

Liana Marquis, Liana
Rezoning
P25-147



SUMMARY

Applicant's Request:	An application to rezone a 0.23-acre parcel from Single-Family Residential (RS-2) to Service Commercial (CS).
Applicant/Agent:	Pamela Misiano, Remax Gold
Property Owner:	Liana Marquis
Location:	South of SW Gatlin Boulevard on the west side of SW Fondura Road
Address:	2712 SW Fondura Road
Project Planner:	Sofia Trail, Planner I

Project Description

The applicant, Pamela Misiano, on behalf of the owner, Liana Marquis, is requesting the rezoning of a 0.23-acre lot legally described as Port St. Lucie Section 31, Block 1708, Lot 20 from Single-Family Residential (RS-2) to Service Commercial (CS). The property address is 2712 SW Fondura Road.

The property lies within Conversion Area 24 and has a CS future land use designation. The CS zoning district is compatible with the CS future land use designation. The entirety of block 1708 lies within this conversion area, and lot 20 is the only parcel within the block that is still zoned Single-Family Residential (RS-2).

On March 25, 2024, a variance (P23-239) was granted by the City Council to the City of Port St. Lucie Conversional Manual Area 24 requirements to allow the rezoning of Lots 18 and 19 from the RS-2 zoning district to the Warehouse Industrial (WI) zoning district. This resulted in the isolation of Lot 2, since the lots to the north have already been rezoned. This single lot does not meet the minimum size requirement for rezoning.

An application (P25-148) for a variance to the City of Port St. Lucie lot size requirements for the Service Commercial (CS) zoning district was submitted concurrently with this rezoning application.

Public Notice Requirements

Public notice was mailed to owners within 750 feet of the property and the item was included in the ad for the October 7, 2025, Planning & Zoning Board meeting.

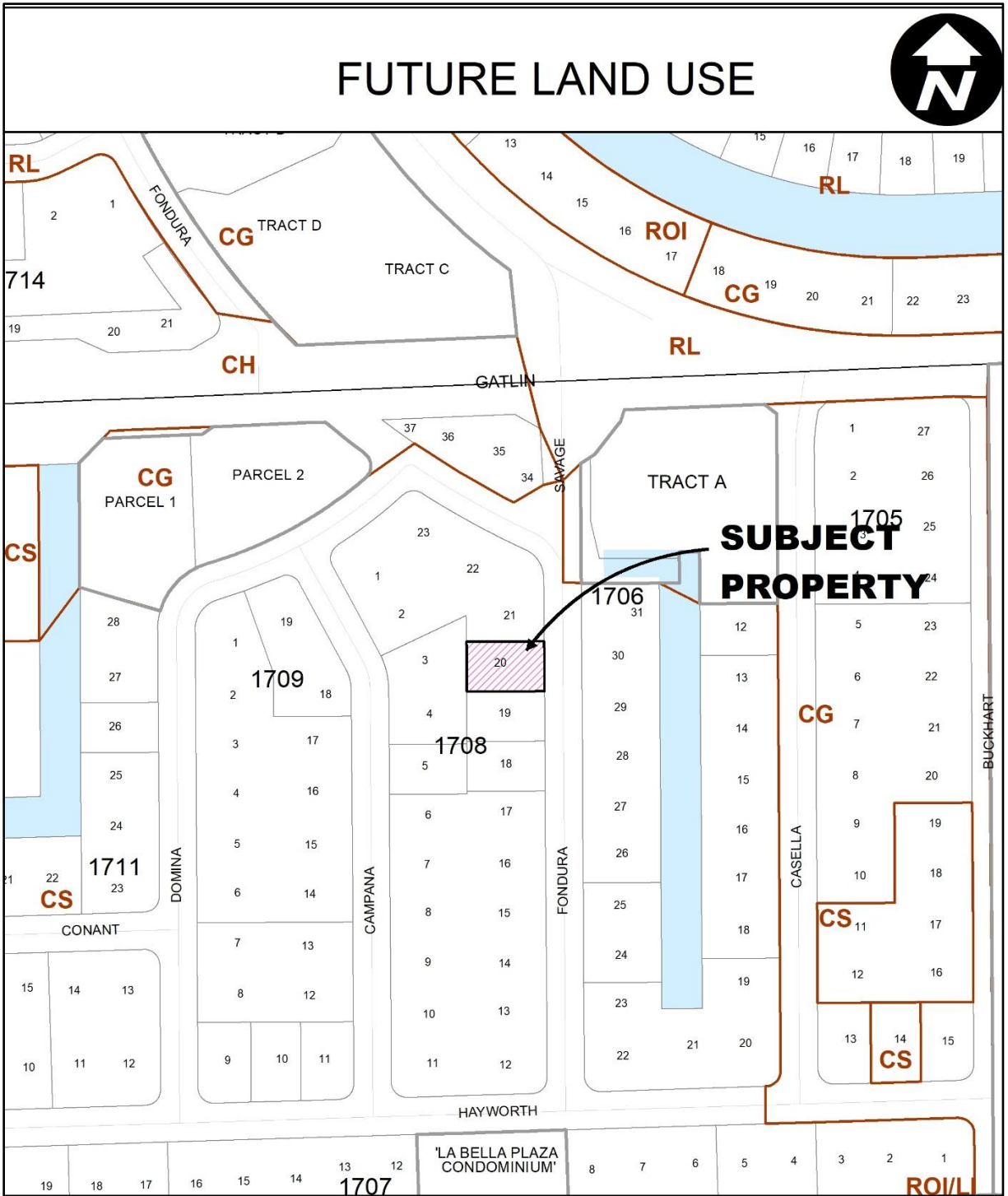
Location and Site Information

Parcel Number(s):	3420-650-1098-000-6
Property Size:	+/- 0.23 acres
Legal Description:	Port St. Lucie Section 31, Block 1708, Lot 20
Future Land Use:	Service Commercial (CS)
Existing Zoning:	Single Family Residential (RS-2)
Existing Use:	Vacant
Requested Zoning:	Service Commercial
Proposed Use:	None

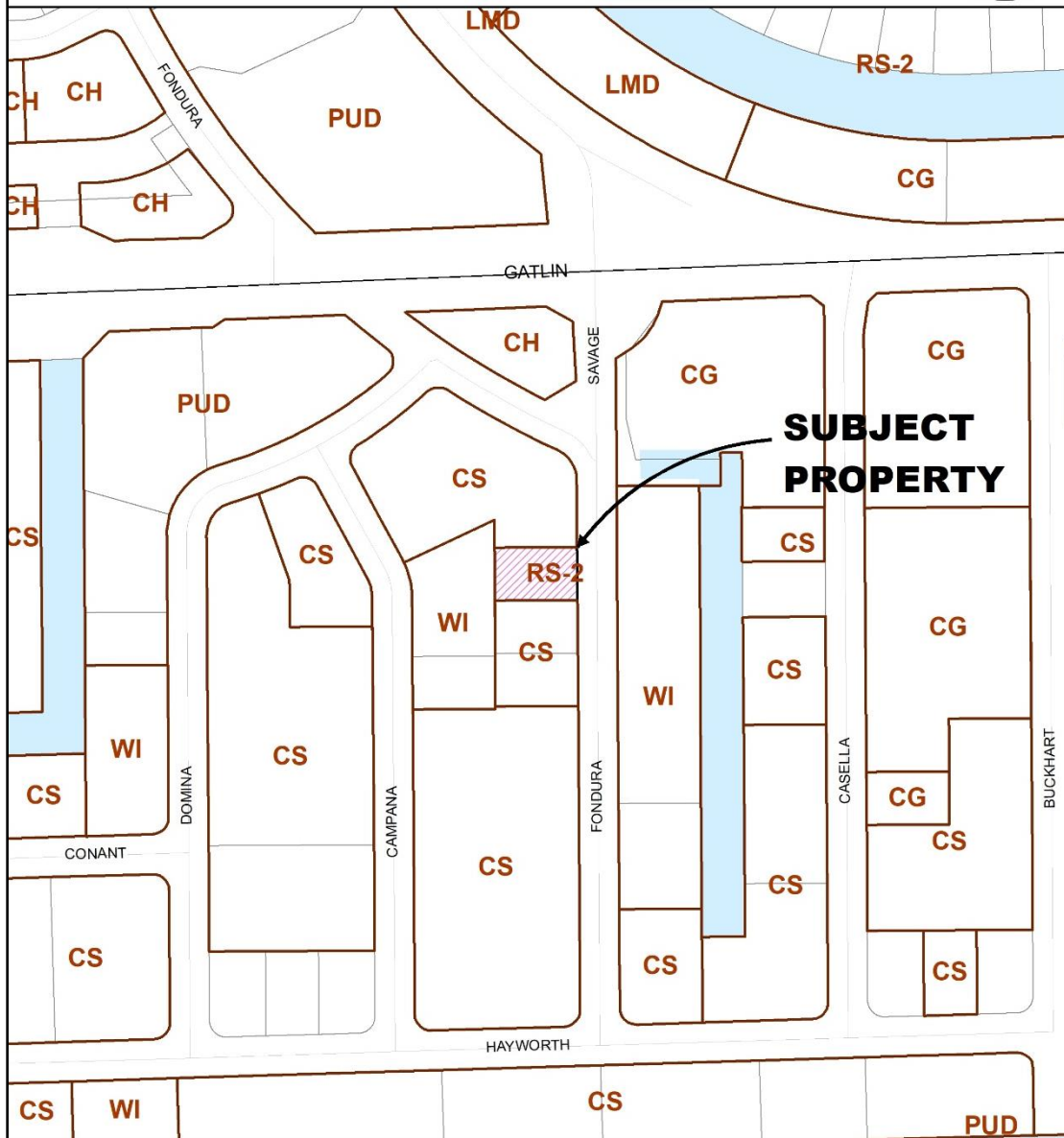
Surrounding Uses

Direction	Future Land Use	Zoning	Existing Use
North	CS	CS	Vacant
South	CS	CS	Self-Storage Business
East	CS	WI	Warehouse
West	CS	WI	Vacant

CS - Service Commercial, WI – Warehouse Industrial



EXISTING ZONING



IMPACTS AND FINDINGS

COMPREHENSIVE PLAN REVIEW

Land Use Consistency (Policies 1.1.4.2 and 1.1.4.13): Policy 1.1.4.2 of the Future Land Use Element states the City shall provide the CS Future Land Use Designation Intended for the most intensive commercial development including wholesale, warehouses, vehicle sales, lumber yards, etc. Adequate buffering may be required based on subsequent site plan reviews. In addition, the proposed rezoning is consistent with Policy 1.1.4.13 in which the Commercial Services (CS) zoning district is listed as a compatible zoning district under the Service Commercial (CS) future land use classification.

FUTURE LAND USE CLASSIFICATION	COMPATIBLE ZONING DISTRICT(S)
Service Commercial (CS)	CS, GU (General Use), & WI (Warehouse Industrial)

ZONING REVIEW

Applicant's Justification Statement: The applicant requests to rezone the parcels from RS-2 to CS to be consistent with the adjacent parcels within the area. All other parcels within Block 1708 have been rezoned to a zoning district that is compatible with the CS future land use designation. This is the last parcel within the block that remains RS-2.

Staff Analysis: The proposed rezoning to CS is consistent with the future land use CS and surrounding zoning designations including WI and CS. In addition, the current RS-2 is not compatible with the CS land use designation in the conversion area.

Compliance with Conversion Area Requirements

Planning Area location per Conversion Manual	24	
Is all property within planning area?	Yes	
Type of Conversion Area	CS	
Proposed rezoning	CS	
Will rezoning result in isolation of lots?	No	
Has Unity of Title been submitted?	N/A	
	Required	Proposed
Minimum Frontage	160'	80'
Minimum Depth	240' (Single lot depth, 125' may be used if the entire rear lot line is bounded by a major drainage right-of way or non-residential use and sufficient frontage exists for development)	125' (abutting a non-residential use) single lot depth
Landscape Buffer Wall	Not required	

STAFF RECOMMENDATION

The Planning and Zoning Department recommends approval of the proposed rezoning.

Planning and Zoning Board Action Options:

- Motion to recommend approval to the City Council
- Motion to recommend denial to the City Council

Please note: Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to *table* or *continue* the hearing or review to a future meeting.