

SLW-Industrial Park, Lots 4 & 5 - Industrial Warehouse

Major Site Plan Project No. P24-093

City Council Meeting Cody Sisk, Planner III March 24, 2025

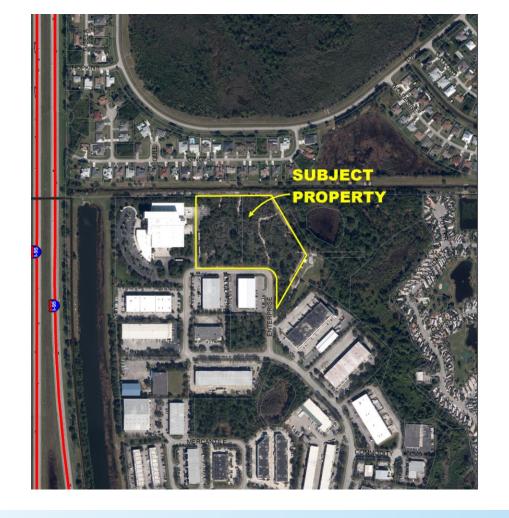
Request Summary

- Owner: TLH Port St Lucie Land LLC
- Applicant: John K. Rice, Gunster
- Location: 770 NW Enterprise Drive and 780 NW Enterprise Drive
- Request: The applicant is requesting approval of a major site plan for the development of six industrial buildings containing a total of 107,000 square feet.



Surrounding Areas

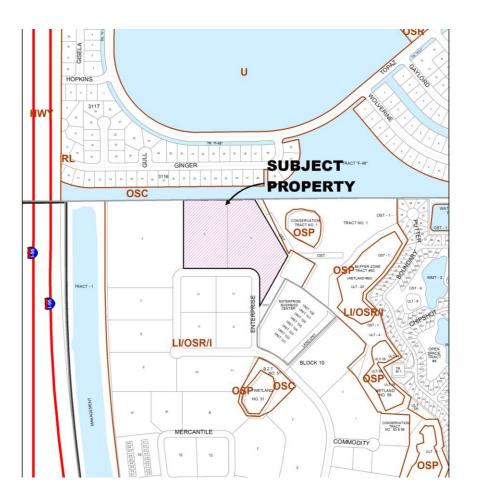
Direction	Existing Use
North	Residential
South	Warehouse Industrial
East	Vacant Lands/Cell Tower
West	Industrial





Future Land Use

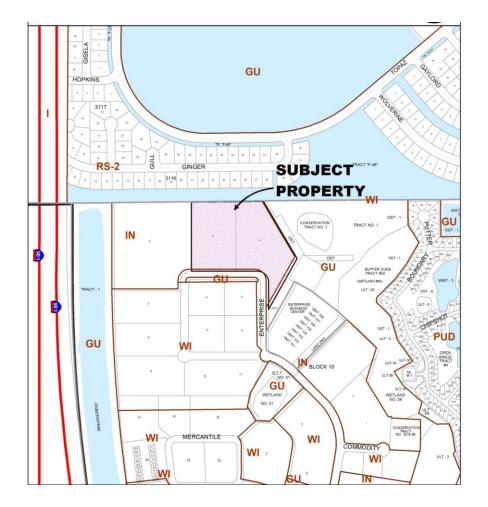
Direction	Future Land Use
North	OSC – OSC – Open Space Conservation
South	LI/OSR/I – Light Industrial/ Open Space Recreation/ Institutional
East	OSC – Open Space Conservation LI/OSR/I - Light Industrial/ Open Space Recreation/ Institutional
West	LI/OSR/I – Light Industrial/ Open Space Recreation/ Institutional





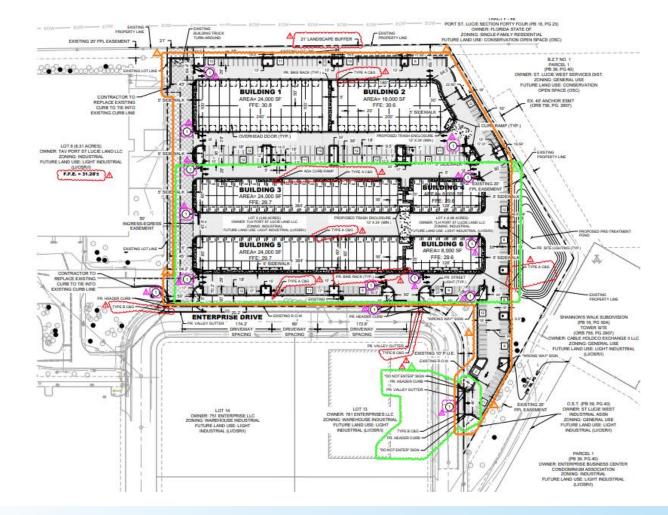
Zoning

Direction	Zoning
North	RS-2 – Single-Family Residential
South	WI – Warehouse Industrial
East	GU – General Use
West	IN - Industrial



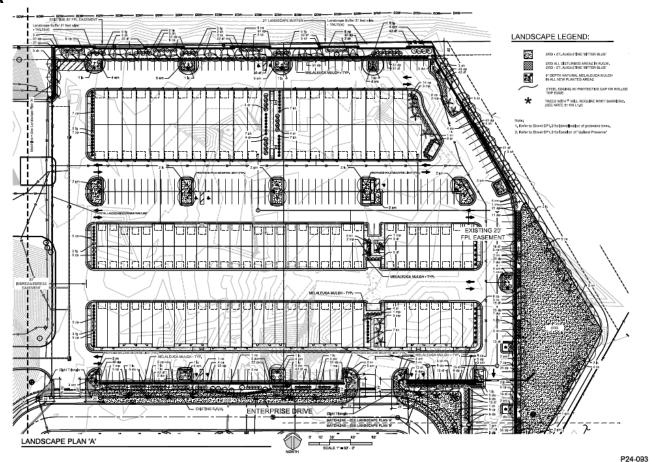


Site Plan





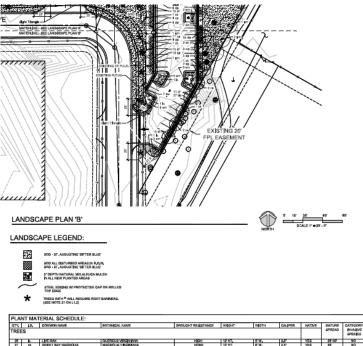
Landscape Plar



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Landscape Plar



PLA	NT MA	TERIAL SCHEDULE:								
QTV,	LD,	COVMON NAME	BOTANICAL NAME	DROUGHT RESISTANCE	нејант	WIDTH	CALIPER	NATIVE	MATURE	CATEGORY 1
TREES								SPREAD	SPECIES	
25	l k	LIME GAK	QUERCUS VERCENIANA	HIGH	12 HT.	FW.	2.5"	YES	20'-40'	NO
21	33	SWEET BAY MAGNOLIA	MAGNOLIA VIRGINIANA	NONE	12 HT.		2.5"	YES	207	NO
11	m	RED MAPLE	ACER RUBRUM	MEDIUM	12 HT.		2.5"	YES	48'-70'	NO
11	670	SOUTHERN MAGNOLIA	MAGNOLIA GRADIFLORA	MEDIUM	12 HT,	ew.	2,5"	AES	30'-50'	NO.
16	100	BUTTONWOOD	CONOCARPUS ERECTUS	HIGH	12 HT.		2.5"	YES	20'-30'	NO
30	art.	AMERICAN HOLLY	LEX OPACA	HGH	12 HT.	FW.	2.5	YES	25 (26)	NO.
7	63	COCONUT PALM	COCOS NUCEFERA GREEN MALAYAN	HIGH	10 CT, FULL NEAD	NOTE: SINGLE:		NO.		NO
14	TOP .	MONTGOMERY PALM	VETCHA MONTOOMERYANANA	MEDIUM	15 CT, FULL HEAD	NOTE: SINGLE	STRAIGHT	NO.		NO
SHRUBS										
84	60	DWARF WALTERS VIBURALIA	A BURNING GRONATING SELECT.	HKIH	¢ HT,		7 GAL.	YES		
107	(p	COCO PLUM	CHRYSOBALANUS (CACO	MEDIUM	4º HT,		S GAL,	AES		
528	ef	DWARF FIREBUSH	HAMELIA PATENS GOVPACTA	MEDIUM	Z HT.	1,5°W.	3 GAL.	YES		
99	- 23	COONTE	ZAMA PUMLA	HIGH	ž HT,		3 GAL	MO		
40	- 14	FAKAHATCHEE GRAGS	TRIPSACUM DACTYLODES	MEDIUM	S' NT.		3 GAL.	YES		
22	861	BURFORD HOLLY	LEX CORNUTA BURFORDS	HIGH	1,5' HT.		4 GAL	ON		
4	MTO	WAX MYRTLE	MYRICA CERIFERA	MEDIUM	# HT.		EGAL.	AES		
70	603	EMERALD BLANKET NATAL PLUM	CARISSA MACROCARPA 'EMERALD BLANKET'	HIGH	6" HT.		3 GAL.	No.		
27	er er	GOLDEN DEWOROP	DURANTA ERECTA	High	4 HT.		5 GAL.	NO		
572	49	DWARF PODOCARPUS	PODOCARPUS MACROPHYLLUS	нан	S' HT.	ZW.	5 GAL.	NO		

GENERAL PLANTING NOTES:

- 1. PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON
- 3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WAITING, ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- 4. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED
- 5. ALL PLANT LOGATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS.
- 6. QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLANTS,
- 7. LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTLITIES BY CONTACTING APPROPRIATE UTLITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUGID TO UTLITIES.
- 3. FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
- 9. ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO THROS @ DEPTH OF BALL THEN THOROLOGILY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WINE, BURLAP FASTENERS, TOP ONE THIRD (§) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF HE FIT SHALL THEN BE BACKFILLED. ALLOWING FOR THE DEPTH OF THE MUICH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- 10, AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED, LIMIT AMOUNT OF PRIVATION TO A REVISION INCCESSARY TO REMOVE DEAD OR INJURED THIS IS AND BRANCHES. PRIVADE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL ROMANISH HAT OR SHAPE OF THE PLAYS, MAKE ALL DUTS FLUSH, LEAVING NO STUBS, CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADING OF A PLAYT IS DOED THE PLAYT SHALL BE REPLACED.
- 11. PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUCK OF TREES AND SHRUBS PLANTED WITHIN THE AREA, PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER
- 12. COMMERCIAL GRADE & INCH BY OF POWDER COATED STEEL EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTAINES BEDS, PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND FRE MANUFACTURES RECOMMENDATIONS.
- LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. 14, USE MULCH IN ALL PLANTING BEDS AND TREE SAUCERS, LANDSCAPE
- CONTRACTOR SHALL PROVIDE A 1 CUBIC POOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL
- 15, PLACE FOUR INCHES OF MULCH IN ALL SHRUE BEDS, PLACE THREE INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TIRES SAUCERS.
- 19, PLANTING BEDS RECEIVING WALCH MULCH ARE TO BE FREE OF WEEDS AND GRASS, TREAT BEDS PLANTING BEDS RECEIVED MACH MICH ARE TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNAL OR ANNUAL BEDS.
- 17, LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
- 19, REPORT ANY DISCREPANCES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO
- 19, ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC UNDERGROUD IRRIGATION SYSTEM, WITH SEPARATE ZONES FOR TURF AND SHRUBS / TREES / GROUNDCOVER,
- ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPENCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.
- 21, ROOT BARRIERS FOR TREES SHALL BE INSTALLED ALONG THE EDGE OF STRUCTURE, PAYING, OR CURB. THE ROYALD REPORT OF THE THE REPORT OF THE THE REPORT OF THE ROYALD REPORT OF THE ROYALD REPORT OF THE THE ROYALD REPORT OF THE ROYALD





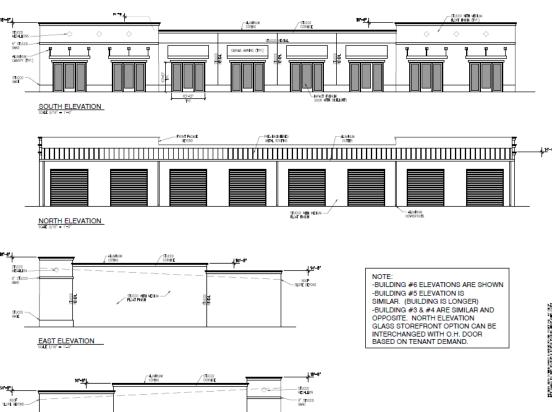
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roject Mgr: JAH See Ster

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Building Elevations

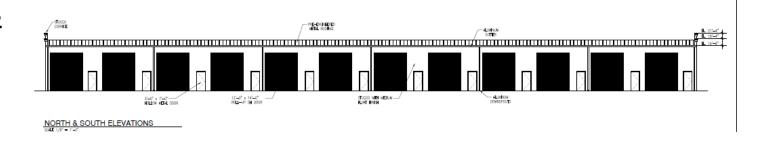


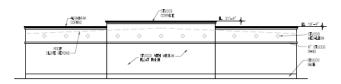


WEST ELEVATION
SCALE 3/16" = 1'-0"



Building Elevations





EAST & WEST ELEVATIONS

NOTE:

-BUILDING #1 ELEVATIONS ARE SHOWN -BUILDING #2 ELEVATIONS ARE SIMILAR (BUILDING LENGTH IS SHORTER)





Staff Recommendation

The Site Plan Review Committee recommended approval at their September 25, 2025, meeting.

