

CONCEPTUAL SITE PLAN FOR RIVERVIEW PLAZA

Sheet List Table	
Sheet Number	Sheet Title
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C-2.0	SITE PLAN
C-3.0	SITE DETAILS

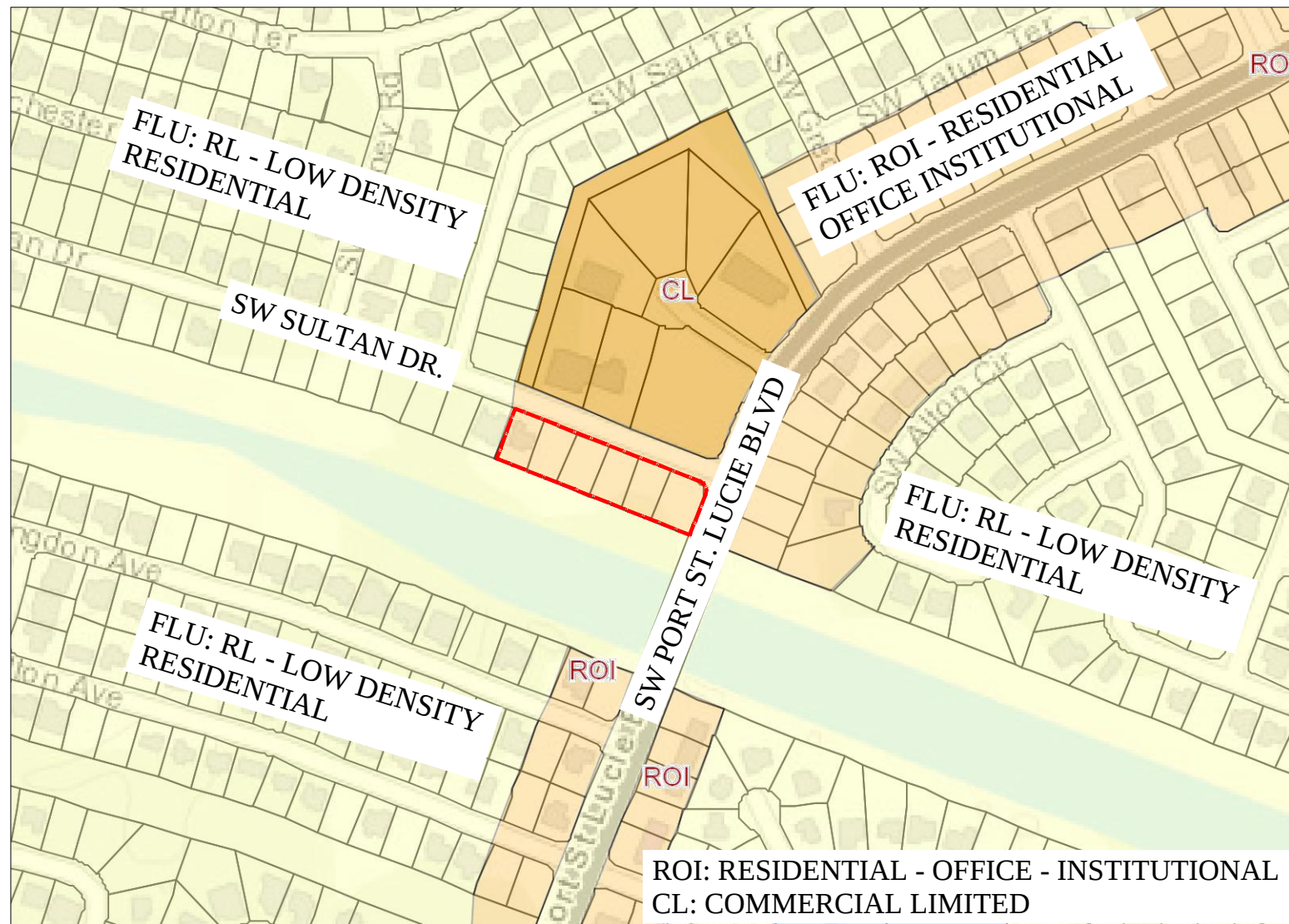
PREPARED FOR:
B&B CAPITAL GROUP 26, LLC.

PROPERTY ADDRESS:
832 SW SULTAN DRIVE
PORT ST. LUCIE, FL 34953
SECTION 07, TOWNSHIP 37 SOUTH, RANGE 40 EAST
PARCEL ID No: 3420-555-1059-000-9 / 3420-555-1060-000-9 / 3420-555-1061-000-6
/ 3420-555-1062-000-3 / 3420-555-1063-000-0 / 3420-555-1064-000-7



SITE LOCATION

1 IN = 600 FT



FLU MAP



ZONING MAP

LEGAL DESCRIPTION:
(FROM PANTALONE INDUSTRIES, INC SURVEY DATED 12/11/2025)
OF THE PUBLIC RECORDS OF SAINT LUCIE COUNTY, FLORIDA
LOTS 28, 29, 30, 31, 32 & 33, BLOCK 1291, PORT SAINT LUCIE SECTION 12, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 12, PAGES 55, AND 55A-55G, INCLUSIVE, OF THE PUBLIC RECORDS OF SAINT LUCIE COUNTY, FLORIDA.

THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (G).

OWNER:

ROSSELL, LLC
451 SW BETHANY DR, STE. 202
PORT ST. LUCIE, FL 34986
CONTACT: OSWALDO RAMIREZ

DEVELOPER:

B&B CAPITAL GROUP 26, LLC
800 SE 4TH AVE, STE. 804
HALLANDALE BEACH, FL 33009
CONTACT: FREDDY BOULTON
PH: 605-766-8955

ENGINEER:

STORYBOOK DEVELOPMENT SERVICES, LLC
5931 BRICK COURT, SUITE 168
WINTER PARK, FL 32792
JOSE CHAVES, P.E.
PH: 321-246-8811

LANDSCAPE ARCHITECT:

THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST
PH: 954-253-2265

SURVEYORS:

PANTALONE INDUSTRIES, INC.
3920 GREENVIEW PINES COURT
ORLANDO, FLORIDA 32817
STEPHEN PANTALONE
PH: 304-376-4439

GEOTECHNICAL ENGINEER:

NATIVE GEOSCIENCE, INC.
2014 EDGEWATER DRIVE, #246
ORLANDO, FLORIDA 32804
CLINTON WILHELM, PROJECT GEOLOGIST
PH: 321-442-3056

PROJECT N°: P26-006
LMD REZONE PROJ. N°: P26-003
SEU PROJ. N°: P26-004
PSLUSD PROJ. N°: 11-725-00

STORYBOOK DEVELOPMENT SERVICES, LLC
CERTIFICATE OF AUTHORIZATION NO. 33749
JOSE A. CHAVES
JOSE@STORYBOOKTEAM.COM
321-246-8811

JOSE A. CHAVES STATE OF FLORIDA,
PROFESSIONAL ENGINEER, LICENSE NO. 78518

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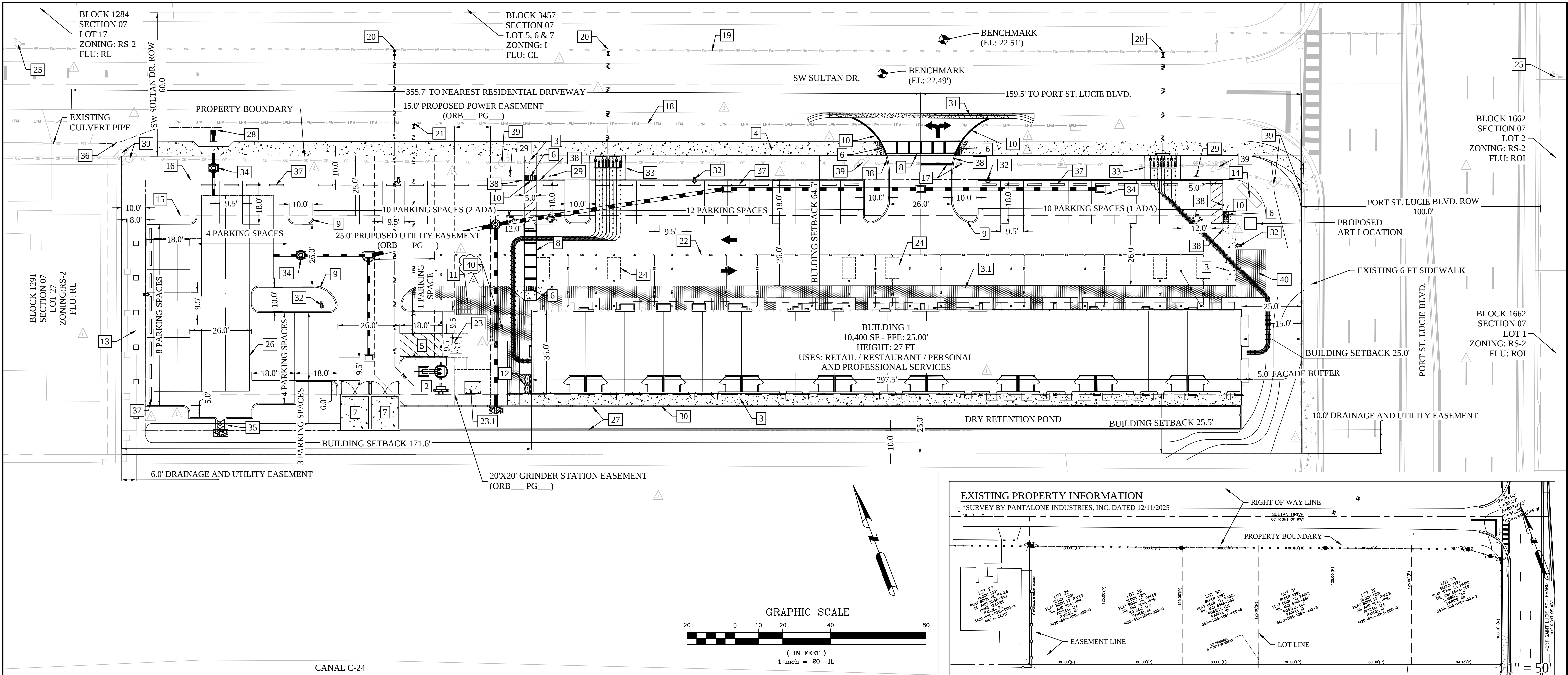
REVISIONS							
#	DATE	BY	DESCRIPTION	#	DATE	BY	DESCRIPTION
1	02/13/2026	JAC	CHANGES DUE TO CITY COMMENTS				
2	03/16/2026	JAC	CHANGES DUE TO CITY COMMENTS				

RIVERVIEW PLAZA
CONCEPTUAL SITE PLAN

COVER

CITY OF PORT ST. LUCIE, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE:	05/20/2026
PROJECT NO.:	
DRAWN BY:	JAC
CHECKED BY:	JAC
SCALE:	NA
SHEET:	C-1.0



SITE DATA

1. PROPOSED USE: RESTAURANT, RETAIL, PROFESSIONAL OR PERSONAL SERVICE USES CONDUCTED WHOLLY WITHIN AN ENCLOSED BUILDING, INCLUDING THE RETAIL SALES OF BEER AND WINE FOR OFF AND INCIDENTAL ON PREMISES CONSUMPTION IN ACCORDANCE WITH CHAPTER 110, BUT NOT INCLUDING CONVENIENCE/GAS SALES. THESE USES SHALL EXCEED FIFTY PERCENT (50%) OF THE BUILDING'S GROSS FLOOR AREA AND EXCEED 5,000 SQUARE FEET.
2. FUTURE LAND USE: RESIDENTIAL, OFFICE AND INSTITUTIONAL (ROI)
3. ZONING: LIMITED MIXED USE (LMD)
4. SITE AREA:
- | | ACRES | SF | % |
|---------------------------------------|---------|-----------|------|
| GROSS SITE AREA ¹ | 1.41 AC | 61,633 SF | 100% |
| TOTAL IMPERV. AREA (MAX ALLOWED 80%): | 0.92 AC | 40,102 SF | 65% |
| BUILDING COVERAGE (TOTAL): | 0.24 AC | 10,400 SF | 17% |
| PAVEMENT & SIDEWALK COVERAGE: | 0.68 AC | 29,702 SF | 48% |
| TOTAL PERVIOUS AREA: | 0.49 AC | 21,531 SF | 35% |
5. INTENSITY*:
- | | |
|--------------------------------------|-------------------|
| MAX BUILDING COVERAGE: | 40.0% - 24,653 SF |
| PROVIDED BUILDING COVERAGE: | 16.9% - 10,400 SF |
| *(GROSS BLDG AREA / GROSS SITE AREA) | |
6. PHASING: PROJECT WILL BE DEVELOPED IN ONE (1) PHASE
7. PARKING: PER SHOPPING CENTER REQUIREMENTS SEC. 158.221 (C) (22)
- REQUIRED:
- (10,400 SF)/(200 SF)*1 SPACES
- 52 PARKING SPACES
- 3 SPACES REQUIRED TO MEET ADA STANDARDS.

- PROVIDED:
- 49 STANDARD SPACES
- 3 ADA COMPATIBLE SPACES
- 52 TOTAL PARKING SPACES
8. BUILDING SETBACKS
- | | REQUIRED | PROVIDED |
|--------------|----------|----------|
| -FRONT | 25 FT | 64.5 FT |
| -REAR | 25 FT | 25.5 FT |
| -SIDE | 10 FT | 171.6 FT |
| -SIDE STREET | 25 FT | 25.0 FT |
9. LANDSCAPE BUFFER*
- | | REQUIRED | PROVIDED |
|--------|----------|----------|
| -NORTH | 10 FT | 10 FT |
| -EAST | 15 FT | 15 FT |
| -SOUTH | 10 FT | 10 FT |
| -WEST | 10 FT | 10 FT |
- *A LANDSCAPE STRIP AT LEAST TEN FEET IN DEPTH, EXCLUSIVE OF CURBING, SHALL BE LOCATED ADJACENT TO ALL RIGHTS-OF-WAY AND ABUTTING PROPERTIES, UNLESS INDICATED OTHERWISE. PROPERTIES WITH A DEPTH IN EXCESS OF 200 FEET HAVING A FRONT OR SIDE FACING PORT ST. LUCIE BOULEVARD SHALL PROVIDE A LANDSCAPE STRIP AT LEAST 15 FEET IN DEPTH. (LDC 154.03.(C).1 & 154.03.(C).2)
10. BUILDING HEIGHTS:
- | | |
|------------|-------------------|
| MAXIMUM - | 35 FT |
| PROVIDED - | 27 FT (ONE STORY) |
11. BICYCLE PARKING: BICYCLE PARKING WILL BE PROVIDED PER THE CITY'S LAND DEVELOPMENT CODE AND WILL BE LOCATED WITHIN 100 FT OF THE BUILDING'S MAIN ENTRANCE.
12. SITE LIGHTING SITE LIGHTING SHALL MEET THE CITY'S LAND DEVELOPMENT CODE AND CITY WIDE DESIGN STANDARDS. ALL OUTDOOR LIGHTING SHALL BE SHIELDED FROM ADJACENT PROPERTIES AND ROADWAYS.

13. LIFT STATION, DUMPSTER ENCLOSURES, AND/OR AT GRADE MECHANICAL EQUIPMENT WILL INCLUDE LANDSCAPE SCREENING TO MEET THE CITY'S LAND DEVELOPMENT CODE.
14. POTABLE WATER AND SANITARY SEWER WILL BE PROVIDED BY THE CITY OF PORT ST. LUCIE
15. STORMWATER MANAGEMENT A DRY RETENTION POND AND AN EXFILTRATION CHAMBERS SYSTEM SHALL BE USED TO PROVIDE THE REQUIRED STORMWATER MANAGEMENT PRIOR TO DISCHARGING TO THE PROPOSED EXTENSION OF THE EXISTING PLASTIC SWALE LINER LOCATED AT THE RIGHT-OF-WAY OF SW SULTAN DR (LIMITED TO 0.5 CFS/ACRE).
16. HAZARDOUS WASTE: ANY AND ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
17. WELLFIELD PROTECTION ORDINANCE: THE SUBJECT PARCEL IS NOT LOCATED WITHIN 1,000 FT OF A PUBLIC SUPPLY WELL.
18. TRAFFIC STATEMENT TRAFFIC IMPACT STATEMENT PREPARED BY MACKENZIE ENGINEERING AND PLANNING, INC. DATED FEBRUARY 05, 2026, STATES THAT THIS PROJECT WILL GENERATE THE FOLLOWING NEW NET EXTERNAL TRIPS: 401 DAILY, 25 AM PEAK HOUR (14 IN / 11 OUT), AND 47 PM PEAK HOUR (23 IN / 24 OUT), AND THE FOLLOWING DRIVEWAY TRIPS: 669 DAILY, 56 AM PEAK HOUR (27 IN / 29 OUT), AND 78 PM PEAK HOUR (39 IN / 39 OUT). 12TH EDITION (ITE REPORT). ITE LAND USE CODE 822.
19. ENVIRONMENTAL STATEMENT UPLAND AREAS BASED ON ENVIRONMENTAL ASSESSMENT PROVIDED BY HALEY WARD, INC. (DATED DECEMBER 10, 2025). IT IS THE PROFESSIONAL OPINION OF HALEY WARD, INC. THAT NATIVE UPLAND HABITAT IS LOCATED ONSITE. HOWEVER, THE NATIVE HABITAT AREA IS LESS THAN 2AC. SO PRESERVATION REQUIREMENTS WILL NOT APPLY.

- NOTES:
1. ALL MECHANICAL EQUIPMENT TO BE PLACED ON THE BUILDING ROOFTOP AND WILL BE SCREENED BY PARAPET CONSISTENT WITH FLORIDA BUILDING CODE REGULATIONS AND CITY STANDARDS.
2. ALL PROPOSED BUILDING UNITS ARE TO BE PROVIDED BY AN AUTOMATIC SPRINKLER SYSTEM ACCORDING TO NFPA 13 AND ALL APPLICABLE LOCAL CODES.
- PROPOSED IMPROVEMENTS LEGEND:
- ① PROPOSED BUILDING 1 - 10,400 SF (ONE STORY); MIN. FFE - 25.00 (NAVD); USES: RETAIL / RESTAURANT / PERSONAL / PROF. SERVICES.
- ② PROPOSED LIFT STATION AREA
- ③ PROPOSED 5 FT CONCRETE SIDEWALK
- ③ PROPOSED 5 FT PAVERS SIDEWALK
- ④ PROPOSED 6 FT CONCRETE SIDEWALK
- ⑤ PROPOSED GRINDER STATION MAINTENANCE PARKING SPACE
- ⑥ PROPOSED ADA DETECTABLE WARNING STRIP
- ⑦ PROPOSED DUMPSTER ENCLOSURE FOR REFUSE AND RECYCLING
- ⑧ PROPOSED PEDESTRIAN 5FT CROSSWALK STRIPING
- ⑨ PROPOSED TYPE "D" CURB
- ⑩ PROPOSED TYPE "D" CURB FLUSH W/ EOP
- ⑪ PROPOSED BYCICLE PARKING
- ⑫ PROPOSED MAILBOX AREA
- ⑬ PROPOSED PERIMETER WALL (SEE DETAIL)
- ⑭ PROPOSED MONUMENT SIGN
- ⑮ BUILDING SETBACK LINE
- ⑯ LANDSCAPE BUFFER LINE
- ⑰ PROPOSED STOP SIGN AND STOP BAR
- ⑱ EXISTING 2.5" LOW PRESSURE MAIN
- ⑲ EXISTING 6" WATER MAIN
- ⑳ PROPOSED POTABLE WATER SERVICE
- ㉑ PROPOSED SANITARY SEWER LOW PRESSURE MAIN
- ㉒ PROPOSED 6" SANITARY SEWER SERVICE
- ㉓ PROPOSED TRANSFORMER PAD (10'X10' ESMT - ORB PG)
- ㉔ PROPOSED TRANSFORMER PAD (15'X15' ESMT - ORB PG)
- ㉕ PROPOSED GREASE INTERCEPTOR
- ㉖ APPROXIMATE LOCATION OF NEAREST FIRE HYDRANT WITHIN 1,000 FEET OF PROPERTY PER CITY OF PORT ST. LUCIE GIS INFORMATION (EXIST FH)
- ㉗ PROPOSED EXFILTRATION CHAMBERS AREA
- ㉘ PROPOSED RETAINING WALL (PER FDOT INDEX 400-011)
- ㉙ STORMWATER DISCHARGE
- ㉚ ADA H/C SIGN (TYP.)
- ㉛ PROPOSED RETAINING WALL RAILING (PER FDOT INDEX 400-011)
- ㉜ PROPOSED DROP CURB
- ㉝ = PROPOSED STREET LIGHT LOCATION (PHOTOMETRIC DESIGN BY ALERS ENGINEERING GROUP, LLC)
- ㉞ WATER METER 15'X10' UTILITY EASEMENT (ORB PG)
- ㉟ STORMWATER CONTROL STRUCTURE
- ㊱ PROPOSED FLUME AND ENERGY DISSIPATOR
- ㊲ PROPOSED PLASTIC SWALE LINER EXTENSION
- ㊳ PROPOSED WHEEL STOP
- ㊴ CURB TRANSITION (TYPE D - HEADER CURB)
- ㊵ EXISTING CONCRETE POWER POLE
- ㊶ PROPOSED PLAZA AMENITY
- PROJECT N°: P26-006
- LMD REZONE PROJ. N°: P26-003
- SEU PROJ. N°: P26-004
- PSLUSD PROJ. N°: 11-725-00

STORYBOOK DEVELOPMENT SERVICES, LLC
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2	03/16/2026	JAC	CHANGES DUE TO CITY COMMENTS		
3	04/15/2026	JAC	CHANGES DUE TO CITY COMMENTS		
4	05/20/2026	JAC	CHANGES DUE TO CITY COMMENTS		

RIVERVIEW PLAZA
CONCEPTUAL SITE PLAN

SITE PLAN

CITY OF PORT ST. LUCIE, FLORIDA

PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

DATE: 05/20/2026

PROJECT NO.:

DRAWN BY: JAC

CHECKED BY: JAC

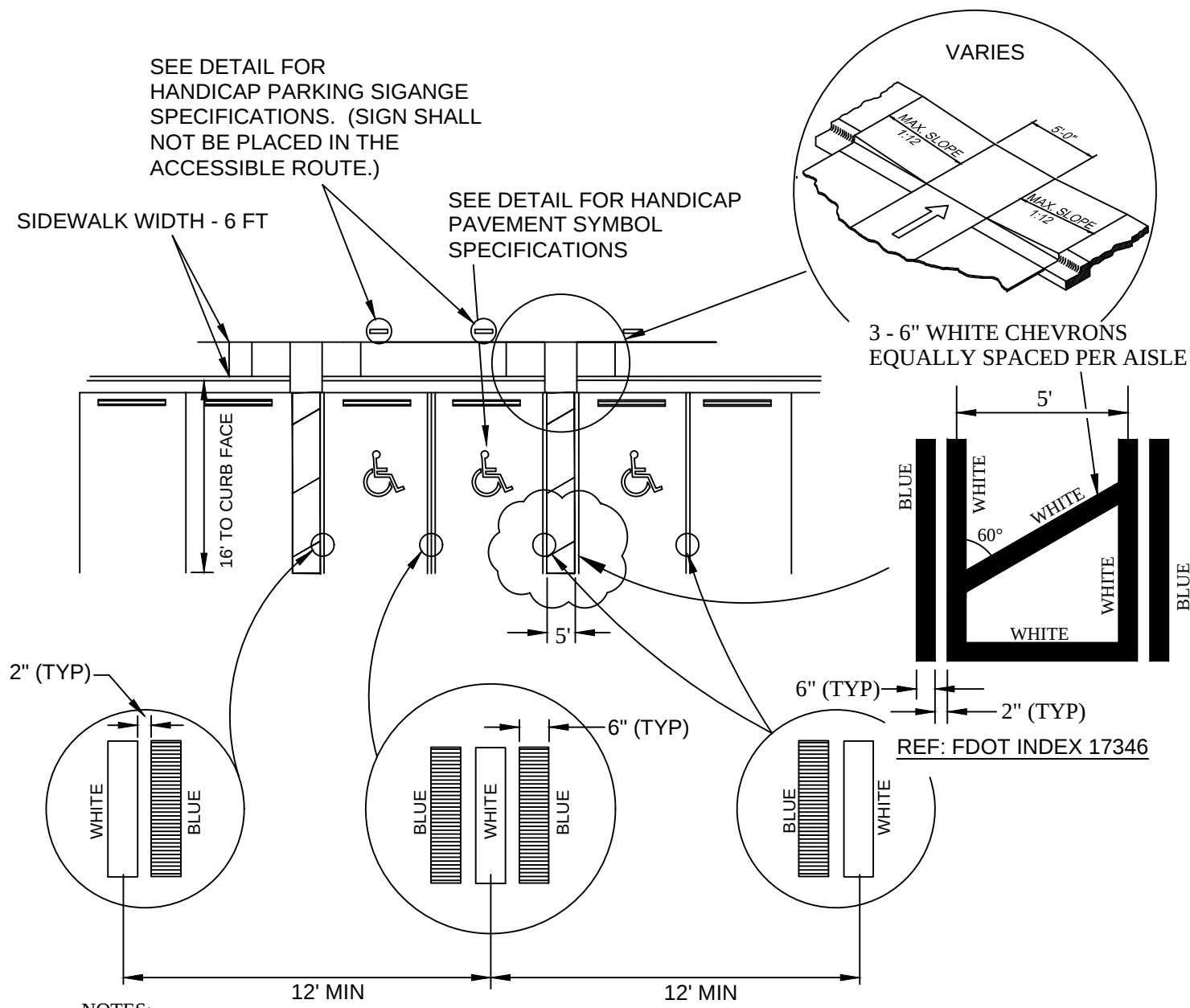
SCALE: VARIES

SHEET: C-2.0

Accessible Parking Spaces

Accessible parking spaces shall be provided in accordance with the current Florida Accessibility Code, Americans with Disabilities Act and any applicable Fair Housing Act requirements, including the following notes:

- Any commercial real estate property owner offering parking for the general public shall provide specially designed and marked motor vehicle parking spaces for the exclusive use of physically disabled persons who have been issued parking permits pursuant to state law.
- All spaces shall have an accessible curb-ramp or curb-cut to allow access to the building served. It shall be located so that users will not be compelled to wheel behind parked vehicles.

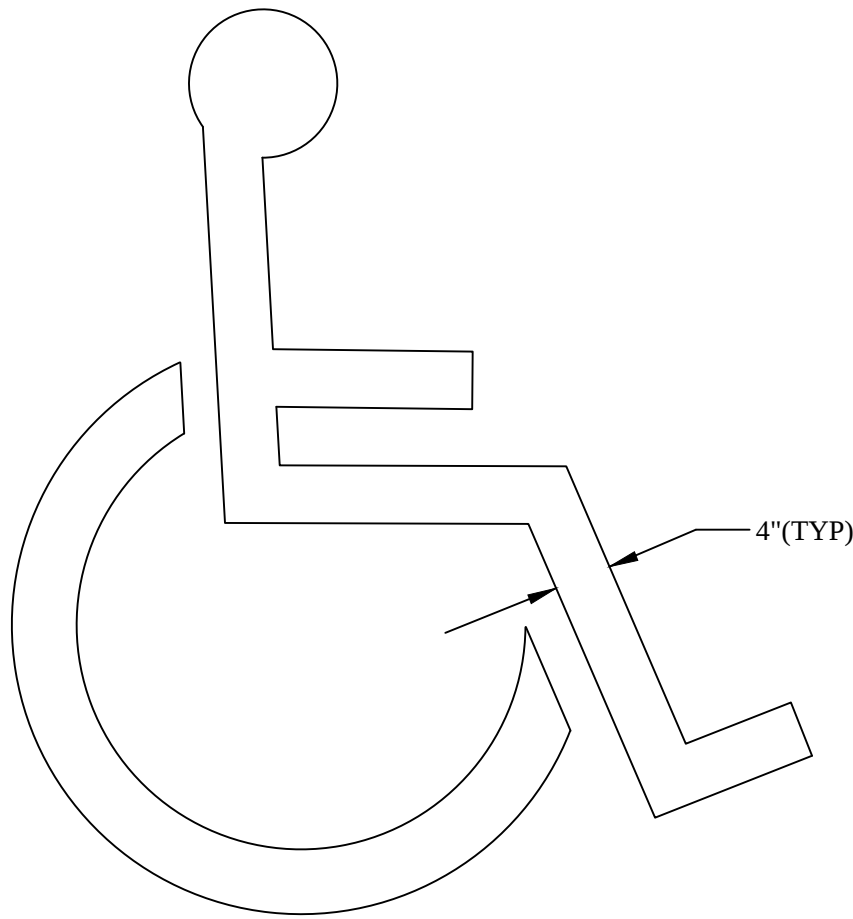


NOTES:

- EACH ACCESSIBLE PARKING SPACE SHALL BE CONSPICUOUSLY STRIPED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT, ABOVE-GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, AND THE CAPTION "PARKING BY DISABLED PERMIT ONLY". SUCH SIGNS SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE. ALL DISABLED PARKING SPACES MUST BE SIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE DEPARTMENT OF TRANSPORTATION.
- PARKING SPACE WIDTH AND ACCESS AISLES SHALL BE MEASURED FROM CENTER OF WHITE STRIPE TO CENTER OF WHITE STRIPE.
- WHERE CURBING EXISTS PARALLEL TO STALL, BLUE LINE SHALL BE REQUIRED ADJACENT TO CURB (WHITE LINE WILL NOT BE REQUIRED).
- CURB RAMPS CONSTRUCTED ON EXISTING SITES OR FACILITIES MAY HAVE SLOPES AND RISES AS ALLOWED IN ADA 4.1.6 (3) (a) IF SPACE LIMITATIONS PROHIBIT THE USE OF A 1:12 SLOPE OR LESS.

TYPICAL PAVEMENT SYMBOL FOR HANDICAP PARKING (N.T.S.)

TYPICAL HANDICAP PARKING SIGNAGE

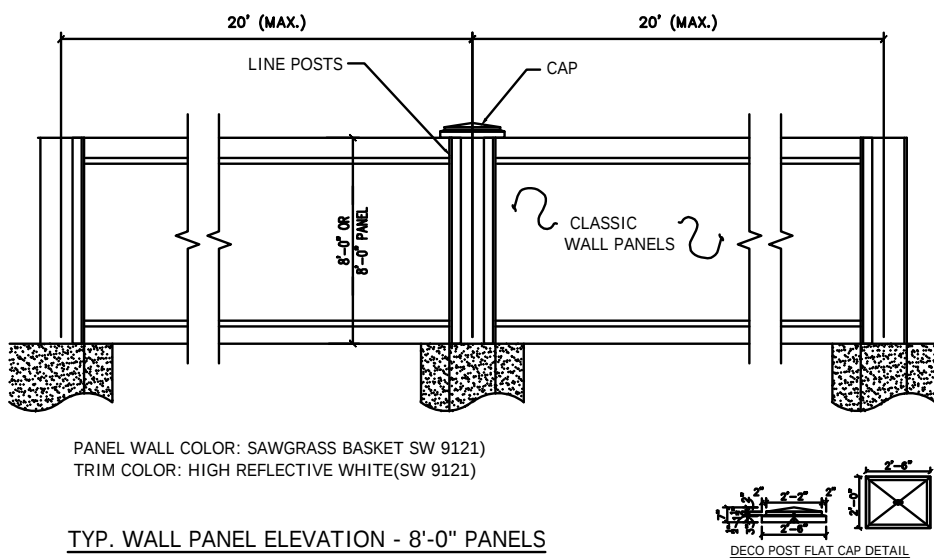


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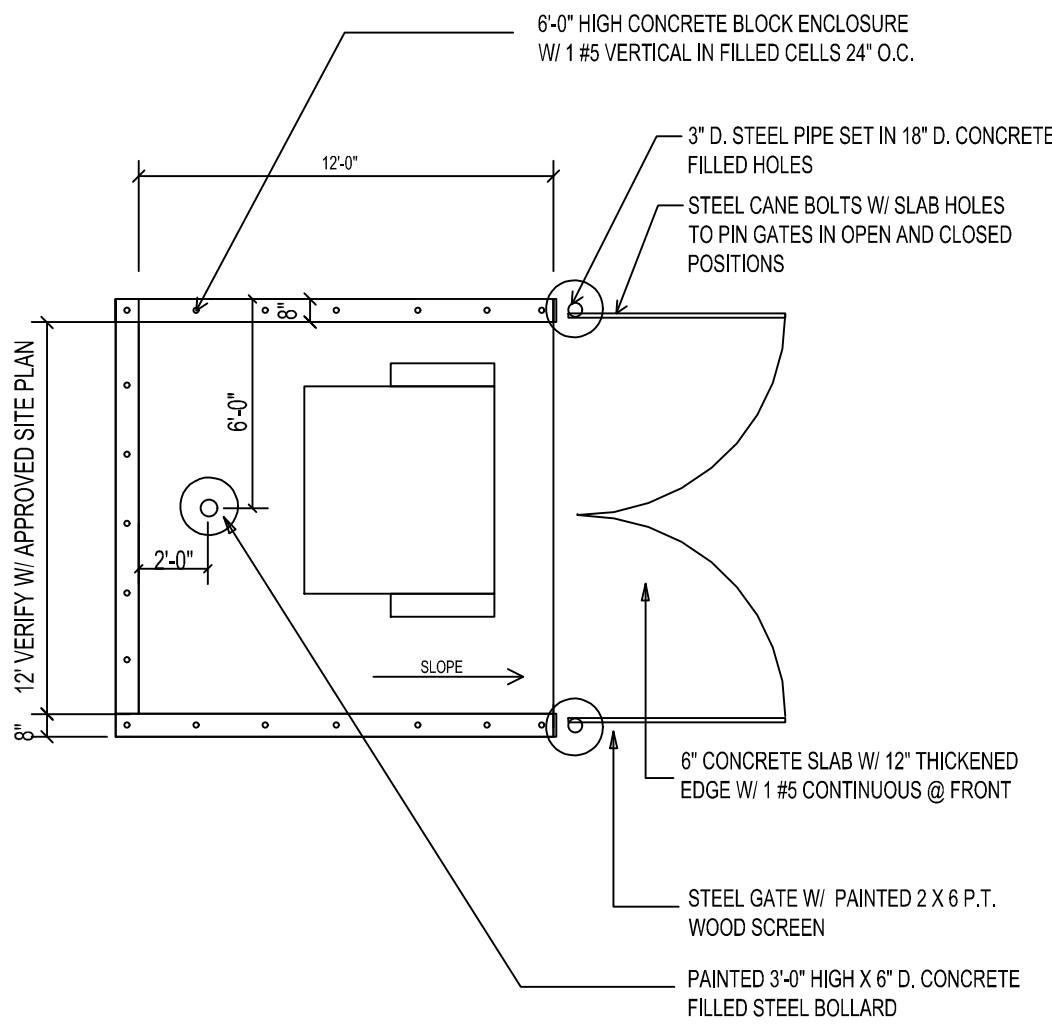
- SYMBOL SHALL BE 42"x42" OR 48"x48".
- THIS SYMBOL TO BE WHITE FDOT TRAFFIC RATED PAINT.

NOTES:

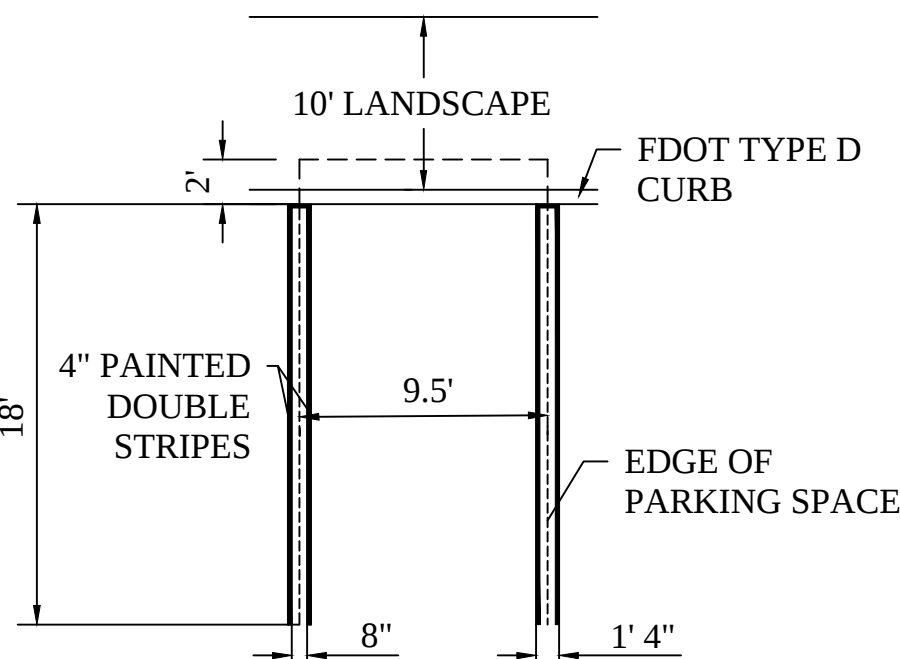
- ALL LETTERS SHALL BE BLACK AND 1" IN HEIGHT AND SPACED 1" APART. LETTERS ARE TO BE SERIES "B" OR "C", PER MUTCD.
- TOP PORTION OF SIGN SHALL BE BLUE BACKGROUND WITH WHITE LEGEND AND BORDER.
- BOTTOM PORTION OF SIGN SHALL BE WHITE BACKGROUND WITH BLACK BORDER.
- ONE SIGN REQUIRED FOR EACH PARKING SPACE.
- THE MINIMUM HEIGHT, MEASURED VERTICALLY FROM THE BOTTOM OF THE ACCESSIBLE SIGN TO THE TOP OF THE CURB, OR IN THE ABSENCE OF CURB, MEASURED VERTICALLY FROM THE BOTTOM OF THE SIGN TO THE ELEVATION OF THE NEAR EDGE OF THE TRAVELED WAY SHALL BE 7 FEET.
- SIGNS SHALL BE HIGH INTENSITY RETROREFLECTIVE.



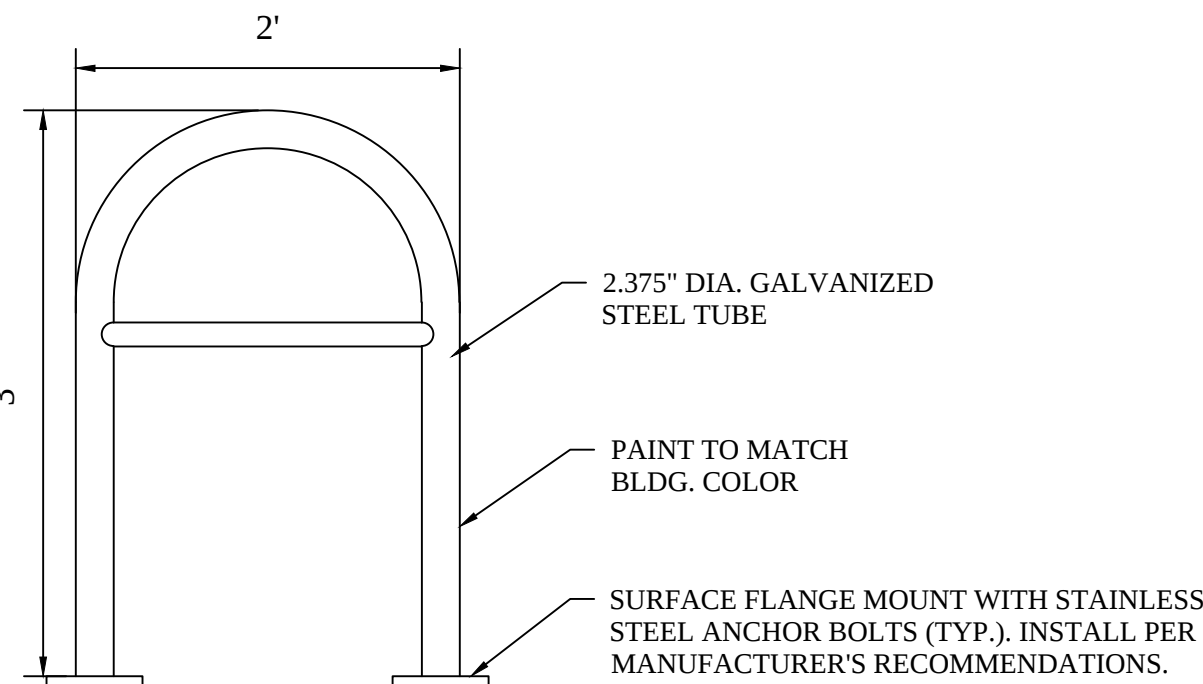
8' CONCRETE WALL DETAIL



DUMPSTER ENCLOSURE DETAIL



TYPICAL 18' PARKING STALL



NOTES:

- RACKS LOCATED PARALLEL TO A WALL SHOULD BE A MINIMUM OF 36 IN. (0.9 M) FROM THE WALL.
- ASSUMING ACCESS IS NEEDED FROM BOTH SIDES, U-RACKS LOCATED PERPENDICULAR TO A WALL SHOULD BE A MINIMUM OF 48 IN. (1.2 M) FROM THE WALL.
- RACK UNITS ALIGNED SIDE-BY-SIDE SHOULD BE PLACED A MINIMUM OF 36 IN. (0.9 M) APART.
- THERE MUST BE A MINIMUM OF SIX (6) BICYCLE PARKING SPOTS.

BIKE RACK DETAIL



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RIVERVIEW PLAZA
CONCEPTUAL SITE PLAN
SITE DETAILS
CITY OF PORT ST. LUCIE, FLORIDA
PREPARED BY: STORYBOOK DEVELOPMENT SERVICES, LLC

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LMD REZONE PROJ. N°: P26-003
SEU PROJ. N°: P26-004
PSLUSD PROJ. N°: 11-725-00

DATE: 05/20/2026
PROJECT NO.:
DRAWN BY: JAC
CHECKED BY: JAC
SCALE: 1" = 20'
SHEET: C-3.0