

PLANT SCHEDULE PHASE 2B

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECS	FIELD2	FIELD4	FIELD5
	CE	113	Conocarpus erectus	Buttonwood	FG, 14' HT x 6" SPR, 3" C, SP, HO, 4" CT			
	QV4	60	Quercus virginiana	Southern Live Oak	FG, 16'-18' HT, 8" SPR, 4" C, SP, HO			
	SP	114	Sabal palmetto	Sabal Palm	FG, 10'-18' CT HT, HV CAL, SP, HC	10'-18' CT	HVY CAL, SP	Native
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECS			
	CHR	1,920	Chrysobalanus icaco 'Red Tip'	Red Tip Cocophlum	3G, 24" HT, 18" W, F, Native			

GENERAL LANDSCAPE NOTES:

- At least 50% of all required trees shall be of a native species.
- All plant material to be Florida No. 1 or better.
- All landscape & sod areas to be irrigated by an automated system that provides 100% coverage with 100% overlap with a minimum d.u. of .70.
- All landscaping at intersection and corners complies with Section 158.204 of the Port St Lucie Code of Ordinances to provide a clear sight zone between 2' - 6' above the final road crown elevation. All hedges and shrubs with in the 25' sight triangle will be maintained at a height no higher than 2' above the crown elevation of the road. In addition, the foliage line any tree within the 25' sight triangle will maintained at a height of no less than 6' above the road crown.
- Street tree locations may occur within 5' Landscape Easement as shown on civil engineering plans and may be adjusted based on final utility, sidewalk, and driveway locations.
- Where applicable, street trees requiring root barriers shall be installed per manufacturer specifications, see detail on sheet LA-8.
- Berm landscape to be field adjusted according to final grading and top of berm locations.
- Final cul-de-sac street tree locations to be determined on site.
- See Engineer's plans for all utility locations.

PSLUSD NOTES FOR LANDSCAPE PLANS

- All new landscaping within utility easements and within ten (10) feet of underground utility infrastructure shall comply with PSLUSD technical specifications, policies, and codes.
- No landscaping other than sod grasses may be planted within a 5' radius maintenance area of any utility appurtenances such as water meters, backflow devices, fire hydrants, sanitary sewer cleanouts, and manholes, air release valves, etc. Trees shall not be planted within ten (10) feet of any underground infrastructure.
- No landscaping shall be planted in such a manner as to adversely affect utility installation, operation and maintenance.

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STREET TREE DATA

Required Street Tree Credits per PSL Code Section 156.121: 2,825 lf @ 2 x (1 tree per 50 lf)	113
Proposed Trees 14'x6": Conocarpus erectus 'Green Buttonwood' FG 14' HT x 6" SPR, 3" C, SP, HO	113

PERIMETER LANDSCAPE DATA

Required Perimeter Tree Credits per PSL Code 2,578 lf (1 tree per 30 lf)	86
2,578 lf (1 shrub per 2 lf)	1,289
Proposed Trees:	98
Live Oak FG 14' HT x 6" SPR, 3" C, SP, HO	60
(including 114 palms @ 3:1)	38
Proposed Shrubs:	1,865

*Location of street trees may vary due to the location of driveways and field verification of underground utilities

Key / Location:



Project Team:

Client & Property Owner:	Mattamy Homes, LLC 1500 Gateway Blvd, Suite 220 Boynton Beach, FL 33426
Landscape Architect:	Lucido & Associates 701 E Ocean Boulevard Stuart, FL 34994
Engineer:	Kimley Horn 445 24th Street, Suite 200 Vero Beach, FL 32960

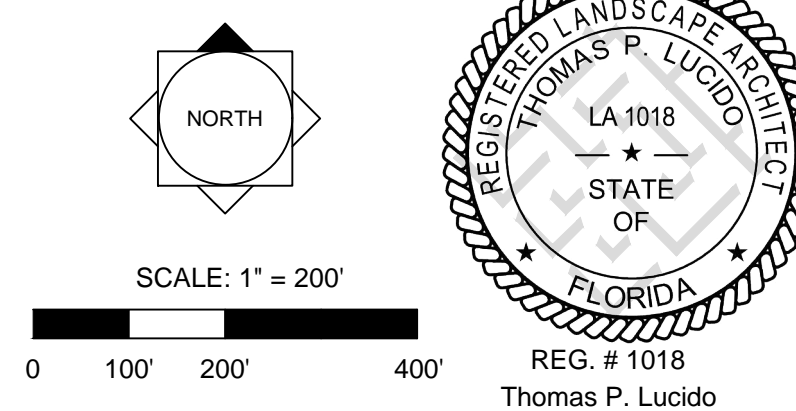
Pulte at Tradition
Phase 2B
Landscape Plan

Port St. Lucie, Florida
June 16, 2021

Cover Sheet

City of Port St. Lucie P21-137
PSLUD No. 5308D

Date	By	Description
10/08/21	SAW	Response to SPRC comments
12/03/21	MRY	Response to SPRC comments
10/18/22	MRY	Add gate detail and shrubs
12/2/22	MRY	Adjust tree quantities/data



SCALE: 1" = 200'
0 100' 200' 400'

Designer	JJ	Sheet	CV
Manager	SG		
Project Number	17-640		
Municipal Number	P21-137		
Computer File	17-640 Pulte at Tradition - Phase 2B - Code I		

Key / Location:



Project Team:

Client & Property Owner: Mattamy Homes, LLC
 1500 Gateway Blvd, Suite 220
 Boynton Beach, FL 33426

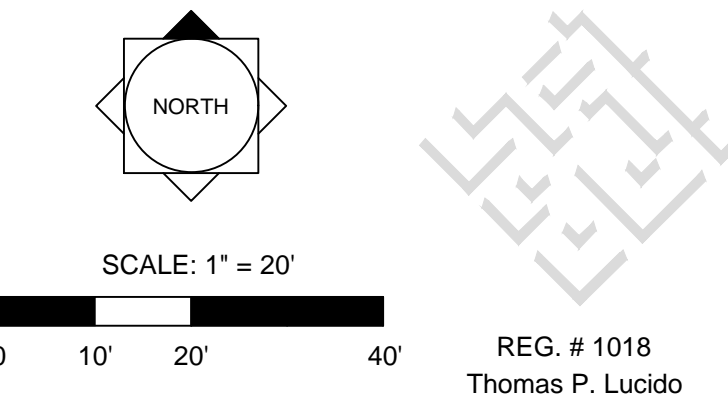
Landscape Architect: Lucido & Associates
 701 E Ocean Boulevard
 Stuart, FL 34994

Engineer: Kimley Horn
 445 24th Street, Suite 200
 Vero Beach, FL 32960

**Pulte at Tradition
 Phase 2B
 Landscape Plan**

Port St. Lucie, Florida
 June 16, 2021
Landscape Plan
 City of Port St. Lucie P21-137
 PSLUD No. 5308D

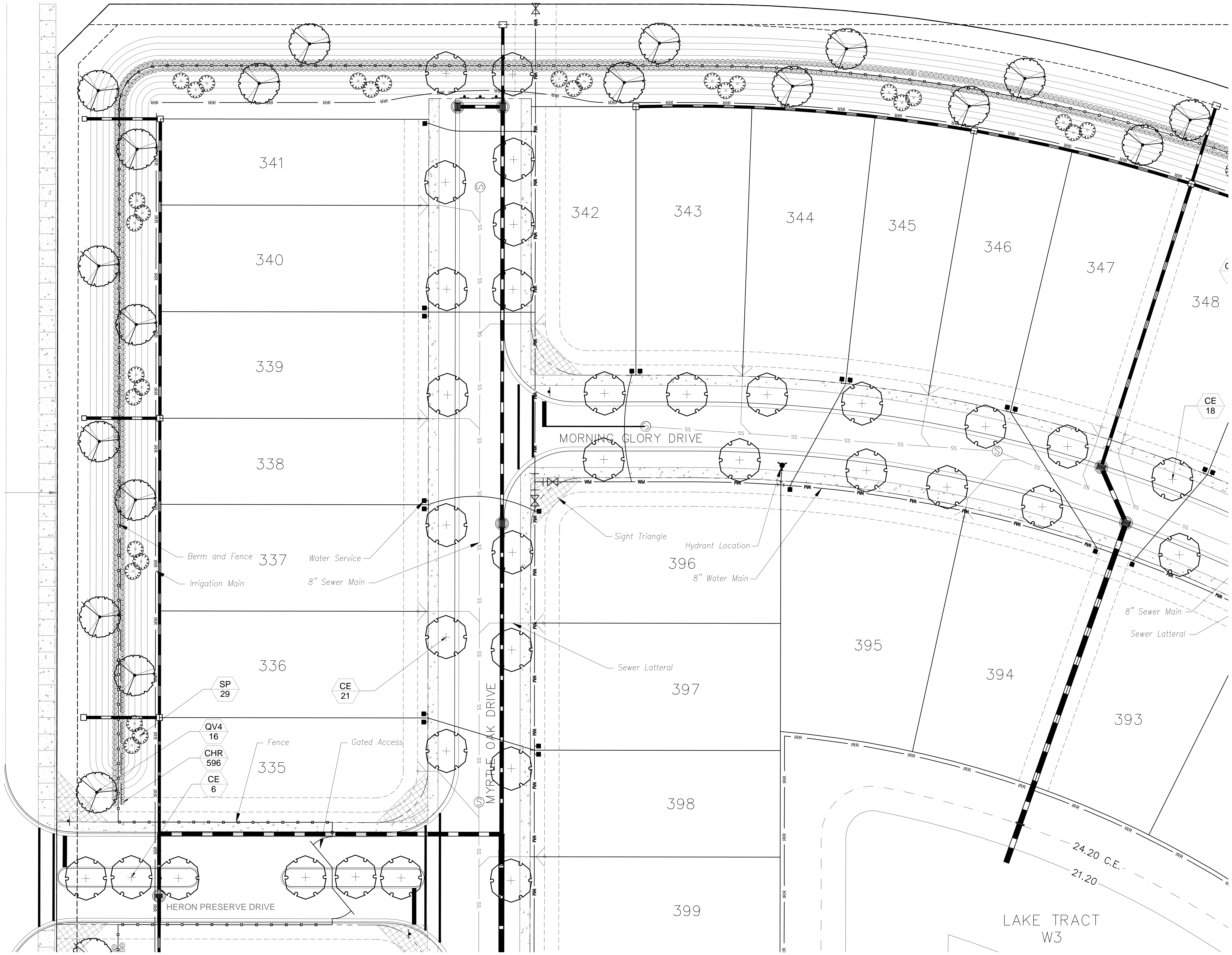
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Designer JJ
 Manager SG
 Project Number 17-640
 Municipal Number P21-137
 Computer File 17-640 Pulte at Tradition - Phase 2B - Code I

Sheet
LA-1

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Drawing Name: C:\Users\myates\appdata\local\temp\AcPublish_32312\ Dec 02, 2022 - 10:02am 17-640 Pulte at Tradition - Phase 2B - Code Landscape.dwg

Key / Location:



Project Team:

Client & Property Owner: Mattamy Homes, LLC
 1500 Gateway Blvd, Suite 220
 Boynton Beach, FL 33426

Landscape Architect: Lucido & Associates
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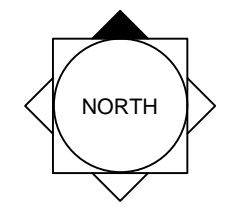
**Pulte at Tradition
 Phase 2B
 Landscape Plan**

Port St. Lucie, Florida
 June 16, 2021

Landscape Plan

City of Port St. Lucie P21-137
 PSLUD No. 5308D

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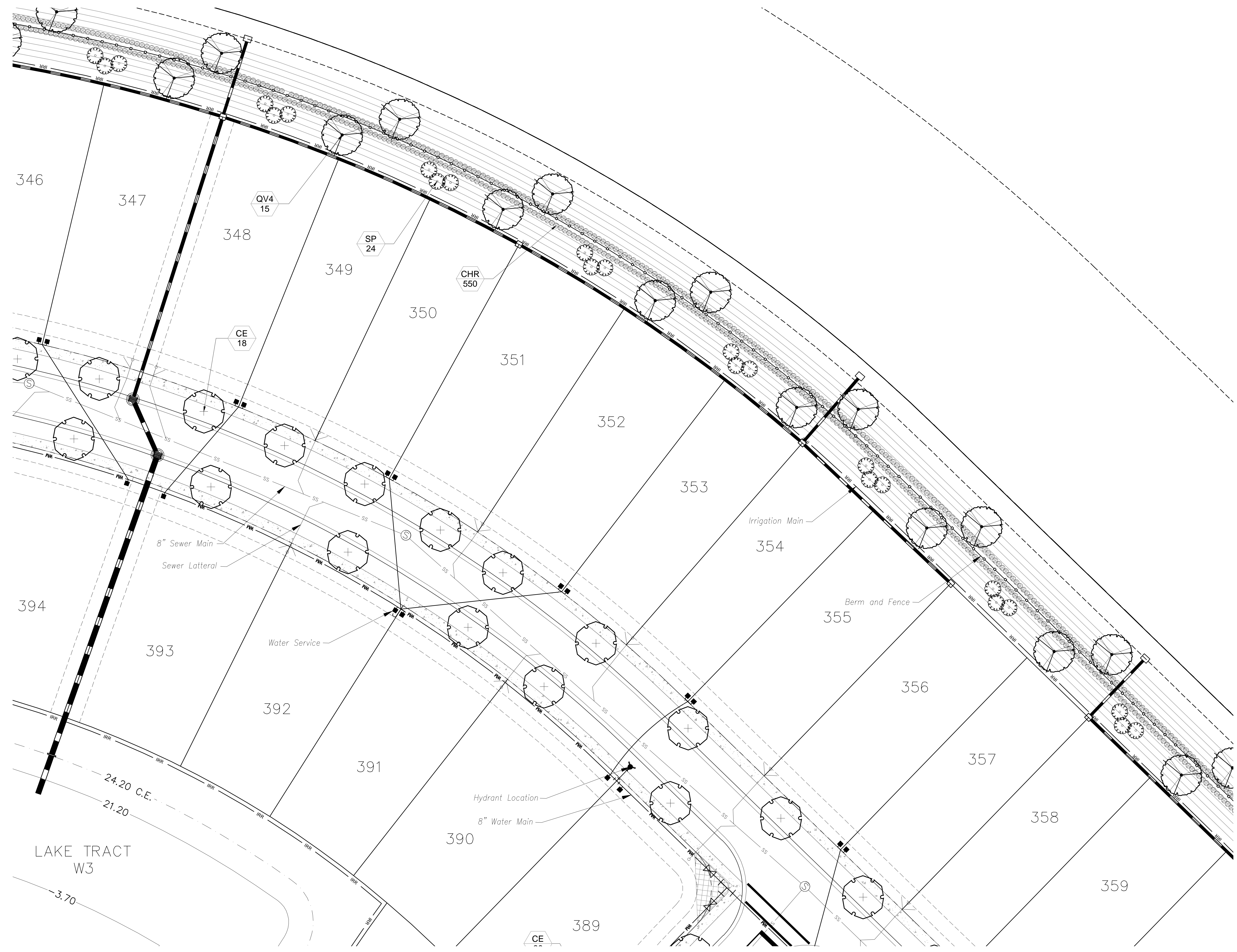


REG. # 1018
 Thomas P. Lucido

Designer JJ Sheet
 Manager SG
 Project Number 17-640
 Municipal Number P21-137
 Computer File 17-640 Pulte at Tradition - Phase 2B - Code I

LA-2

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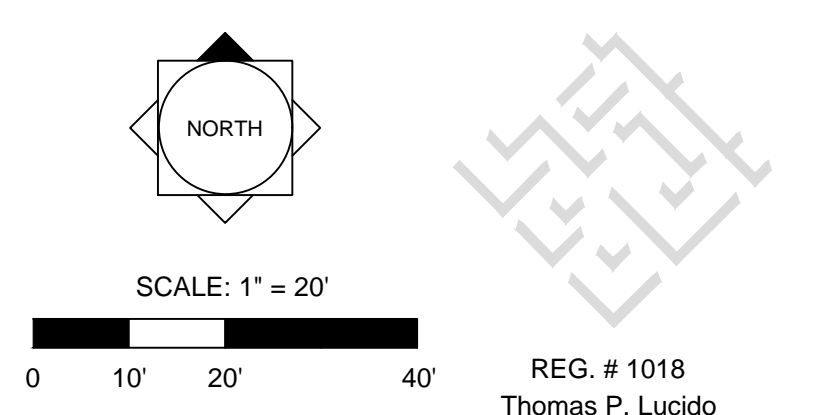
Landscape Architect: Lucido & Associates
 701 E Ocean Boulevard
 Stuart, FL 34994

Engineer: Kimley Horn
 445 24th Street, Suite 200
 Vero Beach, FL 32960

**Pulte at Tradition
 Phase 2B
 Landscape Plan**

Port St. Lucie, Florida
 June 16, 2021
Landscape Plan
 City of Port St. Lucie P21-137
 PSLUD No. 5308D

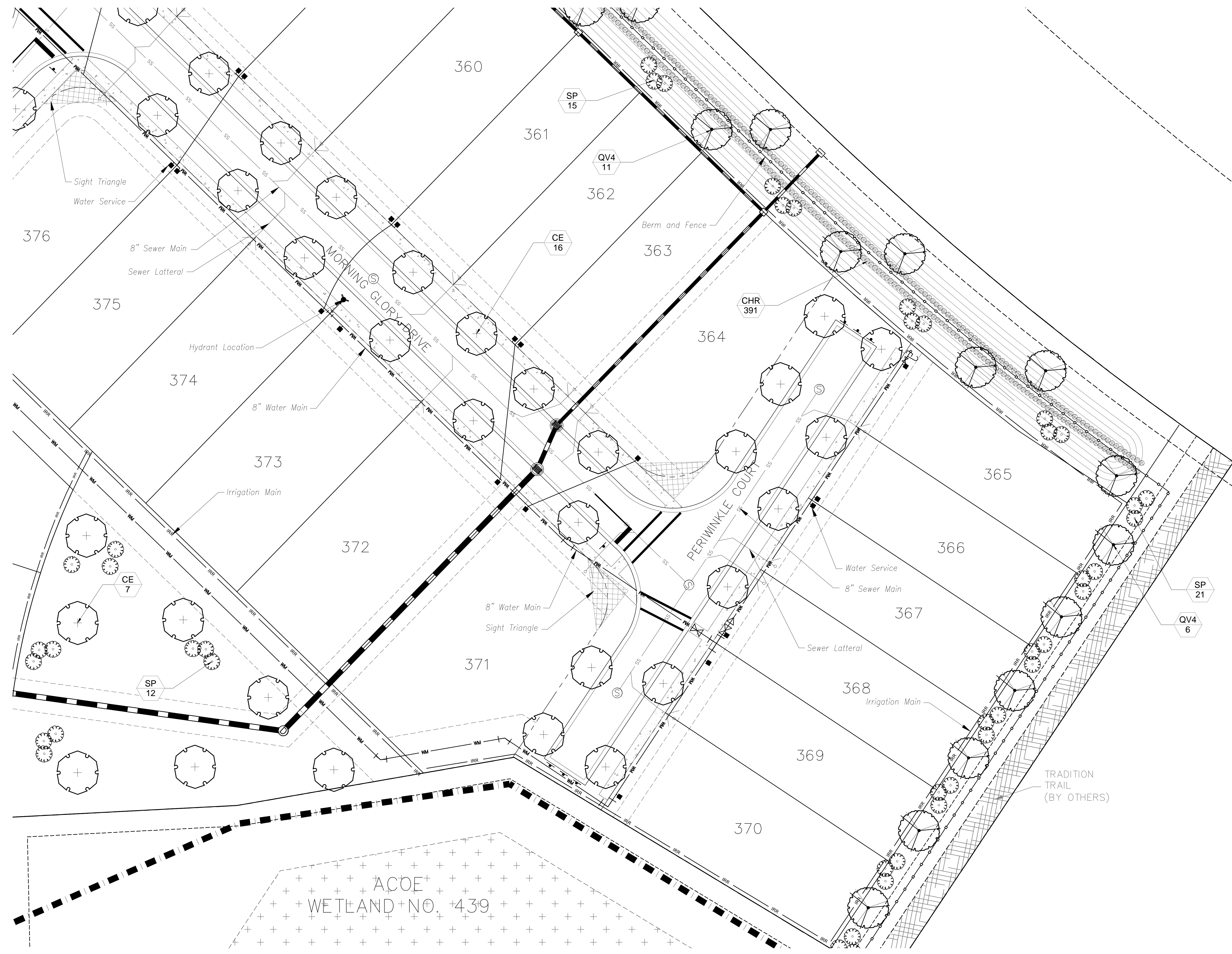
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Designer JJ
 Manager SG
 Project Number 17-640
 Municipal Number P21-137
 Computer File 17-640 Pulte at Tradition - Phase 2B - Code I

Sheet
LA-3

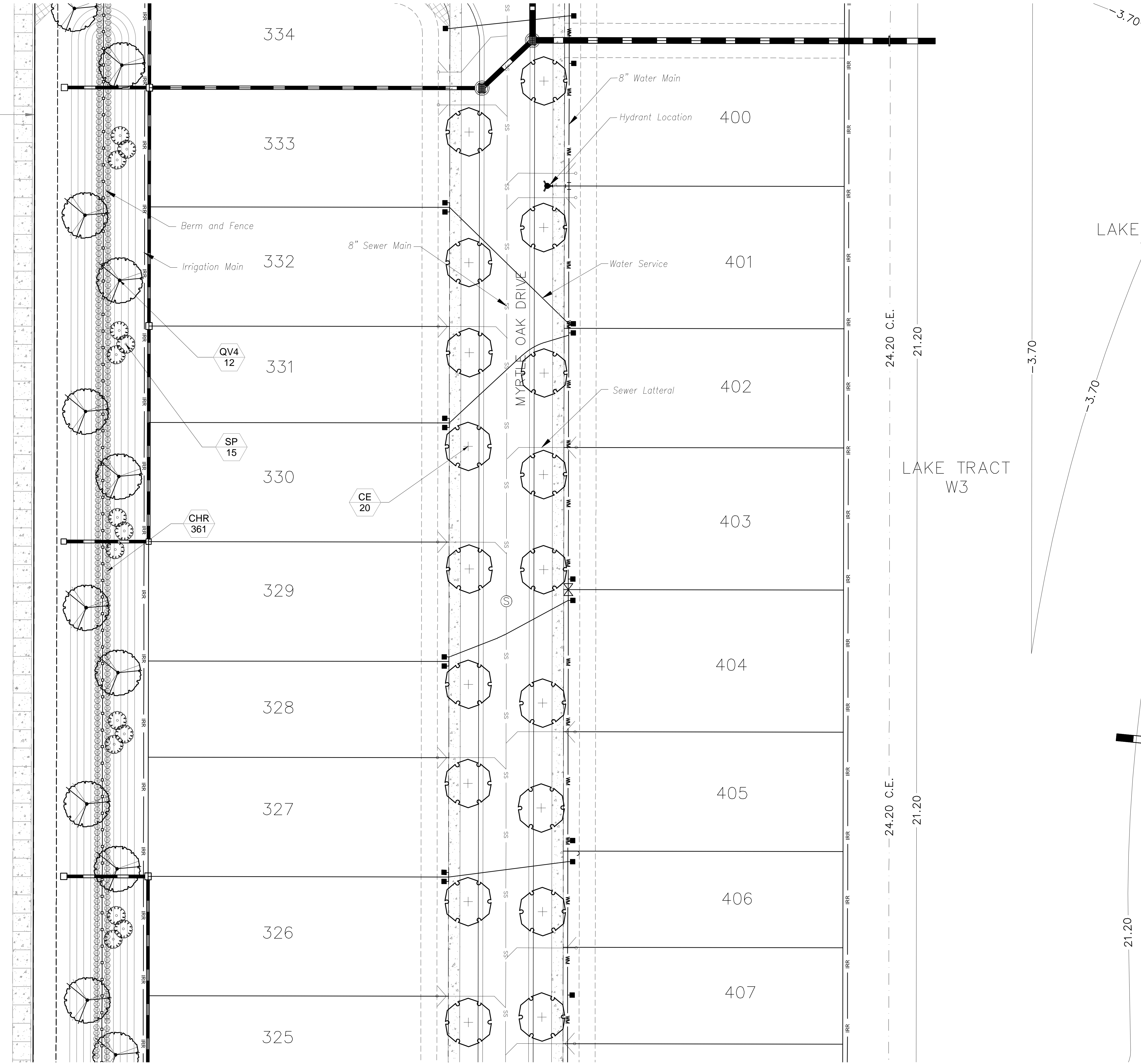
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150' R/W
 SW COMMUNITY BLVD
 (105' R/W)



Key / Location:

PROJECT LOCATION

N.T.S.

Project Team:

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**Pulte at Tradition
 Phase 2B
 Landscape Plan**

Port St. Lucie, Florida
 June 16, 2021
 Landscape Plan
 City of Port St. Lucie P21-137
 PSLUD No. 5308D

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NORTH

SCALE: 1" = 20'

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 Thomas P. Lucido

Designer JJ
 Manager SG
 Project Number 17-640
 Municipal Number P21-137
 Computer File 17-640 Pulte at Tradition - Phase 2B - Code I

Sheet
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Key / Location:

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N.T.S.

Project Team:

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 445 24th Street, Suite 200
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Pulte at Tradition Phase 2B Landscape Plan

Port St. Lucie, Florida
 June 16, 2021
 Landscape Plan
 City of Port St. Lucie P21-137
 PSLUD No. 5308D

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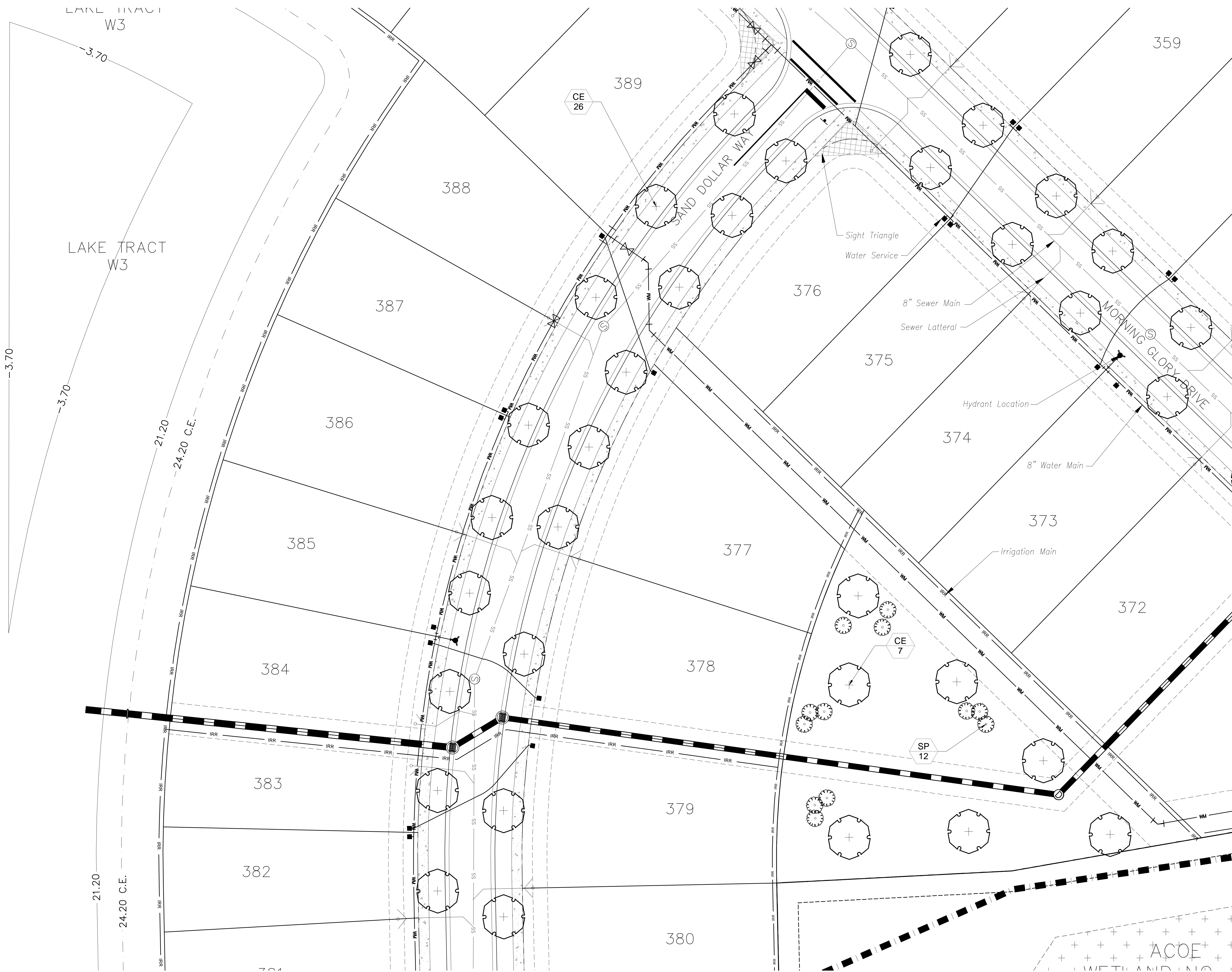
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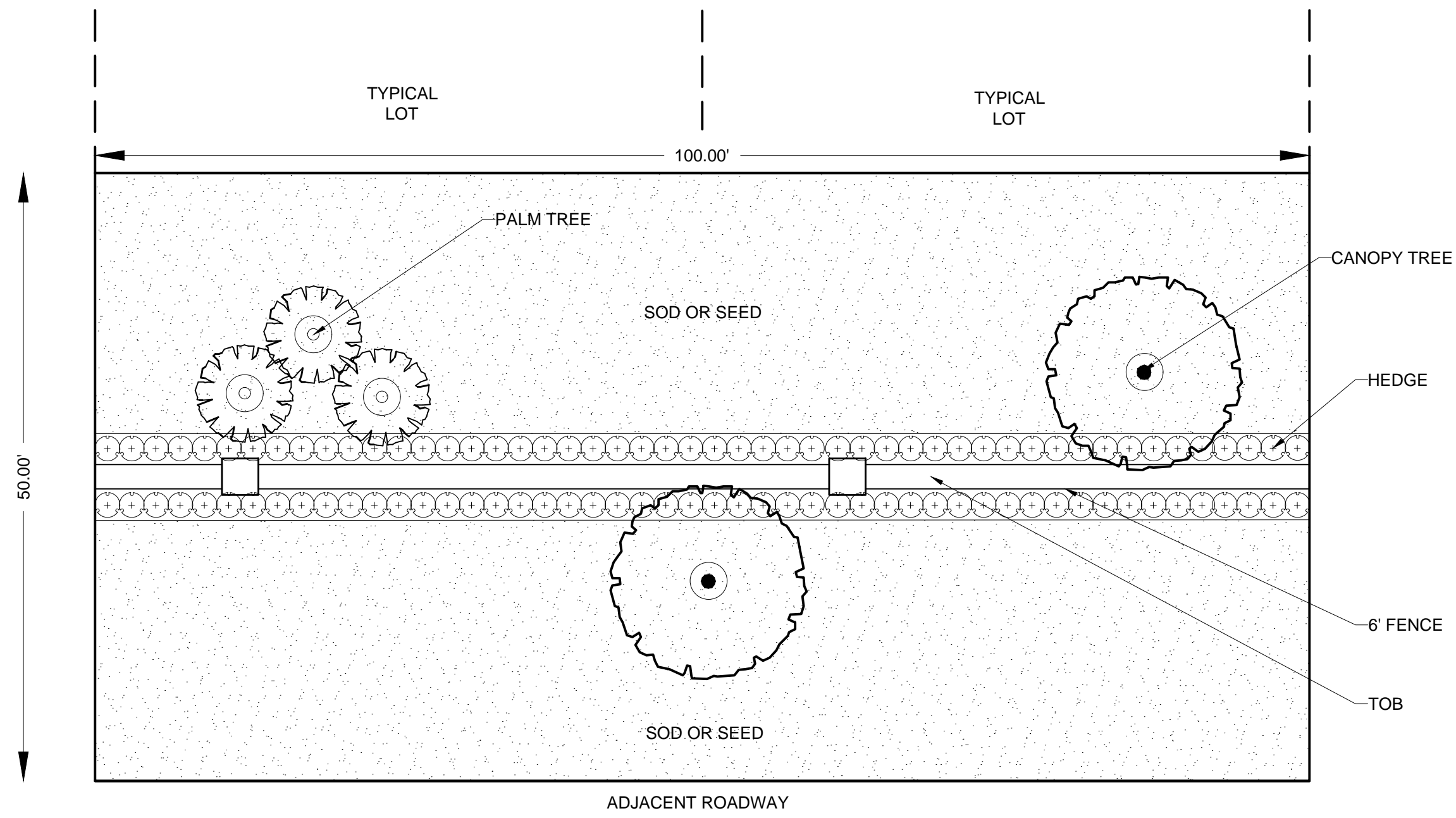
REG. # 1018
 Thomas P. Lucido

Designer JJ
 Manager SG
 Project Number 17-640
 Municipal Number P21-137
 Computer File 17-640 Pulte at Tradition - Phase 2B - Code I

Sheet
LA-5

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PLANT SCHEDULE TYPICAL BUFFER

TREES	QTY	BOTANICAL NAME	COMMON NAME	SPECS	FIELD2
	2	Quercus virginiana	Southern Live Oak	FG, 16'-18' HT, 8' SPR, 4" C, SP, HO	14' HT
	3	Sabal palmetto	Sabal Palm	FG, 10'-18' CT HT, HV CAL, SP, HC	10'-18' CT
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SPECS	
	100	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	3G, 24" HT, 18" W, F, Native	

Key / Location:



Project Team:

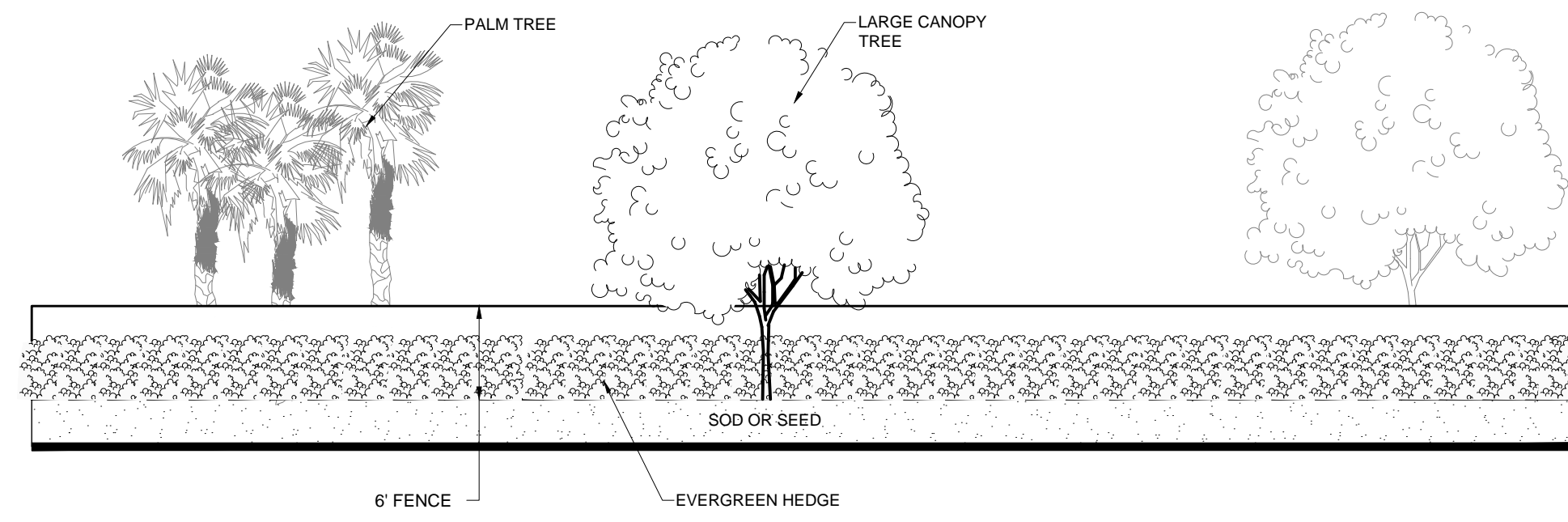
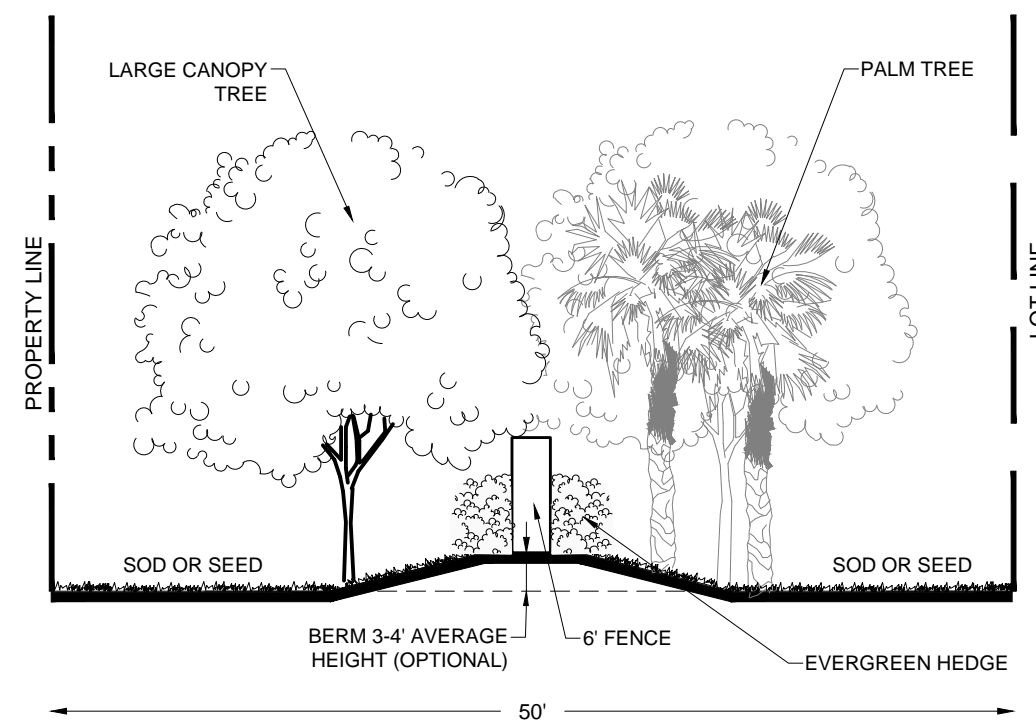
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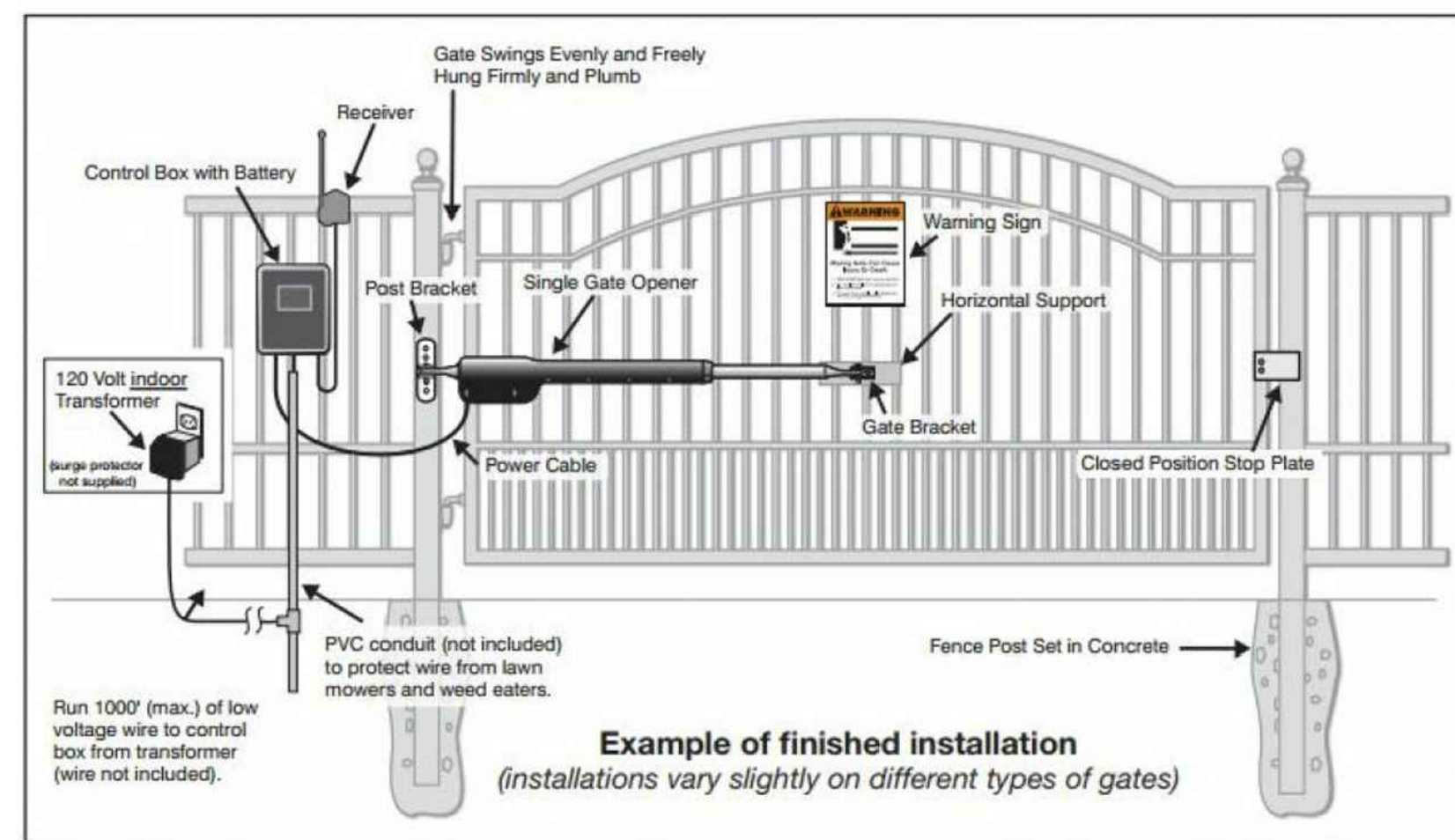
Typical 100' Landscape Buffer
 Scale: 1" = 10'-0"

Typical 100' Landscape Buffer Plant List
 Scale: 1" = 10'-0"

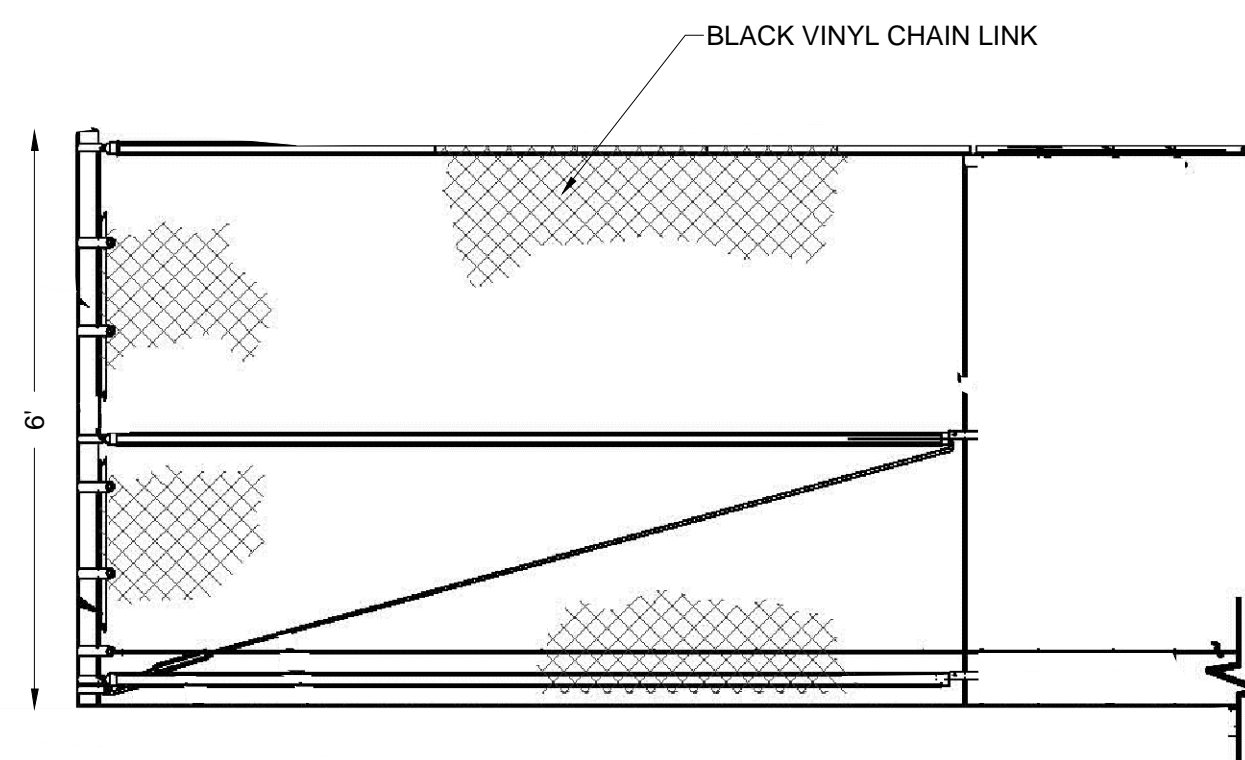


Typical Landscape Buffer Section
 Scale: 1" = 10'-0"

Typical Landscape Buffer Elevation
 Scale: 1" = 10'-0"



Typical Gate Detail
 Scale: NTS
 FINAL GATE DESIGN IS INTENDED TO MATCH GATE AT MAIN ENTRANCE



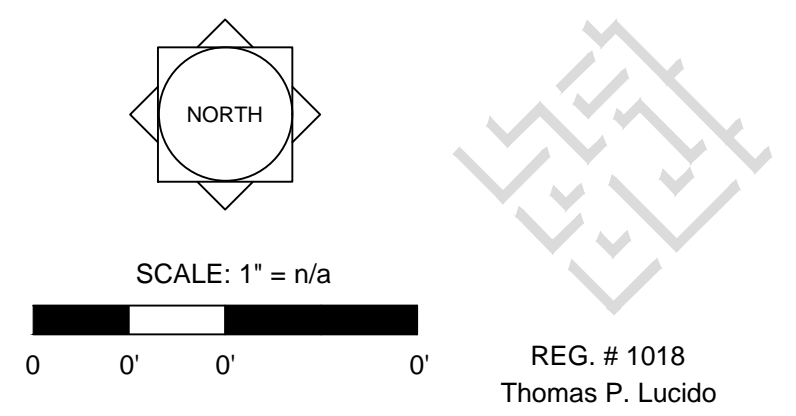
Typical Chain Link Fence Detail
 Scale: 1/2" = 1'-0"

NOTES:
 OPTIONAL DESIGN ELEMENTS SUCH AS BERM ELEVATION, FENCE OR WALL, AND SPECIES SUBSTITUTIONS WILL BE PROVIDED AT TIME OF FINAL PLAT.

Pulte at Tradition
 Phase 2B
 Landscape Plan

Port St. Lucie, Florida
 June 16, 2021
 Typical Buffer
 Landscape Plan
 City of Port St. Lucie P21-137
 PSLUD No. 5308D

Date	By	Description
10/08/21	SAW	Response to SPRC comments
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12/2/22	MRY	Adjust tree quantities/data



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 Thomas P. Lucido

Designer JJ Sheet
 Manager SG
 Project Number 17-640
 Municipal Number P21-137
 Computer File 17-640 Pulte at Tradition - Phase 2B - Code I

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Key / Location:



Project Team:

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 1500 Gateway Blvd., Suite 220
 Boynton Beach, FL 33426

Landscape Architect: Lucido & Associates
 701 E Ocean Boulevard
 Stuart, FL 34994

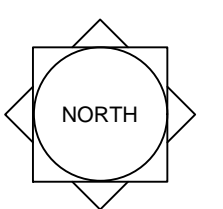
Engineer: Kimley Horn
 445 24th Street, Suite 200
 Vero Beach, FL 32960

**Pulte at Tradition
 Phase 2B
 Landscape Plan**

Port St. Lucie, Florida
 June 16, 2021
 Typical Lot
 Landscape Plans

City of Port St. Lucie P21-137
 PSLUD No. 5308D

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10/08/21	SAW	Response to SPRC comments
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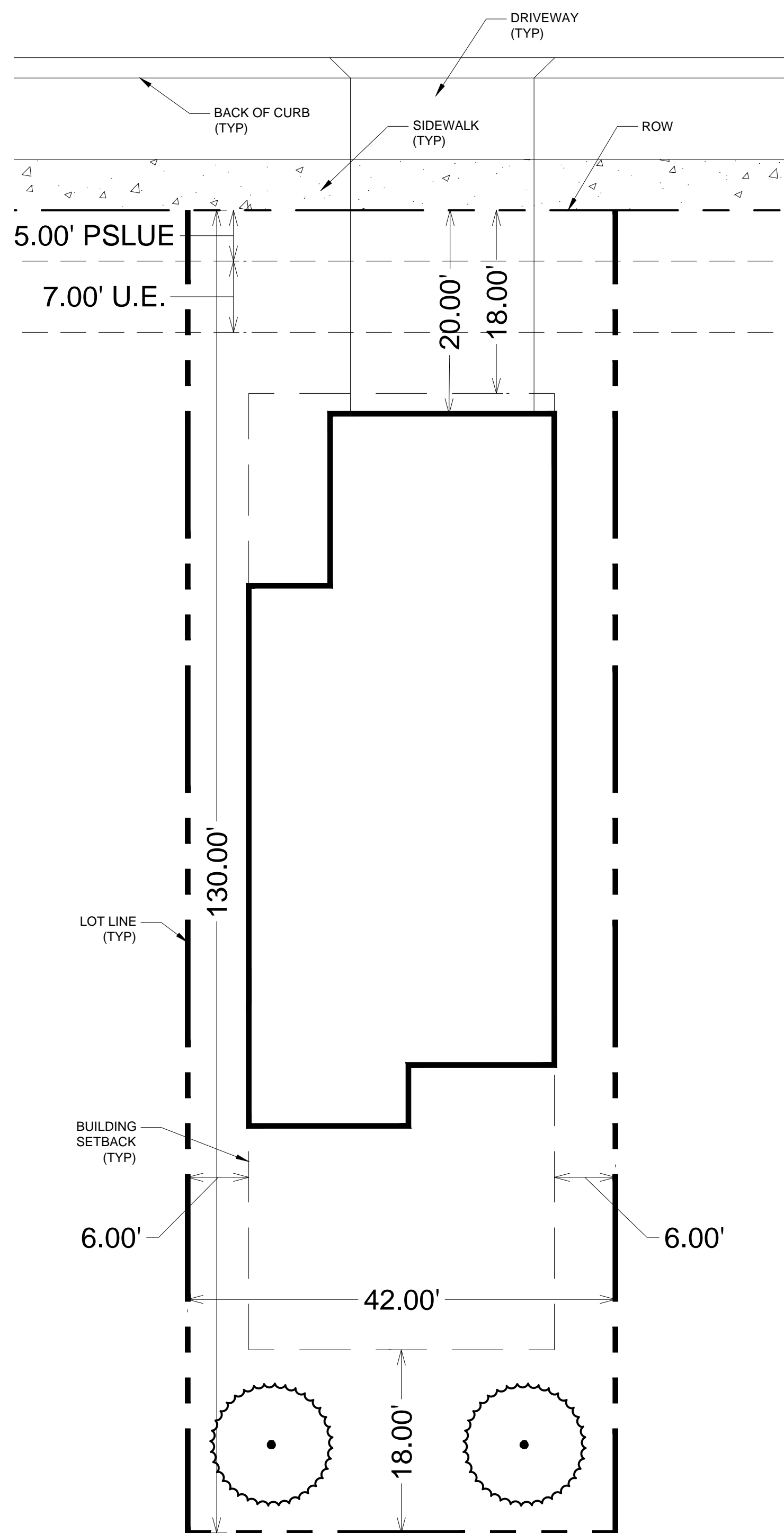


SCALE: 1" = n/a
 0' 0' 0'



REG. # 1018
 Thomas P. Lucido

Designer JJ Sheet
 Manager SG
 Project Number 17-640
 Municipal Number P21-137
 Computer File 17-640 Pulte at Tradition - Phase 2B - Code I



LANDSCAPE CALCULATIONS PER PUD - 42' LOT:

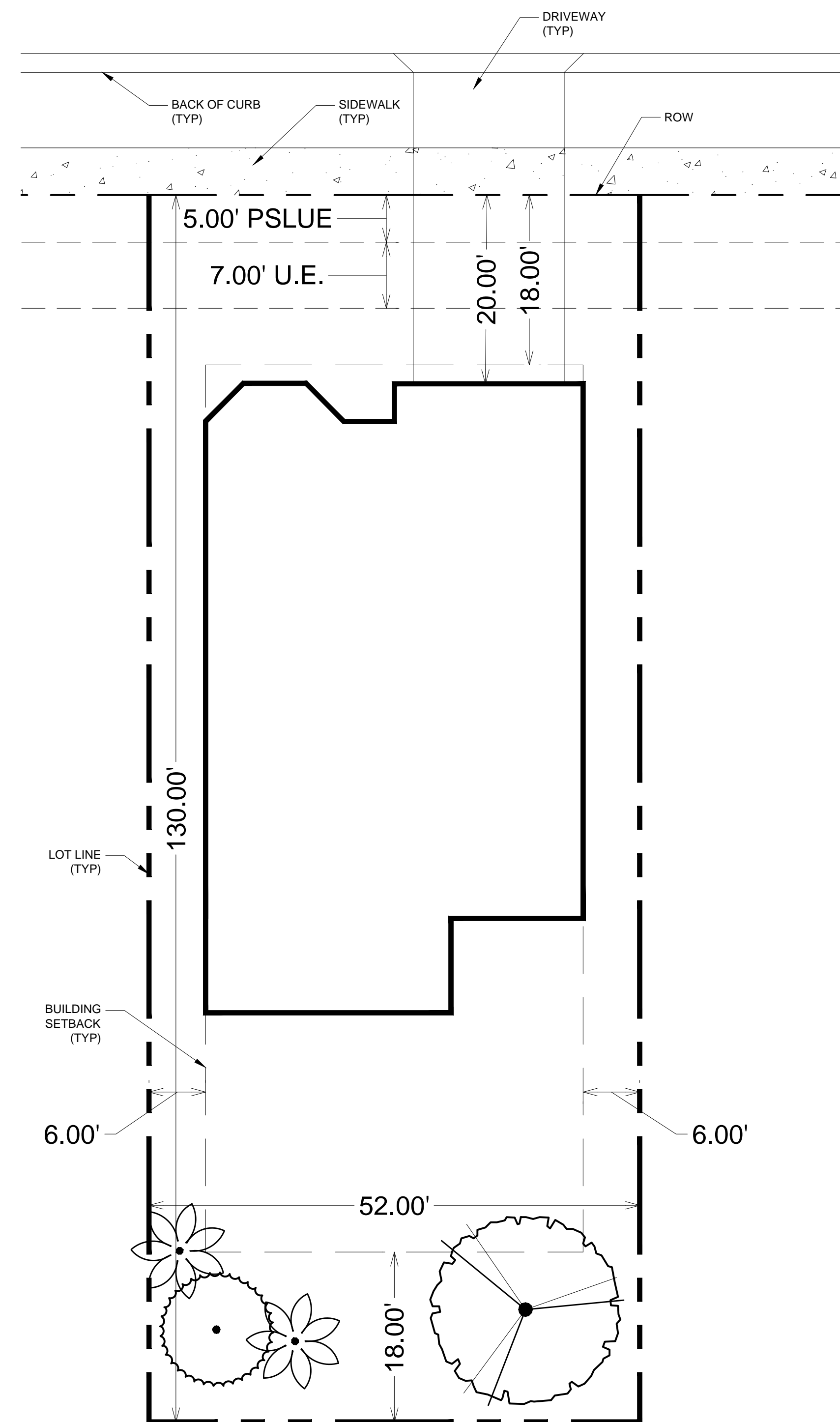
Single Family Dwelling Unit: Under 6,000 SF Lot Area
 Lots less than 6,000 sq. ft. shall provide two (2) trees.

Total Trees Required = 2
 Trees Provided = *2 Trees

*TREE SPECIES

Refer to Appendix C - City of Port St. Lucie Suggested Tree List of Chapter 154 Standards of the Port St. Lucie Land Development Code for acceptable tree species. Tree examples include:

- Quercus virginiana (live oak)
- Ilex x attenuata 'Eagleston' ('Eagleston holly')
- Magnolia grandiflora 'Little Gem' ('Little Gem' magnolia)



LANDSCAPE CALCULATIONS PER PUD - 52' LOT:

Single Family Dwelling Unit: Lots From 6,000 to 7,500 sq. ft.
 Lots from 6,000 to 7,500 sq. ft. shall provide three (3) trees.

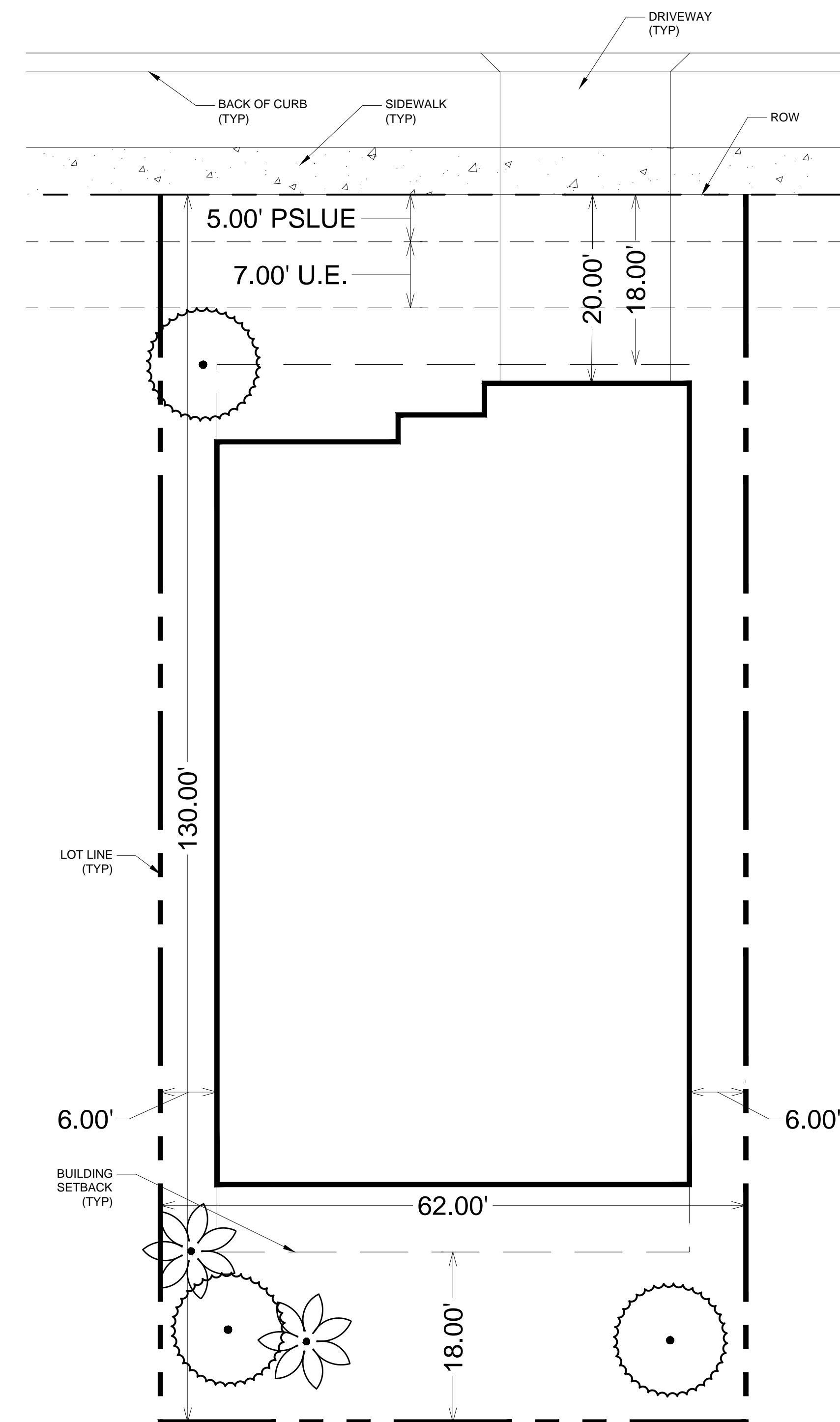
Total Trees Required = 3
 Trees Provided = *3 Trees (1 Palm Credit)

GENERAL LANDSCAPE NOTES - TYPICAL LOT LANDSCAPE PLAN:

1. 100% of all required trees on lots shall be of a native species.
2. All plant material to be Florida No. 1 or better.
3. All landscape & sod areas to be irrigated by an automated system that provides 100% coverage with 100% overlap with a minimum d.u. of .70.

PSLUSD NOTES FOR LANDSCAPE PLANS

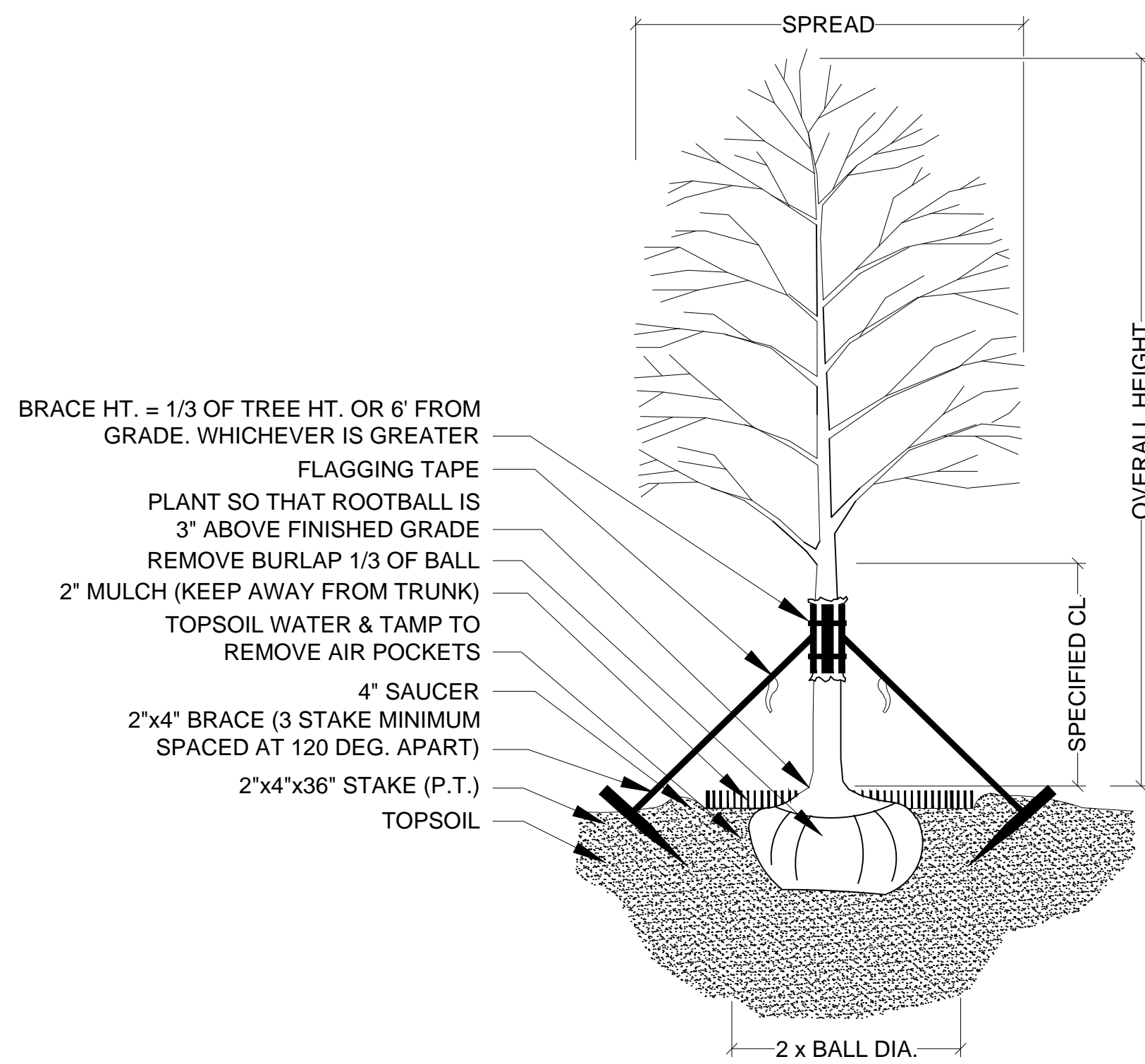
1. All new landscaping within utility easements and within ten (10) feet of underground utility infrastructure shall comply with PSLUSD technical specifications, policies, and codes.
2. No landscaping other than sod grasses may be planted within a 5' radius maintenance area of any utility appurtenances such as water meters, backflow devices, fire hydrants, sanitary sewer cleanouts, and manholes, air release valves, etc. Trees shall not be planted within ten (10) feet of any underground infrastructure.
3. No landscaping shall be planted in such a manner as to adversely affect utility installation, operation and maintenance.



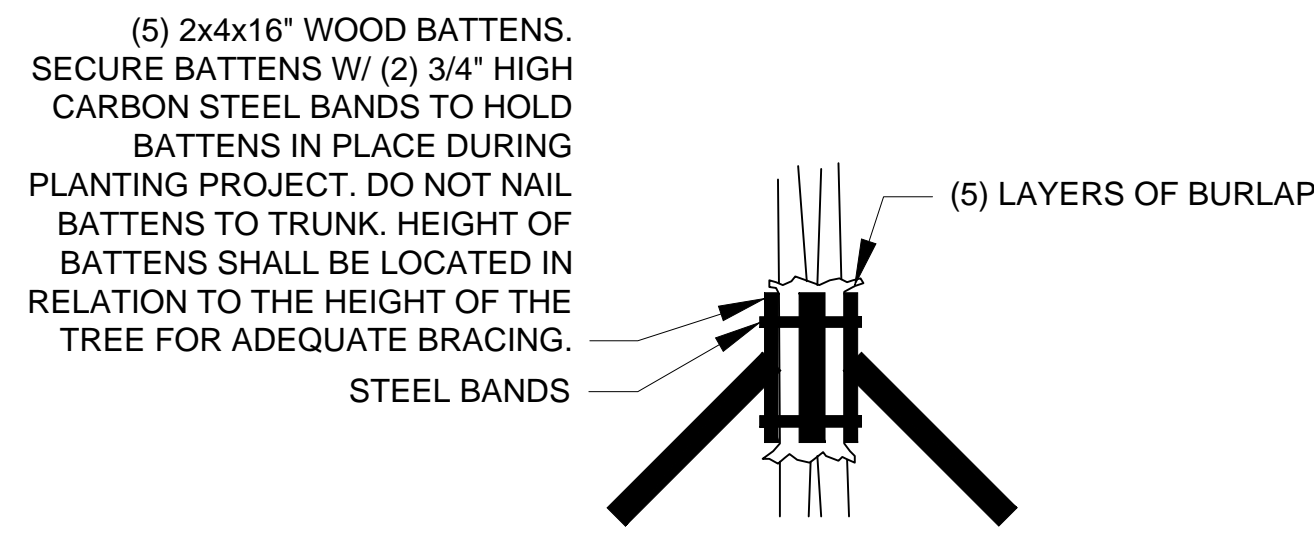
LANDSCAPE CALCULATIONS PER PUD - 62' LOT:

Single Family Dwelling Unit: Lots Over 7,500 sq. ft.
 Lots over 7,500 sq. ft. shall provide four (4) trees.

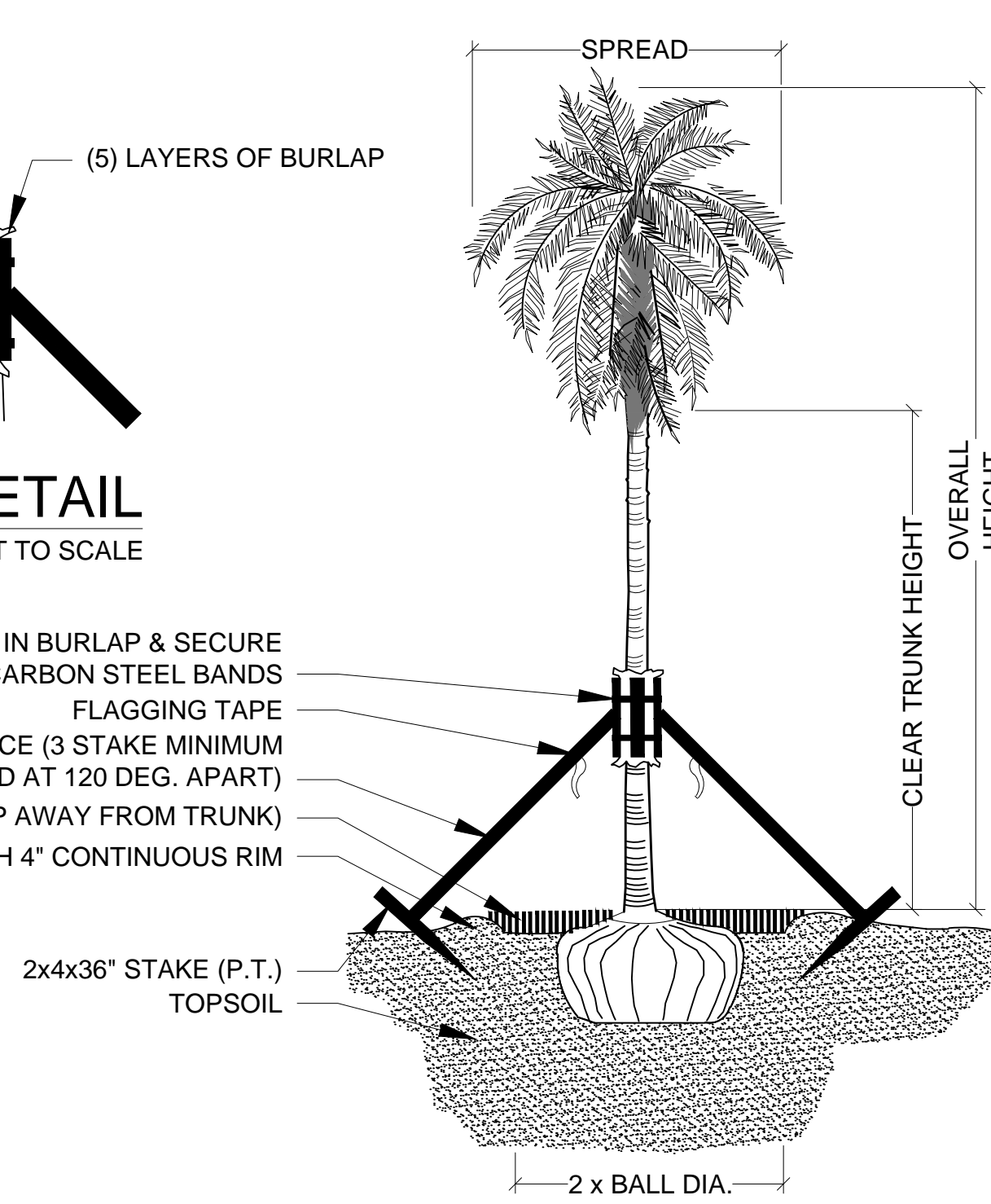
Total Trees Required = 4
 Trees Provided = *4 Trees (1 Palm Credit)



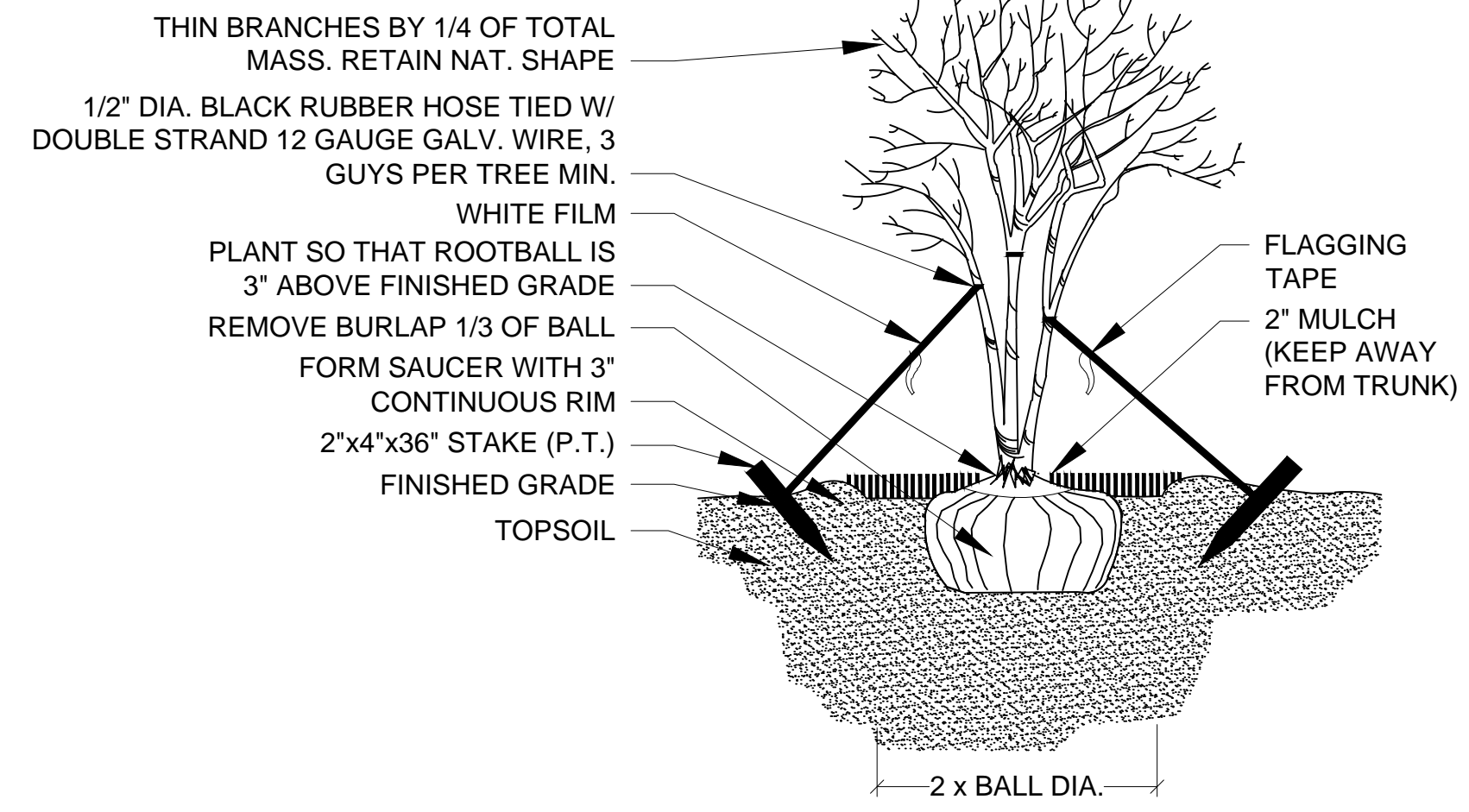
TREE PLANTING & STAKING
NOT TO SCALE



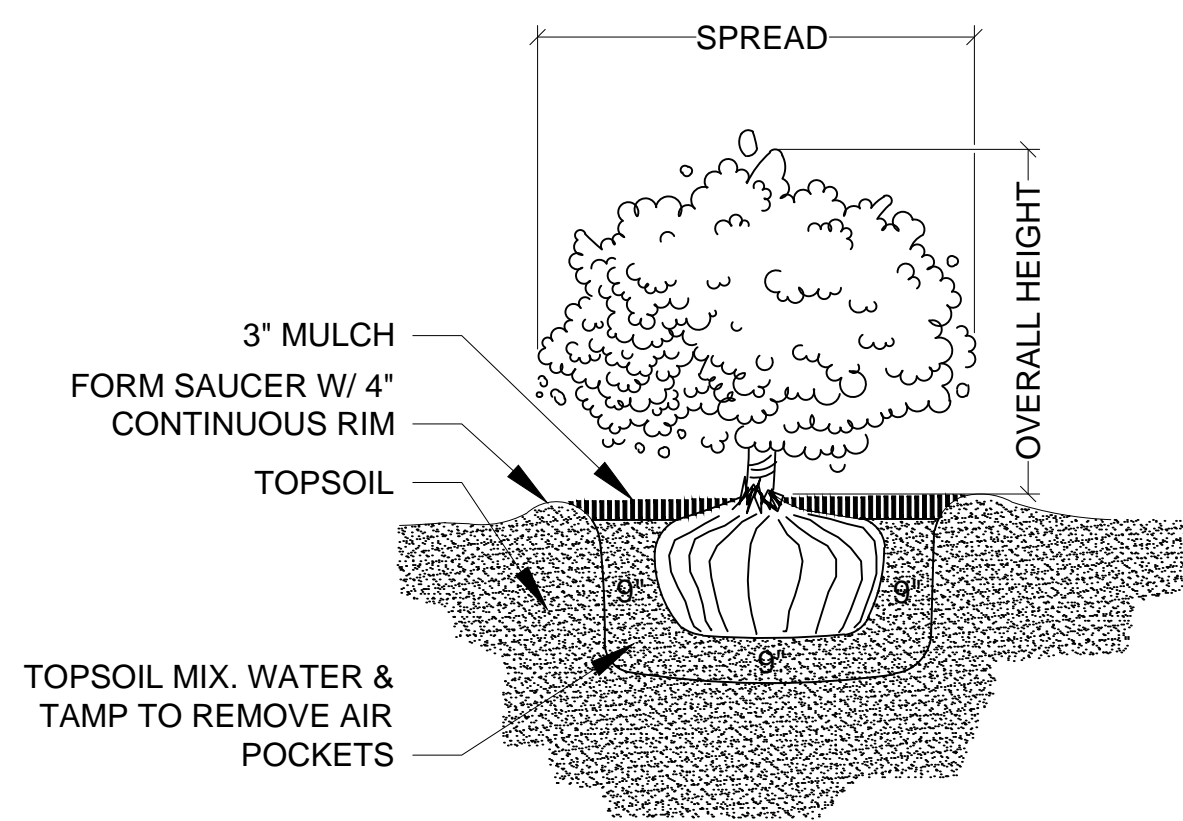
BRACING DETAIL
NOT TO SCALE



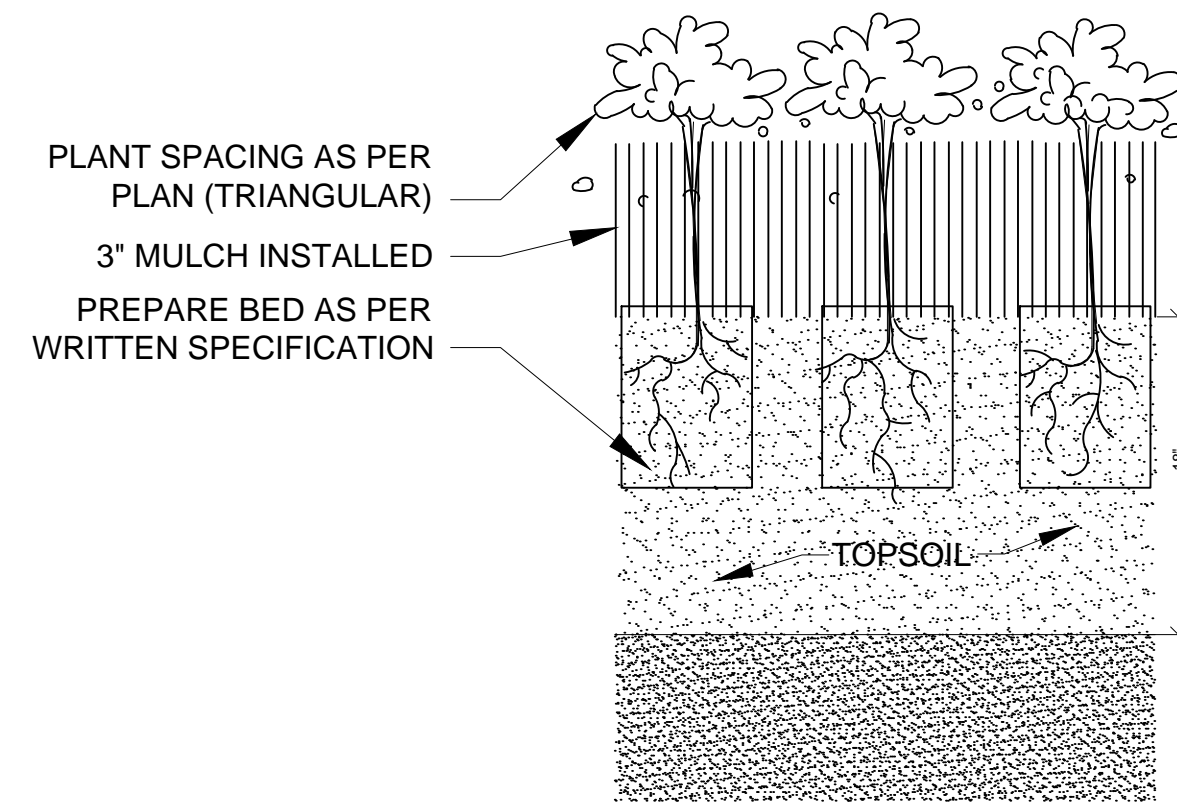
PALM PLANTING - ANGLE STAKE
NOT TO SCALE



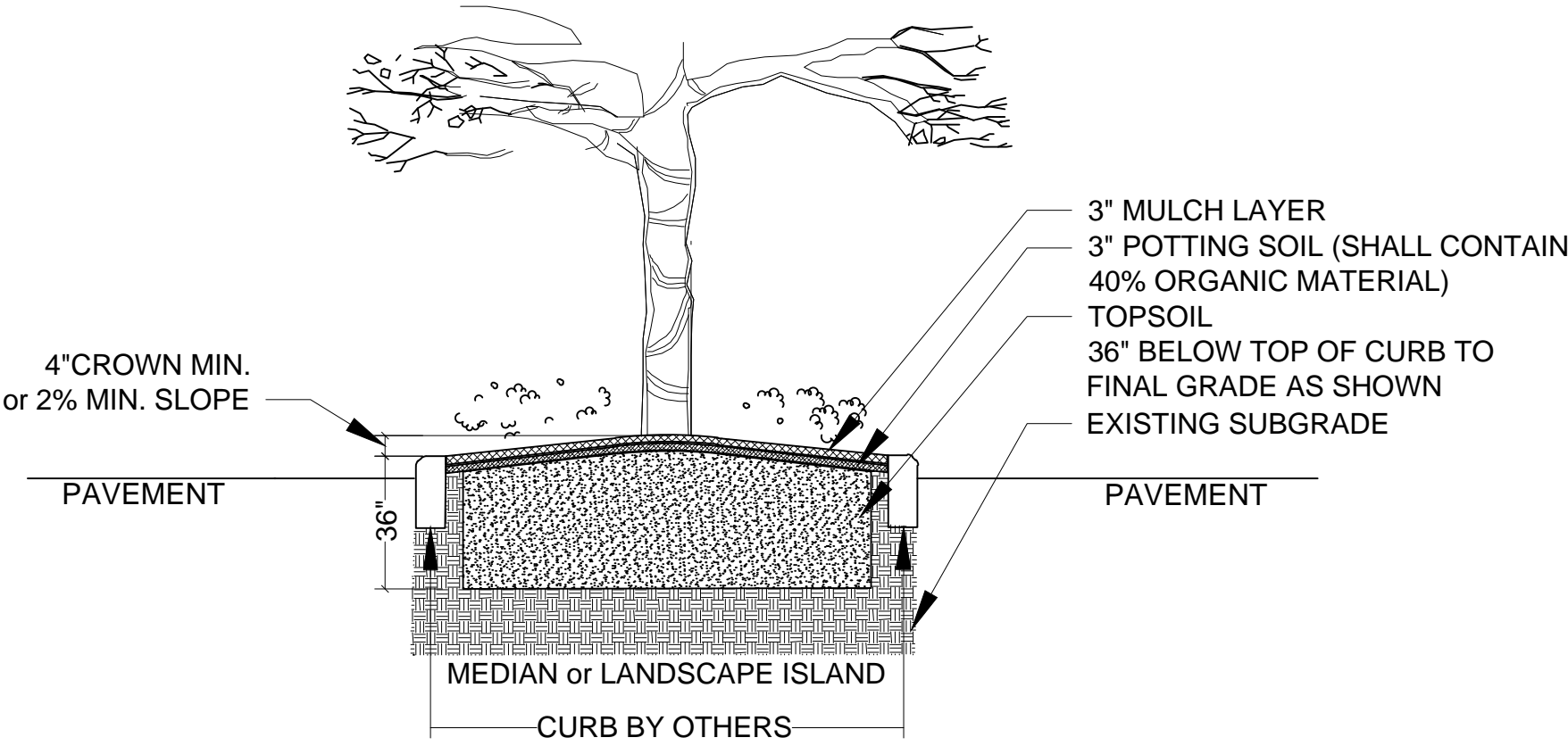
MULTI-TRUNK PLANTING & GUYING
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



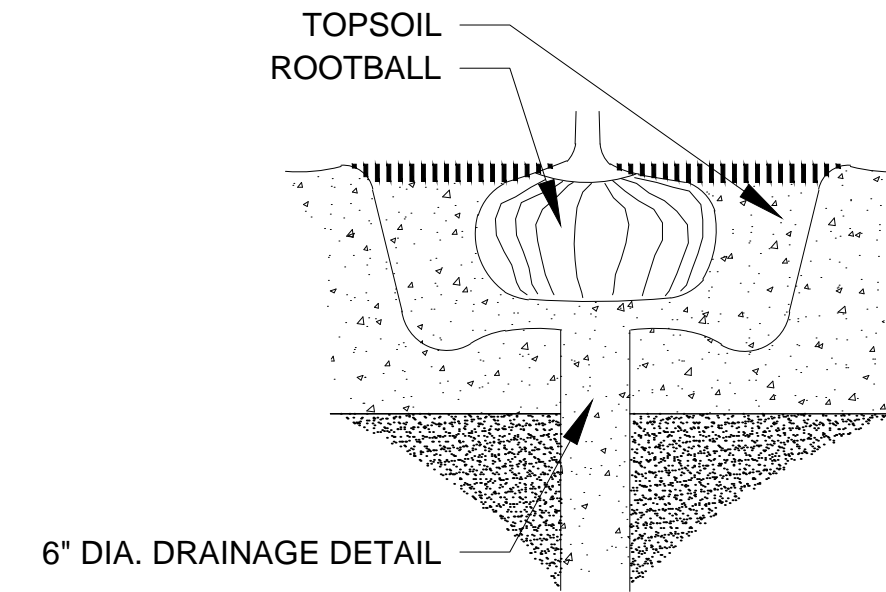
GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



THIS DETAIL SHOWN DEPICTS A MEDIAN AND/OR LANDSCAPE ISLAND AND IS FOR GRAPHIC PURPOSES ONLY; SOIL PREPARATION SHALL APPLY TO ALL TREE, SHRUB, & GROUND COVER AREAS. THIS DOES NOT INCLUDE SOD AREAS

LANDSCAPE AREA PREPARATION DETAIL
NOT TO SCALE

- *TOPSOIL SHALL BE NATURAL, FRIABLE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY OF THE PROJECT SITE THAT PRODUCES HEAVY GROWTH.
- *TOPSOIL SHALL HAVE A PH RANGE OF 5.5-7.4, FREE FROM SUBSOIL, WEEDS, LITTER, SODS, CLAY, STONES, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH, OR HINDER PLANTING OPERATIONS.
- *TOPSOIL SHALL CONTAIN A MINIMUM OF 3% ORGANIC MATERIAL.
- *TOPSOIL MUST PERCOLATE WATER AT A RATE OF 1" PER HOUR (SEE ALSO DRAINAGE TESTING DETAIL FOR TREES)
- *LANDSCAPE AREA SOILS SHALL BE APPROVED BY LANDSCAPE ARCHITECT/OWNER PRIOR TO PLANTING

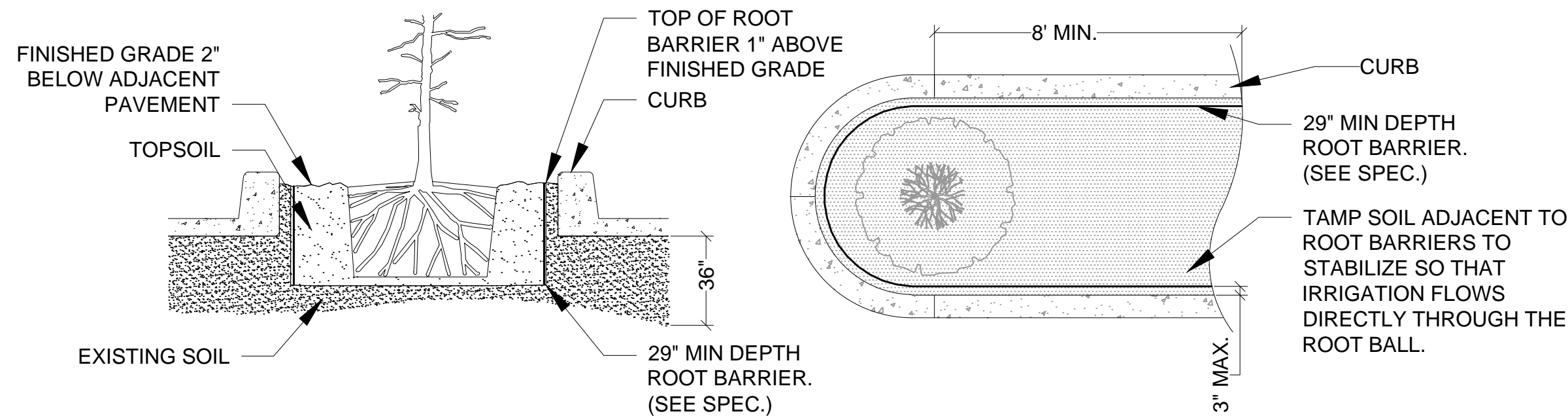


DRAINAGE TESTING DETAIL
NOT TO SCALE

DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS.

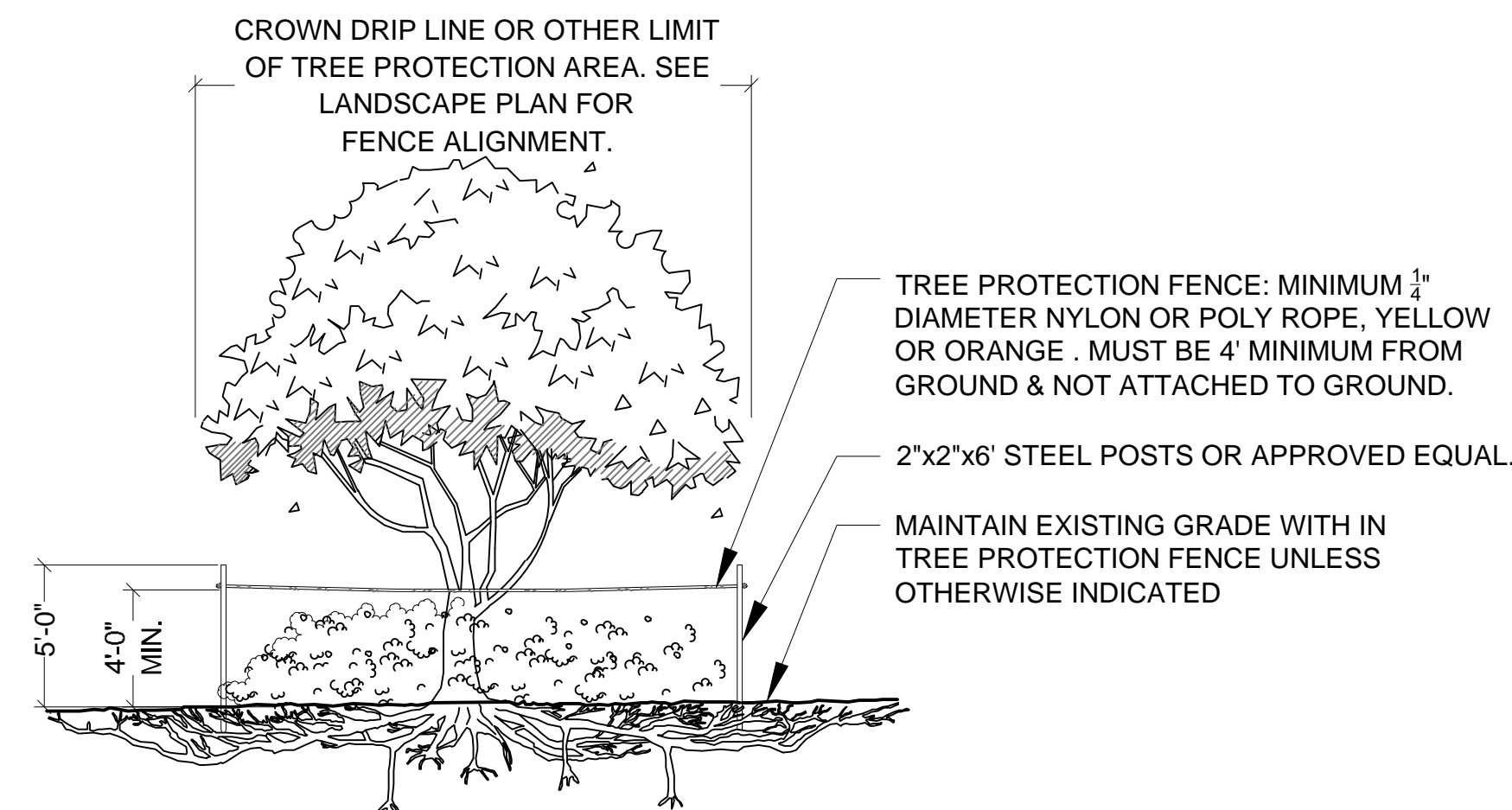
PRIOR TO PLANTING, ALL PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER.

- DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.
- FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED. IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.
- WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL)
- ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.
- WHEN BACKFILLING PLANTING PITS WITH NATIVE TOPSOIL, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.



SPECIAL APPLICATIONS ROOT BARRIER DETAIL
NOT TO SCALE

- NOTES:
- ROOT BARRIER SHALL BE INSTALLED WHEN ROOT BALL IS LOCATED WITHIN 8' OF PAVEMENT AND OR CURB.
 - ROOT BARRIER SHALL BE "BIO-BARRIER 29" DEPTH OR APPROVED EQUAL.
 - ROOT BARRIER SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND RECOMMENDATIONS.



TREE PROTECTION BARRICADE
NOT TO SCALE

- NOTES:
- SEE LANDSCAPE PLAN FOR FENCE ALIGNMENT.
 - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.

Key / Location:



Project Team:

- Client & Property Owner:** Mattamy Homes, LLC
1500 Gateway Blvd, Suite 220
Boynton Beach, FL 33426
- Landscape Architect:** Lucido & Associates
701 E Ocean Boulevard
Stuart, FL 34994
- Engineer:** Kimley Horn
445 24th Street, Suite 200
Vero Beach, FL 32960

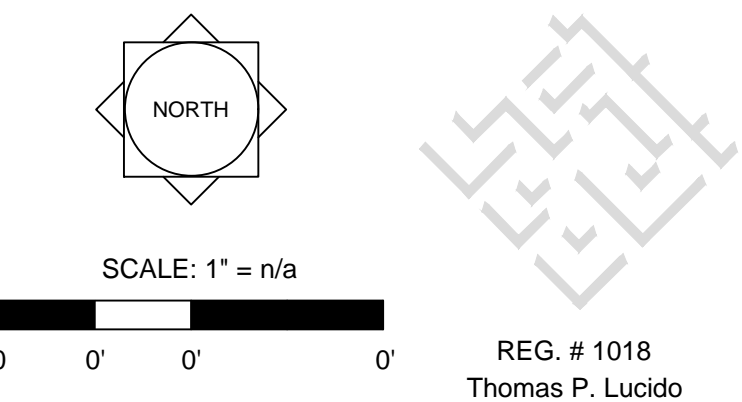
Pulte at Tradition Phase 2B Landscape Plan

Port St. Lucie, Florida
June 16, 2021

Landscape Details

City of Port St. Lucie P21-137
PSLUD No. 5308D

Date	By	Description
10/08/21	SAW	Response to SPRC comments
12/03/21	MRY	Response to SPRC comments
10/18/22	MRY	Add gate detail and shrubs



Designer	JJ	Sheet
Manager	SG	LA-8
Project Number	17-640	
Municipal Number	P21-137	
Computer File	17-640 Pulte at Tradition - Phase 2B - Code I	

Drawing Name: C:\Users\myates\appdata\local\temp\AcPublish_32312\ Dec 02, 2022 - 10:03am 17-640 Pulte at Tradition - Phase 2B - Code Landscape.dwg

LANDSCAPE SPECIFICATIONS

PART 1: GENERAL CONDITIONS

- 1.01 SCOPE: The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.
1.02 AGENCY STANDARDS: Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in: Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.
1.03 SITE EXAMINATION: The Landscape Contractor shall personally examine the site and fully acquaint him/herself with all of the existing conditions in order that no mis-understanding may afterwards arise as to the character or extent of the work to be performed, and, additionally, in order to acquaint him/herself with all precautions to be taken in order to avoid injury to property or persons.
1.04 ERRORS AND OMISSIONS: The plant list is a part of the drawings and is furnished as a convenience. The plant list indicates the name, size and quantities of specific plant materials as called for and is located on the drawings.
B. The Landscape Contractor shall not take advantage of errors or omissions in the specifications or contract drawings.
C. If plans and specifications are found to disagree after the contract is awarded, the Landscape Architect shall be the judge as to which was intended.
1.05 EXECUTION OF THE WORK: The Landscape Contractor shall have his labor crews controlled and directed by a Foreman well versed in plant materials, planting methods, reading plans, and coordination between job and nursery in order to execute installation correctly and in a timely manner.
B. The Landscape Contractor shall provide a competent English-speaking Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work.
C. The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implementation of the job.
1.06 PROTECTION OF PUBLIC AND PROPERTY: The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public.
1.07 CHANGES AND EXTRAS: The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting forth the adjusted prices has been executed by the Owner and the Contractor.
1.08 GUARANTEE: The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of 18 MONTHS from the time of completion and acceptance by the Landscape Architect and Owner.
B. At the end of the specified guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Landscape Architect, shall be replaced.
1.09 CARE AND MAINTENANCE: The Landscape Contractor shall be responsible for the care and maintenance of all plant materials and irrigation when applicable until final acceptance by the Owner or Landscape Architect.
B. The Owner agrees to execute the instructions for such care and maintenance.
1.10 SAFETY: It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage.
B. It shall be the contractor's responsibility to conform to all local, state, and federal safety laws and codes including the Federal Occupational Safety And Health Act (O.S.H.A.).
1.11 CONTRACTOR QUALIFICATION: The Owner may require the apparent contractor (s) to qualify him/herself to be a responsible entity by furnishing any or all of the following documentary data:
1. A financial statement showing assets and liabilities of the company current to date.
2. A listing of not less than (3) completed projects of similar scope and nature.
3. Permanent name and address of place of business.
4. The number of regular employees of the organization and length of time the organization has been in business under the present name.
1.12 INSURANCE AND BONDING: The contractor (s) shall submit proof of insurance for this job for the time period that the work is done.
B. The Owner shall have the right to require the Contractor to furnish bonds covering faithful performance of the Contract and payment obligations arising thereunder as stipulated in bidding requirements or specifically required in the Contract Documents on the date of execution of the Contract.
1.13 PERMITS AND CERTIFICATES: All contractors shall secure and pay for all permits and certificates required for his/her class of work.
PART 2: MARTERIALS
2.01 PLANT MATERIALS: A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary.
B. Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY upon written authorization by the Owner or the Landscape Architect.
C. All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal to or exceed the measurements specified in the plant list.
D. All plant materials shall be nursery grown, unless otherwise noted.
E. Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.
F. The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed properly and/or approved by the Landscape Architect at no additional cost to owner.

- 2.02 INSPECTION
A. The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size and quality.
2.03 PROTECTION OF PLANT MATERIALS:
A. Balled and burlapped plants (B & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant.
B. Plants with broken, damaged or insufficient rootballs will be rejected.
C. All plant material shall be protected from possible bark injury or breakage of branches.
D. Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other protection from the drying of wind and sun.
2.04 STORAGE
A. All plant materials shall be stored on the site in designated areas, specified by the Landscape Architect or Owner's agent.
B. No plant material shall be stored longer than seventy-two (72) hours unless approved by Landscape Architect and/or owner.
C. The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.
D. All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.
2.05 PROTECTION DURING PLANTING: Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens or other approved methods.
2.06 TOP SOIL:
A. Planting soil for all plantings shall consist of topsoil and be natural, friable, fertile, fine loamy soil possessing characteristics of representative topsoil in the vicinity of the project site.
B. Landscape Area Preparation. The intent of this section is to ensure a healthy growing environment for all planting material in all landscaped areas.
Existing soils must meet all definitions of 'Topsoil' as described above in all planting areas throughout the site.
2.07 FERTILIZER:
A. Commercial fertilizer shall comply with the state and local fertilizer laws.
B. Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.
C. Tablettized fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal.
1 gallon container 1 tablet
3 gallon container 2 tablets
5 gallon container 3 tablets
7 gallon container 5 tablets
Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter.
2.08 MULCH:
A. Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement.
B. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered.
PART 3 EXECUTION
3.01 DIGGING: The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work.
3.02 GRADING:
A. Grading for drainage, swales, etc. to within 4 inches of the finished grade to be provided by others.
B. It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation.
3.03 PLANTING:
A. Planting shall take place during favorable weather conditions.
B. The Contractor shall call for utility locates and ascertain the location of all utilities and easements so proper precautions can be taken.
C. Tree Planting shall be located where it is shown on the plan.
D. Excavation of holes shall extend to the required subgrades as specified on the planting diagrams.
E. A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage.
F. Planting pits shall be excavated to the following dimensions and backfilled with Topsoil- see Landscape Area Preparation Detail:
G. No planting or laying of sod shall be initiated until the area has been cleaned of existing sod or other plant materials.
H. Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.

- I. All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems.
J. All flagging ribbon shall be removed from trees and shrubs before planting.
K. Excess excavation (fill) from all holes shall be removed from the site, at no additional expense to Owner.
L. All palms shall be backfilled with sand, thoroughly washed in during planting operations.
3.04 PRUNING:
A. Remove dead and broken branches from all plant material.
B. Make all cuts with sharp instruments flush with trunk or adjacent branch.
C. Trees shall not be poled or topped.
D. Remove all trimming from site.
3.05 GUYING:
A. All trees over six (6) feet in height shall, immediately after setting to proper grade, be guyed with three sets of two strands, No. 12 gauge malleable galvanized iron, in tripod fashion.
B. Wires shall not come in direct contact with the tree but shall be covered with an approved protection device.
C. Stake & Brace all trees larger than 12" oa.
D. Turnbuckles for guying trees shall be galvanized or cadmium plated.
3.06 WATER:
A. Each plant or tree shall be thoroughly watered in after planting.
B. Prior to installing any irrigation system components, the contractor shall obtain a water sample.
C. SOD: The Landscape Contractor shall sod all areas indicated on the drawings.
D. It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas.
E. The sod shall be firm, tough texture, having a compacted growth of grass with good root development.
F. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower.
G. 6-6-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft.
H. The finished level of all sod areas after settlement shall be one (1") inch below the top of abutting curbs.
I. If in the opinion of the Landscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied.
3.08 SEEDING:
A. The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded.
B. Application: Argentine Bahia Grass seed- 200 Pounds per acre mixed with common hulled Bermuda seed- 30 lbs. per acre.
C. Roll immediately after seeding with a minimum 500 pound roller.
D. Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.
3.09 CLEANING UP: The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish.
3.10 MAINTENANCE: Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted.
B. Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.
C. Replacement of plants during the maintenance period shall be the responsibility of the Contractor.
D. In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them.
E. Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor.
3.11 COMPLETION, INSPECTION AND ACCEPTANCE:
A. Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Drawings and in the Specifications.
B. Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect.
C. All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance.
D. After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship.
E. All trees & shrubs shall be straight and in correct position per the landscape plans, details and specifications.



Key / Location:



Project Team:

Table listing Client & Property Owner (Mattamy Homes, LLC), Landscape Architect (Lucido & Associates), and Engineer (Krimley Horn).

Pulte at Tradition Phase 2B Landscape Plan

Port St. Lucie, Florida
June 16, 2021

Landscape Specifications

City of Port St. Lucie P21-137
PSLUD No. 5308D

Table with columns: Date, By, Description. Includes entries for 10/08/21, 12/03/21, and 10/18/22.

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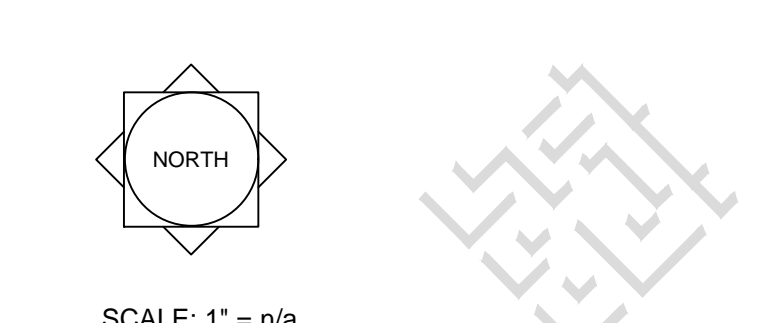


Table with columns: Designer (JJ), Manager (SG), Project Number (17-640), Municipal Number (P21-137), Computer File (17-640 Pulte at Tradition - Phase 2B - Code I), and Sheet (LA-9).

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