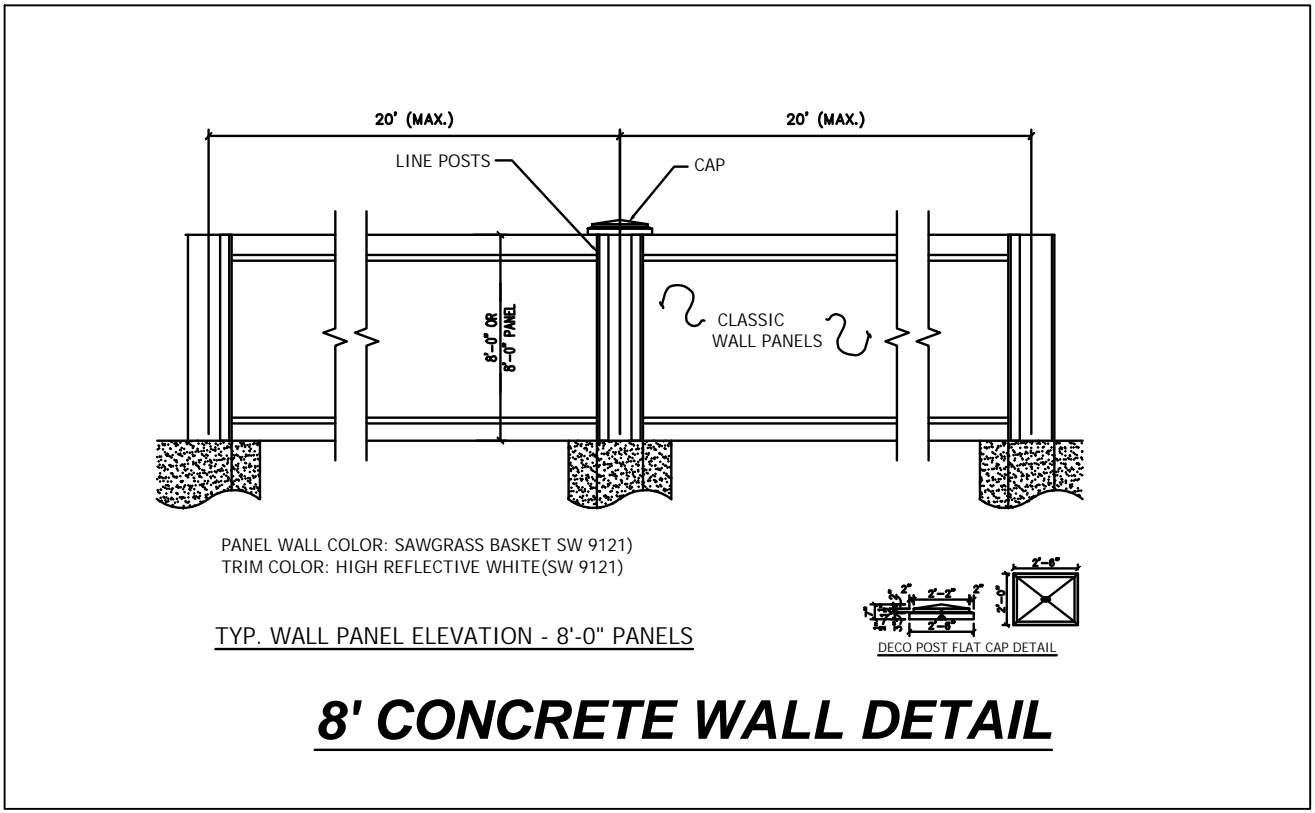
- ALL LETTERS SHALL BE BLACK AND 1" IN HEIGHT AND SPACED 1" APART. LETTERS ARE TO BE SERIES "B" OR "C", PER MUTCD.
- TOP PORTION OF SIGN SHALL BE BLUE BACKGROUND WITH WHITE LEGEND AND BORDER.
- BOTTOM PORTION OF SIGN SHALL BE WHITE BACKGROUND WITH BLACK BORDER.
- ONE SIGN REQUIRED FOR EACH PARKING SPACE.
- THE MINIMUM HEIGHT, MEASURED VERTICALLY FROM THE BOTTOM OF THE ACCESSIBLE SIGN TO THE TOP OF THE CURB, OR IN THE ABSENCE OF CURB, MEASURED VERTICALLY FROM THE BOTTOM OF THE SIGN TO THE ELEVATION OF THE NEAR EDGE OF THE TRAVELED WAY SHALL BE 7 FEET.
- SIGNS SHALL BE HIGH INTENSITY RETROREFLECTIVE.

NOTES:

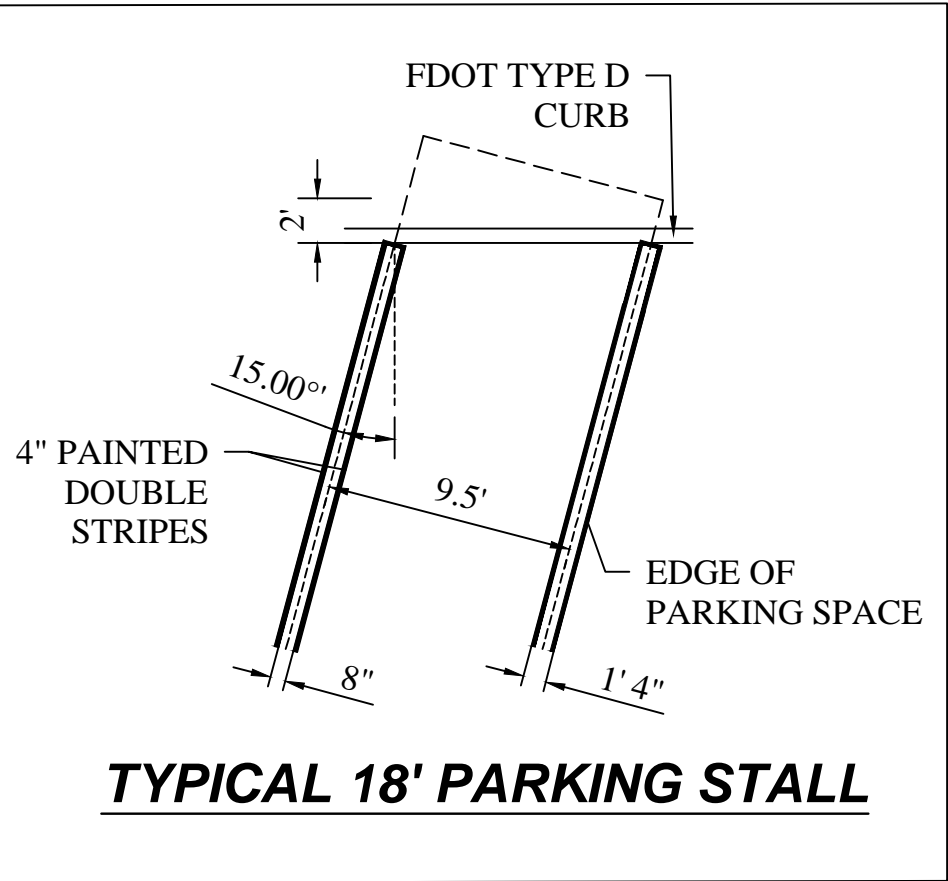
- SYMBOL SHALL BE 42"x42" OR 48"x48".
- THIS SYMBOL TO BE WHITE FDOT TRAFFIC RATED PAINT.



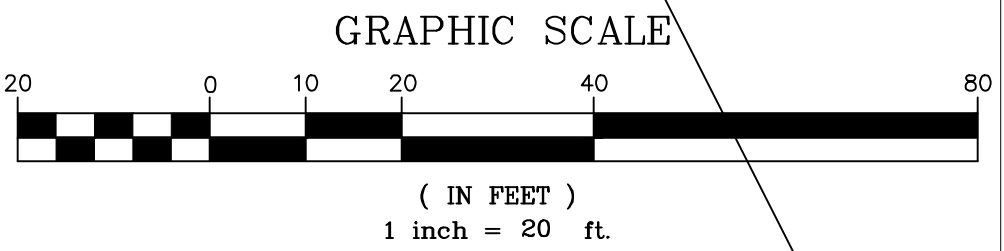
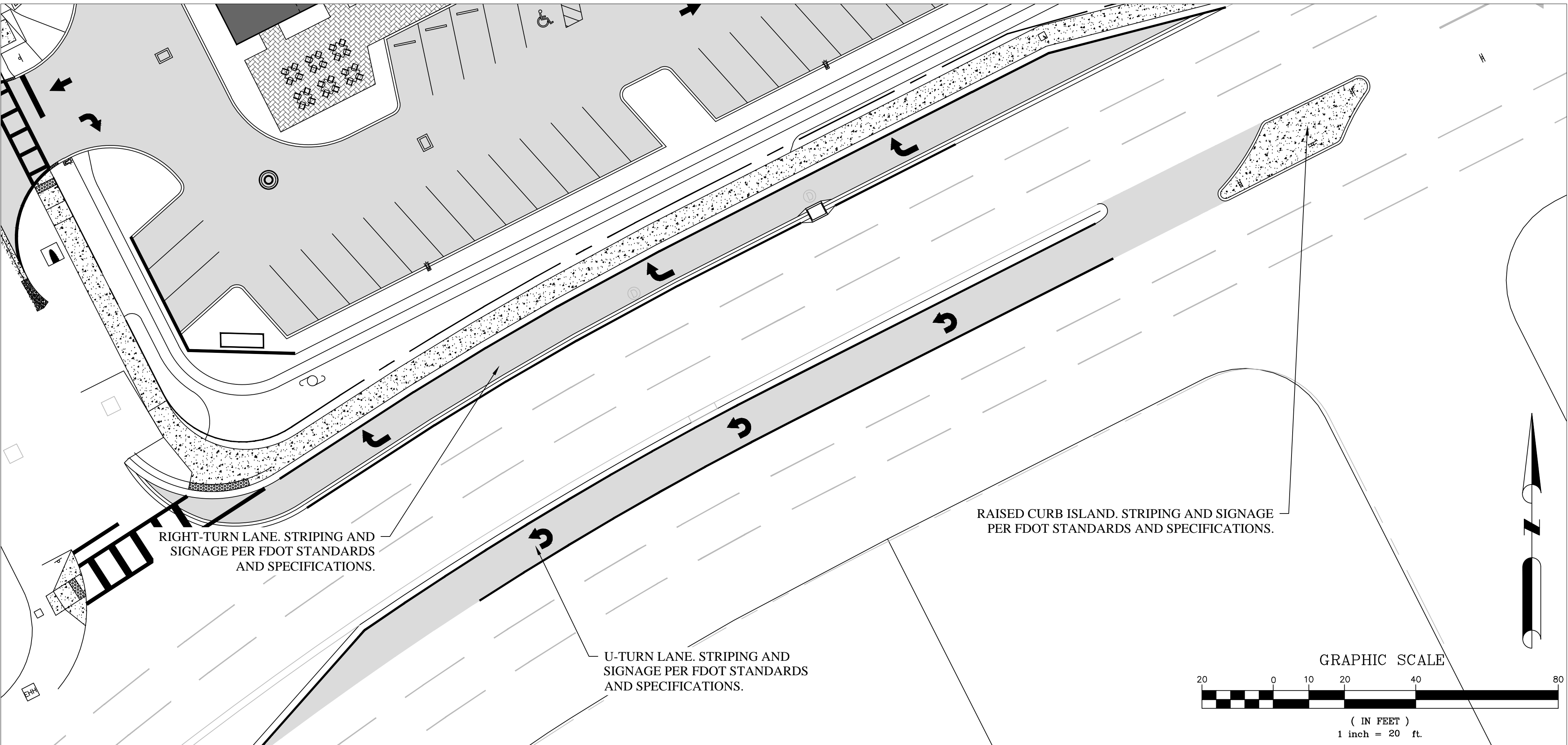
DUMPSTER ENCLOSURE DETAIL



8' CONCRETE WALL DETAIL



TYPICAL 18' PARKING STALL



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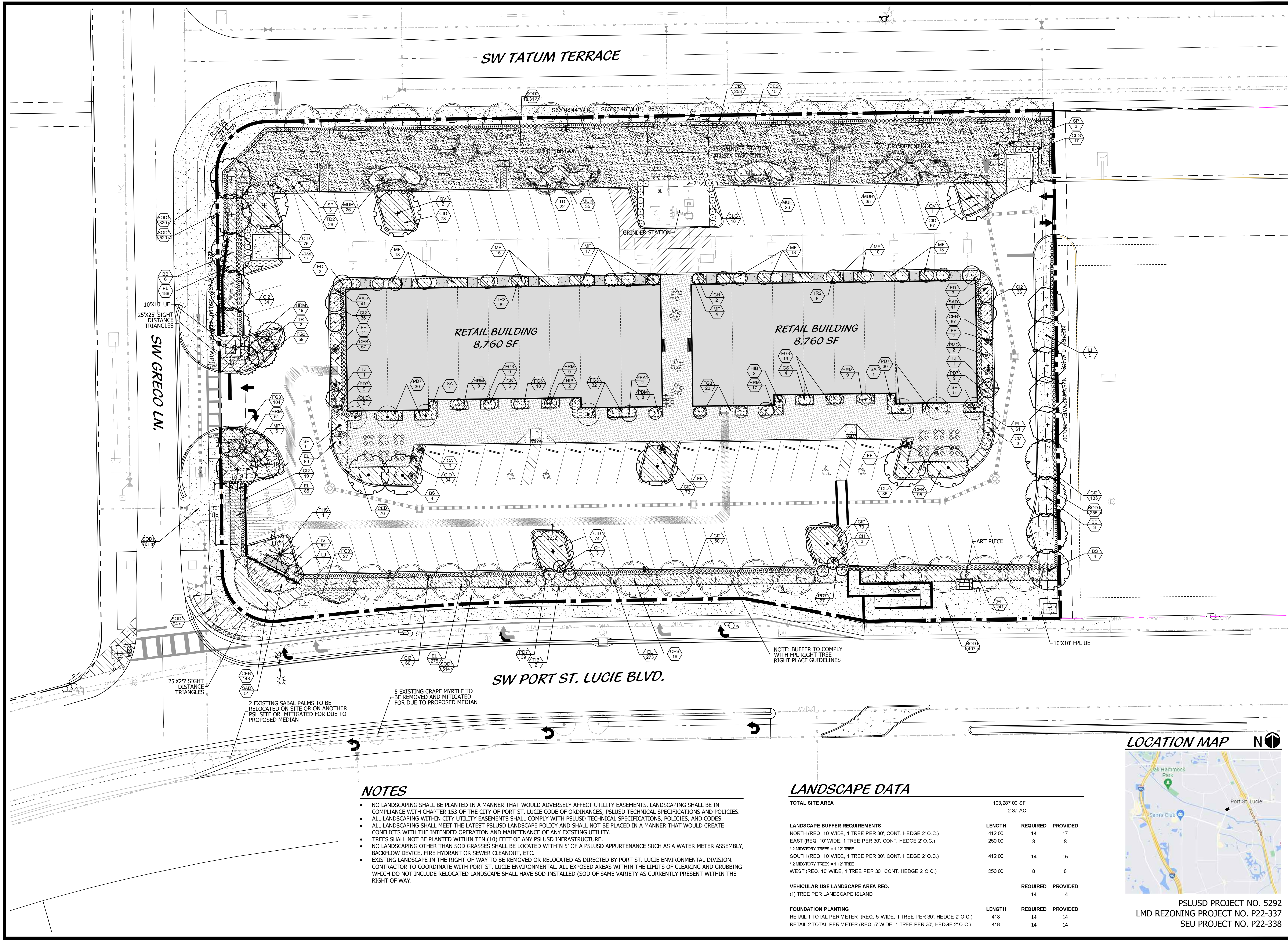
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DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

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SITE PLAN
SITE DETAILS
PORT ST. LUCIE, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE: 02/27/2025
PROJECT No.: P2022_021
DRAWN BY: JAC
CHECKED BY: JAC
SCALE: 1" = 20'
SHEET: C-3.0



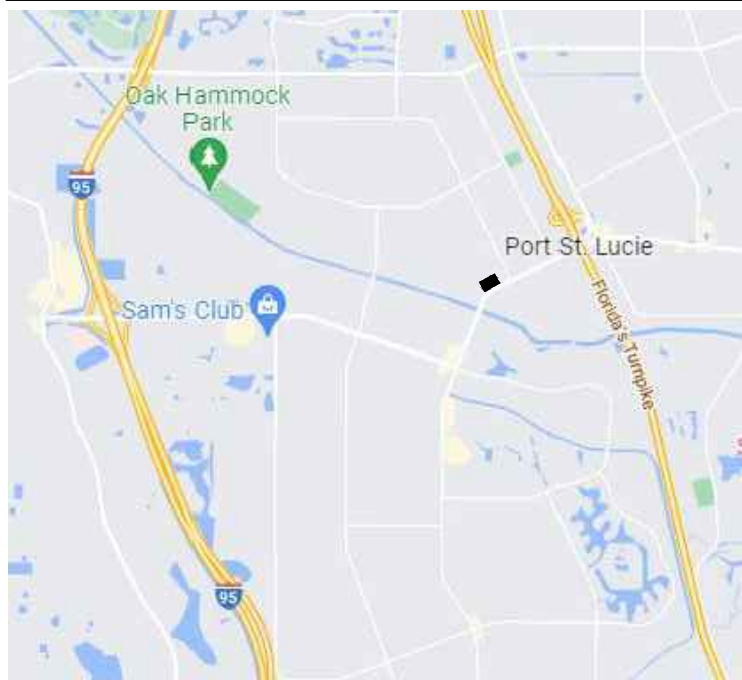
NOTES

- NO LANDSCAPING SHALL BE PLANTED IN A MANNER THAT WOULD ADVERSELY AFFECT UTILITY EASEMENTS. LANDSCAPING SHALL BE IN COMPLIANCE WITH CHAPTER 153 OF THE CITY OF PORT ST. LUCIE CODE OF ORDINANCES, PSLUSD TECHNICAL SPECIFICATIONS AND POLICIES.
- ALL LANDSCAPING WITHIN CITY UTILITY EASEMENTS SHALL COMPLY WITH PSLUSD TECHNICAL SPECIFICATIONS, POLICIES, AND CODES.
- ALL LANDSCAPING SHALL MEET THE LATEST PSLUSD LANDSCAPE POLICY AND SHALL NOT BE PLACED IN A MANNER THAT WOULD CREATE CONFLICTS WITH THE INTENDED OPERATION AND MAINTENANCE OF ANY EXISTING UTILITY.
- TREES SHALL NOT BE PLANTED WITHIN TEN (10) FEET OF ANY PSLUSD INFRASTRUCTURE.
- NO LANDSCAPING OTHER THAN SOD GRASSES SHALL BE LOCATED WITHIN 5' OF A PSLUSD APPURTENANCE SUCH AS A WATER METER ASSEMBLY, BACKFLOW DEVICE, FIRE HYDRANT OR SEWER CLEANOUT, ETC.
- EXISTING LANDSCAPE IN THE RIGHT-OF-WAY TO BE REMOVED OR RELOCATED AS DIRECTED BY PORT ST. LUCIE ENVIRONMENTAL DIVISION. CONTRACTOR TO COORDINATE WITH PORT ST. LUCIE ENVIRONMENTAL. ALL EXPOSED AREAS WITHIN THE LIMITS OF CLEARING AND GRUBBING WHICH DO NOT INCLUDE RELOCATED LANDSCAPE SHALL HAVE SOD INSTALLED (SOD OF SAME VARIETY AS CURRENTLY PRESENT WITHIN THE RIGHT OF WAY).

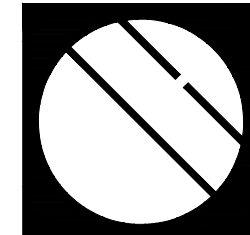
LANDSCAPE DATA

TOTAL SITE AREA		103,287.00 SF 2.37 AC		
LANDSCAPE BUFFER REQUIREMENTS		LENGTH	REQUIRED	PROVIDED
NORTH (REQ. 10' WIDE, 1 TREE PER 30', CONT. HEDGE 2' O.C.)		412.00	14	17
EAST (REQ. 10' WIDE, 1 TREE PER 30', CONT. HEDGE 2' O.C.)		250.00	8	8
* 2 MIDSTORY TREES = 1 1/2' TREE				
SOUTH (REQ. 10' WIDE, 1 TREE PER 30', CONT. HEDGE 2' O.C.)		412.00	14	16
* 2 MIDSTORY TREES = 1 1/2' TREE				
WEST (REQ. 10' WIDE, 1 TREE PER 30', CONT. HEDGE 2' O.C.)		250.00	8	8
VEHICULAR USE LANDSCAPE AREA REQ.			REQUIRED	PROVIDED
(1) TREE PER LANDSCAPE ISLAND			14	14
FOUNDATION PLANTING		LENGTH	REQUIRED	PROVIDED
RETAIL 1 TOTAL PERIMETER (REQ. 5' WIDE, 1 TREE PER 30', HEDGE 2' O.C.)		418	14	14
RETAIL 2 TOTAL PERIMETER (REQ. 5' WIDE, 1 TREE PER 30', HEDGE 2' O.C.)		418	14	14

LOCATION MAP



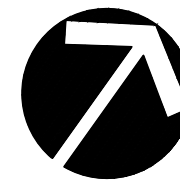
PSLUSD PROJECT NO. 5292
LMD REZONING PROJECT NO. P22-337
SEU PROJECT NO. P22-338



Cotleur & Hearing

Landscape Architects
Land Planners
Environmental Consultants
1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561.747.6336 • Fax 747.1377
www.cotleurhearing.com
Lic# LC-26000535

SW Greco Ln & SW Port St. Lucie Blvd.
Phase II Landscape Plan
Port St. Lucie, Florida



Scale: 1" = 20'

DESIGNED	DEH
DRAWN	RO
APPROVED	DEH
JOB NUMBER	22-0928
DATE	11-04-22
REVISIONS	01-27-23
	02-20-23
	04-03-23
	07-20-23
	02-27-25

February 27, 2025 1:00:2 p.m.
Drawing: 22-0928 LP.DWG

SHEET 1 OF 2

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LANDSCAPE NOTES

ALL PLANT MATERIAL SHALL BE FLORIDA NUMBER 1 OR BETTER AS DEFINED BY THE DIVISION OF PLANT INDUSTRY 'FLORIDA GRADES AND STANDARDS' LATEST EDITION.

ALL LANDSCAPE SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORT SAINT LUCIE LAND DEVELOPMENT REGULATIONS. THE CITY OF PORT SAINT LUCIE 'LANDSCAPE CODE (LDRS) SHALL GOVERN IN THE EVENT OF A CONFLICT.

VEGETATION REMOVAL PERMITS ARE REQUIRED PRIOR TO REMOVING, CLEARING OR STRIPPING ANY VEGETATION FROM THE PROPERTY.

AT THE TIME OF BUILDING PERMIT, THE APPLICANT SHALL EXECUTE HOLD HARMLESS AGREEMENTS WITH ALL APPLICABLE UTILITIES FOR LANDSCAPING WITHIN UTILITY EASEMENTS.

THE LANDSCAPE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS AND/OR CHANGES WITHOUT THE AUTHORIZATION OF CITY OF PORT SAINT LUCIE, THE OWNER, AND THE LANDSCAPE ARCHITECT.

THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT DRAINAGE AND UTILITY PLANS PRIOR TO CONSTRUCTION AND AVOID ALL CONFLICTS. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.

THE CONTRACTOR SHALL COORDINATE THE PLANTING AND TRIMMING OF STREET TREES TO ENSURE FULL VISIBILITY TO TRAFFIC CONTROL AND SAFETY SIGNAGE.

TREES SHALL BE POSITIONED TO AVOID CONFLICTS WITH SIGNAGE AND SITE LIGHTING. LARGER TREES WILL BE PROVIDED AT INTERSECTIONS WHERE DEEMED NECESSARY.

ALL VEGETATION SHALL BE SELECTED AND POSITIONED SO THAT IT DOES NOT PRESENT OBSTRUCTIONS TO THE LINE OF SIGHT AT INTERSECTIONS PURSUANT TO SECTION 27-1262(a)(9)(c) OF THE CITY OF PORT SAINT LUCIE CODE.

ALL ABOVE GROUND UTILITIES I.E. TRANSFORMERS, SWITCH BOXES, AC CONDENSERS AND ALIKE SHALL BE FULLY SCREENED FROM VIEW ON THIRDS SIDES WITH LANDSCAPING. THE LANDSCAPING SHALL TO THE TALLEST POINT OF SAID EQUIPMENT AT TIME OF PLANTING.

ALL TREES SHALL BE LOCATED WITHIN A MULCH PLANTING BED WITH A MINIMUM OF TWO (2) FEET OF CLEARANCE TO THE EDGE OF THE BED.

SOD AND IRRIGATION SHALL BE INSTALLED IN ANY ADJACENT RIGHT OF WAY BETWEEN THE SIDEWALK AND THE CURB.

ALL SOD SHALL BE STENOTAPHRUM SECUNDATUM FLORITAM-PALMETTO (ST. AUGUSTINE SOD).

TREES WITHIN PLANTING ISLANDS LESS THAN FIVE (5) FEET IN WIDTH SHALL BE LOCATED TO AVOID CONFLICTS WITH THE OVERHANG OF VEHICLES.

TYPE D RAISED CONCRETE CURBING SHALL BE PROVIDED AROUND ALL PLANTING ISLANDS WITHIN VEHICULAR USE AREAS.

TREES AT ENTRANCE WAYS AND WITHIN SIGHT TRIANGLES SHALL BE TRIMMED IN SUCH A FASHION TO MINIMIZE SITE VISIBILITY CONFLICTS. CLEAR VISIBILITY SHALL BE MAINTAINED BETWEEN 30 INCHES AND 7 FEET, TEN FOOT BY THIRTY FOOT SIGHT VISIBILITY TRIANGLES SHALL BE PROVIDED AT THE INTERSECTIONS WITH THE PUBLIC RIGHT OF WAY. IN ADDITION ALL LANDSCAPING SHALL CONFORM TO THE REQUIREMENTS OF FOOT INDEX 546.

EARTH BERMS SHALL NOT EXCEED A 3:1 SLOPE 4:1 SLOPES OR GREATER ARE PREFERABLE.

ALL TREES PLANTED UNDER OR ADJACENT TO FPL POWER LINES WILL COMPLY WITH THE FPL RIGHT TREE IN THE RIGHT PLACE GUIDELINES (REV 5/95)

PERIMETER TREES AT THE TIME OF PLANTING SHALL BE SPACED IN A WAY THAT COMPLEMENTS THE SPACING OF ANY EXISTING TREES ON ADJACENT DEVELOPED AREAS.

ALL LANDSCAPE ISLANDS AND BEDS SHALL BE FREE FROM SHELL ROCK AND CONSTRUCTION DEBRIS, EXCAVATED TO A DEPTH OF 30 INCHES OR TO CLEAN NATIVE SOILS AND FILLED WITH THE SPECIFIED BACKFILL MIXTURE.

ALL LANDSCAPE ISLANDS SHALL INCORPORATE THE INSTALLATION OF MOUNDING OF NATIVE SOILS A MINIMUM OF SIX INCHES (6") ABOVE THE TOP OF CURB.

19.5" "BIO BARRIER" ROOT BARRIER SHALL BE PROVIDED FOR SHADE TREES PLANTED WITHIN SIX (6') FEET OF PUBLIC CURBS, SIDEWALKS OR PUBLIC RIGHT OF WAYS. ALL ROOT BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. THE TOTAL LENGTH OF THE ROOT BARRIERS SHALL BE 20' ADJACENT TO THE SIDEWALK AND 20' ADJACENT TO THE CURB.

ALL AREAS SHALL BE FULLY IRRIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF PORT SAINT LUCIE. THE IRRIGATION WATER SOURCE SHALL BE WELL WATER FOR COMMON AREAS AND POTABLE WATER AROUND THE BUILDING FOUNDATION.

CATCH BASINS AND DRAINAGE SHALL NOT BE LOCATED WITHIN REQUIRED PERIMETER BUFFERS OR PRESERVE AREAS.

THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% OVERLAP COVERAGE TO ALL LANDSCAPE AND SOD AREAS.

THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN SENSOR/CUT OFF SWITCH IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

EXISTING TREES AND VEGETATION TO REMAIN SHALL BE STAKED AND BARRICADED PRIOR TO ANY LAND CLEARING. TREES TO BE RELOCATED SHALL BE ROOT PRUNED AND PROTECTED DURING CONSTRUCTION.

ALL TREES PROPOSED TO BE PRESERVED ON SITE SHALL BE PROTECTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN DIVISION IV. VEGETATION REMOVAL REQUIREMENTS IN THE CITY OF PORT SAINT LUCIE CODE. PRIOR TO THE ISSUANCE OF A C.O.

ANY AREA DESIGNATED WITH EXISTING VEGETATION TO REMAIN THAT IS DISTURBED DURING CONSTRUCTION WILL BE RESTORED WITH NATIVE PLANTINGS.

EXISTING TREES PRESERVED OR RELOCATED ON SITE SHALL BE PRUNED ACCORDING TO ANSI A300 STANDARDS OR BY AN ISA CERTIFIED ARBORIST.

ALL EXISTING LANDSCAPING AND TREES TO REMAIN SHALL BE BARRICADED WITH ORANGE CONSTRUCTION BARRICADE. THE BARRICADE SHALL BE INSTALLED AT THE Drip LINE OF THE TREE/PALM OR AT THE EDGE OF THE SHRUB MASS. BARRICADES SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION.

EXISTING, SUITABLE NATIVE VEGETATION LOCATED WITHIN THE PROPOSED DEVELOPMENT AREAS SHALL BE RELOCATED TO SUPPLEMENT THE LANDSCAPE. NATIVE VEGETATION SHALL BE RELOCATED TREE TRADE OR CRANE. PRIOR TO THE CLEARING OF THE SITE THE APPLICANT SHALL IDENTIFY ALL NATIVE VEGETATION TO BE RELOCATED.

RELOCATION METHODOLOGY: EXISTING NATIVE VEGETATION DETERMINED TO BE SUITABLE FOR RELOCATION SHALL BE RELOCATED TO TARGET AREAS USING HYDROLOGICAL TREE SPADES. THE SIZE OF SPADE SHALL VARY FROM 90" TO 45" DEPENDING ON THE SIZE AND TYPE OF THE NATIVE VEGETATION. THE APPLICANT SHALL IDENTIFY ALL NATIVE VEGETATION TO BE RELOCATED TO THE SITE. ALL EXISTING NATIVE VEGETATION TO BE RELOCATED, FOLLOWING RELOCATION, VEGETATION SHALL BE WATERED DAILY FOR A PERIOD NOT LESS THAN 90 DAYS AFTER WHICH IT SHALL BE WATERED ON AN AS NEEDED BASIS TO INSURE SURVIVAL. AT A MINIMUM THE APPLICANT SHALL INSURE 60% SURVIVAL FOR ALL RELOCATED PLANT MATERIAL.

PLANT LIST

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
TREES								
BB	9	BUCIDIA BUCERAS 'SHADY LADY'	SHADY LADY BLACK OLIVE	N.A.	2.5" CAL	12'-14' HT, 6'-8' SPRD	N	FULL CANOPY
BS	8	BURSERA SIMARUBA	GUMBO LIMBO	65 GAL	3.5" CAL	12' O.A.	Y	FULL CANOPY
CE	31	CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTOWNWOOD	45 GAL	1.5" CAL	14' O.A.	Y	FULL CANOPY, 14' MINIMUM HEIGHT.
ED	6	ELAEOCARPUS DECIPENS	JAPANESE BLUEBERRY TREE	30 GAL	N.A.	8'-9' O.A.	N	CONICAL, FULL TO BASE
GS	9	GARCINIA SPICATA	GARCINIA	15 GAL	1.5" CAL	4'-5' O.A.	N	FULL & THICK, MATCHED
HIB	4	HIBISCUS ROSA-SINENSIS 'DOUBLE RED'	DOUBLE RED HIBISCUS	15 GAL	1.5" CAL	4'-5' O.A.	N	STANDARD, FULL & THICK
LI	5	LAGERSTROEMIA FAURIEI 'TUSKEGEE'	RED CRAPE MYRTLE	65 GAL	2" CAL	12' O.A.	N	FULL & THICK CANOPY, FLORIDA FANCY.
UJ	3	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	45 GAL	N.A.	7' HT., 7" SPD.	N	FULL CANOPY, MULTI-STEM, LIMB UP
QV	3	QUERCUS VIRGINIANA	LIVE OAK	65 GAL	3.5" CAL	12' HT X 6' SPRD	Y	FULL CANOPY
TD	22	TAXODIUM DISTICHUM	BALD CYPRESS	45 GAL	3"-4" CAL	10-12' OA	Y	FULL CANOPY
TIB	2	TIBOUCHINA GRANULOSA	PURPLE GLORY TREE	25 GAL	N.A.	5'-6' O.A.	N	FULL CANOPY, SYMMETRICAL, MULTI-TRUNK
PALM TREES								
MP	6	BUTIAGRUS NABONNANDII X	MULE PALM	FIELD GROWN	N.A.	8' GW	N	FULL CANOPY
CH	8	CHAMAEROPS HUMILIS 'SILVER SELECT'	EUROPEAN FAN PALM SILVER SELECT	15 GAL	NA	4'-5' OA	N	MULTI TRUNK, FULL CANOPY
OLD	2	COCOTHRINAX CRINITA BREVICRINIS	SHORT HAIR OLD MAN PALM	25 GAL	N.A.	4'-5' O.A	N	FULL CANOPY
CM	3	COCOTHRINAX MIRAGUAMA	MIRAGUAMA PALM	15 GAL	N.A.	4'-5' O.A	N	FUNN CANOPY
PHS	1	PHOENIX SYLVESTRIS	SYLVESTER DATE PALM	F.G.	N.A.	8' G.W.	N	STRAIGHT TRUNK, FULL CANOPY, MATCHED, DIAMOND CUT
PEA1	2	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	N.A.	3" CAL	12' O.A.	N	FULL CANOPY, SINGLE STEM, MATCHED, FL FANCY
SP	17	SABAL PALMETTO	SABAL PALM	N.A.	N.A.	10', 14', 18' CT STGG	Y	SLICK, STRAIGHT TRUNK
TR	2	THRINAX RADIATA	HATCH PALM	15 GAL	N.A.	4'-5' HT. X 5' SPRD.	Y	FULL & THICK
TR2	16	THRINAX RADIATA	HATCH PALM	25 GAL	N.A.	6'-7' O.A.	Y	FULL & THICK
SHRUBS								
CLT	631	CHRYSOBALANUS ICACO 'RED TIP'	REDTIP COCO PLUM	7 GAL	3' X 3'	2' O.C.	N	FULL & THICK
CLG	52	CLUSIA GUTTIFERA	SMALL-LEAF CLUSTIA	7 GAL	3' X 3'	3' O.C.	Y	FULL & THICK
CA	3	CRINUM AUGUSTUM	QUEEN EMMA CRINUM LILY	25 GAL	4' X 4'	A.S.	N	FULL & THICK
FF	6	FURCRAEA FOETIDA	FALSE AGAVE	15 GAL	3' X 3'	A.S.	N	FULL & THICK
PMC	2	PODOCARPUS MAKII	PODOCARPUS COLUMN	30 GAL	5'-6' X 3'	A.S.	N	FULL AND THICK
SA	2	CHEFFLERA ARBORICOLA 'DAZZLE'	DAZZLE SCHEFFLERA	7 GAL	3.5' X 3.5'	A.S.	Y	FULL & THICK
GROUND COVERS								
CEB	453	CARISSA MACROCARPA 'EMERALD BLANKET'	EMERALD BLANKET NATAL PLUM	3 GAL	12" X 12"	24" O.C.	N	FULL & THICK
CID	501	CHRYSOBALANUS ICACO 'HORIZONTALIS'	DWARF COCOPLUM	3 GAL	12" X 18"	24" O.C.	Y	FULL & THICK
EL	1,212	ERNODEA LITTORALIS	GOLDEN CREEPER	3 GAL	12" X 12"	18" O.C.	Y	FULL & THICK
FG3	282	FICUS MACROPHYLLA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL	12" X 12"	24" O.C.	N	FULL & THICK
HRM	114	HIBISCUS ROSA SINENSIS MIX	RED CARNATION & DOUBLE PEACH HIBISCUS	3 GAL	14" X 14"	24" O.C.	N	FULL & THICK
IV	62	ILEX VOMITORIA 'STOKES MIX'	DWARF YALPON HOLLY	3 GAL	12" X 12"	2' O.C.	Y	FULL & THICK
MUH	122	MUHLENBERGIA CAPILLARIS	MUHY GRASS	3 GAL	18" X 12"	30" O.C.	Y	FULL & THICK
MF	95	MYRSIANTHES FRAGRANS	SIMPSON'S STOPPER	3 GAL	24" X 24"	36" O.C.	N	FULL & THICK
PBM	8	PHILODENDRON 'BURLIE MARX'	BURLIE MARX PHILODENDRON	3 GAL	18" X 18"	24" O.C.	N	FULL & THICK
PD7	144	PODOCARPUS MACR. 'PRINGLES' OR 'META'	DWARF PODOCARPUS	7 GAL	24" X 24"	24" O.C.	N	FULL & THICK
SAD	133	CHEFFLERA ARBORICOLA 'DAZZLE'	DAZZLE SCHEFFLERA	3 GAL	18" X18"	2' O.C.	N	FULL & THICK
TD2	26	TRIPSACUM FLORIDANA	DWARF FAKAHATCHEE GRASS	3 GAL	24" X 24"	30" O.C.	Y	FULL & THICK
SOD/SEED								
SOD2	10,312 SF	PASPALUM NOTATUM	BAHIA SOD	ROLL				CERTIFIED, WEED FREE
SOD1	10,880 SF	STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE GRASS	ROLL				AROUND BUILDINGS, WEED FREE

LANDSCAPE SPECIFICATIONS

1. GENERAL LANDSCAPE REQUIREMENTS

LANDSCAPE CONTRACT WORK INCLUDES, BUT IS NOT LIMITED TO, SOIL PREPARATION, FINE OR FINISH GRADING, FURNISHING AND INSTALLING PLANT MATERIAL, WATERING, STAKING, CUTTING AND MULCHING.

PLANT SIZE AND QUALITY

TREES, PALMS, SHRUBS, GROUNDCOVERS, PLANT SPECIES AND SIZES SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARD PLANT NAMES, 1992 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS PARTS 1 & II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY.

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

STANDARD PLANTING MIXTURE SHALL BE ONE (1) PART RECYCLED ORGANIC MATERIAL ADDED TO THREE (3) PARTS EXISTING NATIVE SOIL.

REPLACEMENT SOIL SHALL BE USED AS SPECIFIED TO REPLACE EXISTING SOILS THAT ARE DETERMINED BY THE LANDSCAPE ARCHITECT TO BE UNSUITABLE FOR PLANTING. I.E. ROAD BASE, PAVEMENT, ETC. REPLACEMENT SOIL MIX SHALL CONTAIN 60% SAND AND 40% MUCK. SAND SHALL BE 100% CLEAN, NATIVE SAND SCREENED TO 1/4" AND MUCK SHALL BE 100% CLEAN ORGANIC NATIVE MUCK SCREENED TO 1/2". ALL SOIL SHALL BE MIXED PRIOR TO DELIVERY ON SITE.

MULCH SHALL BE SHREDDED MELALEUCA, EUCALYPTUS OR GRADE "A" RECYCLED. ALL MULCH IS TO BE APPLIED TO A DEPTH OF 3", EXCEPT AS OTHERWISE NOTED.

FERTILIZER IN BACKFILL MIXTURE FOR ALL PLANTS SHALL CONSIST OF MILORGANITE ACTIVATED SLUDGE MIXED WITH THE BACKFILL AT A RATE OF NOT LESS THAN 50 LBS. PER CUBIC YARD.

FERTILIZER FOR TREES AND SHRUBS MAY BE TABLE FORM OR GRANULAR. GRANULAR FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS: 16% NITROGEN, 7% PHOSPHORUS, 12% POTASSIUM, PLUS IRON. TABLET FERTILIZER (AGIFORM OR EQUAL) IN 21 GRAM SACHETS SHALL MEET THE FOLLOWING REQUIREMENTS: 20% NITROGEN, 10% PHOSPHORUS AND 5% POTASSIUM.

FERTILIZER WILL BE APPLIED AT THE FOLLOWING RATES:

PLANT SIZE	1/4-1/2 LB.	1/2-1 LB.	1-1/2 LB.
1 GAL	1-1/4 LB.	1	3
3 GAL	1/3 LB.	1/2 LB.	1
7-15 GAL	2 LBS./1" CALIPER	2 PER 1" CALIPER	2 PER 1" CALIPER
15-6" CALIPER	2 LBS./1" CALIPER	2 PER 1" CALIPER	2 PER 1" CALIPER
6" AND LARGER	3 LBS./1" CALIPER	2 PER 1" CALIPER	2 PER 1" CALIPER

"FLORIDA EAST COAST PALM SPECIAL" SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK UNLESS OTHERWISE SPECIFIED.

FIELD GROWN TREES AND PALMS PREVIOUSLY ROOT PRUNED SHALL OBTAIN A ROOT BALL WITH SUFFICIENT ROOTS FOR CONTINUED GROWTH WITHOUT RESULTING SHOCK.

CONTRACTOR SHALL NOT MARK OR SCAR TRUNK IN ANY FASHION.

PLANTS SHALL BE WATERED AS NECESSARY OR WITHIN 24 HOURS AFTER NOTIFICATION BY THE LANDSCAPE ARCHITECT.

THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS. MAJOR ADJUSTMENTS TO THE LAYOUT ARE TO BE REVIEWED BY THE LANDSCAPE ARCHITECT.

ALL PLASTIC FABRIC SHALL BE REMOVED FROM PLANT MATERIAL AT TIME OF INSTALLATION.

ALL TREES MUST BE STAKED AS SHOWN ON THE PLANTING DETAILS WITHIN 24 HOURS OF PLANTING. STAKES TO REMAIN FOR A MINIMUM OF 9 MONTHS, BUT NO LONGER THAN 18 MONTHS. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF THE STAKES.

ALL TREES MUST BE PRUNED AS PER LANDSCAPE ARCHITECT'S DIRECTION. SABAL PALMS MAY BE HURRICANE CUT.

ALL SHRUBS, TREES AND GROUND COVER WILL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES. THE SOILS SHALL BE PLACED IN THE HOLE DURING PLANTING. TOP DRESSING ONLY IS NOT ACCEPTABLE.

DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. ALL TREES SHALL BE SPIKED IN UTILIZING WATER AND A TREE BAR.

THE LANDSCAPE CONTRACTOR SHALL WATER, MULCH, WEED, PRUNE, AND OTHERWISE MAINTAIN ALL PLANTS, INCLUDING SOD, UNTIL COMPLETION OF CONTRACT OR ACCEPTANCE BY LANDSCAPE ARCHITECT. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE, PLANTING SAUCERS RESTORED, AND DEFECTIVE WORK CORRECTED.

THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR DEBRIS CAUSED BY HIS CREWS DURING THE PERFORMANCE OF THE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROMPTLY REMOVE ALL WASTE MATERIALS, DEBRIS, UNUSED PLANT MATERIAL, EMPTY PLANT CONTAINERS AND ALL EQUIPMENT FROM THE PROJECT SITE.

UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST A FINAL INSPECTION. ANY ITEMS THAT ARE JUDGED INCOMPLETE OR UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR WITHIN 14 DAYS.

ALL LABOR AND MATERIAL FOR SOIL AMENDMENTS AND FERTILIZER THAT IS REQUIRED TO INSURE THE SUCCESSFUL ESTABLISHMENT AND SURVIVAL OF THE PLANTING, AS WELL AS ALL THE COST FOR THE REMOVAL OF UNSUITABLE OR EXCESS BACKFILL MATERIAL, SHALL BE INCLUDED IN THE CONTRACTOR'S BID TO PERFORM THE WORK REPRESENTED IN THIS PLAN SET.

2. PLANTING TREES

EXCAVATE PIT AS PER PLANTING DETAILS.

BACKFILL AROUND BALL WITH STANDARD PLANTING MIXTURE AND SLIGHTLY COMPACT. WATER THOROUGHLY AS LAYERS ARE PLACED TO ELIMINATE VOIDS AND AIR POCKETS. BUILD A 6" HIGH BERM OF STANDARD PLANTING MIXTURE BEYOND EDGE OF EXCAVATION. APPLY 3" (AFTER SETTLEMENT) OF MULCH EXCEPT WITHIN 6" OF TRUNK.

PRUNE TREE TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES. DO NOT PRUNE BACK TERMINAL LEADER.

GUY AND STAKE TREE IN ACCORDANCE WITH THE STAKING DETAILS IMMEDIATELY AFTER PLANTING.

3. PLANTING SHRUBS

LAYOUT SHRUBS TO CREATE A CONTINUOUS SMOOTH FRONT LINE AND FILL IN BEHIND.

EXCAVATE PIT OR TRENCH TO 1-1/2 TIMES THE DIAMETER OF THE BALLS OR CONTAINERS OR 1'-0" WIDER THAN THE SPREAD OF ROOTS FOR POSITIONING AT PROPER HEIGHT. BACKFILL AROUND PLANTS WITH STANDARD PLANTING MIXTURE, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. FORM GRADE SLIGHTLY DISHED AND BERMED AT EDGES OF EXCAVATION. APPLY 3" OF MULCH EXCEPT WITHIN 3" OF STEPS.

PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES.

4. PLANTING GROUND COVER

LOOSEN SUBGRADE TO DEPTH OF 4" IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED AND SPREAD SMOOTH.

SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS. COMPACT BACKFILL TO ELIMINATE VOIDS AND LEAVE GRADE SLIGHTLY DISHED AT EACH PLANT. WATER THOROUGHLY. APPLY 3" OF MULCH OVER ENTIRE PLANTING BED, LIFTING PLANT FOLIAGE ABOVE MULCH.

DURING PERIODS OF HOT SUN AND/OR WIND AT TIME OF PLANTING, PROVIDE PROTECTIVE COVER FOR SEVERAL DAYS OR AS NEEDED.

5. PLANTING LAWNS

SODDING: SOD TYPE SPECIFIED ON PLANT LIST SHALL BE MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING.

LOOSEN SUBGRADE TO DEPTH OF 4" AND GRADE WITH TOPSOIL EITHER PROVIDED ON SITE OR IMPORTED STANDARD PLANTING MIX TO FINISH DESIGN ELEVATIONS. ROLL PREPARED LAWN SURFACE. WATER THOROUGHLY, BUT DO NOT CREATE MUDDY SOIL CONDITION.

FERTILIZE SOIL AT THE RATE OF APPROXIMATELY 10 LBS. PER 1,000 S.F. SPREAD FERTILIZER OVER THE AREA TO RECEIVE GRASS BY USING AN APPROVED DISTRIBUTION DEVICE CALIBRATED TO DISTRIBUTE THE APPROPRIATE QUANTITY. DO NOT FERTILIZE WHEN WIND VELOCITY EXCEEDS 15 MPH. THOROUGHLY MIX FERTILIZER INTO THE TOP 2" OF TOPSOIL.

LAY SOD STRIPS WITH TIGHT JOINTS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED STANDARD PLANTING MIXTURE INTO MINOR CROCKES BETWEEN PIECES OF SOD AND REMOVE EXCESS SOD DEPOSITS FROM SODDED AREAS. SOD ON SLOPES GREATER THAN 3:1 SHALL BE STAKED IN PLACE. ROLL OR STAMP LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

6. MISCELLANEOUS LANDSCAPE WORK

LANDSCAPE MAINTENANCE

MAINTAIN LANDSCAPE WORK UNTIL FINAL ACCEPTANCE IS ISSUED BY THE OWNER'S REPRESENTATIVE. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOVING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZING AND SIMILAR OPERATIONS AS NEEDED TO INSURE NORMAL GROWTH AND GOOD HEALTH FOR LIVE PLANT MATERIAL.

PLANT MATERIAL SUBSTITUTION

NO SUBSTITUTION OF PLANT MATERIAL, TYPE OR SIZES WILL BE PERMITTED WITHOUT AUTHORIZATION FROM THE LANDSCAPE ARCHITECT.

PLANTING BED PREPARATION

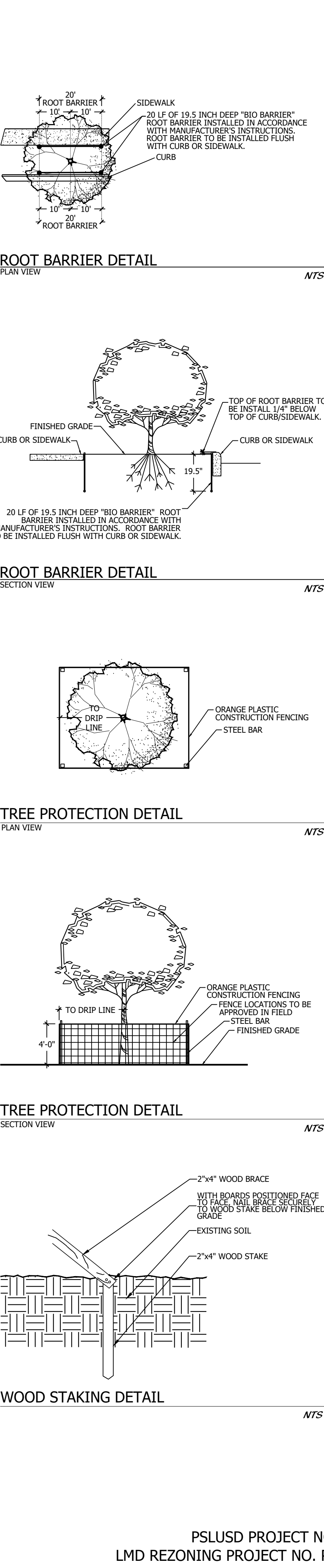
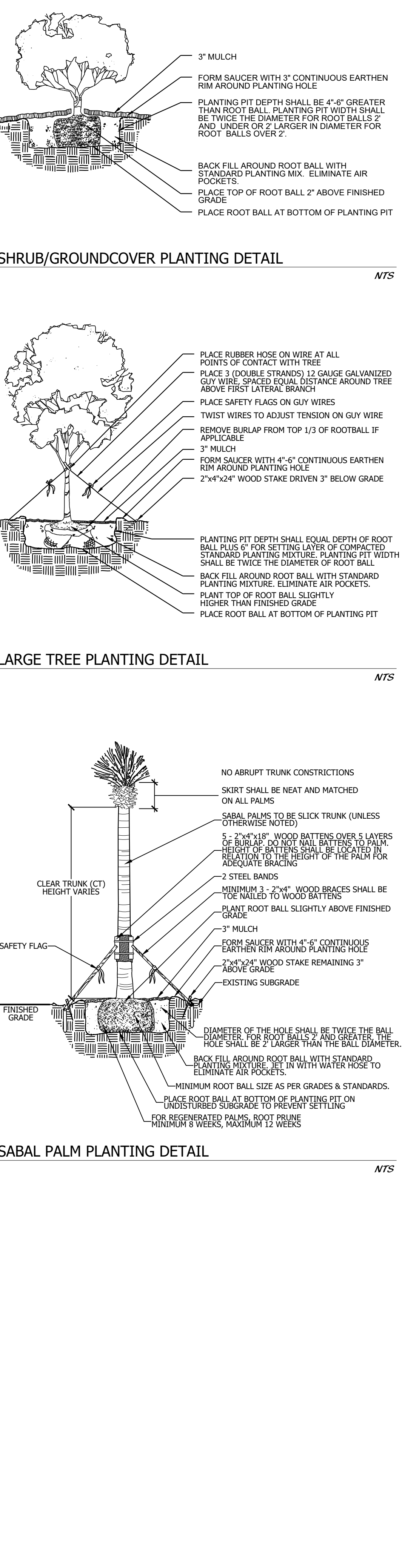
ALL PLANTING BEDS SHALL BE PROPERLY PREPARED PRIOR TO THE COMMENCEMENT OF ANY PLANTING. PLANTING AREAS, INCLUDING LAWNS SHALL BE FREE OF ALL WEEDS AND NUISANCE VEGETATION. IF TORPEDO GRASS (Panicum Repens) IS PRESENT OR ENCOUNTERED DURING PLANTING, THE LANDSCAPE CONTRACTOR SHALL STOP ALL PLANTING UNTIL IT CAN BE DEMONSTRATED THAT IT HAS BEEN COMPLETELY REMOVED OR ERADICATED. THERE SHALL BE NO EXCEPTIONS TO THIS PROVISION.

ALL LANDSCAPE ISLANDS AND BEDS WILL BE FREE OF SHELL ROCK AND CONSTRUCTION DEBRIS AND WILL BE EXCAVATED TO A DEPTH OF 30 INCHES OR TO CLEAN, NATIVE SOIL AND FILLED WITH THE SPECIFIED REPLACEMENT SOIL.

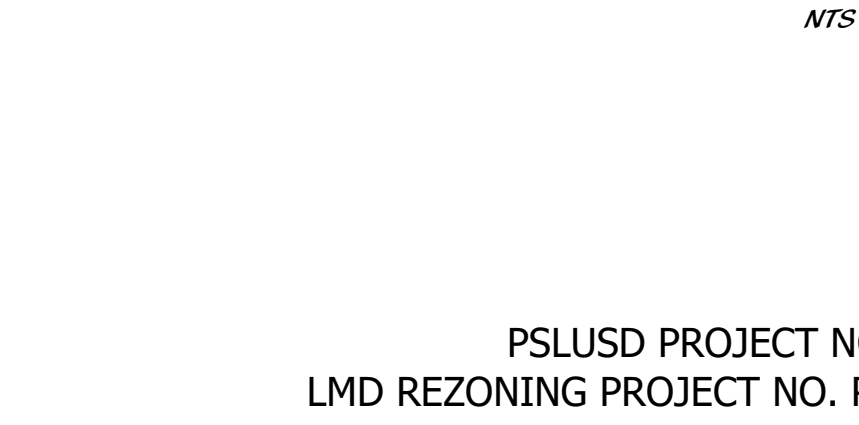
LANDSCAPE WARRANTY

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF SIX (6) MONTHS FROM THE DATE OF CONDITIONAL ACCEPTANCE IN WRITING FROM THE LANDSCAPE ARCHITECT. AT THE TIME OF CONDITIONAL ACCEPTANCE, THE SIX (6) MONTH PERIOD SHALL COMMENCE. ANY MATERIAL WHICH HAVE DIED OR DECLINED TO THE POINT WHERE THEY NO LONGER MEET FLORIDA #1 CONDITION DURING THIS PERIOD SHALL BE PROMPTLY REPLACED WITH SPECIMENS THAT MEET THE MINIMUM REQUIREMENTS CALLED FOR ON THE DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE DEATH OR DAMAGE RESULTING FROM ACTS OF GOD SUCH AS LIGHTNING, VANDALISM, AND AUTOMOBILES OR FROM NEGLIGENCE BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHERWISE MAINTAINING PLANTS UP TO THE CONDITIONAL ACCEPTANCE PERIOD, UNLESS A WRITTEN AGREEMENT WITH THE LANDSCAPE ARCHITECT PROVIDES FOR A DIFFERENT ARRANGEMENT.

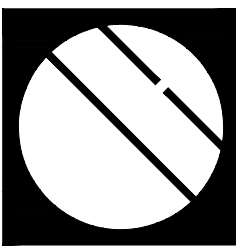
PLANTING DETAILS



WOOD STAKING DETAIL



PSLUSD PROJECT NO. 5292
LMD REZONING PROJECT NO. P22-337
SEU PROJECT NO. P22-338



Cotleur & Hearing


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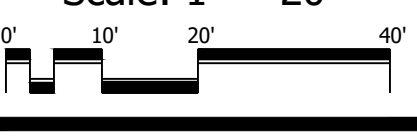
SW Greco Ln & SW Port St. Lucie Blvd.

Phase II Landscape Details

Port St. Lucie, Florida



Scale: 1" = 20'



DESIGNED	DEH
DRAWN	RO
APPROVED	DEH
JOB NUMBER	22-0928
DATE	11-04-22
REVISIONS	01-27-23
	07-22-24
	02-20-25
	10-25-24
	04-03-23
	01-09-25
	02-20-23
	02-27-25

February 27, 2025 1:00:2 p.m.
Drawing: 22-0928 LP.DWG

SHEET

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OF

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