

1 PROPOSED SITE PLAN
SCALE: 1" = 10'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE SCALE DIMENSIONS.

PROFESSIONAL STATEMENT:
TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 553, LAWS OF FLORIDA.

Innovative
DESIGN STUDIOS, INC.
AA26003402
WWW.ID5FL.COM TEL: 727.432.1455 FAX: 866-654-5303
6822 22ND AVENUE NORTH, SUITE #174 ST. PETERSBURG, FLORIDA 33743

DWYER AVE SELF-STORAGE
A NEW 3 STORY SELF-STORAGE FACILITY
792 SW DWYER AVE & 1210 SW BALTIMORE ST
PORT ST LUCIE, FLORIDA 34983
ARCHITECTURAL SITE PLAN

APPROVALS

NO.	DATE	DESCRIPTION
1	02/17/23	BUILDING DEPARTMENT COMMENTS

NO.	DATE	DESCRIPTION

DRAWN DATE: 02/11/23
ISSUE DATE:
SHEET: A-0

SYMBOL REFERENCES

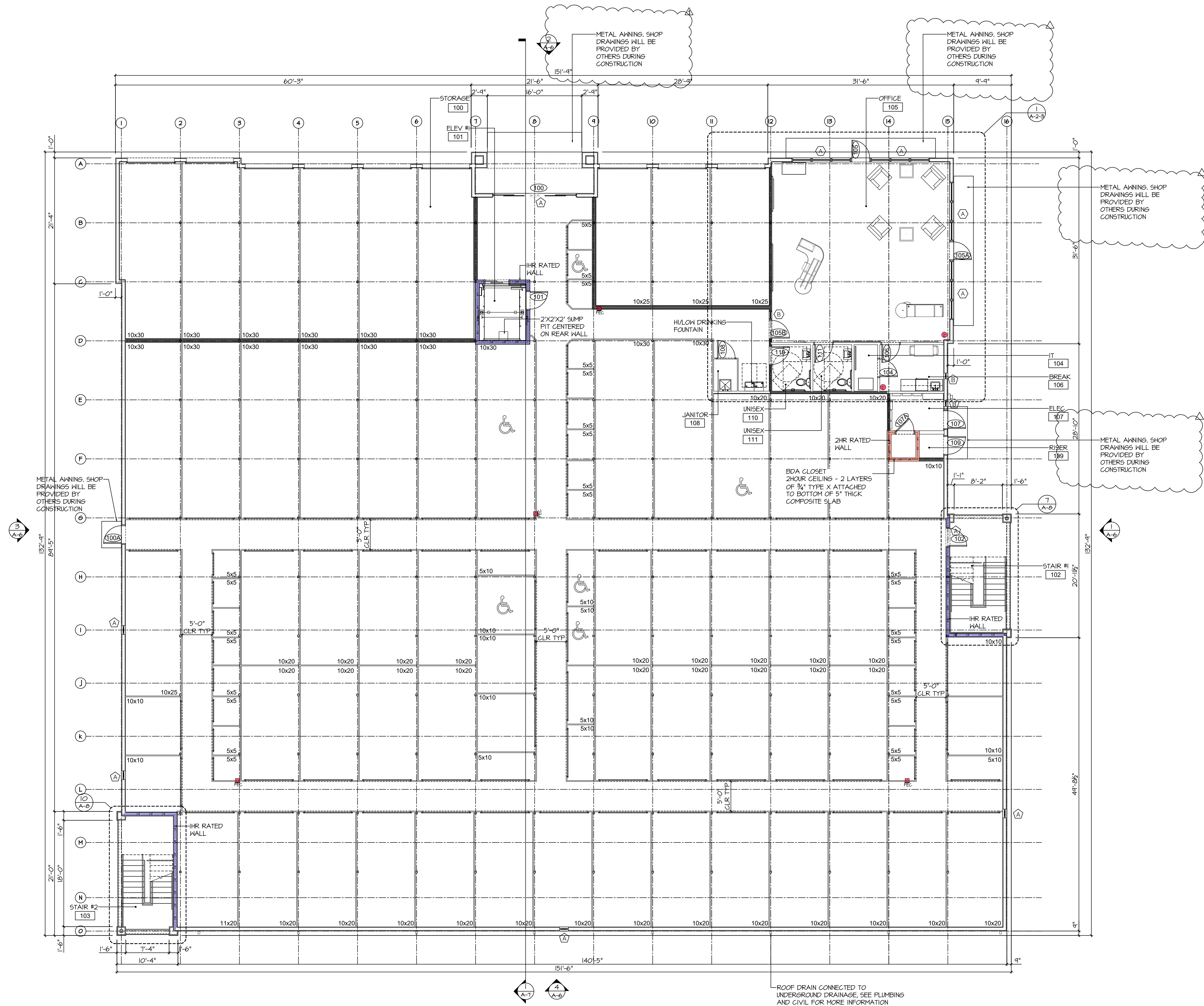
- NEH MASONRY HALL
- NEH METAL STUD PARTITION
- NEH DOOR
- NEH WINDOW
- SPACE NUMBERS - FINISHES A-5
- DOOR NUMBERS - SEE DRAWING A-5 FOR DETAILS AND DOOR SCHEDULE
- WINDOW TYPES - SEE DRAWING A-5 FOR DETAILS
- LOUVER TYPE
- EXTERIOR ELEVATIONS
- INTERIOR ELEVATIONS - A-5
- DRAWING NOTES THIS SHEET
- REVISIONS MADE TO THIS SHEET
- FIRE EXTINGUISHER WITH HALL BRACKET
- FIRE EXTINGUISHER CABINET
- STEP

GENERAL NOTES:

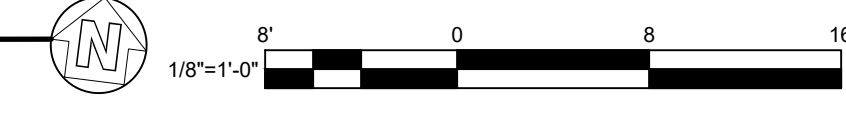
1. STENCIL ALL FIRE RATED WALLS ABOVE CEILING WITH RED PAINT IE "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" OR USE STICKERS, LABELS TO BE ON 6x6 OR 6x4 - HIGH RISE PROVIDES FIRE RATING, LABELS TO BE 15'-0" O.C. MAX W/ 4" HIGH LETTERS & 1/2" STROKE MINIMUM.
2. DIMENSIONING IS TAKEN TO THE FACE OF 6x6 FINISH ON METAL STUD. NOMINAL SIZE IS 5" @ 5/8" STUD PLUS 2 LAYERS OF 5/8" 6x6.
3. EXTERIOR WALLS HAVE 1 5/8" METAL STUD, 3/8" OFF FACE OF MASONRY. INTERIOR BLOCK WALLS 1/8" FURRING.
4. COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH STRUCTURAL DRAWINGS BEFORE LAYING OUT PHYSICAL BUILDING IN FIELD. CONTACT ARCHITECT WITH ANY DISCREPANCIES OR QUESTIONS AS TO CRITICAL DIMENSIONS.
5. A) OUTLET BOXES INSTALLED IN RATED WALLS SHALL NOT EXCEED 16 SQUARE INCHES UNLESS ENCLOSED BY A "5-SIDED BOX".
B) THE AGGREGATE AREA OF ALL BOXES IN A RATED WALL AND NOT ENCLOSED BY A "5-SIDED BOX" SHALL NOT EXCEED 100 SQUARE INCHES IN 100 SQUARE FEET OF WALL AS MEASURED FROM FLOOR TO STRUCTURAL DECK OR RATED MEMBRANE.
C) OUTLET BOXES WITH OPENINGS ON OPPOSITE FACES OF RATED WALLS SHALL HAVE A HORIZONTAL SEPARATION OF 24" MINIMUM UNLESS ENCLOSED BY A "5-SIDED BOX".
6. REFER TO DRAWING A-4 AND A-4J FOR ACTUAL UL DESIGN ASSEMBLIES.
7. FOR LOAD BEARING METAL STUD WALLS, REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS, STUD SIZE, SPACING, GAUGE AND BRACING.

ACCESSIBILITY NOTES:

1. NO ABRUPT CHANGES IN ELEVATION ALONG PATH OF TRAVEL SHALL BE ALLOWED.
2. SLOPES SHALL NOT EXCEED 1:20 UNLESS A RAMP IS PROVIDED.
3. RAMPS SHALL NOT EXCEED 1:12 SLOPE
4. CROSS SLOPES SHALL NOT EXCEED 2%
5. MAXIMUM 1/4" VERTICAL & 1/4" DEVEILED (3" TOTAL) THRESHOLD HEIGHT.



1 1ST FLOOR PLAN



1ST FLOOR A/C	= 18,220 S.F.	1ST FLOOR NON A/C	= 261 S.F.	TOTAL 1ST FLOOR	= 18,481 S.F.
2ND FLOOR A/C	= 18,217 S.F.	2ND FLOOR NON A/C	= 164 S.F.	TOTAL 2ND FLOOR	= 18,381 S.F.
3RD FLOOR A/C	= 18,217 S.F.	3RD FLOOR NON A/C	= 164 S.F.	TOTAL 3RD FLOOR	= 18,381 S.F.
TOTAL GROSS AREA UNDER ROOF = 57,243 S.F.					

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1ST FLOOR PLAN

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DRAWN DATE: 02/11/23
ISSUE DATE:
SHEET: **A-2**

SYMBOL REFERENCES

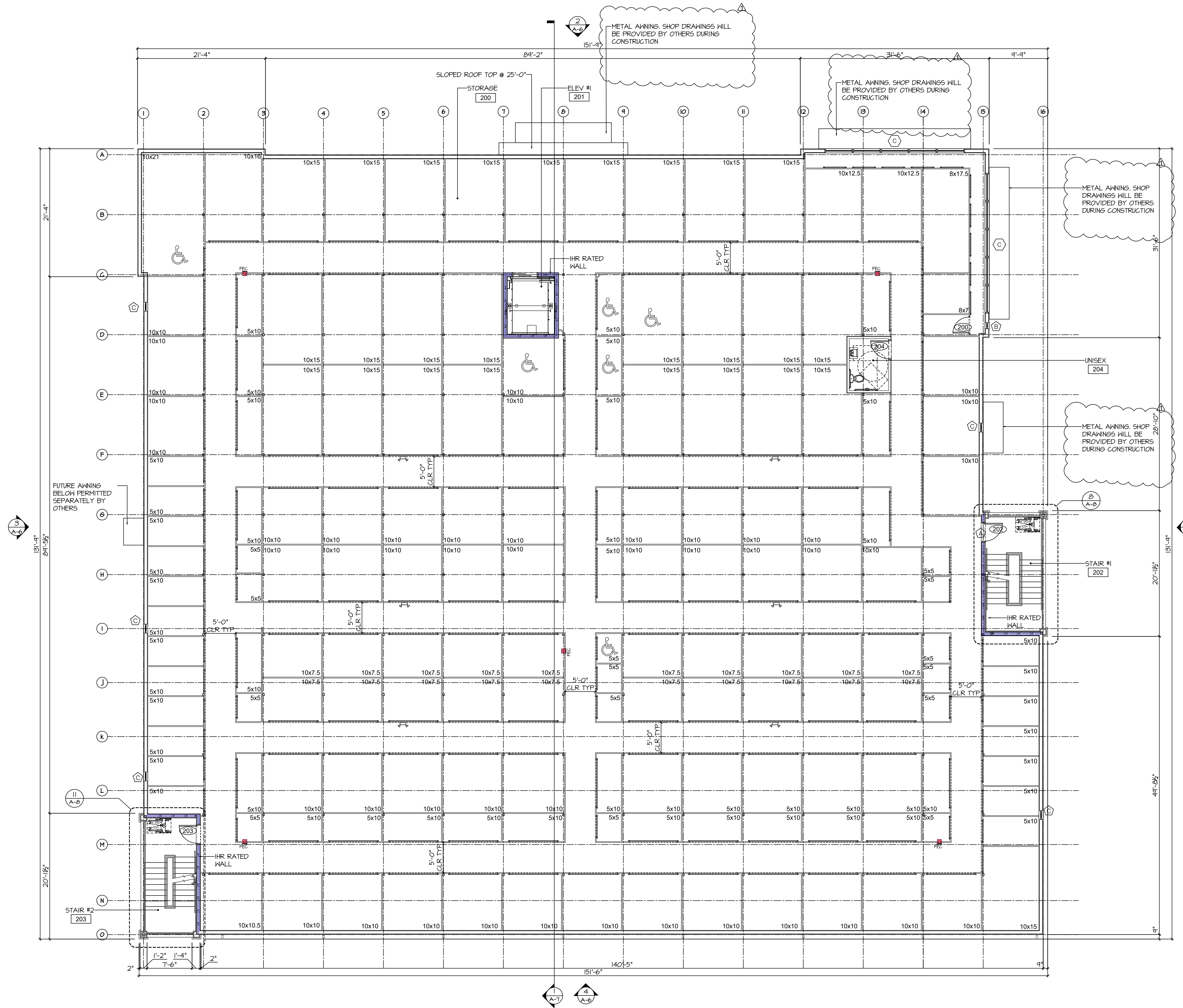
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- STEP

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1 2ND FLOOR PLAN
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2ND FLOOR PLAN
















APPROVALS

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ISSUE DATE: 02/17/23
SHEET: A-2-1

SYMBOL REFERENCES

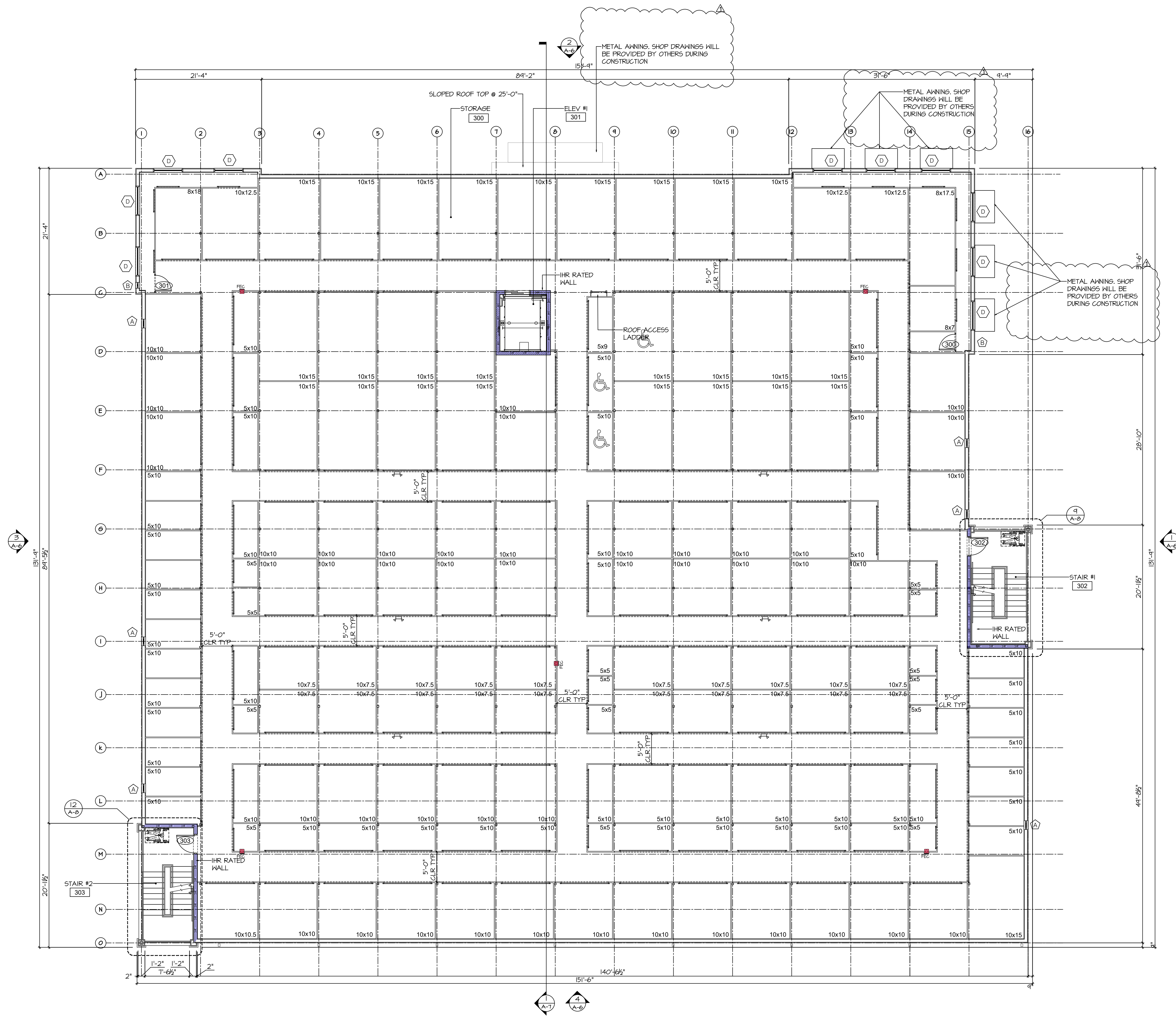
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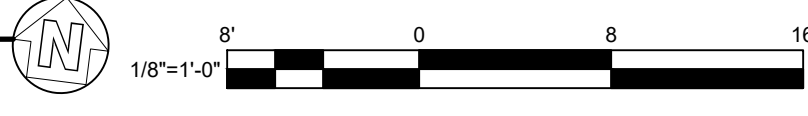
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1 3RD FLOOR PLAN
SCALE: 1/8" = 1'-0"



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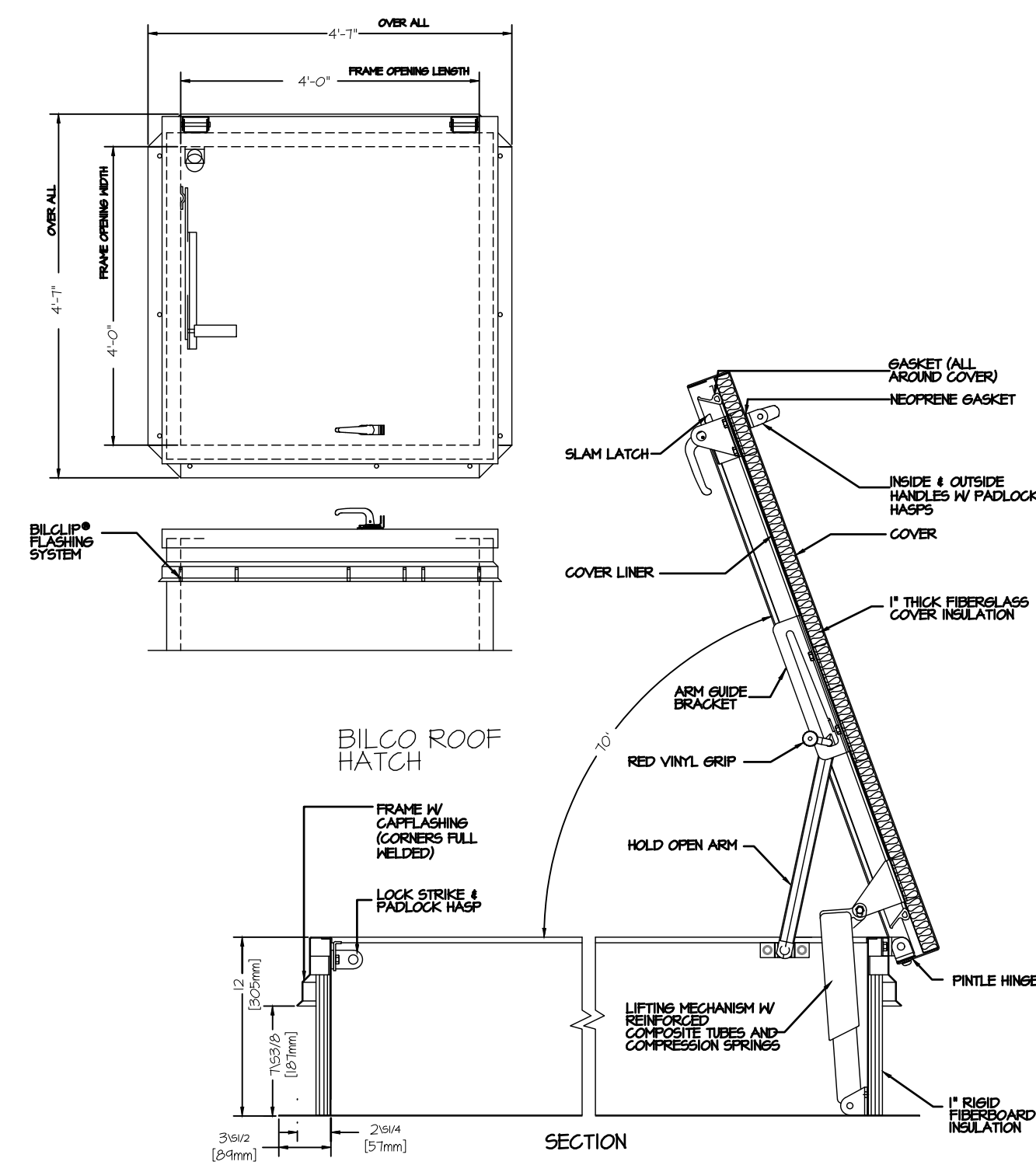
3RD FLOOR PLAN

APPROVALS

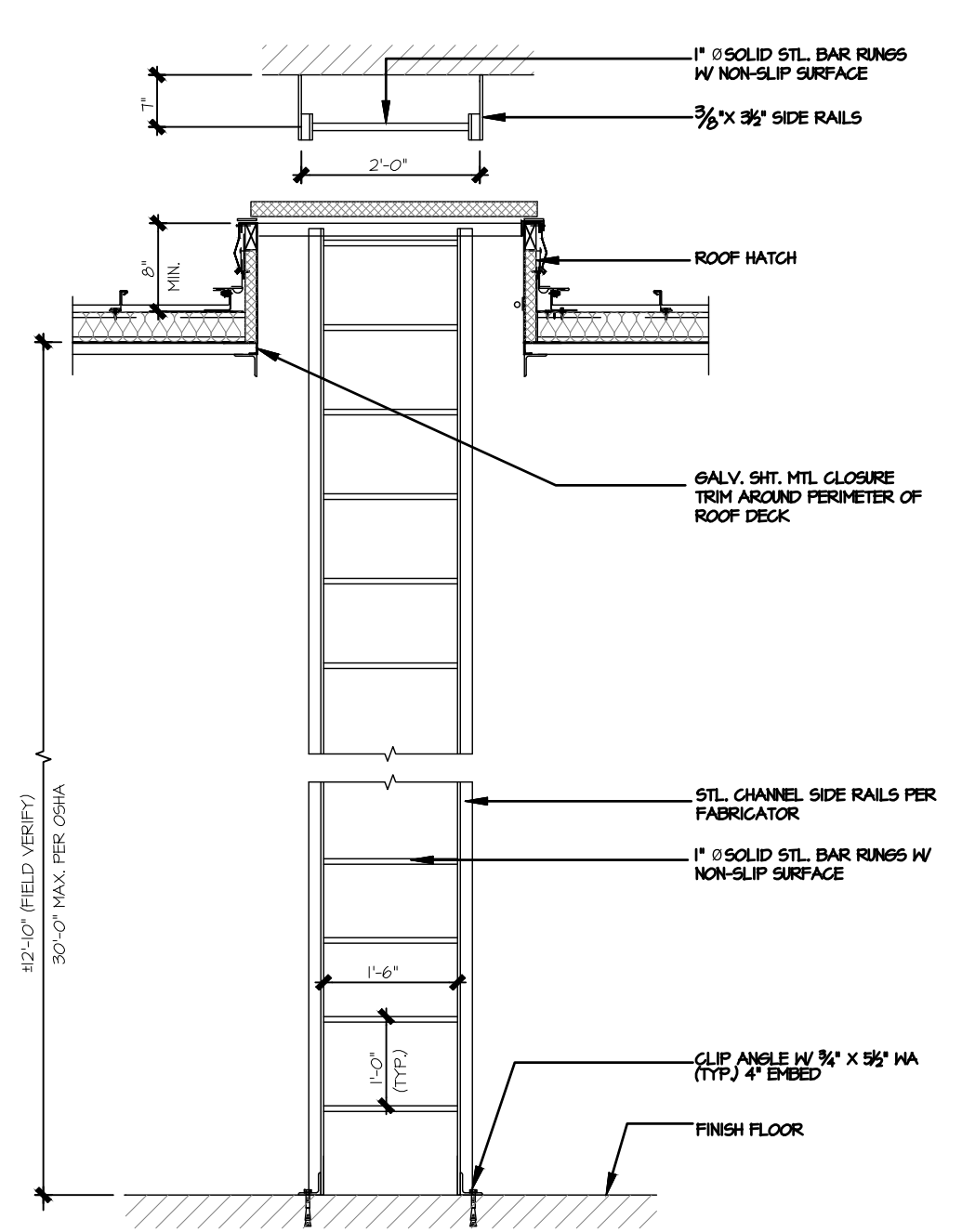
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REVISIONS	
NO.	DESCRIPTION
1	02/17/23 BUILDING DEPARTMENT COMMENTS

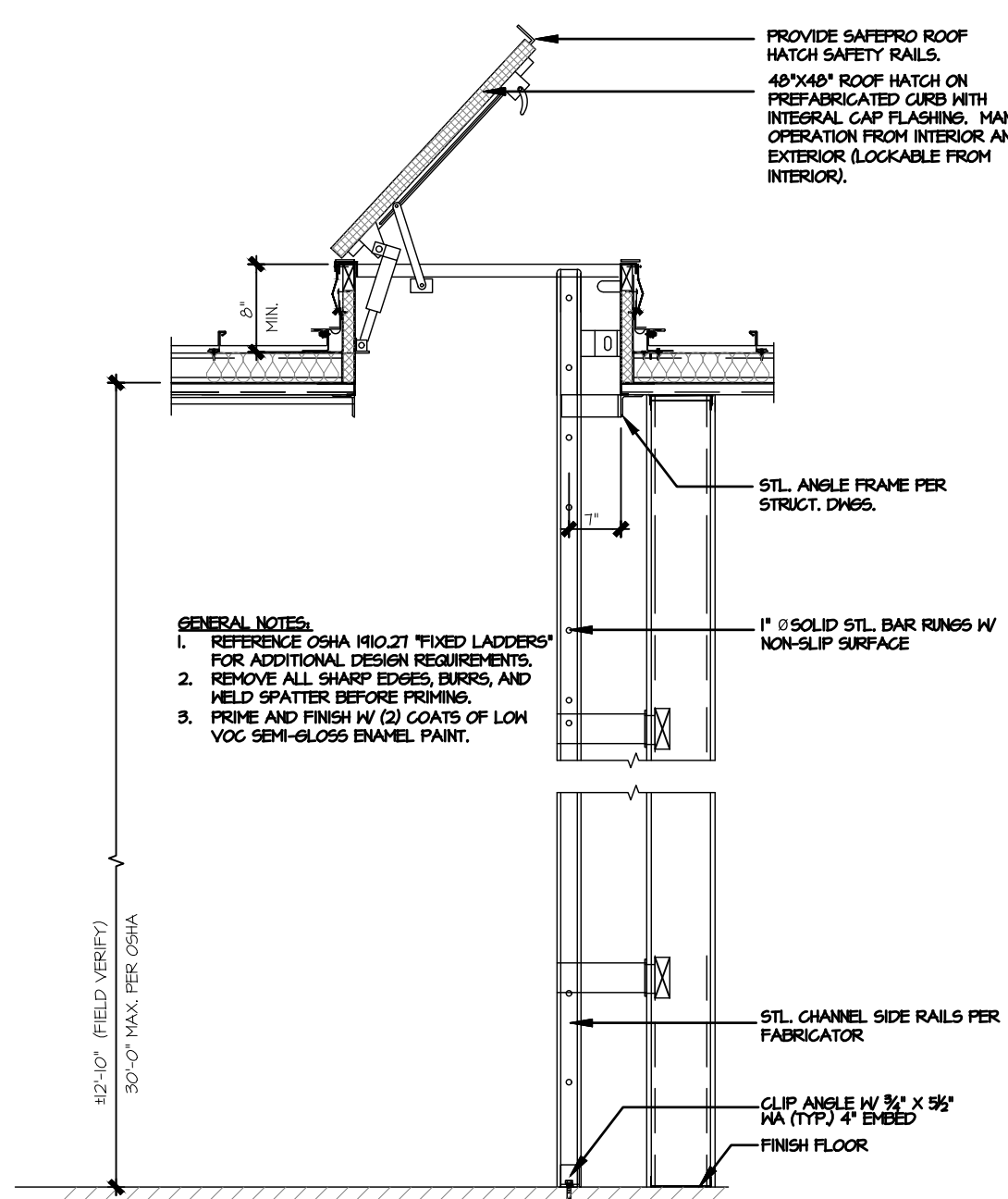
ISSUE DATE: 02/11/23
SHEET: **A-2-2**



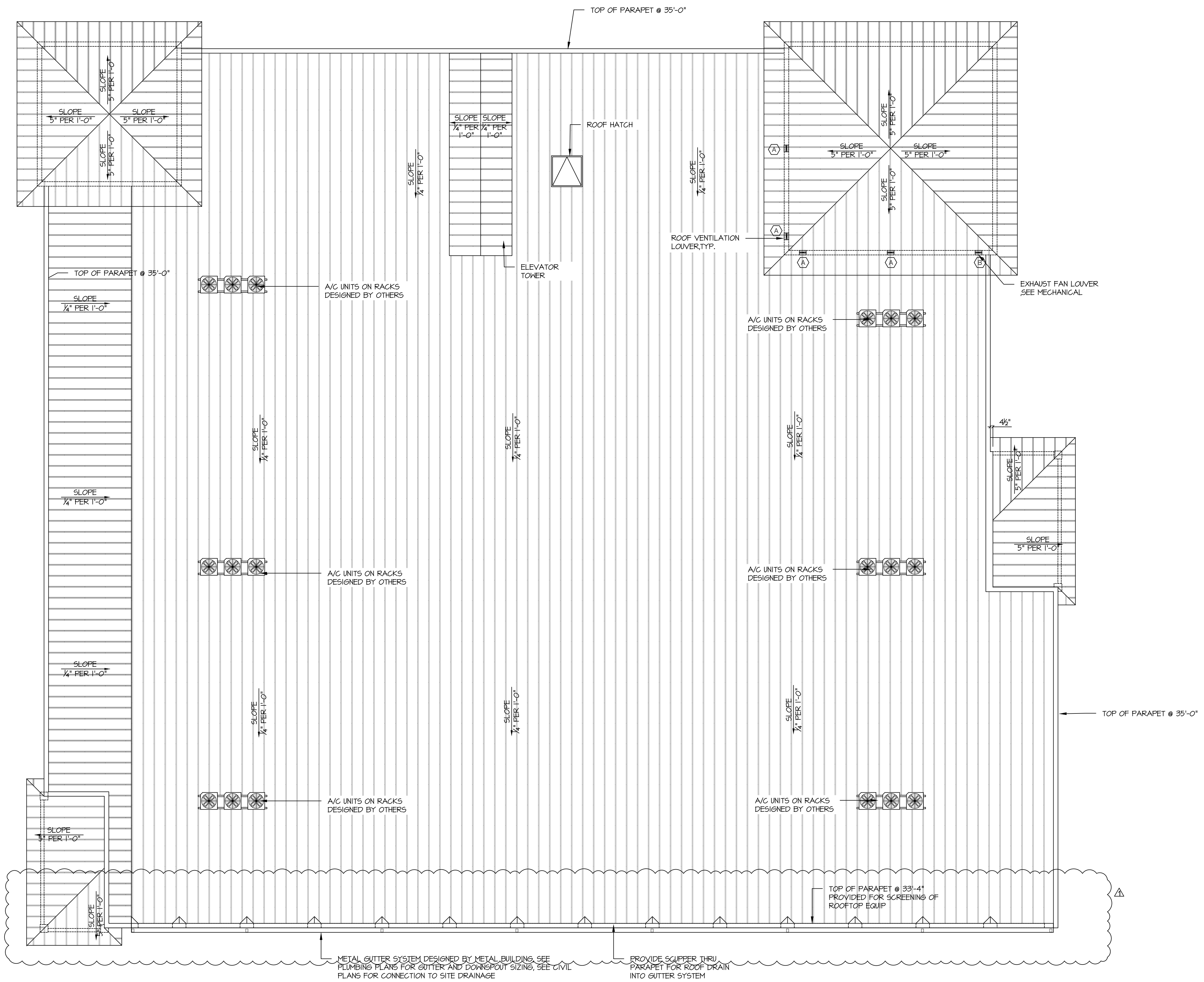
2 ROOF HATCH DETAILS
SCALE: NTS



3 ROOF HATCH DETAILS
SCALE: NTS

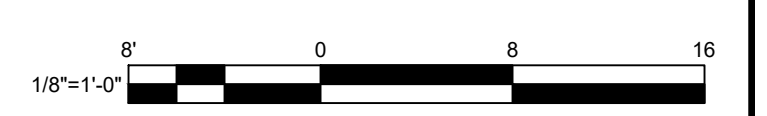


4 ROOF HATCH DETAILS
SCALE: NTS



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

NOTE: PROVIDE A 15 YEAR NPL (NO REPAIR LIMIT) WARRANTY ON THE ROOF, PENETRATIONS, WIND RIDER AND LOW SLOPE WARRANTY



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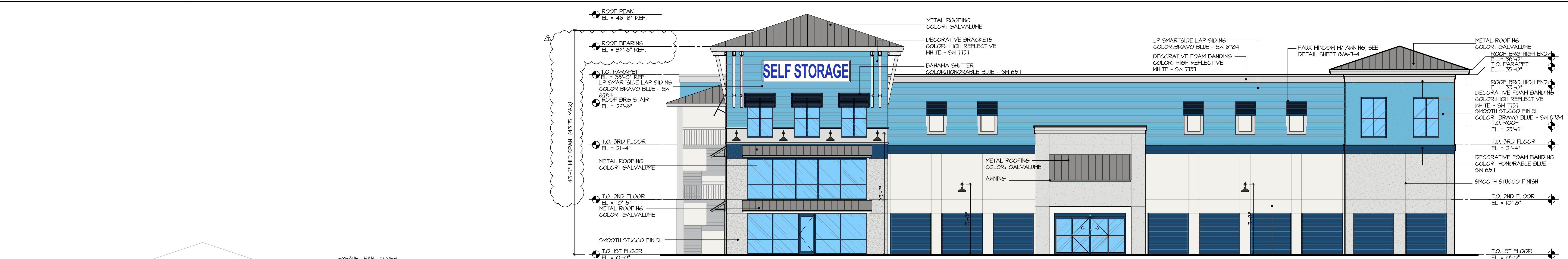
ROOF PLAN AND DETAILS

APPROVALS

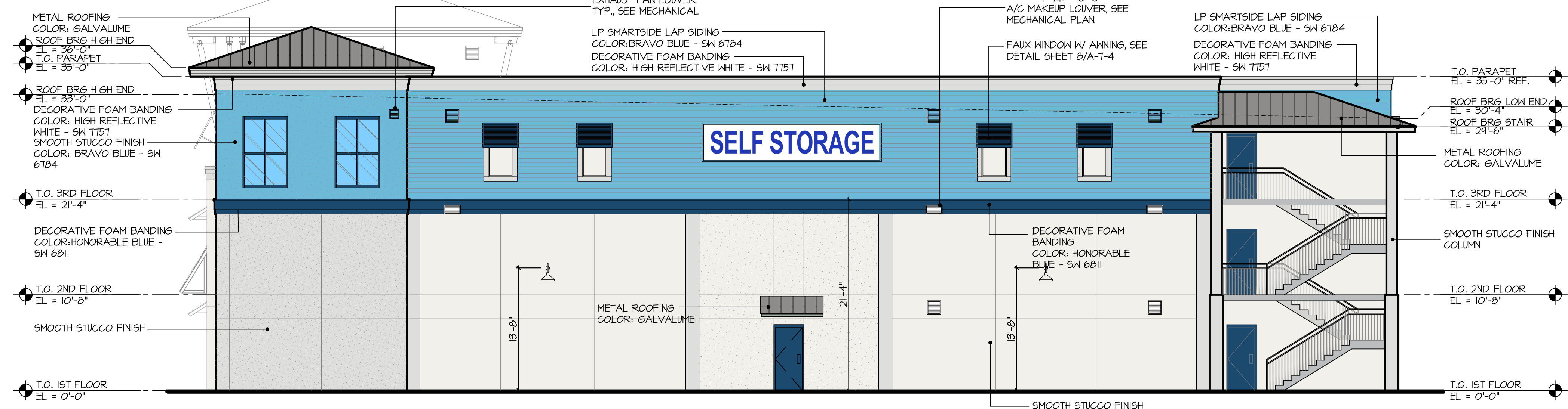
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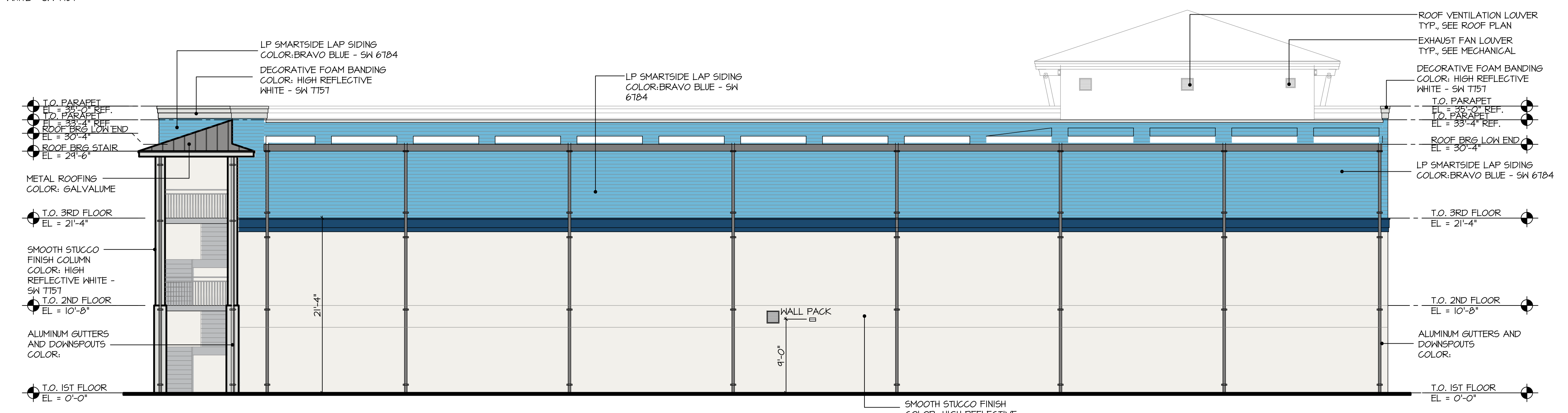
DRAWN DATE: 02/11/23
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SHEET: A-4



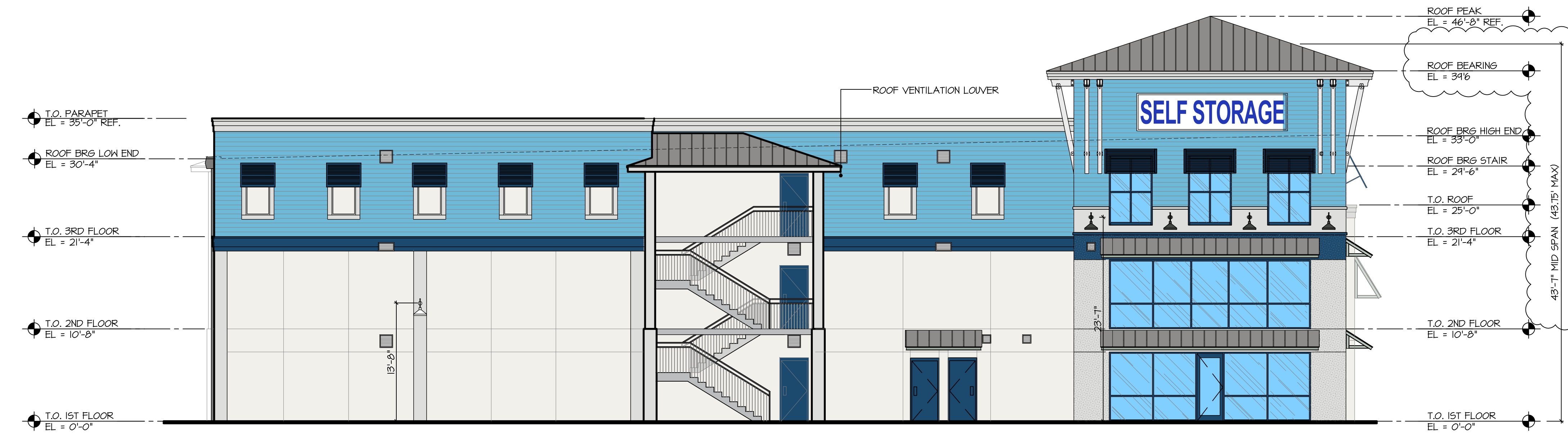
1 FRONT (NORTH) ELEVATION
SCALE: 1/8" = 1'-0"



2 RIGHT (WEST) ELEVATION
SCALE: 1/8" = 1'-0"



3 REAR (SOUTH) ELEVATION
SCALE: 1/8" = 1'-0"



4 LEFT (EAST) ELEVATION
SCALE: 1/8" = 1'-0"

NOTE:
ALL ANNING AND SHUTTER SHOP DRAINAGES BY ANNING SUBCONTRACTOR

CEMENTITIOUS COATINGS TO BE POLYMER MODIFIED (PM) OR TRADITIONAL CEMENT STUCCO OVER LATHNET. APPLY USG DRYLOCK EXTREME PER THEIR FACE SEALED BARRIER SYSTEM AS SHOWN ON SHEET A-5-B. THE PAINT MUST BE MAINTAINED AND KEPT FREE FROM CRACKS TO PRESERVE THE WEATHER RESISTANT BARRIER

ARCHITECTURAL DESIGN TREATMENTS	
ARCHITECTURAL DESIGN TREATMENTS ARE COMPLIANT WITH THE FOLLOWING REQUIREMENTS PER LCLDC SECTION 10-251 AND 10-620(2)(b)	
REQUIRED (4 MINIMUM)	PROVIDED
a. STANDING SEAM METAL ROOF	FRONT, RIGHT, REAR, LEFT
b. HORIZONTAL HOOD SIDING	FRONT, RIGHT, REAR, LEFT
c. BAHAMA SHUTTERS	FRONT, RIGHT, LEFT
d. VERTICAL RECTANGULAR HINDING	FRONT, RIGHT, LEFT
e. BRACKETS	FRONT, LEFT
f. TOWERS	FRONT, RIGHT, LEFT

*ALL PRIMARY FACADES ARE DESIGNED WITH CONSISTENT ARCHITECTURAL STYLE, DETAIL, AND TRIM FEATURES PER LCLDC 10-251 AND 10-620 (2)(2)(a).

COLORS

- BRAVO BLUE - SH 6184
- HIGH REFLECTIVE WHITE - SH 7151
- HONORABLE BLUE - SH 6811

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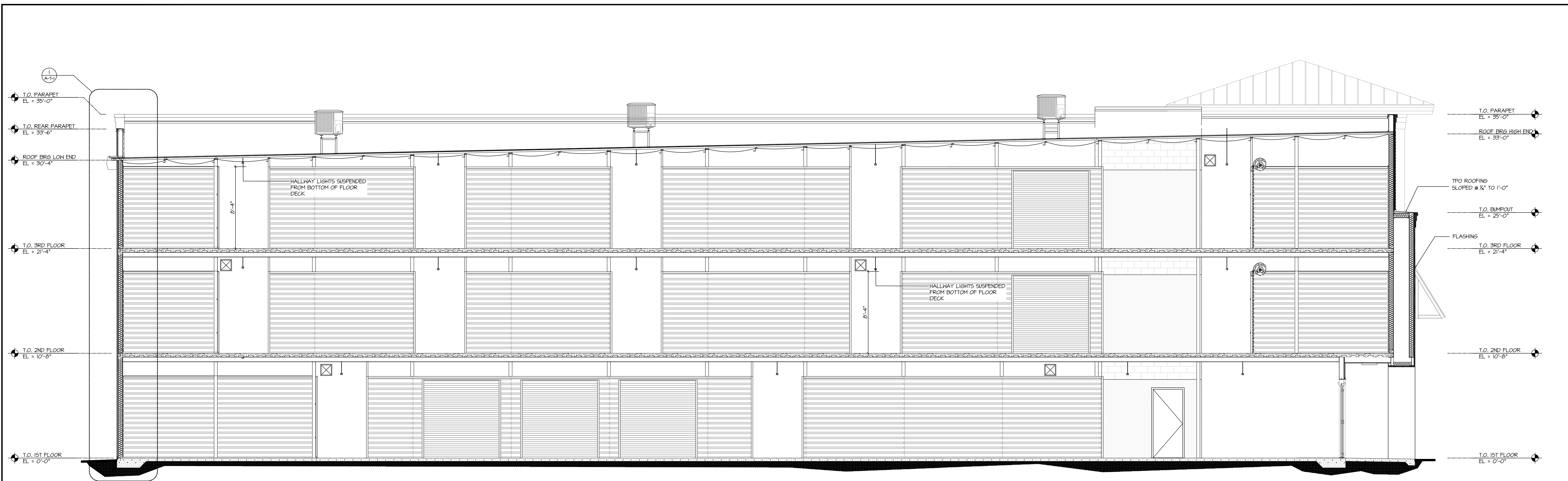
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PORT ST LUCIE, FLORIDA 34983

EXTERIOR ELEVATIONS

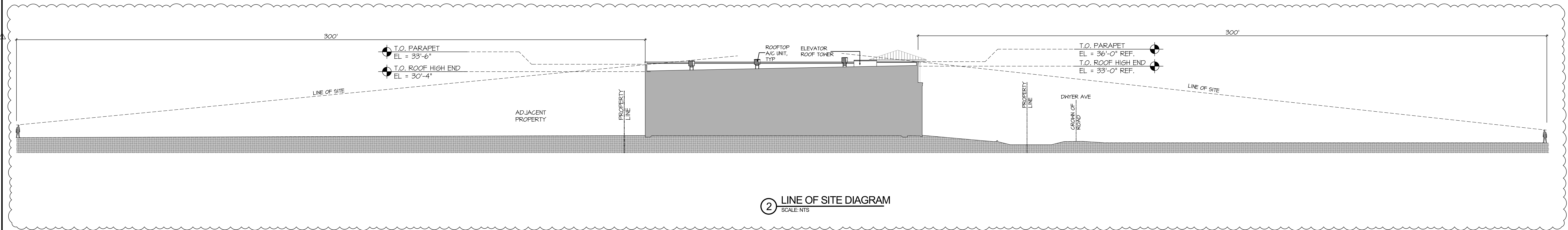
APPROVALS		REVISIONS	
NO.	DATE	DESCRIPTION	
1	02/17/23	BUILDING DEPARTMENT COMMENTS	

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 633, LAWS OF FLORIDA.

DRAWN DATE: 02/11/23
ISSUE DATE:
SHEET: **A-6**



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 LINE OF SITE DIAGRAM
SCALE: NTS

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING OR CONTINUING WITH CONSTRUCTION. UNREPORTED DISCREPANCIES AND CONFLICTS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE SCALE DIMENSIONS.

PROFESSIONAL STATEMENT: TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 633, LAWS OF FLORIDA.

PROFESSIONAL STATEMENT:
TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 633, LAWS OF FLORIDA.

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Dwyer Ave Self-Storage
A NEW 3 STORY SELF-STORAGE FACILITY
792 SW DWYER AVE & 1210 SW BILTMORE ST
PORT ST LUCIE, FLORIDA 34983

DWG. TITLE:
BUILDING SECTION

APPROVALS

NO.	DATE	DESCRIPTION
1	02/17/23	BUILDING DEPARTMENT COMMENTS

REVISIONS	DESCRIPTION

14" = 1'-0"

DRAWN DATE: 02/11/23
ISSUE DATE:
SHEET: **A-7**